



CITY OF CAMPBELL
Community Development Department

COURTESY NOTICE OF NEW PLANNING APPLICATION

May 20, 2022

Dear Campbell Resident,

The following provides a brief description of a proposed project in your neighborhood. As a courtesy notice, this letter is intended to provide members of the public an early opportunity to become engaged in the planning process. If you should have any questions about the project, the contact information of the Project Planner has been provided below. Alternatively, you may visit the Planning Division to view the project plans. Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

Project Address: 570 E. Hamilton Avenue

Zoning | Area Plan: C-2 | N/A

Neighborhood Association(s): N/A

File No.: PLN-2022-44

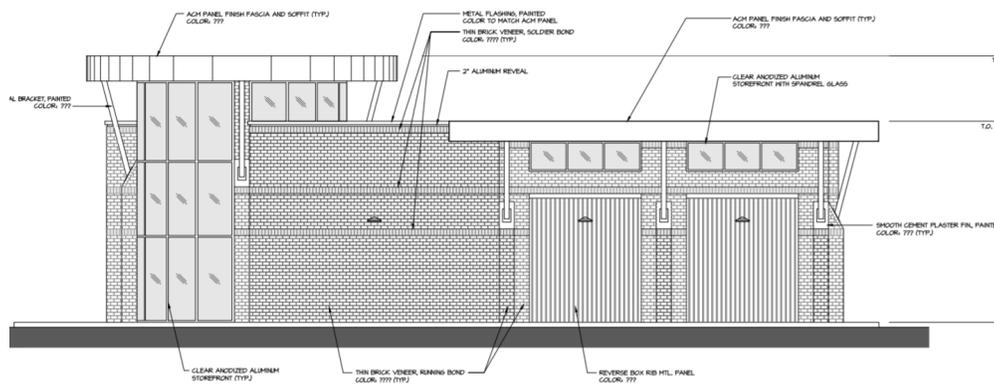
APN: 279-33-040

Applicant: AU Energy LLC

Property Owner: Brandenburg Properties

Application Type: Conditional Use Permit w/Site and Architectural Review

Project Description: Reconstruction of a Shell service station with 24-hour operation, including a drive-through carwash and a convenience store with off-site alcohol beverage sales.



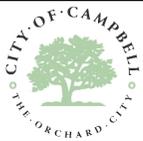
Project Planner: Daniel Fama

Email Contact: danielf@campbellca.gov

Phone Contact: (408) 866-2193

Note: This is a courtesy notice to all property owners within 300-feet of the project address. Applications may change after initial application submittal. To view the project plans, please scan the QR code:





Location Map for 570 E Hamilton Ave.

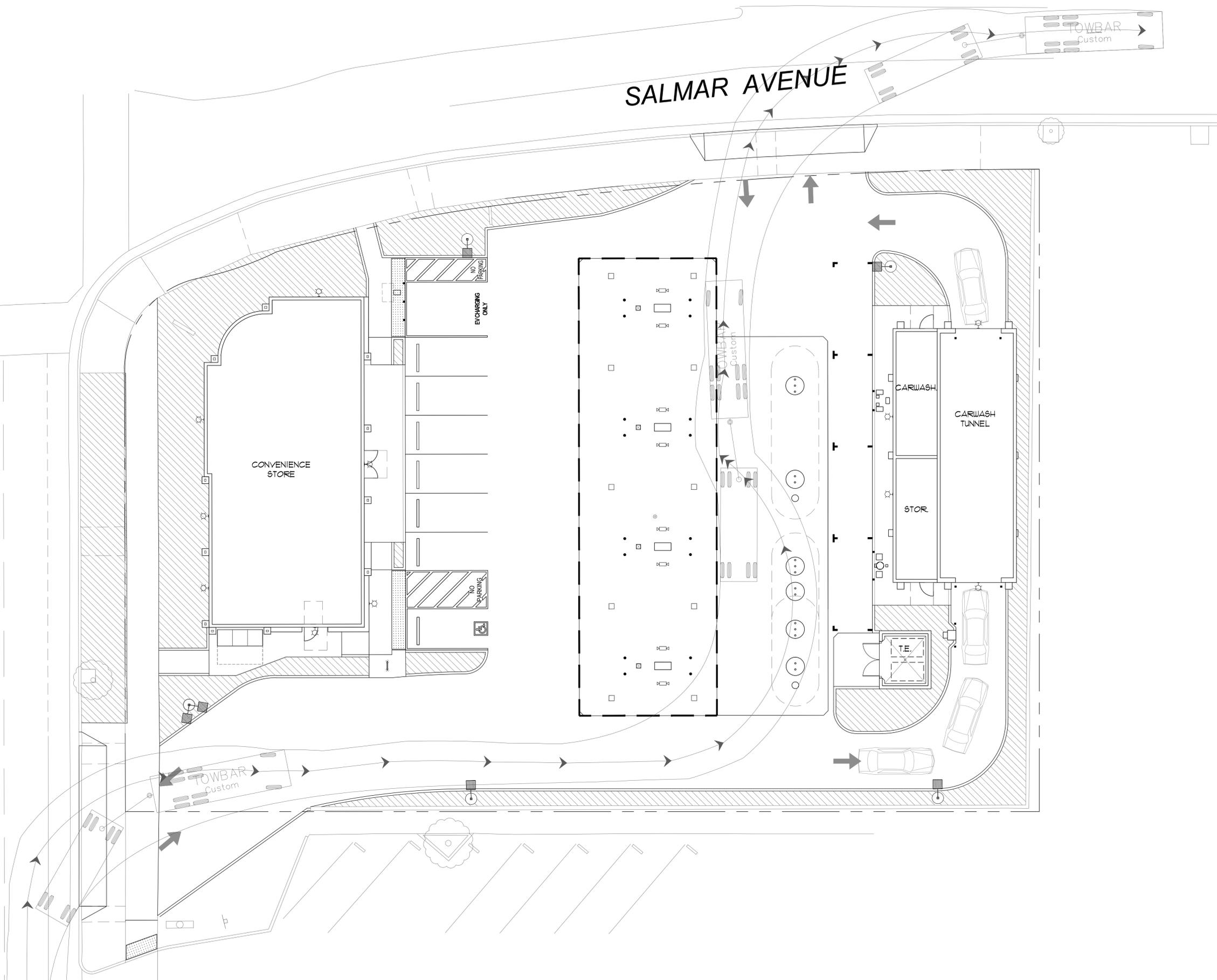


This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

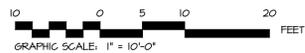
S:\1-Projects\20-50120 570 - E. Hamilton, Campbell\Drawg\Planning\20-50120-SD1.dwg modified by muiser2 at Apr 12, 2022 - 4:50pm

HAMILTON AVENUE

SALMAR AVENUE



1 TRUCK PATH SITE PLAN
1" = 10'-0"



A WB-67
N.T.S

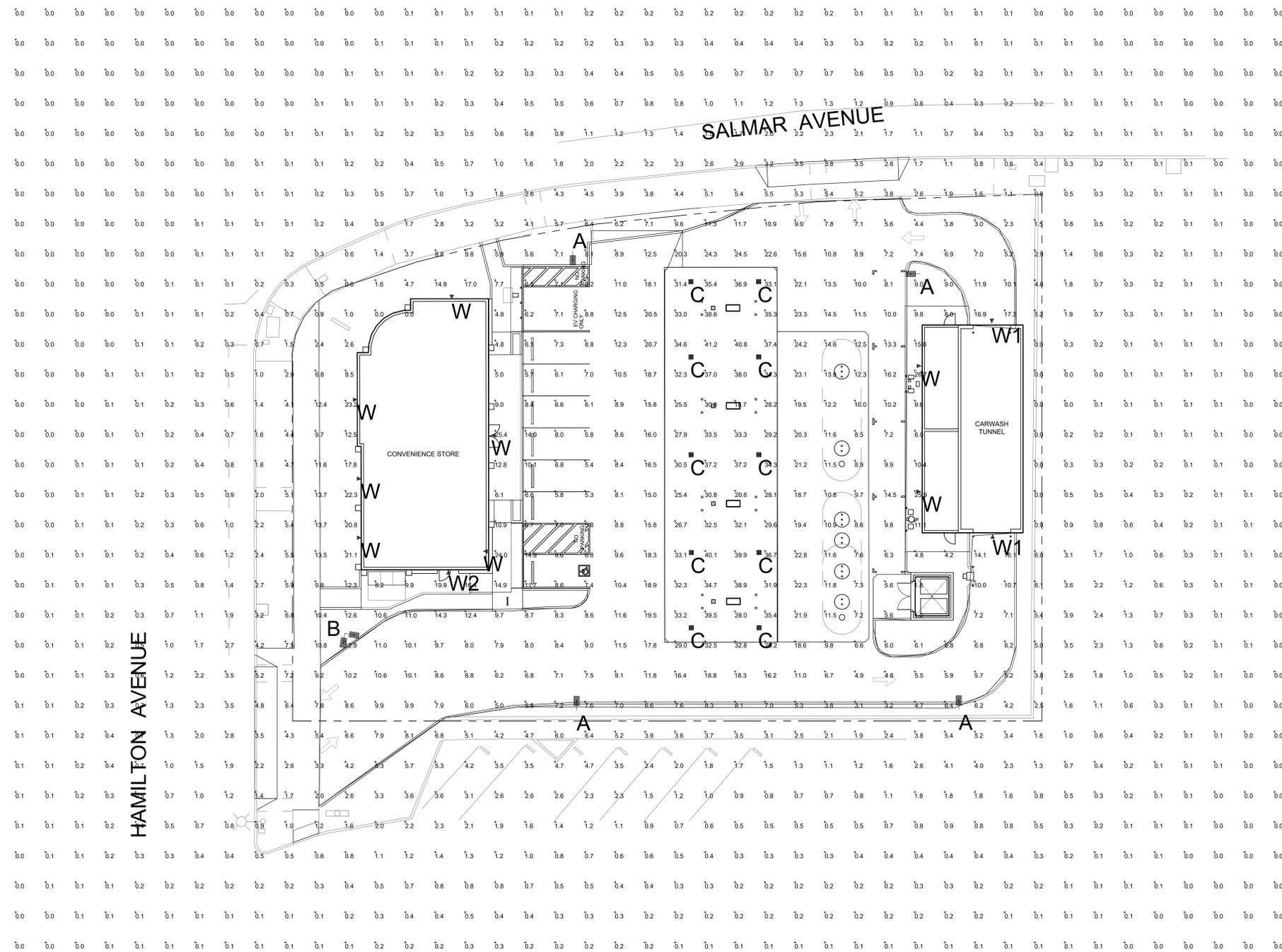
M I
Architects
M I Architects, Inc.
ARCHITECTURE
PLANNING
MANAGEMENT
DESIGN
2221 OLYMPIC BLVD.,
SUITE 100
WALNUT CREEK, CA
94595
925-287-1174 Tel
925-943-1581 Fax
925-878-9875 Cell
muthana@miarchitect.com
www.miarchitect.com

NOT FOR
CONSTRUCTION

**SHELL GAS STATION
CONVENIENCE STORE & CARWASH
570 E. HAMILTON AVENUE
CAMPBELL, CA**

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMPLOYED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND REMAIN THE PROPERTY OF THE ARCHITECT. THE USE, DUPLICATION OR DISCLOSURE OF THE DOCUMENTS WITHOUT EXPRESSED WRITTEN CONSENT FROM M I ARCHITECTS, INC. IS PROHIBITED.

-	ISSUED FOR CONSTRUCTION	
-	ISSUED FOR PLAN CHECK	
-	ISSUED FOR PLANNING	
NO.	DATE	DESCRIPTION
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TRUCK PATH SITE PLAN		
PROJECT #: 20-50120		
DRAWN: EMQ	CHECKED: MII	
SCALE: AS NOTED DATE: 10-30-19		
SD-TP		
SHEET	OF	



SLM



CRUS



XWS

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
ALL CALCS @ GRADE	Illuminance	Fc	4.14	41.2	0.0	N.A.
CANOPY	Illuminance	Fc	32.91	41.2	18.7	1.76
INSIDE CURB	Illuminance	Fc	10.49	24.5	3.0	3.50

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	4	A	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-18" POLE+2' BASE	1.000	1.000	1.000	18904	135
	1	B	2 @ 90 DEGREES	SLM-LED-18L-SIL-FT-50-70CRI-D90-16" POLE+2' BASE	1.000	1.000	1.000	37808	270
	10	C	SINGLE	CRUS-SC-HO-50-16' 4"MH	1.000	1.000	1.000	19071	125
	8	W	SINGLE	XWS-LED-06L-FTW-50-80CRI-10' MH	1.000	1.000	1.000	7031	52
	2	W1	SINGLE	XWS-LED-06L-FTW-50-80CRI-11' MH	1.000	1.000	1.000	7031	52
	1	W2	SINGLE	XWS-LED-03L-FTW-50-80CRI-8' MH	1.000	1.000	1.000	3793	26

**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for reference product.

Total Project Watts_1
Total Watts = 2806



SD1-L



LIGHTING PROPOSAL LO-155705-1

SHELL
570 E HAMILTON AVE
CAMPBELL, CA

BY: SAM DATE: 4/13/22 REV: 4/18/22 SHEET 1 OF 1

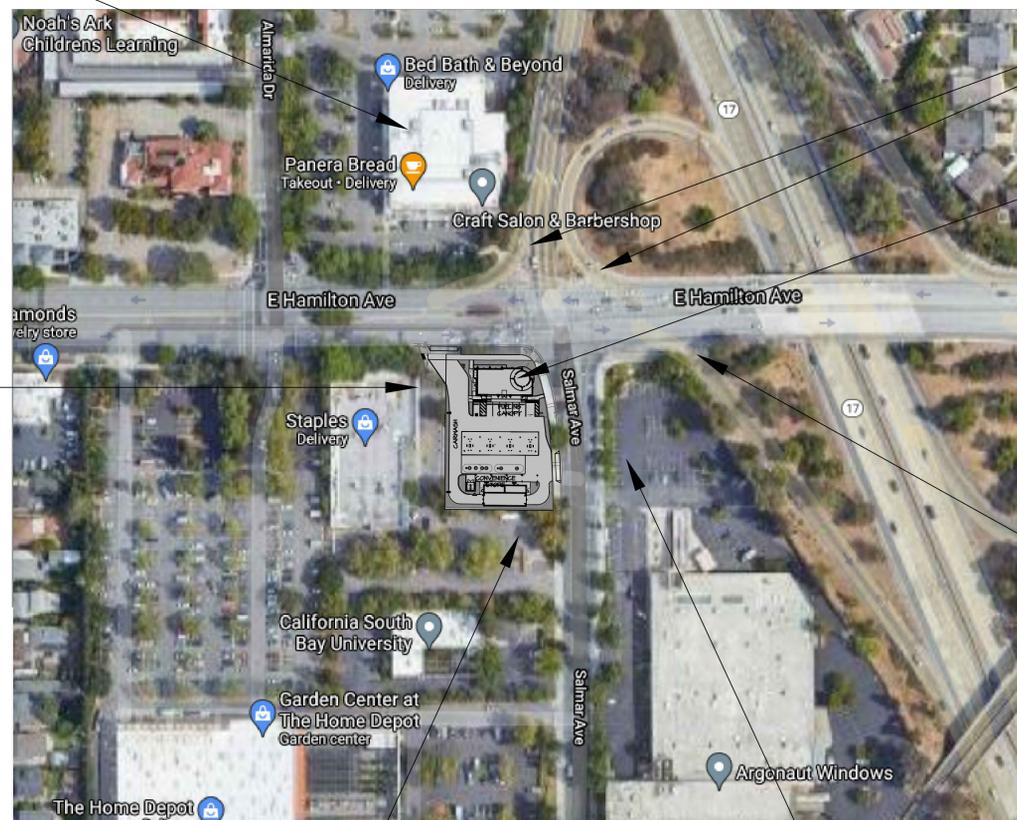
SCALE: 1"=16' 0



RETAIL STORE BUILDING AT HAMILTON AVENUE;
HWY 17 SOUTHBOUND LANE OFF-RAMP (RIGHT)



ENTRY/EXIT TO HWY 17 SOUTHBOUND LANE



SHELL GAS STATION
CONVENIENCE STORE & CARWASH
570 E. HAMILTON AVENUE, CAMPBELL, CA
APN # 279-33-040



RETAIL STORE BUILDING (RIGHT); LOW MASONRY FENCE BETWEEN
PROPERTIES



ENTRY TO SOUTHBOUND HWY 17 ADJACENT TO RETAIL STORE PARKING LOT (RIGHT)



CALIFORNIA SOUTH BAY UNIVERSITY PARKING LOT (LEFT),
SHELL GAS STATION PARKING SPACE (RIGHT)



RETAIL STORE PARKING LOT ENTRY AT SALMAR AVENUE

1 NEIGHBORHOOD CONTEXT
N.T.S



Architects

M I Architects, Inc.
ARCHITECTURE
PLANNING
MANAGEMENT
DESIGN
2221 OLYMPIC BLVD.,
SUITE 100
WALNUT CREEK, CA
94595
925-287-1174 Tel
925-943-1581 Fax
925-878-9875 Cell
muthana@miarchitect.com
www.miarchitect.com

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CAMPBELL, CA**

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- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
△		
△		
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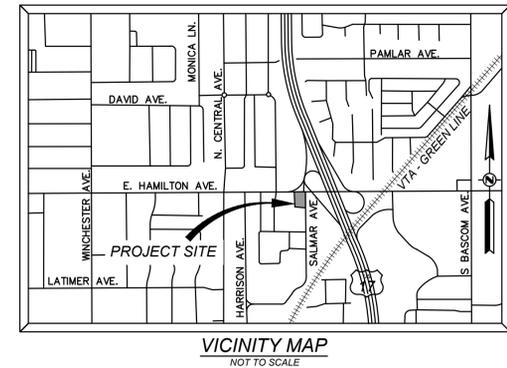
NEIGHBORHOOD
CONTEXT
PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

SD3

SHEET OF

SHELL GAS STATION SITE IMPROVEMENT PLANS

570 EAST HAMILTON AVENUE
CAMPBELL, CA, 95008
APN: 279-33-040



SHEET INDEX:

- C1 PRELIMINARY SITE PLAN
- C2 PRELIMINARY GRADING, DRAINAGE, AND PAVING PLAN
- C3 PRELIMINARY WATER AND SANITARY SEWER PLAN
- C4 PRELIMINARY STORMWATER QUALITY PLAN

TOPOGRAPHIC SURVEY:

RFE ENGINEERING, INC.
2260 DOUGLAS BLVD, SUITE 160, ROSEVILLE, CA 95661
ORIGINAL FIELD SURVEY: OCTOBER 01, 2020
SUPPLEMENTAL SURVEY: DECEMBER 30, 2020

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE MONUMENT LINE OF HAMILTON AVENUE, SHOWN AS N 88°54'49" W ON THAT MAP FILED ON JUNE 30, 1971 IN BOOK 285 OF MAPS AT PAGE 40, SANTA CLARA COUNTY RECORDS AND WAS ESTABLISHED FROM FOUND MONUMENTS SHOWN HEREON.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY IS CITY OF CAMPBELL BENCHMARK #50. THE BENCHMARK IS A 2 1/2" BRASS DISK IN TOP OF CURB LOCATED ON THE WEST SIDE OF SALMAR AVENUE 80' SOUTH OF HAMILTON AVENUE NEXT TO ELECTROLIER. ELEVATION = 182.533 FEET (CITY DATUM)

JURISDICTION:

CITY OF CAMPBELL

FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 06085C0237H DATED: 05-18-2009

PROPERTY OWNER / DEVELOPER:

AU ENERGY LLC.
SUNNY GOYAL
41805 ALBRAE ST., FL 2
FREMONT, CA 94538

ZONING FOR PARCEL:

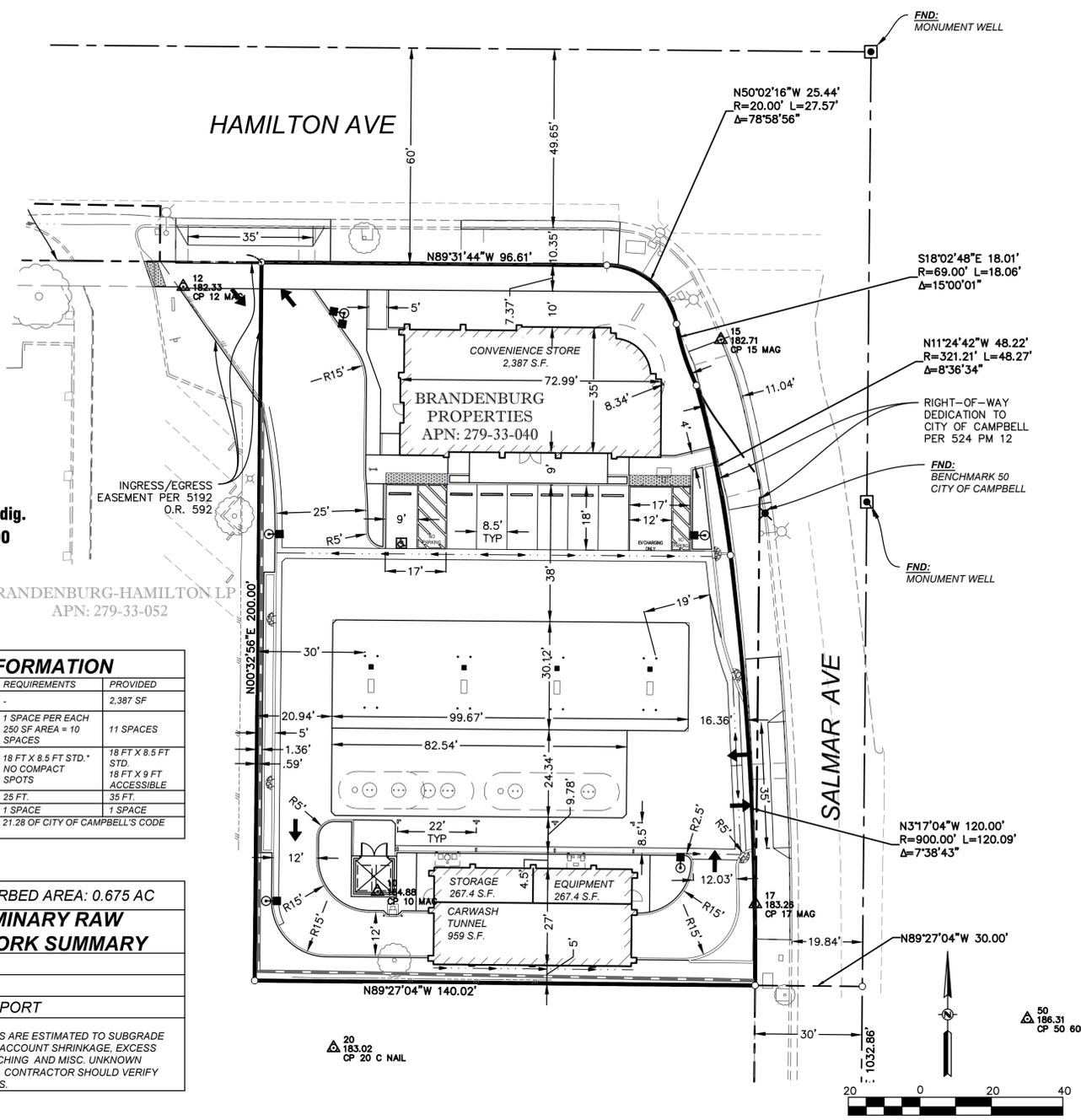
C-2 | GENERAL COMMERCIAL (CITY OF CAMPBELL)

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POTHOLES AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.



811
Know what's below.
Call before you dig.
or (800) 227-2600

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	-	2,387 SF
PARKING REQUIRED	1 SPACE PER EACH 250 SF AREA = 10 SPACES	11 SPACES
MINIMUM PARKING DIMENSIONS	18 FT X 8.5 FT STD. * NO COMPACT SPOTS	18 FT X 8.5 FT STD 18 FT X 9 FT ACCESSIBLE
MIN. DRIVEWAY WIDTH	25 FT	35 FT
ACCESSIBLE SPACES	1 SPACE	1 SPACE

*PARKING STANDARDS PER 21.28 OF CITY OF CAMPBELL'S CODE OF ORDINANCES

TOTAL DISTURBED AREA: 0.675 AC	
CUT:	234 CY
FILL:	143 CY
NET:	91 CY EXPORT

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.

DEVELOPMENT STANDARDS		
USE: GAS STATION, CONVENIENCE STORE, & CAR WASH		
ZONE: C-2 GENERAL COMMERCIAL		
ITEM	REQUIREMENTS	PROVIDED
MINIMUM FRONT SETBACK	10 FT.	--
MINIMUM SIDE SETBACK	STREET SIDE 10 FT. SIDE: 5 FT. OR 1/4 BUILDING HEIGHT, WHICHEVER IS GREATER	--
MINIMUM REAR SETBACK	10 FT. (NEED APPROVAL FOR REDUCTION)	--
MAXIMUM BUILDING HEIGHT	75 FT.	--
PROPERTY AREA:	0.603 AC	
REFERENCE IS MADE TO SECTION 21.10.050 OF CITY OF CAMPBELL'S CODE OF ORDINANCES.		

UTILITY CONTACT INFORMATION			
UTILITY	UTILITY CO.	REPRESENTATIVE	PHONE
TELEPHONE	AT&T	-	(800) 331-0500
GAS	PG&E	-	(800) 468-4743
ELECTRIC	PG&E	-	(800) 468-4743
FIRE	SANTA CLARA COUNTY FIRE DEPARTMENT	-	(408) 378-4010
WATER	SAN JOSE WATER COMPANY	-	(408)279-7900
SEWER	WEST VALLEY SANITATION DISTRICT	-	(408) 378-2407
DRAINAGE	CITY OF CAMPBELL	-	(408) 866-2150
U.S.A.	UNDERGROUND SERVICE ALERT		1-800-227-2600

APPROVED BY: _____ DATE: _____

FIRE DEPARTMENT _____ DATE: _____

APPROVED BY: _____ DATE: _____

WATER AGENCY _____ DATE: _____

APPROVED BY: _____ DATE: _____

CITY ENGINEER _____ DATE: _____

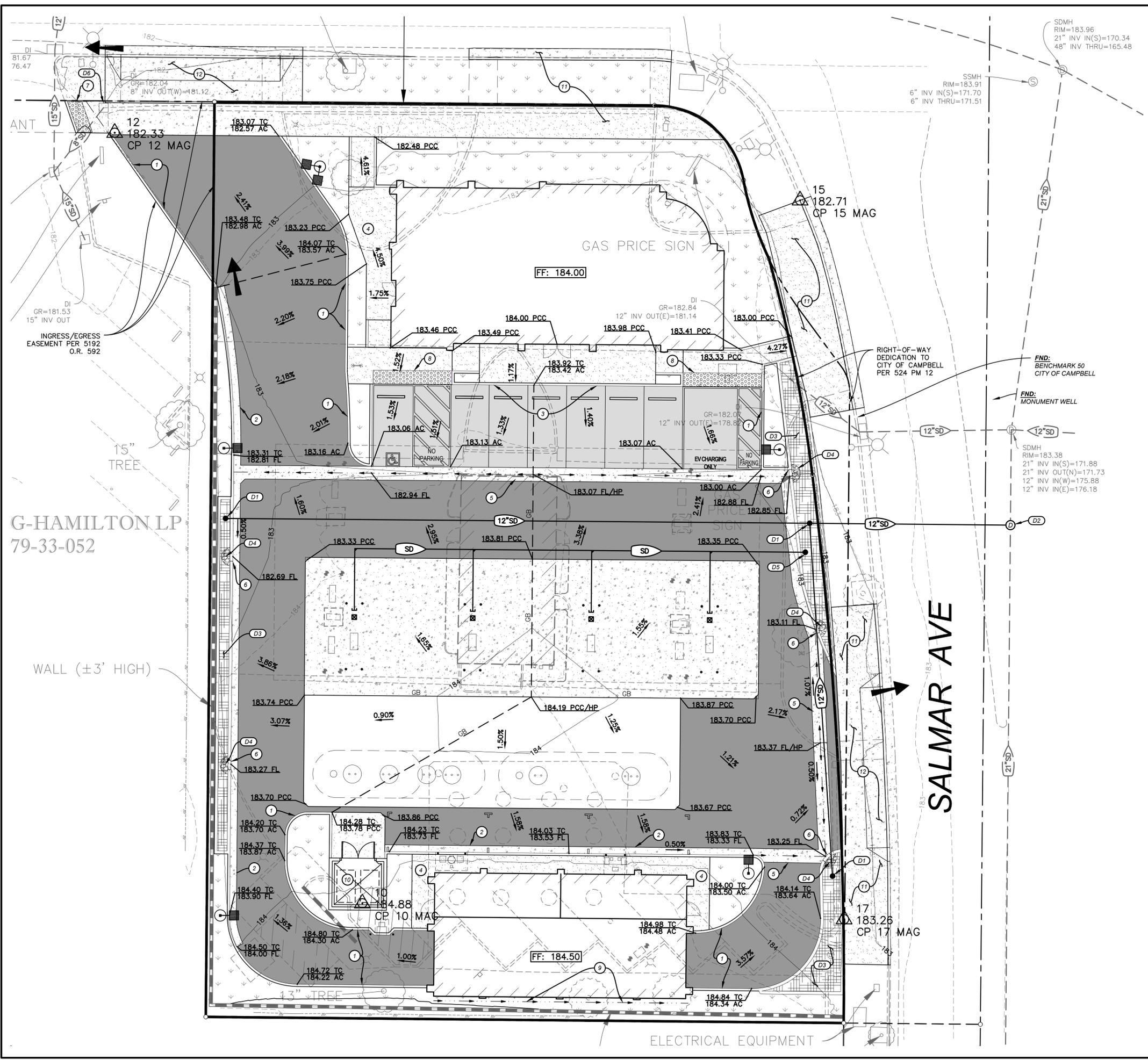
DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER LINE	XX"W	XX"W
DOMESTIC WATER	XX"DW	XX"DW
FIRE SERVICE	XX"FS	XX"FS
GAS LINE	XX"C	XX"C
SDMH	---	---
DRAINAGE INLET	---	---
CULVERT WITH FES	---	---
DIRECTION OF SURFACE FLOW	---	---
OVERLAND RELEASE PATH	---	---
SSMH	---	---
SSCO	---	---
FIRE HYDRANT	---	---
PIV	---	---
FDC	---	---
WATER VALVE	---	---
WATER METER	---	---
CONCENTRIC REDUCER	---	---
BACKFLOW PREVENTION ASSEMBLY	---	---
REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY	---	---
AIR RELEASE VALVE	---	---
BLOW OFF ASSEMBLY	---	---
PIPE CAP	---	---
GAS VALVE	---	---
TELEPHONE MH	---	---
UTILITY POLE	---	---
UTILITY POLE WITH LIGHT	---	---
STREET LIGHT	---	---
SITE LIGHT	---	---
JUNCTION/PULL BOX	---	---
MONUMENT WELL	---	---
BOLLARD	---	---
SIGN	---	---
FENCE	---	---
BLOCK WALL	---	---
MAJOR CONTOUR	---	---
MINOR CONTOUR	---	---
GRADE BREAK LINE	---	---
TREE & DRIP	---	---
CONTROL POINT	---	---
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	157.01 AC	13.34 AC
MATCH (E) GRADE ELEVATION	X	13.61 AC MATCH (E)
TRUNCATED DOMES	---	---
BUILDING	---	---

ABBREVIATIONS:

AB AGGREGATE BASE	FGTW FINISHED GROUND @ TOP OF WALL
AC ASPHALT CONCRETE	FH FIRE HYDRANT
ARV AIR RELEASE VALVE	FL FLOW LINE
BC BEGIN CURVE	FOC FACE OF CURB
BCR BEGIN CURVE RETURN	FP FINISH PAVEMENT
BLDG BUILDING	FS FIRE SPRINKLER
BOC BACK OF CURB	GB GRADE BREAK
BOW BACK-OF-WALK	GR GRATE ELEVATION
BVC BEGIN VERTICAL CURVE	GV GATE VALVE
BW BOTTOM OF WALL	GVV GROSS VEHICLE WEIGHT
CAB CABINET	HC HANDICAP
CONC CONCRETE	HCR HANDICAP RAMP
C&G CURB & GUTTER	HDP HIGH DENSITY POLYETHYLENE
CG&S CURB, GUTTER & SIDEWALK	HP HIGH POINT
CH CHORD	IRR IRRIGATION
C CENTERLINE	INV INVERT
CMP CORRUGATED METAL PIPE	I.E. INVERT ELEVATION
CR CURB RETURN	JP JOINT POLE
CTV CABLE TV	L LENGTH
DCDA DOUBLE CHECK DETECTOR ASSEMBLY	LF LINEAL FEET
DI DRAIN / DROP INLET	LIP LIP OF GUTTER
DIP DUCTILE IRON PIPE	LP LOW POINT
DS DOWN SPOUT	LT LEFT TURN OR LEFT
(E) EXISTING	MAX MAXIMUM
EC END CURVE	MH MAINTENANCE HOLE
ECR END CURB RETURN	MIN MINIMUM
EP EDGE OF PAVEMENT	NE NORTHEAST
ETW EDGE OF TRAVELED WAY	NW NORTHWEST
EVC END OF VERTICAL CURVE	OC ON CENTER
FDC FIRE DEPARTMENT CONNECTION	OH OVERHEAD
FF FINISH FLOOR	OH&E OVERHEAD TELEPHONE & ELECTRIC
FG FINISHED GROUND	OMP OPEN METAL PIPE
FGW FINISHED GROUND @ BOT. WALL	(P) PROPOSED
	PCC PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
	PG PROFILE GRADE
	PIV POST INDICATOR VALVE
	R PROPERTY LINE
	POC POINT OF CONNECTION
	PRC POINT OF REVERSE CURVE
	PT POINT OF TANGENCY
	PUE PUBLIC UTILITY EASEMENT
	PVI POINT OF VERTICAL INTERSECTION
	RC RELATIVE COMPACTION
	RCP REINFORCED CONCRETE PIPE
	ROW RIGHT-OF-WAY
	RT RIGHT TURN OR RIGHT
	RPPA REDUCED PRESSURE PRINCIPLE ASSEMBLY
	RW RETAINING WALL
	SDMH STORM DRAIN MANHOLE
	SD STORM DRAIN
	SE SOUTHEAST
	SS SANITARY SEWER
	SSCO SANITARY SEWER CLEAN OUT
	SSMH SANITARY SEWER MANHOLE
	SWCT SAWCUT
	SW SIDEWALK OR SOUTHWEST
	STA STATION
	TC TOP OF CURB
	TP TOP OF PAVEMENT
	TS TOP OF SIDEWALK
	TW TOP OF WALL
	UNO UNLESS NOTED OTHERWISE
	W WATER
	WV WATER VALVE
	WM WATER METER
	WWF WELDED WIRE FABRIC
	VCP VITRIFIED CLAY PIPE
	VIF VERIFY-IN-FIELD

SHEET INDEX: C1 PRELIMINARY SITE PLAN, C2 PRELIMINARY GRADING, DRAINAGE, AND PAVING PLAN, C3 PRELIMINARY WATER AND SANITARY SEWER PLAN, C4 PRELIMINARY STORMWATER QUALITY PLAN
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 PROPERTY OWNER / DEVELOPER: AU ENERGY LLC. SUNNY GOYAL. 41805 ALBRAE ST., FL 2. FREMONT, CA 94538
 ZONING FOR PARCEL: C-2 | GENERAL COMMERCIAL (CITY OF CAMPBELL)
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 APPROVED BY: _____ DATE: _____
 FIRE DEPARTMENT _____ DATE: _____
 APPROVED BY: _____ DATE: _____
 WATER AGENCY _____ DATE: _____
 APPROVED BY: _____ DATE: _____
 CITY ENGINEER _____ DATE: _____
 RFE ENGINEERING, INC. CIVIL ENGINEERS & PLANNERS • SURVEYORS
 2260 Douglas Blvd, Suite 160, Roseville, CA 95661
 Ph: 916-772-7800 Fax: 916-772-7804 www.RFEEngineering.com
 AU ENERGY, LLC. CONTACT: SUNNY GOYAL (510) 270-3411
 GAS STATION, STORE, CARWASH 570 E. HAMILTON AVENUE, CAMPBELL, CA 95008
 PRELIMINARY TITLE SHEET
 Sheet C1
 1 of 4
 4/21/2022

2: \2020 Projects\20137 570 E Hamilton Campbell\WORKING CAD\C2-PRELIM GRADING PLAN-20137.dwg Apr 21, 2022-03:54 pm



LEGEND:

AC DRIVE AISLE (T=) - AC / - CL2 AB		SPOT ELEVATION (ABBREVIATION)		13.34 FC
AC PARKING (T=) - AC / - CL2 AB		MATCH (E) GRADE ELEVATION		13.61 AC MATCH (E)
HEAVY DUTY PCC - PCC / - CL2 AB		INTERMEDIATE CONTOURS		25
LIGHT DUTY PCC - PCC / - CL2 AB		INDEX CONTOUR		XX"SD
LANDSCAPING SEE PLANS BY OTHERS		STORM DRAIN PIPE		
BIORETENTION PLANTERS		DRAINAGE INLET		
RETAINING WALL		STORM DRAIN MANHOLE		
BLOCK WALL		SURFACE FLOW / DRAINAGE FLOW		
TRUNCATED DOMES		OVERLAND RELEASE		
GRADE BREAK LINE	GB			
FINISHED FLOOR ELEVATION	FF: 123.00			

- CONSTRUCTION KEYNOTES:**
- CONSTRUCT ON-SITE CONCRETE BARRIER CURB.
 - CONSTRUCT ON-SITE CONCRETE CURB & GUTTER.
 - CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK.
 - CONSTRUCT CONCRETE SIDEWALK.
 - CONSTRUCT REINFORCED CONCRETE VALLEY GUTTER.
 - CONSTRUCT 2' CURB OPENING.
 - RECONSTRUCT ACCESSIBLE RAMP INCLUDING TRUNCATED DOMES.
 - PLACE CAST-IN-PLACE TRUNCATED DOMES.
 - CONSTRUCT DRAINAGE SWALE.
 - CONSTRUCT COVERED TRASH ENCLOSURE WITH CONCRETE APRON CONNECTED TO THE SANITARY SEWER. SEE C3 FOR MORE DETAILS.
 - CONSTRUCT OFFSITE CURB, GUTTER, AND SIDEWALK PER CITY OF CAMPBELL STDS.
 - CONSTRUCT OFF-SITE DRIVEWAY PER CITY OF CAMPBELL STDS.

- DRAINAGE KEYNOTES:**
- (D1) OVERFLOW INLET.
 - (D2) (P) SDMH TO CONNECT TO (E) STORM DRAIN.
 - (D3) CONSTRUCT BIORETENTION PLANTER.
 - (D4) INSTALL SPLASH BLOCK / RIP RAP.
 - (D5) INSTALL BUBBLE UP EMITTER FROM GAS STATION ROOFTOP.
 - (D6) (E) DRAINAGE INLET TO REMAIN.
- NOTE: ALL STORM DRAIN MATERIAL TO BE SDR-35 PVC OR APPROVED EQUIVALENT.

- GENERAL GRADING AND DRAINAGE NOTES:**
- ALL VALVES, MANHOLES, CLEANOUTS, D/S, PULLBOXES, ETC. WITHIN LIMITS OF CONSTRUCTION TO BE ADJUSTED TO FINISH GRADE AS NEEDED.
 - VERIFY ALL UTILITY LOCATIONS, PIPE ELEVATIONS, ETC. PRIOR TO CONSTRUCTION.
 - THE ACCESSIBLE PATH OF TRAVEL SHALL SLOPE AT 5% MAX IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS-SLOPE, PER CBC 11B-403 (UNLESS RAMPS ARE PROPOSED), WHERE THE ACCESSIBLE ROUTE MAKES A 90 DEGREE TURN, THE INTERMEDIATE CORNER SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION. RAMPS SHALL NOT BE GREATER THAN 8.33%.
 - ALL ADA ACCESSIBLE PARKING SPACES SHALL HAVE SLOPES LESS THAN 2% IN ANY DIRECTION.
 - SITE LIGHT LOCATIONS SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS WITH SITE ELECTRICAL PLANS.

10 0 10 20
1 INCH = 10 FEET

811
Know what's below.
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or (800) 227-2600

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AU ENERGY, LLC.
CONTACT: SUNNY GOYAL
(510) 270-3411

GAS STATION, STORE, CARWASH
570 E. HAMILTON AVENUE,
CAMPBELL, CA 95008
**PRELIMINARY GRADING,
DRAINAGE, & PAVING PLAN**

Sheet
C2
2 of 4
4/21/2022

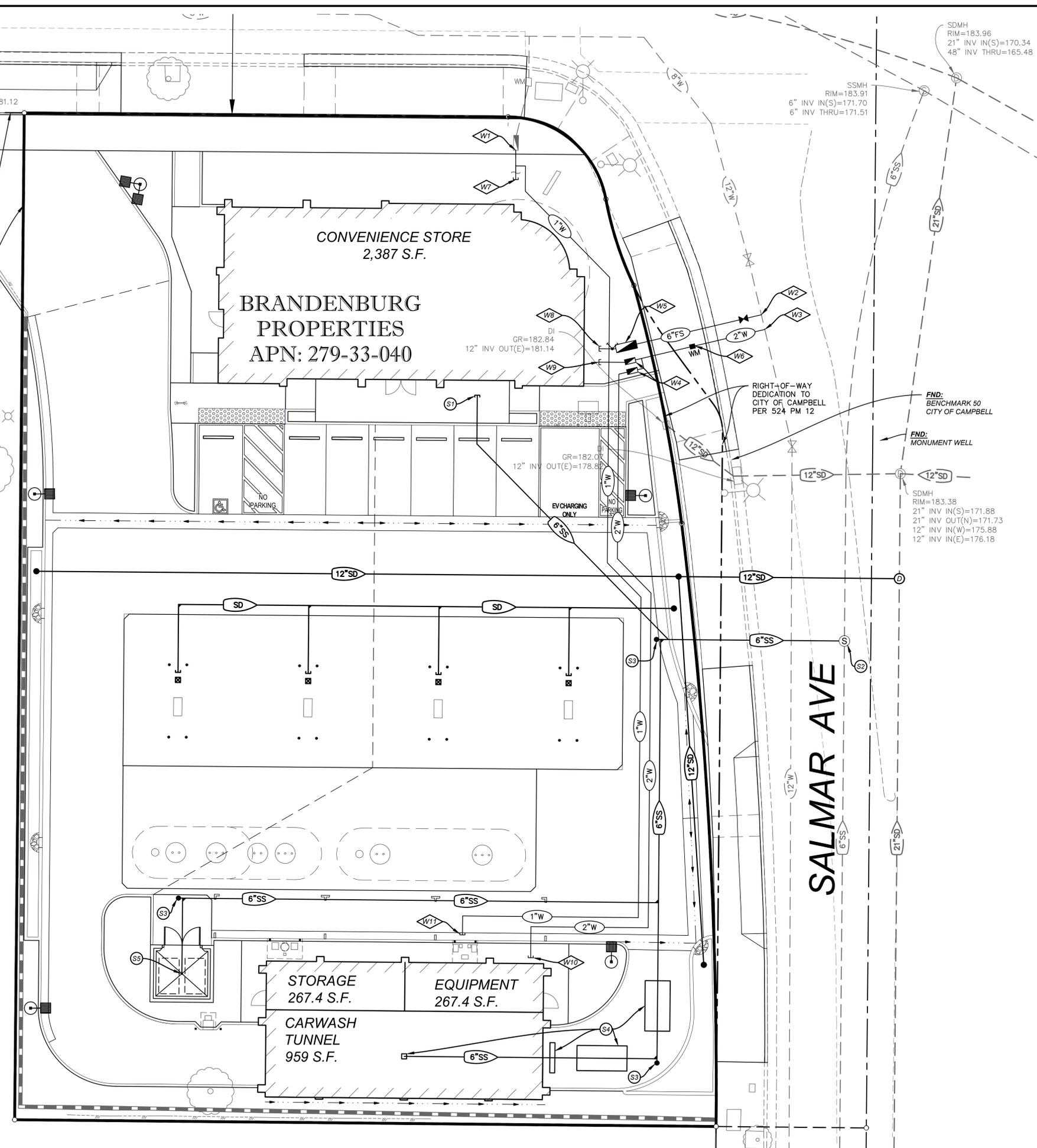
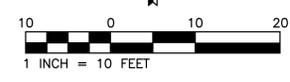
RFE PROJECT 20137 - SHELL GAS STATION: 570 E. HAMILTON AVENUE, CAMPBELL, CA 95008

2: \2020 Projects\20137 570 E Hamilton Campbell\WORKING CAD\C3-PRELIM UTILITY PLAN-20137.dwg Apr 21, 2022 - 03:54 pm

RG-HAMILTON LP
279-33-052



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LEGEND	EXISTING	PROPOSED
SANITARY SEWER	XX"SS	XX"SS
WATER	XX"W	XX"W
FIRE SERVICE	XX"FS	XX"FS
STORM DRAIN	XX"SD	XX"SD
SSMH	SSMH	SSMH
SSCO	SSCO	SSCO
FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT
PIV	PIV	PIV
FDC	FDC	FDC
WATER VALVE	WATER VALVE	WATER VALVE
WATER METER	WATER METER	WATER METER
CONCENTRIC REDUCER	CONCENTRIC REDUCER	CONCENTRIC REDUCER
REDUCED PRINCIPAL PRESSURE ASSEMBLY	RP	RP
REDUCED PRESSURE BACKFLOW PREVENTER	RP	RP
STREET LIGHT	STREET LIGHT	STREET LIGHT
FITTINGS	90° TEE 45° 22.5° 11.25°	90° TEE 45° 22.5° 11.25°

SANITARY SEWER CONSTRUCTION KEYNOTES:

- (S1) SANITARY SEWER POINT OF CONNECTION. PLACE TWO-WAY CLEANOUT PER LATEST UPC. CONTRACTOR TO VERIFY WITH PLUMBING AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- (S2) CONNECT (P) 6" SEWER LATERAL TO (E) SEWER MAIN WITH (P) SSMH. VERIFY SIZE, LOCATION, AND INVERT OF PROPOSED PIPE CONNECTION PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. MINIMUM SLOPE TO THE BUILDING TO BE 2.0% MIN.
- (S3) PLACE CLEANOUT-TO-GRADE (COTG) PER CITY OF CAMPBELL DTL.S.
- (S4) CARWASH SANITARY SEWER SYSTEM, INCLUDING TRENCH DRAINS, AREA DRAIN, SAND/OIL SEPARATOR, CLARIFIER, AND SAMPLING STATION TO BE DESIGNED BY OTHERS.
- (S5) TRASH ENCLOSURE DRAIN WITH TRAP. DRAIN TO SANITARY SEWER.

WATER CONSTRUCTION KEYNOTES:

- (W1) CONNECT TO EXISTING 1.5" WATER SERVICE FOR IRRIGATION AND AIR/WATER STATION.
- (W2) 12"x12"x6" TEE INTO EXISTING WATER MAIN FOR FIRE SERVICE.
- (W3) TAP INTO EXISTING 12" WATER MAIN FOR C-STORE DOMESTIC AND CAR WASH WATER SERVICES.
- (W4) INSTALL 2" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY FOR DOMESTIC WATER SERVICE.
- (W5) INSTALL REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY FOR FIRE SERVICE
- (W6) INSTALL WATER METER
- (W7) POC FOR IRRIGATION SERVICE - SEE LANDSCAPING PLANS FOR CONTINUATION.
- (W8) POC FOR FIRE SERVICE CONNECTION - SEE FIRE SPRINKLER PLANS BY OTHERS FOR CONTINUATION.
- (W9) POC FOR DOMESTIC CONVENIENCE STORE WATER SERVICE - SEE PLUMBING PLANS FOR CONTINUATION.
- (W10) POC FOR CAR WASH SERVICE - SEE BUILDING PLANS FOR CONTINUATION.
- (W11) POC FOR WATER/AIR STATION SERVICE - SEE LANDSCAPING PLANS FOR CONTINUATION.

WATER NOTES:
1.) WATER PIPE SIZES 4" - 12" SHALL BE C-900 PVC.
2.) WATER PIPE SIZES <4" SHALL BE SCHEDULE 80 PIPE.

UTILITY GENERAL NOTES:

- CONTRACTOR TO VERIFY LOCATIONS OF UTILITY POINTS OF CONNECTION AT BUILDING WITH THE BUILDING PLANS PRIOR TO CONSTRUCTION.
- ALL SEWER MATERIALS AND INSTALLATION OF PUBLIC SEWER FACILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS.
- THE CONTRACTOR SHALL POTHOLE AND VERIFY THE DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE INSTALLATION OF PROPOSED UTILITIES. ANY UNANTICIPATED CONFLICTS SHALL BE REDESIGNED PRIOR TO BEGINNING WORK.
- ALL TRENCHING FOR WATER AND SEWER UTILITIES SHALL COMPLY WITH CITY. TRENCH RESTORATION CONSTRUCTED PER CITY SPECIFICATIONS.
- WATERLINES TO BE INSTALLED WITH 36" MIN. COVER.
- SITE LIGHT LOCATIONS SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS WITH SITE ELECTRICAL PLANS.
- WATERLINES TO CROSS ABOVE SANITARY SEWER OR STORM DRAIN PIPES WITH MIN. 12" CLEAR FROM OUTER DIAMETER OF PIPE.
- ALL WATER MATERIALS AND INSTALLATION OF PUBLIC WATER FACILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS.

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PROFESSIONAL ENGINEER
No. C 80635
PRELIMINARY NOT FOR CONSTRUCTION OF CALL

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Ph: 916-772-7800 Fax: 916-772-7804
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(510) 270-3411

GAS STATION, STORE, CARWASH
570 E. HAMILTON AVENUE,
CAMPBELL, CA 95008
PRELIM. WATER & SANITARY SEWER PLAN

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4/21/2022

RFE PROJECT 20137 - SHELL GAS STATION: 570 E. HAMILTON AVENUE, CAMPBELL, CA 95008

BMP CALCULATION SUMMARIES FOR EACH BIORETENTION AREA

DMA	BMP SELECTED	IMPERVIOUS SURFACE (SF)	PERVIOUS SURFACE (SF)	TREATMENT AREA (SF)	TREATED RUNOFF VOLUME (CF)	PONDING RUNOFF VOLUME (CF)	PONDING DEPTH (IN)
DMA-1	BIORETENTION AREA	6077	851	164	166	83	6
DMA-2	BIORETENTION AREA	8524	448	229	231	115	6
DMA-3	BIORETENTION AREA	5921	642	160	162	80	6

PRE-CONSTRUCTION AREAS (SF)

SHED	IMPERVIOUS	PERVIOUS	TOTAL	% IMPERVIOUS
OVERALL	22,071	4,196	26,267	84.03%

POST-CONSTRUCTION AREAS (SF)

SHED	IMPERVIOUS	PERVIOUS	TOTAL	% IMPERVIOUS
OVERALL	22,722	3,545	26,267	86.50%

SOURCE CONTROL MEASURES

- MARK ON-SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
- PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER (OR PROHIBIT).
- RETAIN EXISTING VEGETATION AS PRACTICABLE.
- LANDSCAPING:
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- REFUSE AREAS:
 - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- MISCELLANEOUS DRAIN OR WASH WATER:
 - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
 - ROOF DRAINS FROM EQUIPMENT DRAIN TO LANDSCAPED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.

Maintenance Task	Frequency
Remove obstructions, debris, and trash from bio-retention area and dispose of properly.	Monthly, or as needed after storm events
Inspect bio-retention area for ponded water. If ponded water does not drain within 2-3 days, till and replace the surface soil and replant.	Monthly, or as needed after storm events
Inspect inlets for channels, soil exposure or other evidence of erosion. Clear obstructions and remove sediment.	Monthly, or as needed after storm events
Remove and replace all dead and diseased vegetation.	Twice a year
Maintain vegetation and the irrigation system. Prune and weed to keep bio-retention area neat and orderly in appearance. Remove and/or replace any dead plants.	Twice a year
Check that mulch is at appropriate depth (3-inches per soil specifications) and replenish as necessary before wet season begins.	Monthly
Inspect the energy dissipation at the inlet to ensure it is functioning adequately, and that there is no scour of the surface mulch.	Annually, before the wet season begins

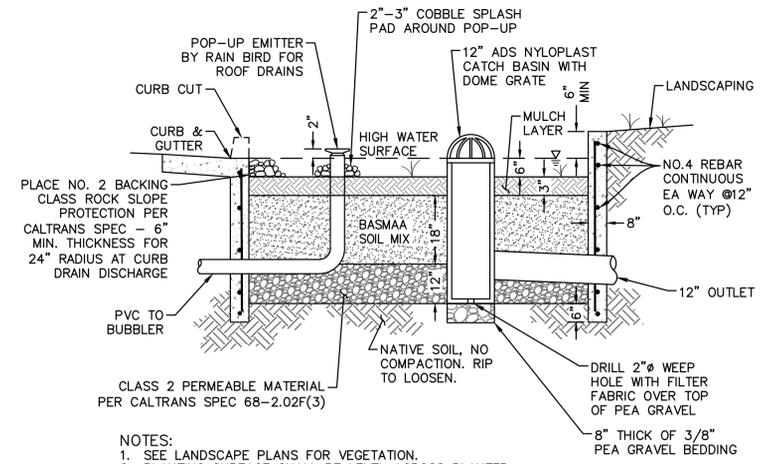
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DRAINAGE AREA DESIGNATIONS AND AREA: **DMA-1 100 SF**

DRAINAGE AREA BOUNDARY: [Dashed Blue Line]

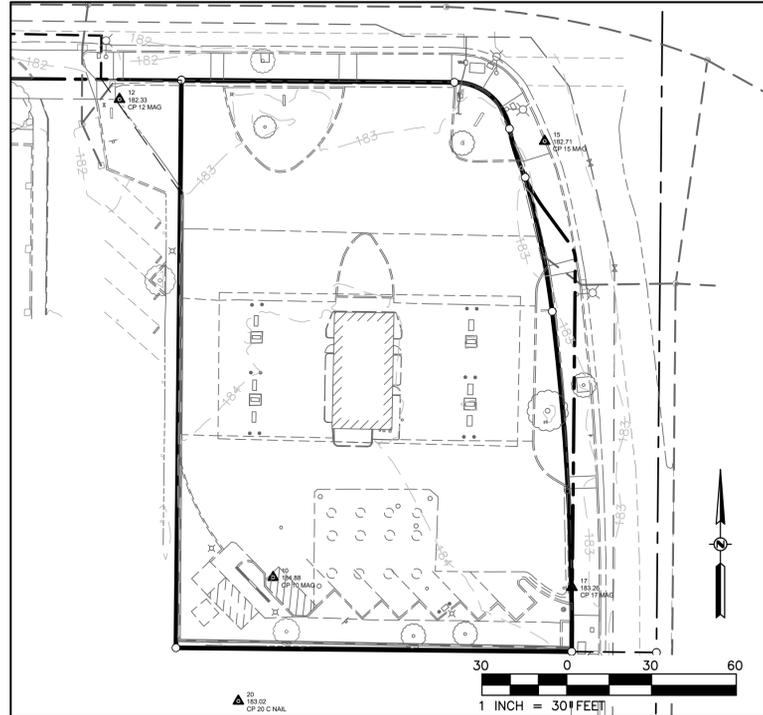
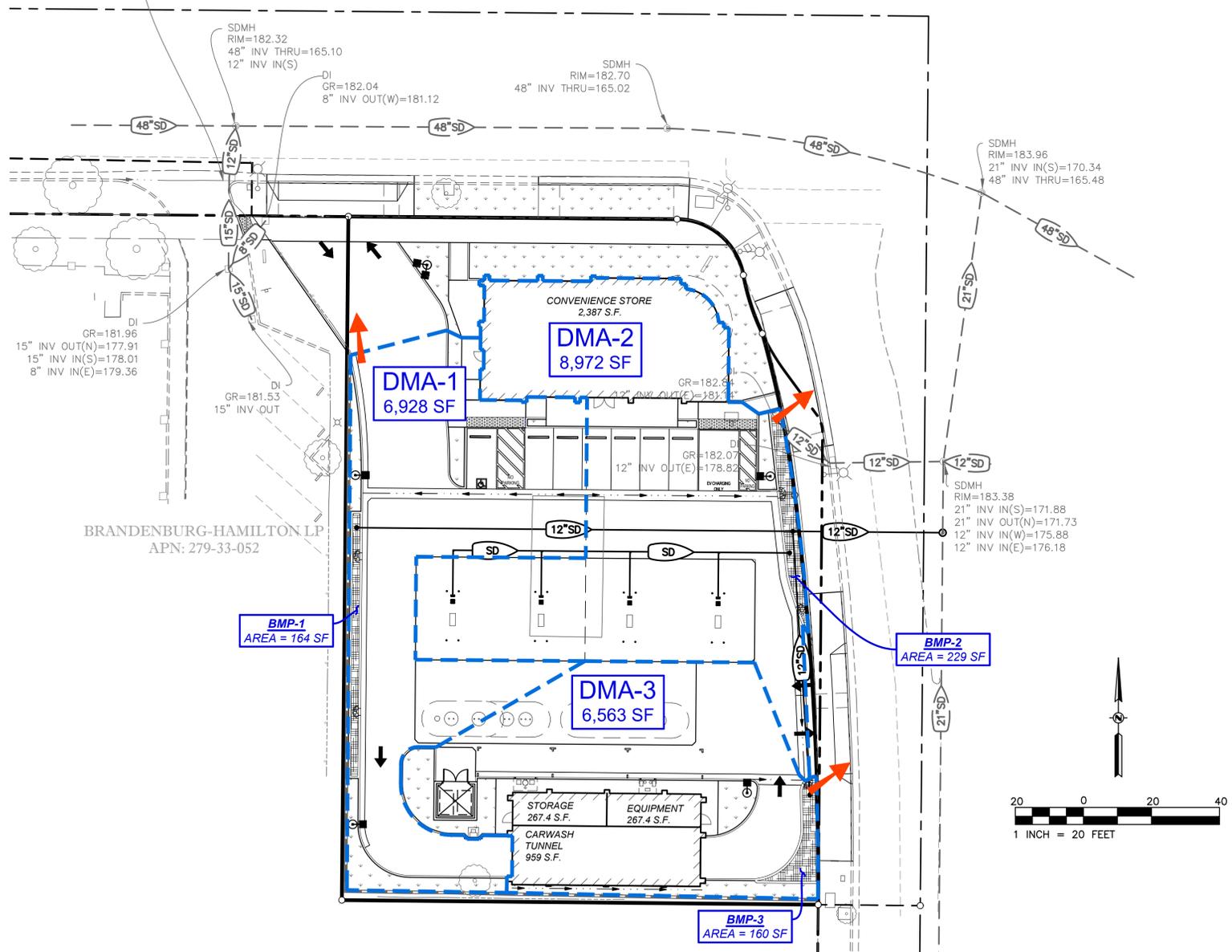
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BEST MANAGEMENT PRACTICE (BMP) ID AND AREA: **BMP AREA = 100 SF**



- NOTES:**
- SEE LANDSCAPE PLANS FOR VEGETATION.
 - PLANTING SURFACE SHALL BE LEVEL ACROSS PLANTER.
 - SEE PLAN FOR LOCATIONS OF UNDERDRAIN PIPE, OVERFLOW DRAIN, AND OUTLET STRUCTURE.
 - SEE SANTA CLARA C.3 STORMWATER HANDBOOK, APPENDIX C, FOR SOIL MIX SPECIFICATIONS.

BIO-RETENTION PLANTER PROFILE
NOT TO SCALE



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REVISION NO. DATE BY APPROVED

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REGISTERED PROFESSIONAL ENGINEER
No. C 80625
PRELIMINARY
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07 CALIF.

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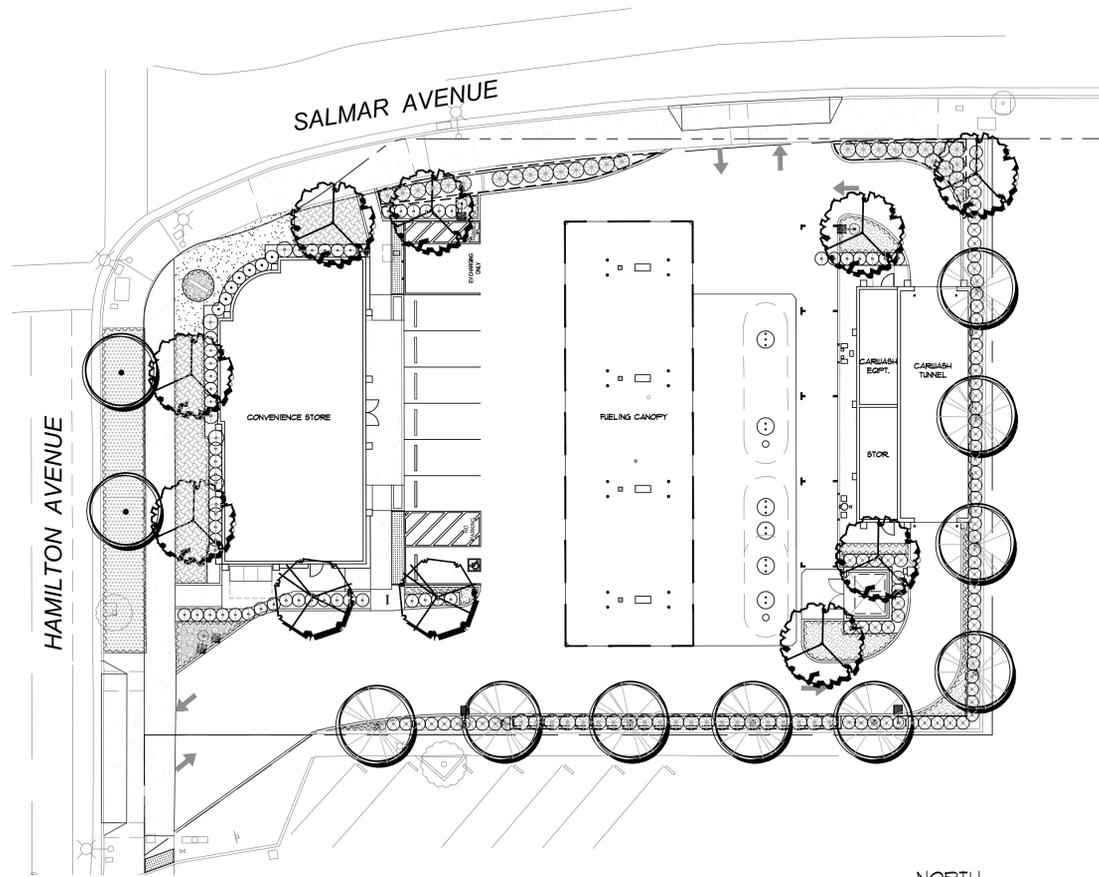
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CONTACT: SUNNY GOYAL
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GAS STATION STORE CARWASH
570 E. HAMILTON AVENUE,
CAMPBELL, CA 95008
PRELIMINARY STORMWATER CONTROL PLAN

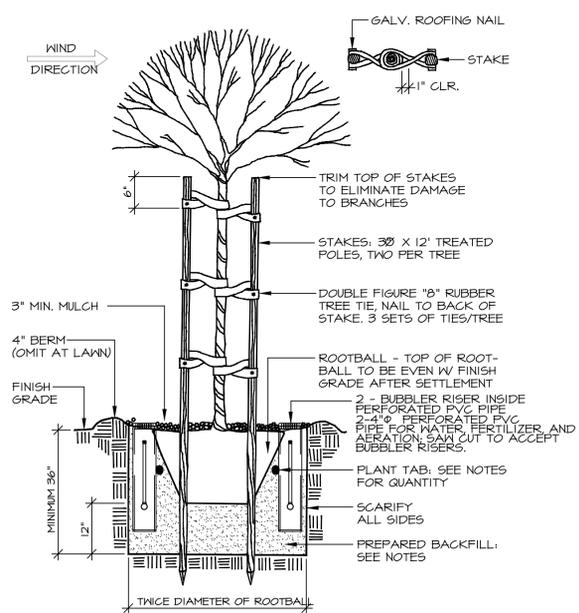
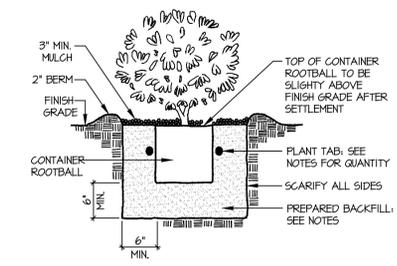
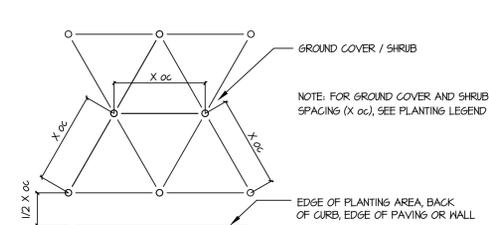
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RFE PROJECT 20137 - SHELL GAS STATION: 570 E. HAMILTON AVENUE, CAMPBELL, CA 95008

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1 LANDSCAPE PLAN
1" = 20'-0"



Planting Details
NOT TO SCALE

Maximum Applied Water Allowance						
Eto	X	T	X	Fltg SF	Gal./SF	MAWA
45.3	0.45	4,790	0.62			60,599
Estimated Total Water Use						
Plant Water Use	(Eto)(0.62)	X	(FF X HA)	E	ETWU	
Low	29.1		1,600		44,927	
Medium	29.1		349		9,799	
High	29.1		0		0	
					Total	54,726
Proposed Landscape Water Use						
Plant Type	H2O Use	Fltg SF	Gallons	% of Land.		
Low	0.30	4,319	44,927	82%		
Medium	0.60	471	9,799	18%		
High	0.90	0	0	0%		
			Totals		4,790	54,726 100%



Ciarrella associates
200 Clock Tower Place
Suite D100-A
Campbell, CA 95021
Landscape Architecture
Urban Design
Tel 831.624.6100
Tel 650.326.6100
ca@ciardella-assoc.com

PLANTING LEGEND

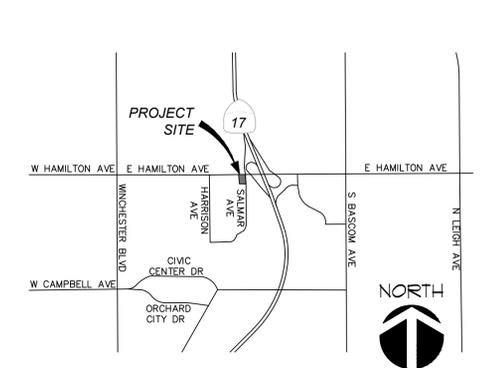
Symbol	BOTANICAL NAME	COMMON NAME	H2O	SIZE
Tree				
	Tilia tomentosa	Silver Linden	L	15 Gallon
	Lagerstroemia indica	Muskogee Muskogee Grape Myrtle	L	15 Gallon
	Laurus nobilis	Sweet Bay	L	15 Gallon
		To be determined by City of Campbell		
Shrubs and Vines				
	Pittosporum tobira 'Variegatum'	Variegated Japanese	L	5 Gallon
	Xylosma congestum	Xylosma	L	5 Gallon
	Euonymus japonicus 'Grandifolius'	Japanese Euonymus	L	5 Gallon
	Dodonea viscosa 'Purplea'	Purple Hopsseed Bush	L	5 Gallon
	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	L	5 Gallon
	Chondropetalum elephantinum	Large Cape Rush	L	5 Gallon
	Pandorea jasminoides	Pink Boxer Vine	L	1 Gallon
Ground Cover				
	ROS Rosmarinus officinalis 'Hunting Carpet'	Roemary	L	1 Gallon @ 30" oc
	FLR Tagetes erecta 'Moonstruck'	Moonstruck Marigold	M	4" Pots @ 14" oc
	MYO Myoporum parvifolium	Myoporum	L	1 Gallon @ 30" oc
	TUR Delta Blue Grass Sod	Native Mow Free Sod	M	Sod
CAM To be determined by City of Campbell				



PLANTING NOTES

- All trees are to be staked as shown in the staking diagram per city requirement.
- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch. Within the bioswale, a 3" layer of shredded bark shall be installed.
- All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants remain are damaged during construction, the plants shall be replaced with the same species as size as those damaged.
- All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
- Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
- All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
- HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
- Landscape shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
- CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.
- Prior to the planting of any materials, compacted soils shall be transformed to a friable condition. On engineered slopes, only amended planting holes need meet this requirement.
- At Permit Phase a Soil analysis Report as designated by the city shall be required. Soil amendments shall be incorporated according to recommendations of the soil report and what is appropriate for the plants selected.
- All landscape shall be automatically irrigated using state of the art irrigation system compliant with water efficient standards.

VICINITY MAP



M I Architects
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**SHELL GAS STATION
CONVENIENCE STORE & CARWASH
570 E. HAMILTON AVENUE
CAMPBELL, CA**

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NO.	DATE	DESCRIPTION

LANDSCAPE PLAN

PROJECT # 20-50120
DRAWN: rcc CHECKED: rc
SCALE: AS NOTED DATE: 10-30-19

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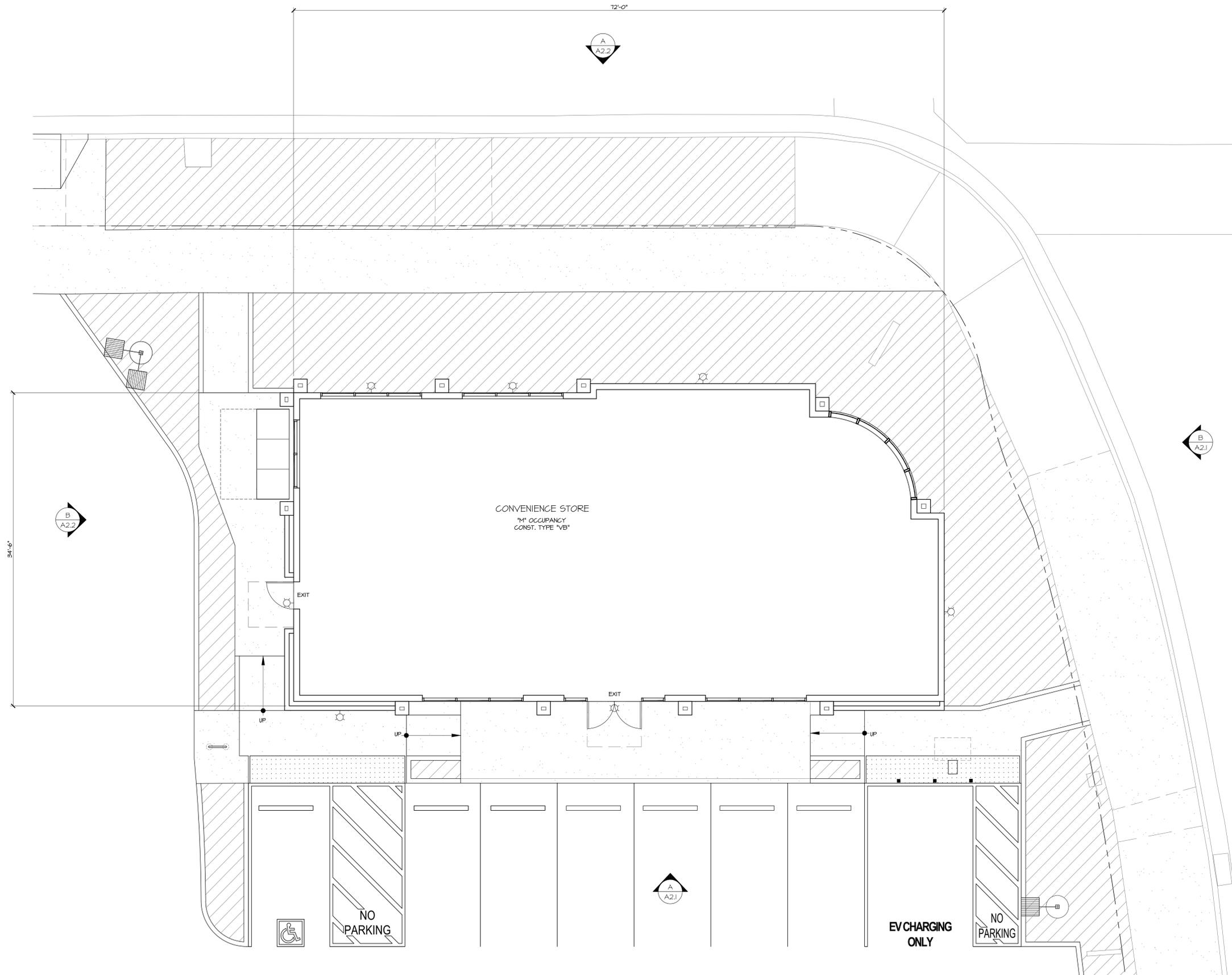


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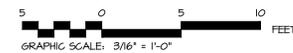
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1 CONVENIENCE STORE FLOOR PLAN
3/16" = 1'-0"



- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION

CONVENIENCE STORE
FLOOR PLAN

PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

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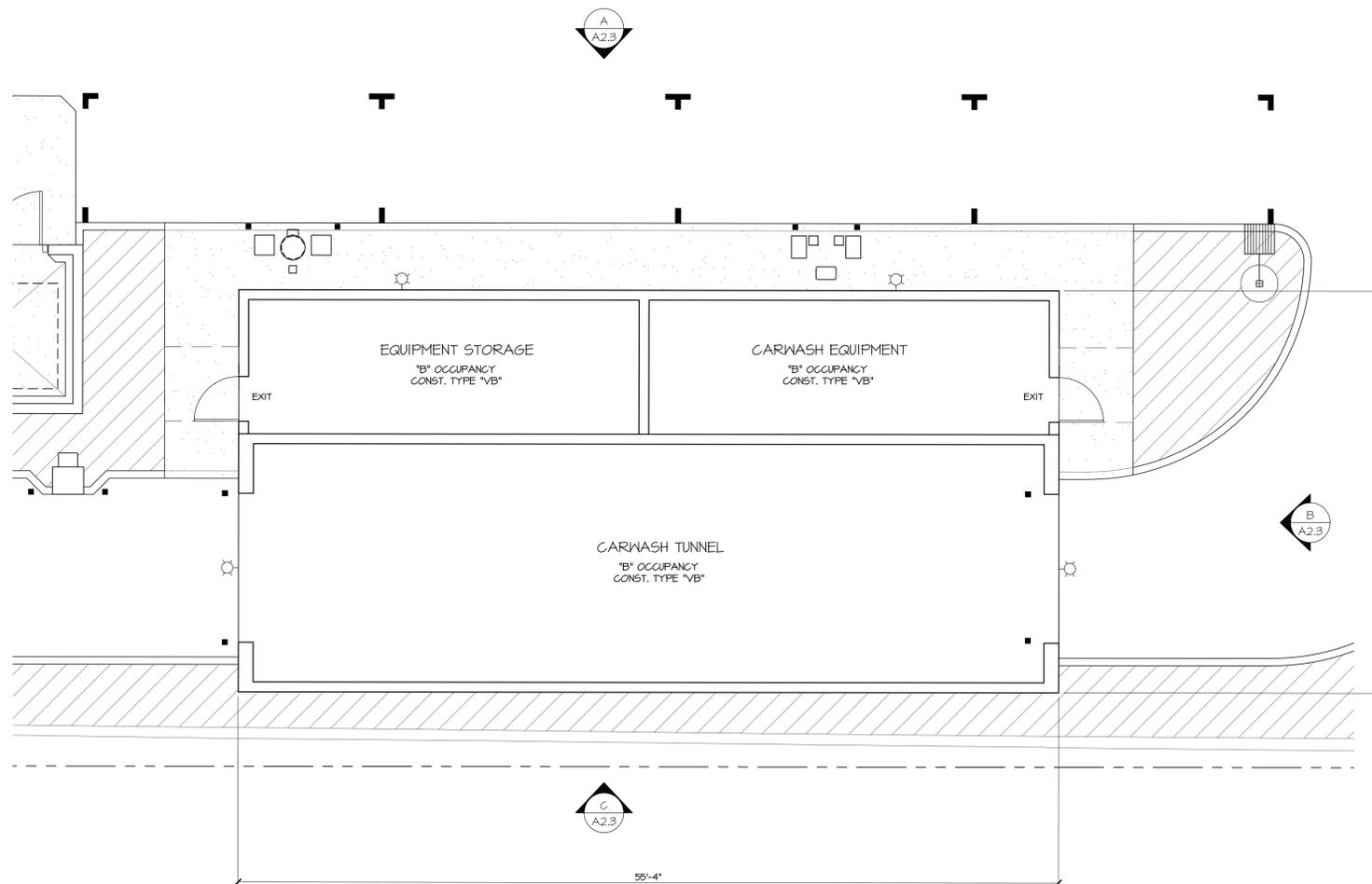
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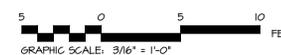
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1 CARWASH / EQUIPMENT FLOOR PLAN
3/16" = 1'-0"



- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION

CARWASH / EQUIPMENT FLOOR PLAN

PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

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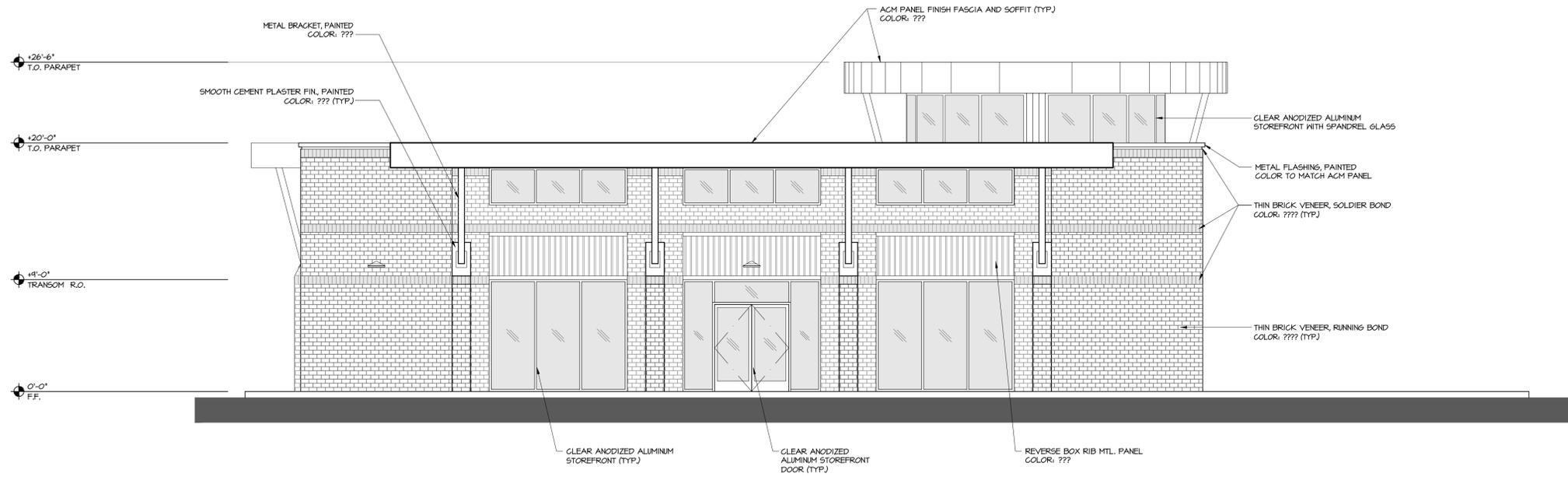


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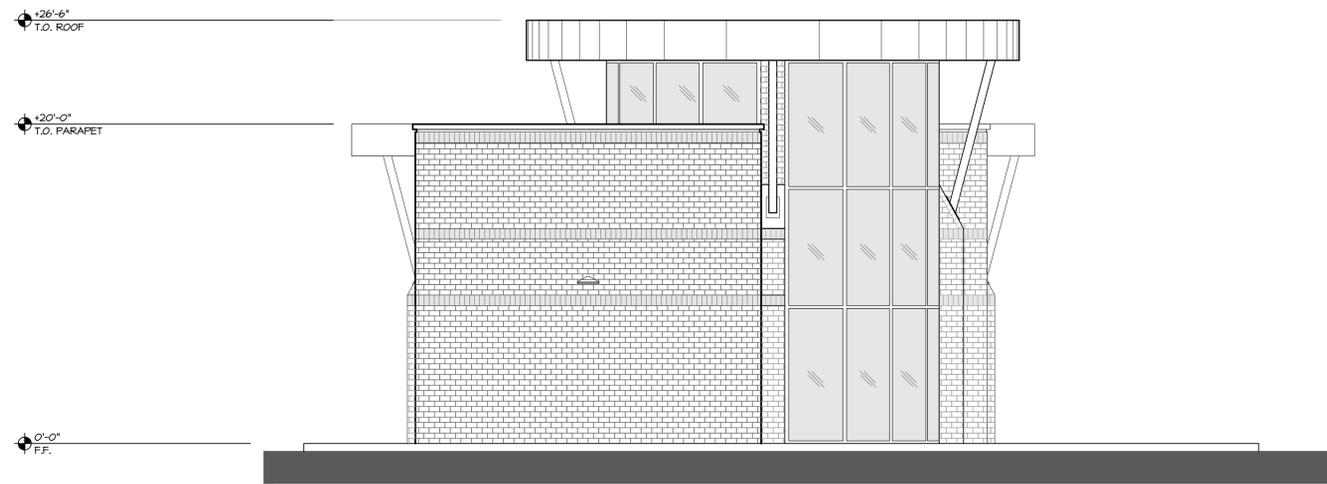
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CAMPBELL, CA

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A SOUTH ELEVATION
3/16" = 1'-0"



B EAST ELEVATION
3/16" = 1'-0"

COLOR & MATERIAL NOTES

- "SUTTER GOLD" BRICK VENEER: H.C. MUDDOX, THIN BRICK, STANDARD. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- RIBBED METAL PANEL: AEP SPAN, BOX RIB WALL, 26 GA., COLOR, SRI:41 "OLD TOWN GRAY"

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
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EXTERIOR ELEVATIONS

PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MI
SCALE: AS NOTED DATE: 06-XX-21

A2.1

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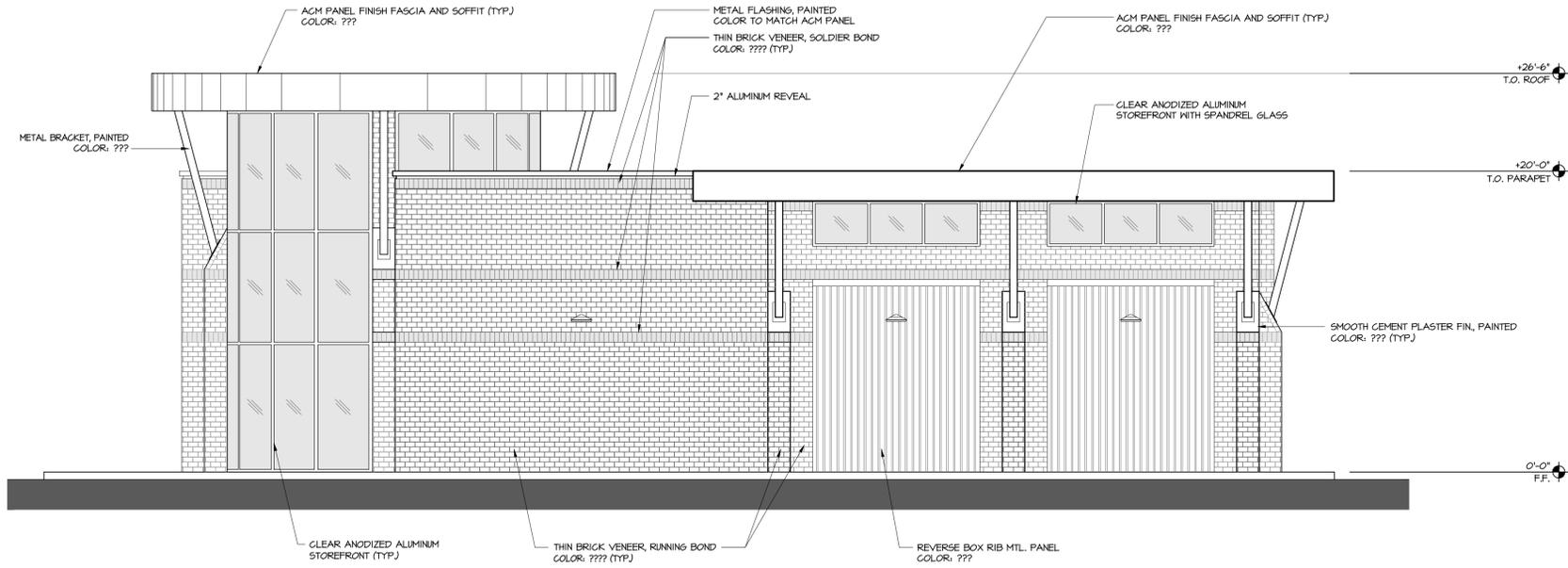


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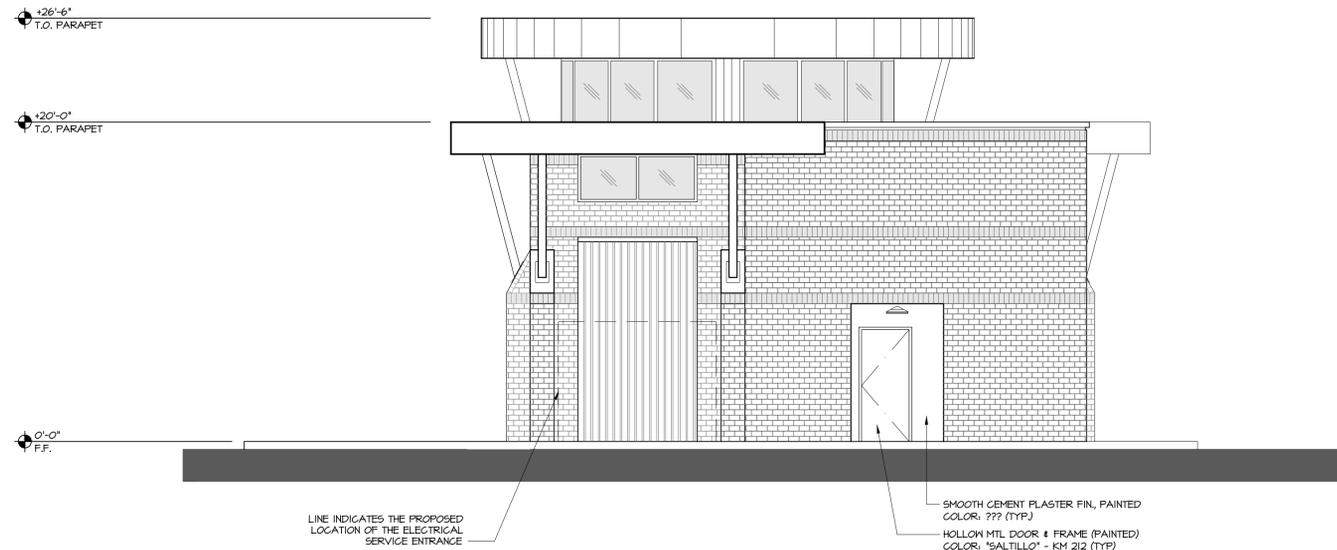
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A NORTH ELEVATION
3/16" = 1'-0"



B WEST ELEVATION
3/16" = 1'-0"

COLOR & MATERIAL NOTES

- *"SUTTER GOLD" BRICK VENEER: H.C. MUDDOX, THIN BRICK, STANDARD. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- *RIBBED METAL PANEL: AEP SPAN, BOX RIB WALL, 26 GA., COLOR, SRI:41 "OLD TOWN GRAY"

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
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△		

EXTERIOR ELEVATIONS

PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

A2.2

SHEET OF



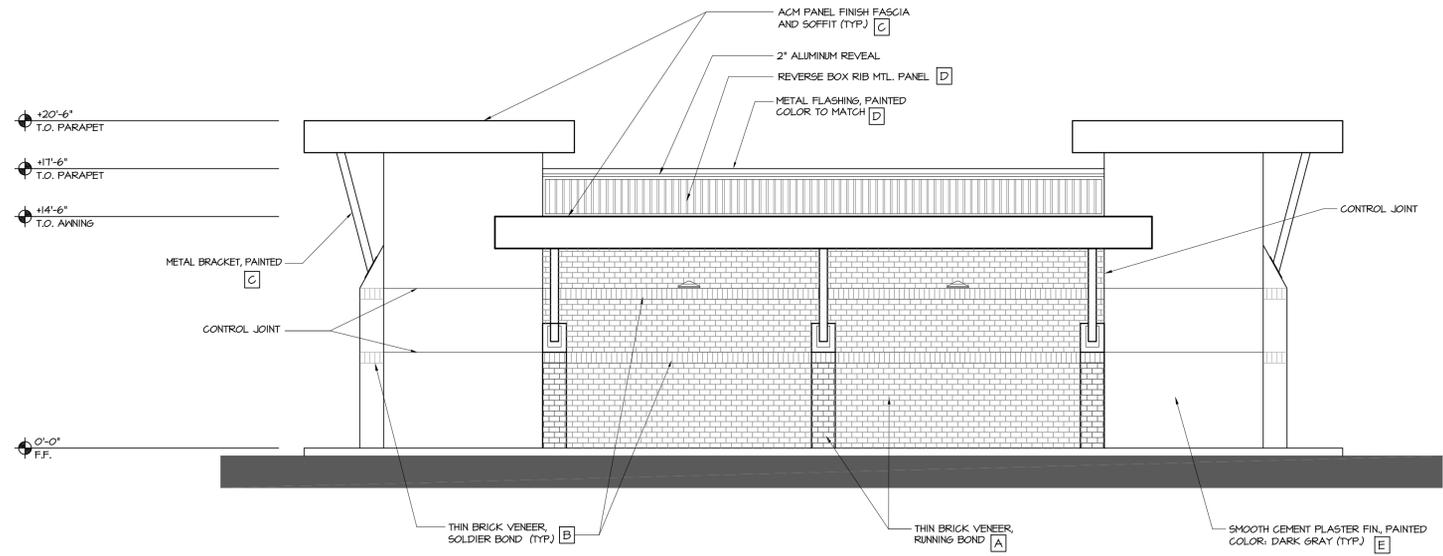
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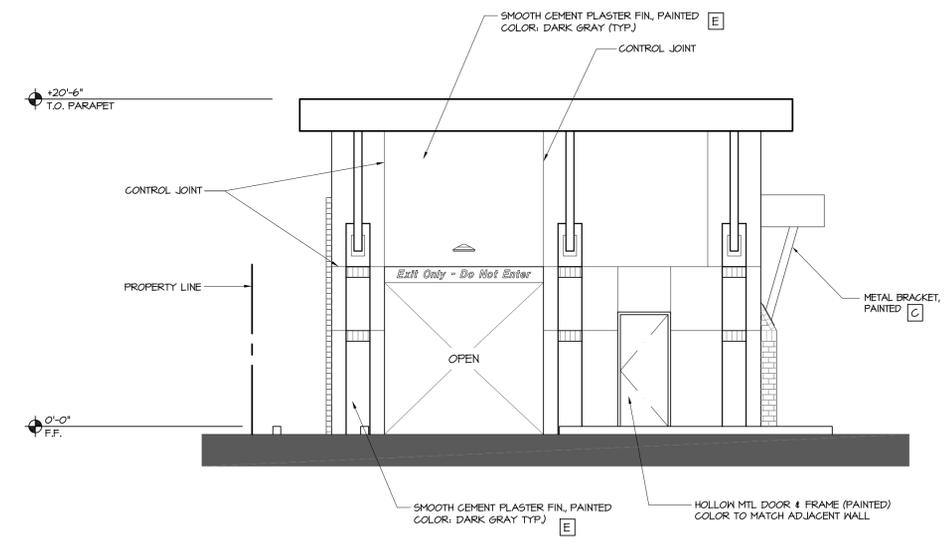
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A NORTH ELEVATION
3/16" = 1'-0"



B EAST ELEVATION
3/16" = 1'-0"

COLOR & MATERIAL NOTES

- A SANTA CRUZ TOWN SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK. INSTALLED PER MANUFACTURER REQUIREMENTS.
- B SEPIA, COMMERCIAL SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK. INSTALLED PER MANUFACTURER REQUIREMENTS.
- C ACM FASCIA & METAL BRACKET, PAINTED, COLOR: 'REGAL WHITE' BY AEP SPAN.
- D METAL PANEL, AEP SPAN, REVERSE BOX RIB COLOR: 'TINCLUME PLUS', 24 GA, 581 65, INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- E 'STEEL WOOL' BM - 2121-20, BENJAMIN MOORE SMOOTH CEMENT PLASTER FINISH, PAINTED

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION

CARWASH
EXTERIOR ELEVATIONS
PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MI
SCALE: AS NOTED DATE: 06-XX-21

A2.3

SHEET OF

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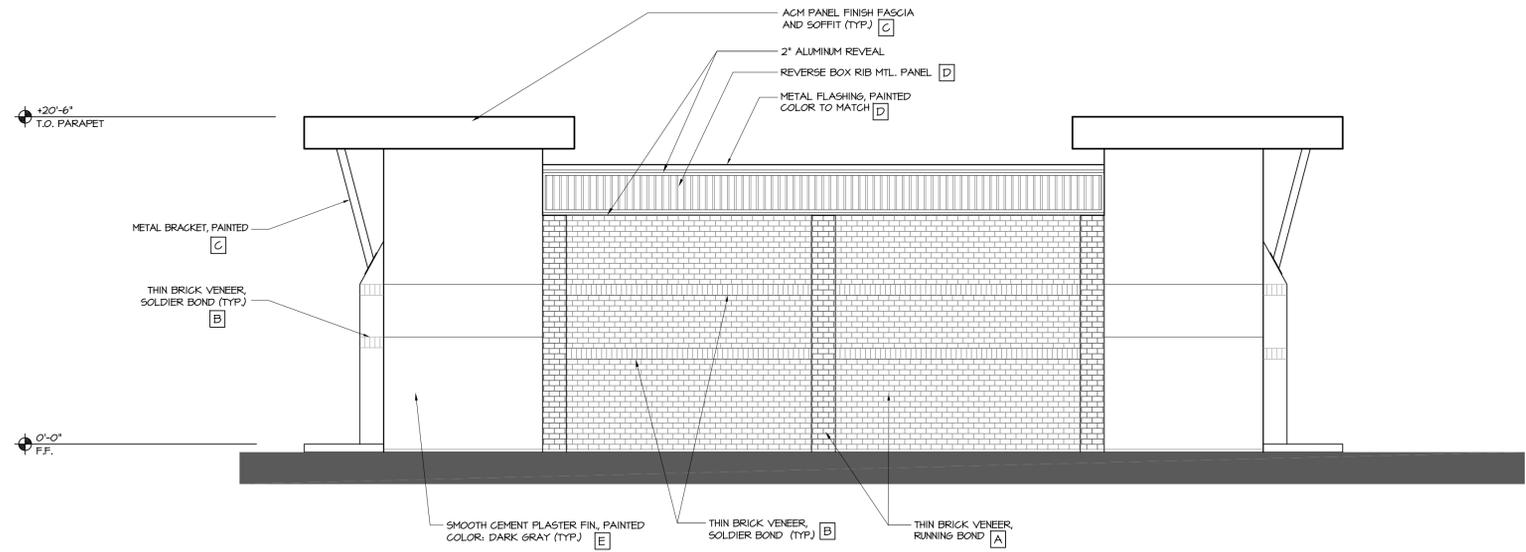
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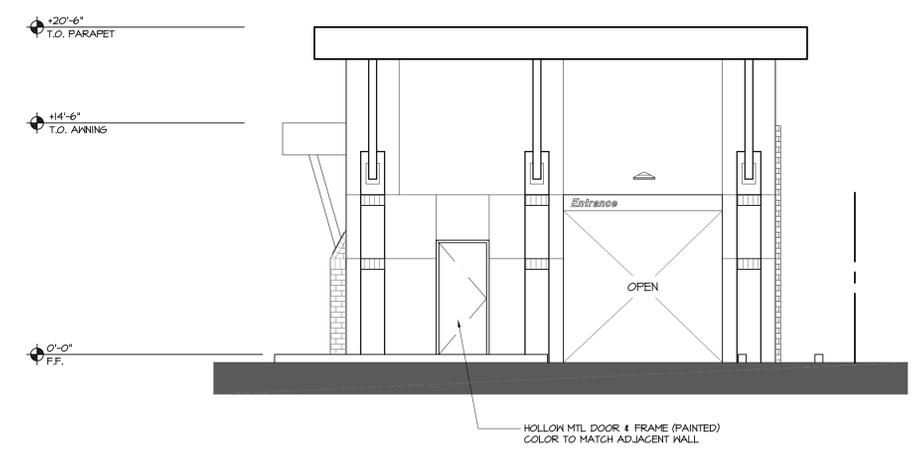
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A SOUTH ELEVATION
3/16" = 1'-0"



B WEST ELEVATION
3/16" = 1'-0"

COLOR & MATERIAL NOTES

- A SANTA CRUZ TOWN SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK, INSTALLED PER MANUFACTURER REQUIREMENTS.
- B SEPIA, COMMERCIAL SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK, INSTALLED PER MANUFACTURER REQUIREMENTS.
- C ACM FASCIA & METAL BRACKET, PAINTED, COLOR: 'REGAL WHITE' BY AEP SPAN.
- D METAL PANEL, AEP SPAN, REVERSE BOX RIB COLOR: 'ZINCALUME PLUS', 24 GA, 561 65, INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- E 'STEEL WOOL' BM - 2121-20, BENJAMIN MOORE SMOOTH CEMENT PLASTER FINISH, PAINTED

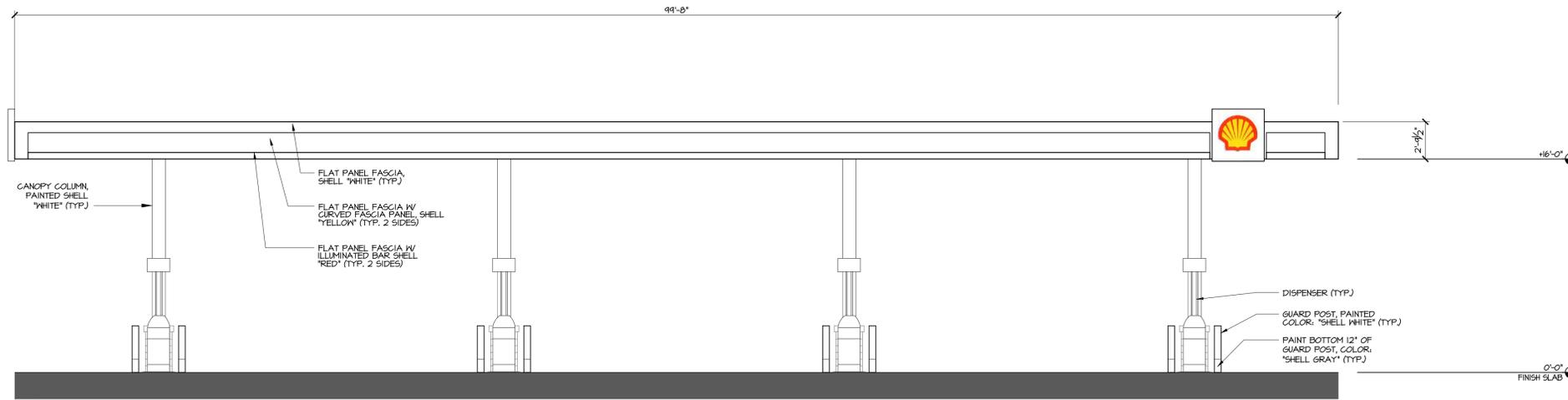
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- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION

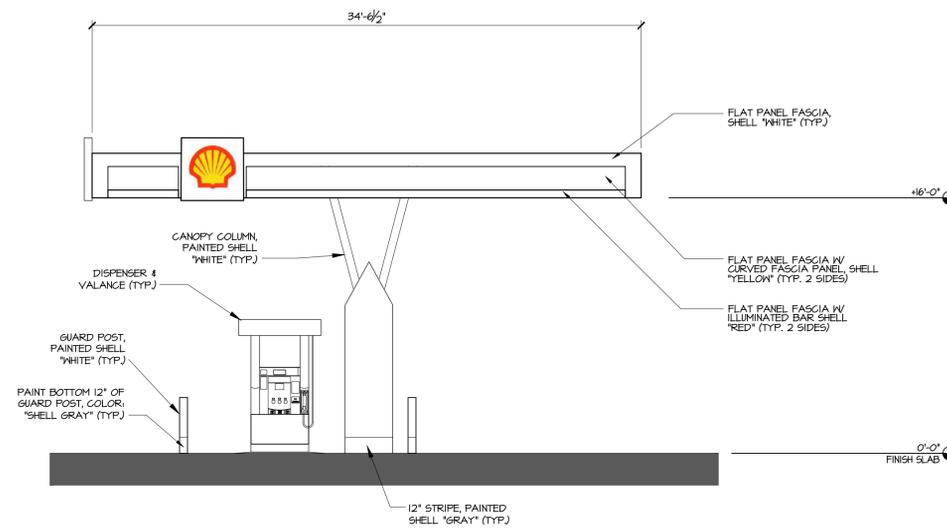
CARWASH
EXTERIOR ELEVATIONS
PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MI
SCALE: AS NOTED DATE: 06-XX-21

A2.4

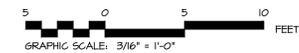
SHEET OF



A NORTH ELEVATION
 3/16" = 1'-0"



B EAST ELEVATION
 3/16" = 1'-0"



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 CONVENIENCE STORE & CARWASH
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- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION

FUELING CANOPY ELEVATIONS
 PROJECT #: 20-50120
 DRAWN: EMQ CHECKED: MII
 SCALE: AS NOTED DATE: 06-XX-21

CA1