



**CITY OF CAMPBELL**  
Community Development Department

**COURTESY NOTICE OF NEW PLANNING APPLICATION**

April 21, 2022

Dear Campbell Resident,

The following provides a brief description of a proposed project in your neighborhood. As a courtesy notice, this letter is intended to provide members of the public an early opportunity to become engaged in the planning process. If you should have any questions about the project, the contact information of the Project Planner has been provided below. Alternatively, you may visit the Planning Division to view the project plans. Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

**Project Address:** 276 E. Campbell Ave

**Zoning | Area Plan:** C-3 |

**Neighborhood Association(s):** DCNA

**File No.:** PLN-2022-48

**APN:** 412-07-065

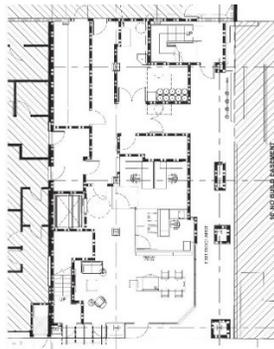
**Applicant:** Imwalle Properties, Inc

**Property Owner:** Oddwalle Campbell LLC

**Application Type:** Conditional Use Permit

**Project Description:** Proposed bank and financial service business located on the ground floor of a building.

**Download Plans:** → [Click Here](#) ←



**Project Planner:** Tracy Tam

**Email Contact:** [tracyt@campbellca.gov](mailto:tracyt@campbellca.gov)

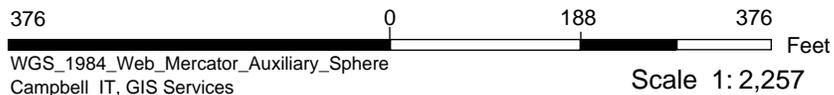
**Phone Contact:** (408) 871-5103

**Note:** This is a courtesy notice to all property owners within 300-feet of the project address. Applications may change after initial application submittal. To view the project plans, please scan the QR code:





# Location Map for 276 E Campbell Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

**ABBREVIATIONS**

&	AND	JAN	JANITOR
(E)	EXISTING	JT	JOINT
(N)	NEW	LAB	LABORATORY
(P)	PROPOSED	LAM	LAMINATE
@	AT	LAV	LAVATORY
A/C	AIR CONDITIONING	LB	POUND
AC	ASPHALTIC CONCRETE	LF	LINEAR FEET
ACOUST	ACOUSTICAL	LG	LARGE
ADJ	ADJUSTABLE	LT	LIGHT
AFF	ABOVE FINISH FLOOR	M.R.	MOISTURE RESISTANT
ALT	ALTERNATE	MAT	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECT / ARCHITECTURAL	MEMB	MEMBRANE
B.O.	BOTTOM OF	MEZZ	MEZZANINE
B/W	BETWEEN	MFR	MANUFACTURER
BD	BOARD	MIN	MINIMUM
BKG	BACKING	MISC	MISCELLANEOUS
BLDG	BUILDING	MTD	MOUNTED
BLKG	BLOCKING	MTL	METAL
BOT	BOTTOM	MUL	MULLION
CAB	CABINET	N.I.C.	NOT IN CONTRACT
CEM	CEMENT	NO.	NUMBER
CJ	CONSTRUCTION JOINT / CONTROL JOINT	NOM	NOMINAL
CL	CENTER LINE	NS	NO SCALE
CLG	CEILING	NTS	NOT TO SCALE
CLO	CLOSET	O/	OVER
CLR	CLEAR	OIA	OVERALL
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CO	CLEAN OUT	OCC	OCCUPANCY
COL	COLUMN	OFD	OVERFLOW DRAIN
CONC	CONCRETE	OH	OPPOSITE HAND
CONN	CONNECTION	OPNG	OPENING
CONSTR	CONSTRUCTION	POI	OWNER PROVIDED, PLASTIC LAMINATE
CONT	CONTINUOUS	P.LAM.	PLASTIC LAMINATE
CPT	CARPET	PIP	PIURED IN PLACE
CT	CERAMIC TILE	PKG	PARKING
CTR	CENTER	PL	PLATE
DBL	DOUBLE	PLAS	PLASTER
DEPT	DEPARTMENT	PLYWD	PLYWOOD
DF	DRINKING FOUNTAIN	PT	POINT
DIA	DIAMETER	RAD	RADIUS
DIM	DIMENSION	RD	ROOF DRAIN
DN	DOWN	REF	REFERENCE
DS	DOWNSPOUT	REFR	REFRIGERATOR
DSP	DRY STAND PIPE	REINF	REINFORCED
DTL	DETAIL	REQ	REQUIRED
DWG	DRAWING	RM	ROOM
EA	EACH	RO	ROUGH OPENING
EL	ELEVATION	RWL	RAINWATER LEADER
ELEC	ELECTRICAL	SAN	SANITARY
ELEV	ELEVATOR	SC	SOLID CORE
EMER	EMERGENCY	SCD	SEE CIVIL DRAWINGS
ENCL	ENCLOSURE	SCHED	SCHEDULE
EQ	EQUAL	SEC	SECTION
EQUIP	EQUIPMENT	SED	SEE ELECTRICAL DRAWINGS
ES	EACH SIDE	SHT	SHEET
EW	EACH WAY	SHWR	SHOWER
EXT	EXTERIOR	SIM	SIMILAR
FD	FLOOR DRAIN	SLD	SEE LANDSCAPE DRAWINGS
FDN	FOUNDATION	SMD	SEE MECHANICAL DRAWINGS
FE	FIRE EXTINGUISHER	SOG	SLAB ON GRADE
FEC	FIRE EXTINGUISHER CABINET	SPD	SEE PLUMBING DRAWINGS
FF	FINISH FLOOR	SPEC	SPECIFICATION
FIN	FINISH	SQ	SQUARE
FL	FLOOR	SS	STAINLESS STEEL
FOC	FACE OF CONCRETE	SSD	SEE STRUCTURAL DRAWINGS
FOF	FACE OF FINISH	STD	STANDARD
FR	FRAME	STL	STEEL
FRP	FIBERGLASS REINFORCED PANEL	STOR	STORAGE
FSD	FIRE SEPERATION DISTANCE	STRUCT	STRUCTURAL
FT	FOOT OR FEET	SUSP	SUSPENDED
FTG	FOOTING	SV	SHEET VINYL
FURR	FURRING	SWR	SEWER
GA	GAUGE	SYM	SYMMETRICAL
GALV	GALVANIZED	SYS	SYSTEM
GL	GLASS	T & B	TOP & BOTTOM
GR	GRADE	T & G	TONGUE & GROOVE
GSM	GALVANIZED SHEET	T.O.	TOP OF
GYP	GYPSUM	TBD	TO BE DETERMINED
HB	HOSE BIBB	TEL	TELEPHONE
HDWR	HARDWARE	TEMP	TEMPORARY
HM	HOLLOW METAL	THK	THICK
HORIZ	HORIZONTAL	TV	TELEVISION
HR	HOUR	TYP	TYPICAL
HT	HEIGHT	U.O.N.	UNLESS OTHERWISE NOTED
HVAC	HEATING, VENTILATING & AIR CONDITIONING	UNF	UNFINISHED
IFHPC	ISSUE FOR HEALTH PLAN CHECK	VCT	VINYL COMPOSITION TILE
IFPC	ISSUE FOR PLAN CHECK	VERT	VERTICAL
IFPPC	ISSUE FOR PLANNING PLAN CHECK	VEST	VESTIBULE
IN	INCH OR INCHES	VIF	VERIFY IN FIELD
INCL	INCLUDE	W	WIDE
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INV	INVERT	WC	WATER CLOSET
		WD	WOOD
		WDW	WINDOW
		WG	WIRE GLASS
		WH	WATER HEATER
		WP	WATERPROOF
		WR	WATER RESISTANT
		WSP	WET STAND PIPE
		WT	WEIGHT
		YD	YARD
		Ø	DIAMETER

**SYMBOL LEGEND**

	EARTH / COMPACTED FILL
	CONCRETE
	SAND / MORTAR
	ALUMINUM
	STEEL
	FINISH WOOD
	ROUGH WOOD / CONTINUOUS
	WOOD BLOCK
	METAL STUD
	PLYWOOD
	BATT INSULATION
	RIGID INSULATION
	GYPSUM WALL BOARD
	SPOT ELEVATION
	MATCH LINE
	CONTROL POINT / DATUM
	REVISION TAG / CLOUD
	KEY NOTE TAG
	FINISH TAG
	WINDOW TAG
	DOOR TAG
	EXTERIOR ELEVATION NUMBER SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER
	BUILDING SECTION NUMBER SHEET NUMBER
	WALL SECTION NUMBER SHEET NUMBER
	INTERIOR ELEVATION NUMBER SHEET NUMBER
	ROOM NAME ROOM NUMBER
	DIMENSION TO FACE OF STRUCTURE
	DIMENSION TO CENTERLINE
	DIMENSION TO FACE OF FINISH
	PROPERTY LINE
	COLUMN REFERENCE GRIDS

# 1ST & CAMPBELL - 3F MEZZANINE INFILL

276 EAST CAMPBELL AVE.  
CAMPBELL, CA 95008

## CONSTRUCTION PERMIT SET

### SHEET INDEX

SHEET NUMBER	SHEET NAME	IFPC	IFHC	IFPC	SHEET NUMBER	SHEET NAME	IFPC	IFHC	IFPC	SHEET NUMBER	SHEET NAME	IFPC	IFHC	IFPC
GENERAL INFORMATION														
A0.0	GENERAL INFORMATION													
A0.3	CODE ANALYSIS													
A0.4	EXIT PLANS													
ARCHITECTURAL														
A1.0	EXISTING SITE PLAN													
A2.1a	EXISTING FLOOR PLAN - GROUND													
A2.1b	EXISTING FLOOR PLAN - SECOND													
A2.1c	EXISTING/DEMO FLOOR PLAN - THIRD													
A2.1d	PROPOSED FLOOR PLAN - THIRD													
A3.1	BUILDING SECTION													
A6.2	PROPOSED RCP - LEVEL 2													
STRUCTURAL														
S0.0	STRUCTURAL SPECIFICATIONS, ABBREVIATIONS LEGEND, SYMBOLS LEGEND, TABLE OF CONTENTS													
S0.1	NAILING SCHEDULE, STANDARD DETAILS													
S1.0	3RD FLOOR / ROOF FRAMING PLAN													

**GENERAL INFORMATION**

OCCUPANCY:	A-2, B
TYPE OF CONSTRUCTION:	V-B
SPRINKLERED:	YES, FULLY
SITE AREA:	15,932 SF
BUILDING AREA:	23,073 SF
TENANT IMPROVEMENT AREA:	650 SF
ZONING:	C-3 COMMERCIAL
APN:	412-07-065

**SCOPE OF WORK**

ADDITION OF 650 SF OF NEW FLOOR AREA.  
STRUCTURAL INFILL OF EXISTING OPEN MEZZANINE FLOOR AREA OPEN TO BELOW  
NO MEP WORK ASSOCIATED WITH THIS PERMIT.

**FAR**

<b>PROJECT APPROVALS</b>	
TOTAL ENTITLED PROJECT SIZE:	10,819
TOTAL SF (BUILDING):	22,423
LOT:	15,932
<b>OLD FAR:</b>	<b>1.41</b>
<b>PROJECT (WITH NEW SF)</b>	
EXPANSION SF:	650
NEW TOTAL SF:	23,073
<b>NEW FAR:</b>	<b>1.45 (1.50 ALLOWED)</b>

**PREVAILING CODES**

CITY OF CAMPBELL MUNICIPAL CODE  
2019 CBC, CPC, CMC, CEC  
2019 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)  
2019 BUILDING ENERGY EFFICIENCY STANDARDS  
2019 CALIFORNIA GREEN BUILDING STANDARDS

**PRIOR APPROVALS**

**PRIOR APPROVALS** - PLANNING -CITY OF CAMPBELL PLANNING FILE 2016-309  
-PLN 2016-187  
-PLN 2017-009  
- BUILDING PERMIT NO. BLD2017-1584

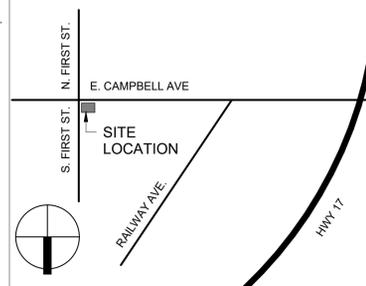
**DEFERRED APPROVALS**

FIRE SPRINKLERS

**PROJECT DIRECTORY**

CLIENT:	IMWALLE PROPERTIES 365 E CAMPBELL AVE CAMPBELL, CA 95008 JOHN RAZUMICH P: (408) 500-0661 E: john@imwalledev.com	STRUCTURAL ENGINEER:	DUQUETTE ENGINEERING 4340 STEVENS CREEK BLVD. #200 SAN JOSE, CA 95129 STEVEN DUQUETTE P: (408) 615-9900 E: spd@duquette-eng.com	GENERAL CONTRACTOR:	METHOD CONSTRUCTION, INC. 6620 MONTEREY RD. GILROY, CA 95020 P: (408) 842-0054 E: info@pacgenccon.com www.method-construction.com
ARCHITECT:	EATON HALL ARCHITECTURE INC. 1501 THE ALAMEDA, STE. 105 SAN JOSE, CA 95126 CHRIS HALL, AIA P: (408) 599-7003 E: chris@ehastudio.com	MEP ENGINEER:	ACIES ENGINEERING 3371 OLCOTT STREET SANTA CLARA, CA 95054 SRDJAN REBRACA, P.E. P: (408) 522-5255 X 119 E: srdjan@acies.net		

**VICINITY MAP**



**ACCESSIBILITY COMPLIANCE**

I have surveyed the building at 276 EAST CAMPBELL AVE for compliance with required accessibility features per the California Building Code. Proposed alteration work will include any upgrades required to provide compliance with accessibility features serving the area of work as described in section CBC 119-302.  
I acknowledge the following scope of required upgrades (choose one)  
 The existing required accessibility features serving the area of work are in conformance with the CBC.  
 Upgrades to the existing condition are proposed to provide full compliance with required accessibility features serving the area of work in conformance with the CBC.  
 The feasibility of the proposed work will be severely impacted if full accessibility compliance is provided. Not all access features will be provided with the proposed scope of work, thus an Unreasonable Handicap determination must be granted. Upgrades will be provided for all features not excepted in the approved Handicap application.  
Signature: [Signature] Date: 5/6/22  
I am:  Project Designer,  Business Owner,  Other



EATON HALL ARCHITECTURE

1501 The Alameda, Ste 105  
San Jose, CA 95126

TEL 408.265.5255

A CALIFORNIA CORPORATION



1ST & CAMPBELL - 3F MEZZANINE INFILL  
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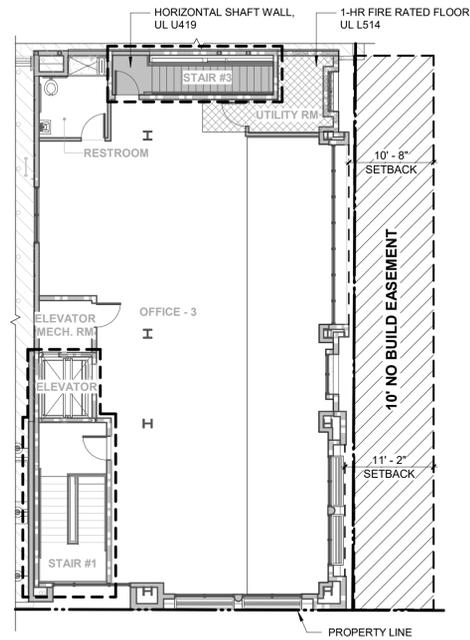
CLIENT: IMWALLE PROPERTIES

Rev #	Description	Date
ISSUED FOR PLAN CHECK		5/6/2022

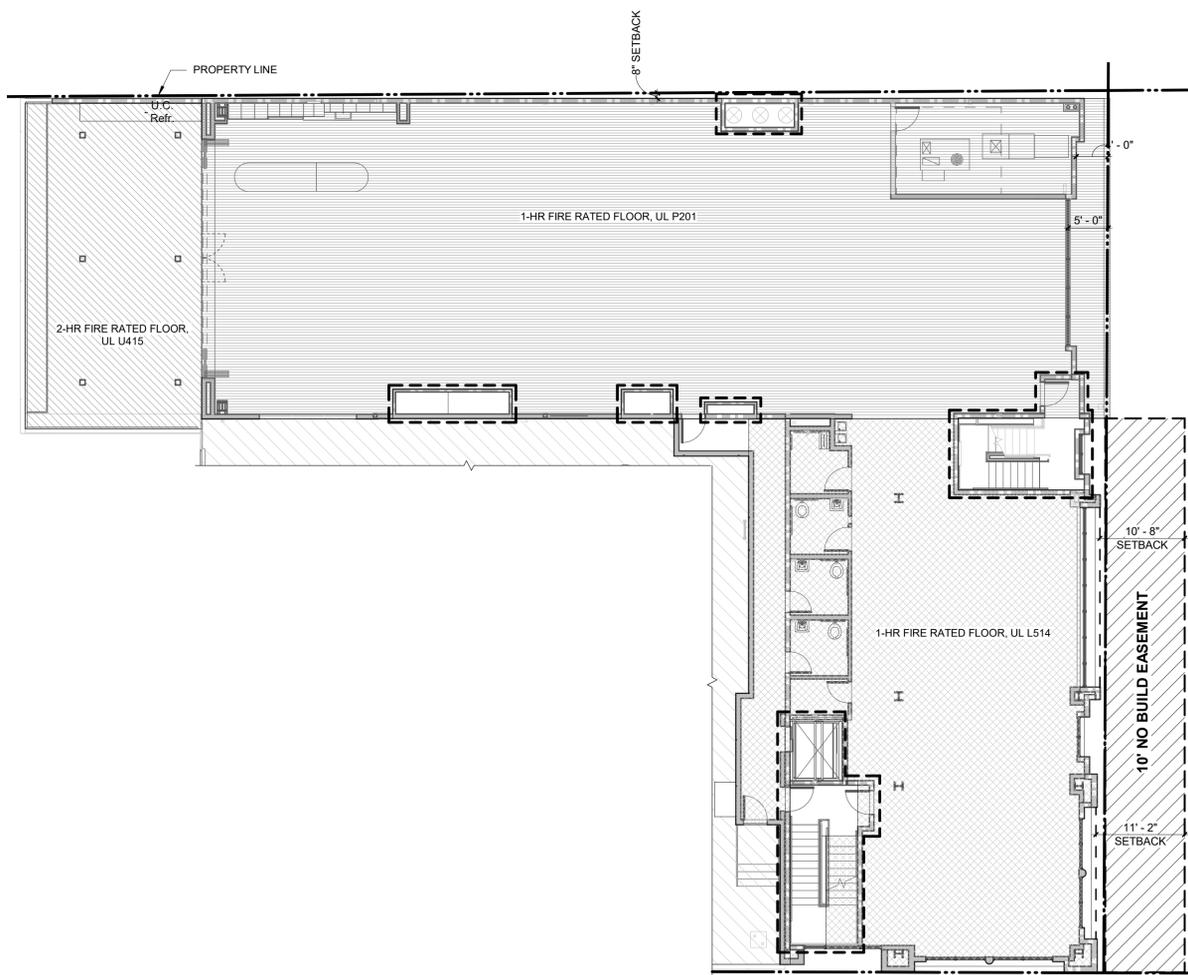
Project Number: 17.048  
Date: 4/27/2022  
Drawn by: RJ  
Checked by: Checker

Sheet Title:  
**GENERAL INFORMATION**

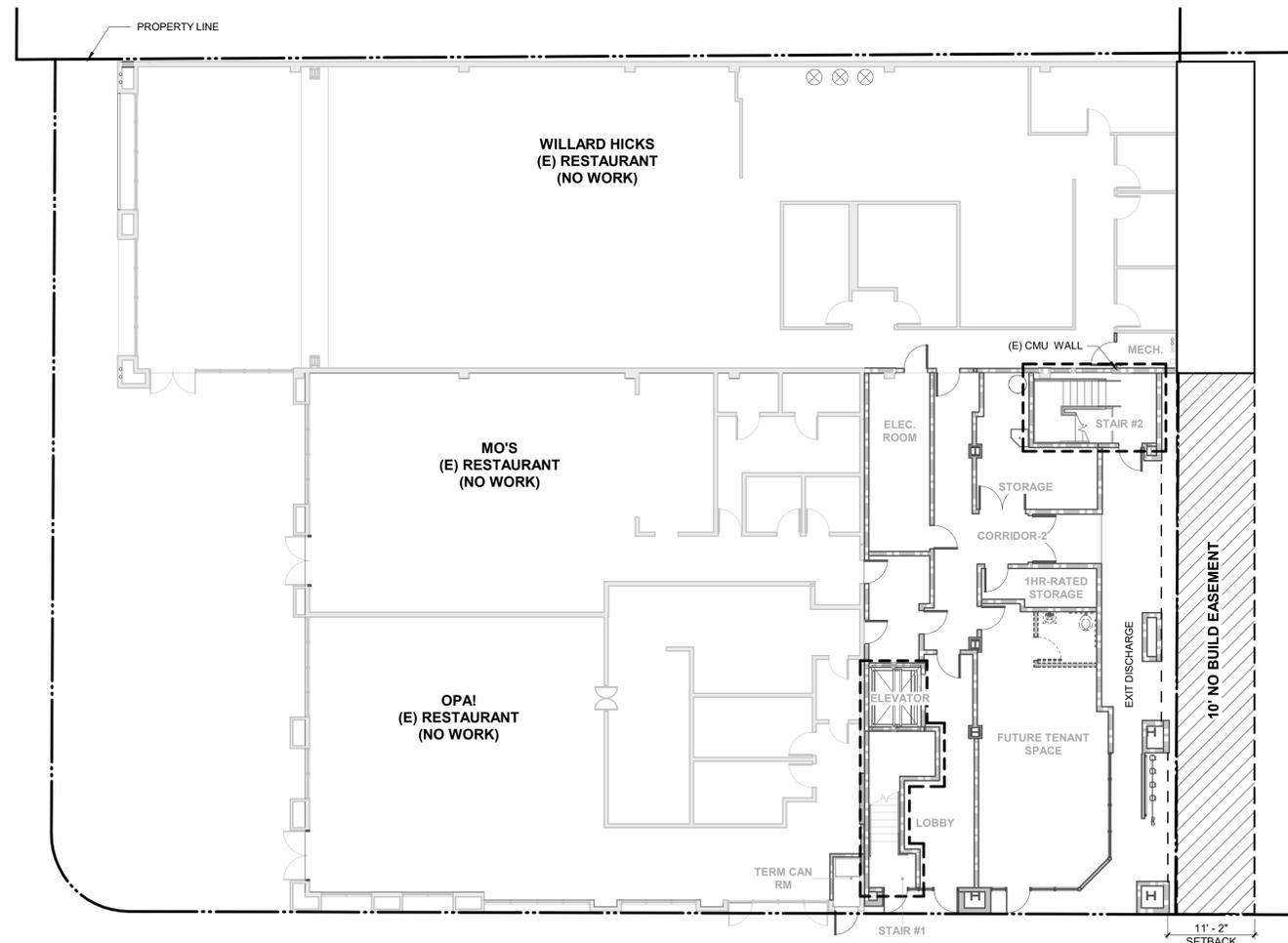
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**PROPOSED OCCUPANCY & FIRE PROTECTION PLAN - THIRD FLOOR** 3  
3/32" = 1'-0"



**PROPOSED OCCUPANCY & FIRE PROTECTION PLAN - SECOND FLOOR** 2  
3/32" = 1'-0"



**PROPOSED OCCUPANCY & FIRE PROTECTION PLAN - GROUND FLOOR** 1  
3/32" = 1'-0"

**CODE ANALYSIS**

**TYPE OF CONSTRUCTION:** V-B  
**OCCUPANCY GROUP:** B / A-2  
**AUTO SPRINKLERED:** YES  
**BUILDING HEIGHT:** 60' - 0" (TABLE 504.3)  
 ALLOWABLE: 45' - 3" HENCE, OK  
**NO. OF STORIES ABOVE GRADE:** 3 (TABLE 504.4)  
 ALLOWABLE: 3 HENCE, OK  
 PROVIDED: 3 HENCE, OK  
**BUILDING AREA:** (SECTION 506)  
 ALLOWABLE: 27,000 SF (SEE CALC. BELOW)  
 PROVIDED: 23,073 SF HENCE, OK

**ALLOWABLE AREAS FOR SEPARATED OCCUPANCY (SECTION 508.4)**

LEVEL	OCCU. GROUP	PROPOSED AREA	ALLOWABLE AREA	SUM OF AREA RATIOS
1	A-2	11,538 SF	18,000 SF	11,538 / 18,000 = 0.64 < 1, OK
1	B	1,083 SF	27,000 SF	1,083 / 27,000 = 0.04 < 1, OK
2	B	7,913 SF	27,000 SF	7,913 / 27,000 = 0.29 < 1, OK
3	B	2,620 SF	27,000 SF	2,620 / 27,000 = 0.09 < 1, OK
ENTIRE BLDG	A-2	11,538 SF	18,000 SF	11,538 / 18,000 = 0.64 < 1, OK
	B	11,616 SF	27,000 SF	11,616 / 27,000 = 0.43 < 1, OK

**OCCUPANCY SEPARATIONS (TABLE 508.4)**

OCCU. GROUP	REQUIRED SEPARATION (HRS)	NOTES
B TO A-2	1	EXISTING
B TO B	0	

**LEGEND**

- EXISTING WALL
- EXISTING 1HR FIRE RATED WALL
- EXISTING 2HR FIRE RATED WALL
- LOCATION OF VERTICAL SHAFT (1 HR-RATED)
- EXISTING 1-HR FIRE RATED FLOOR, UL P201 (OVER EXISTING STRUCTURE)
- EXISTING 2-HR FIRE RATED FLOOR, UL U415 (OVER EXISTING DECK)
- EXISTING HORIZONTAL SHAFT WALL, UL U419 (UNDER STAIR & LANDING)
- EXISTING 1-HR FIRE RATED FLOOR, UL L514



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1501 The Alameda, Ste 105  
San Jose, CA 95126

TEL 408.265.5255

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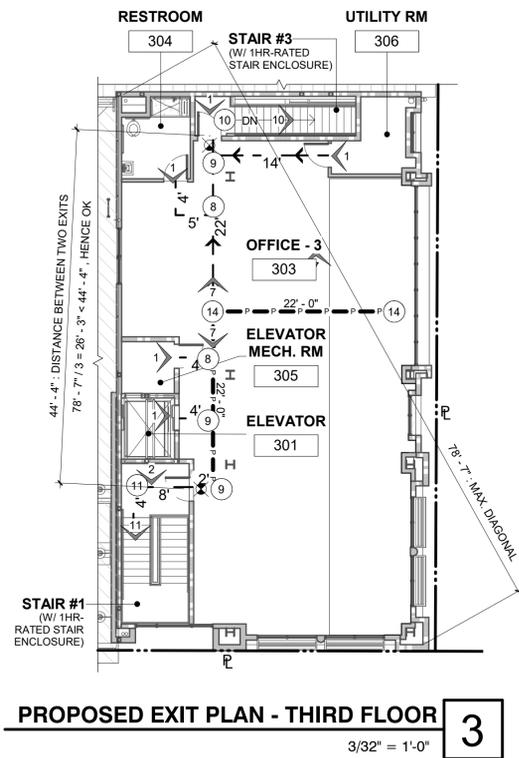
CLIENT: IMWALLE PROPERTIES

Rev. #	Description	Date
	ISSUED FOR PLAN CHECK	5/11/2022

Project Number: 17.048  
 Date: 4/27/2022  
 Drawn by: RJ  
 Checked by: Checker

Sheet Title:  
**CODE ANALYSIS**

A0.3



**PROPOSED EXIT PLAN - THIRD FLOOR**  
3/32" = 1'-0" **3**

### PLUMBING FIXTURE TABUL.

REQUIRED PLUMBING FIXTURE (PER CPC TABLE 422.1)

OCCUPANT CALCULATION	WATER CLOSET						LAVATORIES						URINALS					
	REQ'D	PROV'D	REQ'D	PROV'D	REQ'D	PROV'D	REQ'D	PROV'D	REQ'D	PROV'D	REQ'D	PROV'D	REQ'D	PROV'D	REQ'D	PROV'D		
A-2 OCCUPANCY: 2,940 SF / 30 OLF = 98 OCCUPANTS (49 FEMALE / 49 MALE)																		
MEN	1	1	1	2	1	2												
WOMEN	2	3	1	2	0	0												
A-2 OCCUPANCY: 1,250 SF / 30 OLF = 42 OCCUPANTS (21 FEMALE / 21 MALE)																		
MEN	1	1	1	1	0	0												
WOMEN	1	1	1	1	0	0												
B OCCUPANCY: 1,083 SF / 200 OLF = 6 OCCUPANTS (3 FEMALE / 3 MALE)																		
MEN	1	1	1	1	0	0												
WOMEN	2	2	1	1	0	0												
B OCCUPANCY: 7,913 SF / 200 OLF = 40 OCCUPANTS (20 FEMALE / 20 MALE)																		
MEN	1	1	1	1	0	0												
WOMEN	2	2	1	2	0	0												
B OCCUPANCY: 2,620 SF / 200 OLF = 14 OCCUPANTS (7 FEMALE / 7 MALE)																		
MEN	1	1	1	1	0	0												
WOMEN	1	1	1	1	0	0												

\* THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED FOR SINGLE OCCUPANCY TOILET PER NOTE 2

### OCCUPANCY SCHEDULE

(E) OCCUPANCY LOAD					(E) RESTAURANTS OCCUPANCY LOAD				
ROOM NO.	ROOM NAME	AREA(SF)	LOAD FACTOR	OCCUPANTS	ROOM NAME	AREA(SF)	LOAD FACTOR	OCCUPANTS	
<b>GROUND LEVEL</b>									
101	STAIR #1	146 SF	150	150	1	ENTRY	92 SF	15	7
102	LOBBY	234 SF	5	5	47	PREP	9 SF	150	1
103	ELEVATOR	57 SF	150	150	1	DINING AREA	798 SF	15	54
104	STAIR #2	173 SF	150	150	2	DINING-2	184 SF	15	13
105	1HR-RATED STORAGE	78 SF	300	300	1	HALLWAY	279 SF	150	2
106	STORAGE	203 SF	300	300	1	JAN.	17 SF	150	1
107	ELEC. ROOM	206 SF	300	300	1	KITCHEN	469 SF	200	3
109	CORRIDOR-2	273 SF	150	150	2	BAR	85 SF	200	1
110	FUTURE TENANT SPACE	616 SF	150	150	5	WOMEN'S	50 SF	150	1
111	CORRIDOR-1	116 SF	150	150	1	MEN'S	51 SF	150	1
<b>SECOND FLOOR</b>					<b>(E) OPA</b>				
200	STAIR #1	208 SF	150	150	2	ENTRY	98 SF	15	7
201	ELEVATOR	63 SF	150	150	1	BAR	160 SF	200	1
202	STAIR #2	188 SF	150	150	2	DINING	1,143 SF	15	77
203	OFFICE - 1	3,984 SF	150	150	27	KITCHEN	572 SF	200	3
204	OFFICE - 2	1,858 SF	150	150	13	WOMEN'S	123 SF	150	1
205	ELEC. RM	39 SF	150	150	1	MEN'S	114 SF	150	1
206	RESTROOM	59 SF	150	150	1	DRY STO.	44 SF	300	1
207	RESTROOM	59 SF	150	150	1	TERM CAN RM	22 SF	300	1
208	RESTROOM	59 SF	150	150	1	HALLWAY	341 SF	150	3
209	SHOWER	62 SF	150	150	1				
210	CORRIDOR	323 SF	150	150	3				
211	MECHANICAL WELL	289 SF	300	300	1				
212	OUTDOOR PATIO	720 SF	15	49					
<b>THIRD FLOOR</b>					<b>(E) WILLARD HICKS</b>				
300	STAIR #1	216 SF	150	150	2	ENTRY	168 SF	15	12
301	ELEVATOR	67 SF	150	150	1	DINING / SEATING	2,551 SF	15	171
302	STAIR #3	121 SF	150	150	1	BAR	394 SF	200	2
303	OFFICE - 3	1,312 SF	150	150	9	HALLWAY	365 SF	150	3
303A	ADDED OFFICE AREA	650 SF	150	150	5	KITCHEN	1,079 SF	200	6
304	RESTROOM	34 SF	150	150	1	OFFICE	56 SF	50	2
305	UTILITY RM	105 SF	300	300	1	DRY STO.	71 SF	300	1
306	ELEVATOR MECH. RM	54 SF	300	300	1 <td>UNISEX</td> <td>60 SF</td> <td>150</td> <td>1</td>	UNISEX	60 SF	150	1
					WOMEN'S 175 SF 150 2				
					MEN'S 133 SF 150 1				
					MECH. 34 SF 300 1				
					TOTAL OCCUPANTS OF (E) AREA 381				
					TOTAL OCCUPANTS OF (P) AREA 202				
					TOTAL OCCUPANTS OF (E) AREA (381+165=546) + OCCUPANTS OF (P) AREA (21) = GRAND TOTAL OCCUPANTS: 567				

### EGRESS

EXIT ACCESS TRAVEL DISTANCE (W/ SPRINKLER): (TABLE 1017.2)

MAX TRAVEL DISTANCE REQ'D  
A OCC. 250'-0"  
B OCC. 300'-0"

MAX TRAVEL DISTANCE PROV'D  
1F A OCC. 102'-6" < 250'-0" OK  
1F B OCC. 113'-6" < 300'-0" OK  
2F B OCC. 172'-0" < 300'-0" OK  
3F B OCC. 46'-0" < 300'-0" OK

EXIT ACCESS COMMON PATH TRAVEL (W/ SPRINKLER): (TABLE 1006.2.1)

COMMON PATH DISTANCE REQ'D  
B OCC. 100'-0"

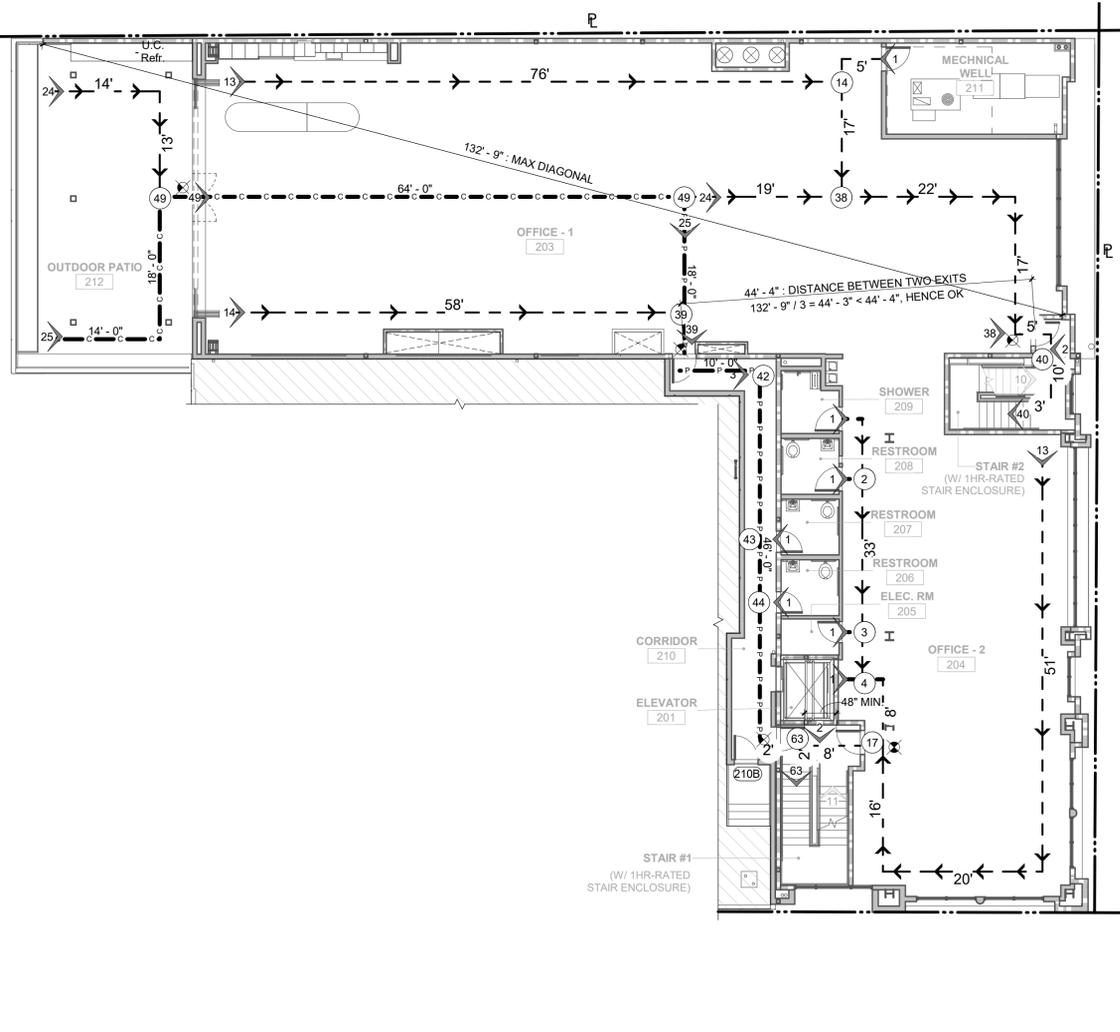
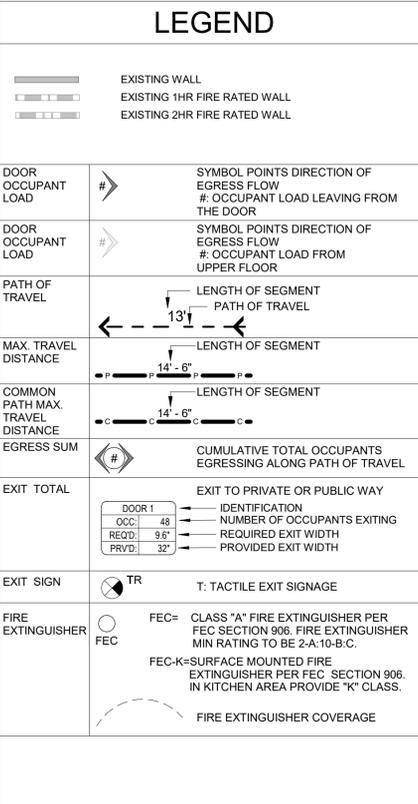
COMMON PATH DISTANCE PROV'D  
2F B OCC. 96'-0" = 100'-0" OK

EGRESS DOORS (0.2" PER OCCUPANT) (SEC. 1005.3.2)

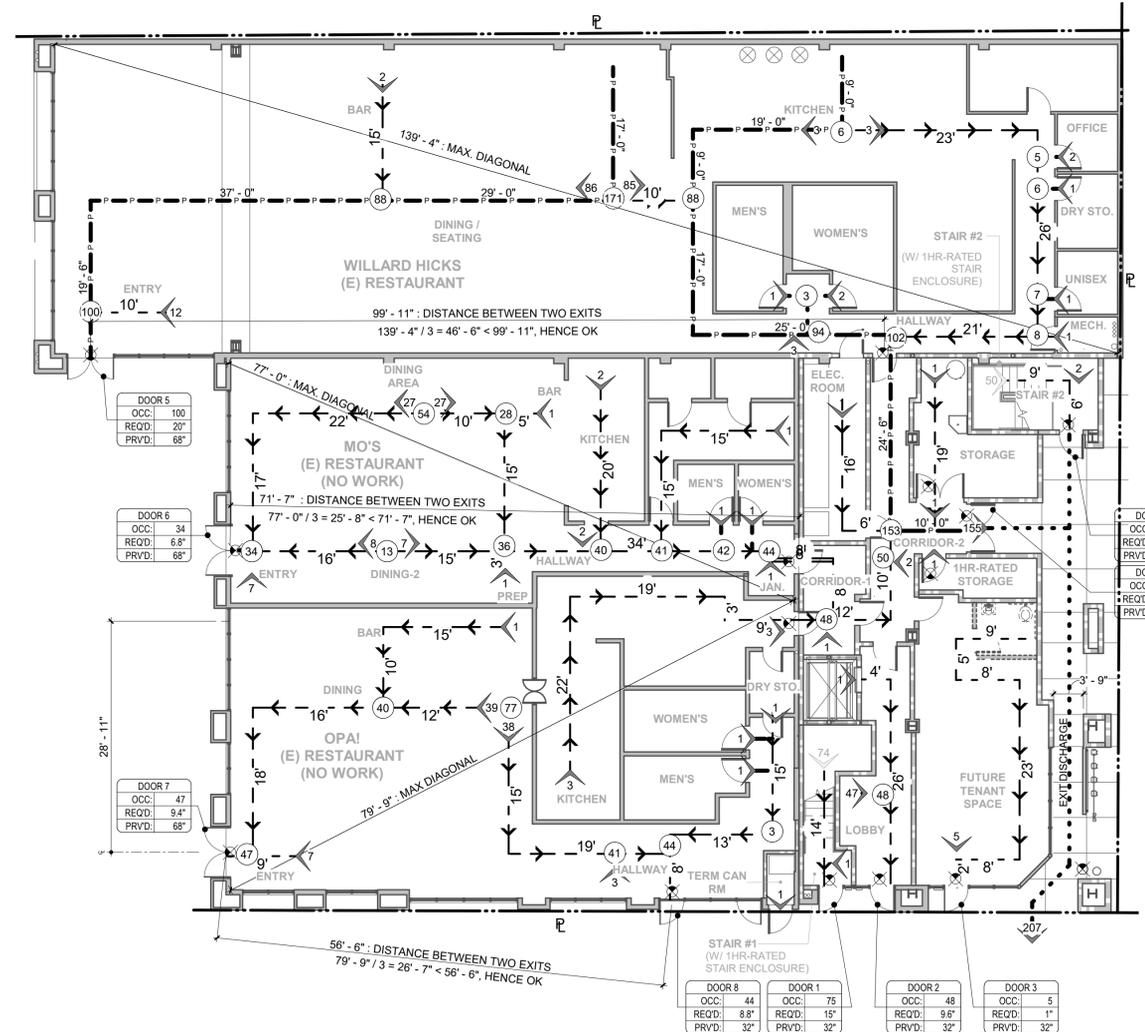
EXIT NO.	OCCUPANTS	REQUIRED	PROVIDED
DOOR 1	75	15.0"	32"
DOOR 2	48	9.6"	32"
DOOR 3	5	1.0"	32"
DOOR 4	52	10.4"	32"
DOOR 5	100	20.0"	68"
DOOR 6	34	6.8"	68"
DOOR 7	47	9.4"	68"
DOOR 8	44	8.8"	32"
DOOR 9	155	31.0"	68"

EGRESS STAIR WIDTH (0.3" PER OCCUPANT SERVED) (SEC. 1005.3.1)

STAIR	FLOOR	REQUIRED	PROVIDED
STAIR 1	SECOND FLOOR	66 x 0.3" = 19.8"	44" OK
	THIRD FLOOR	11 x 0.3" = 3.3"	44" OK
	THIRD FLOOR	58 x 0.3" = 17.4"	44" OK
STAIR 2	SECOND FLOOR	58 x 0.3" = 17.4"	44" OK
	THIRD FLOOR	10 x 0.3" = 3.0"	44" OK
	THIRD FLOOR	10 x 0.3" = 3.0"	44" OK



**PROPOSED EXIT PLAN - SECOND FLOOR**  
3/32" = 1'-0" **2**



**PROPOSED EXIT PLAN - FIRST FLOOR**  
3/32" = 1'-0" **1**

### GENERAL CODE NOTES

- EXIT SIGNS - THE PATH OF TRAVEL TO AND WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF 2019 CBC SECTION 1013. EXIT SIGNS SHALL BE READILY VISIBLE FROM THE DIRECTION OF APPROACH, REFER TO SHEET A0.7.
- TACTILE EXIT SIGNS - PROVIDE TACTILE EXIT SIGNS AT THE GRADE LEVEL EXTERIOR EXIT DOOR WITH THE WORD "EXIT" AND ON EXIT PATH THROUGH HALLWAY WITH WORD "EXIT ROUTE" PER 2019 CBC 1013.4 REFER TO SHEET A0.7 FOR LOCATIONS AND REQUIREMENTS.
- MEANS OF EGRESS ILLUMINATION - AT ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT WALKING SURFACE LEVEL.
- ILLUMINATION OF POWER SUPPLY - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF ITS FAILURE, ILLUMINATION SHALL BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM THAT WILL PROVIDE POWER FOR NOT LESS THAN 90 MINUTES.
- OCCUPANCY SIGNAGE - EVERY ROOM OR SPACE WHICH IS USED FOR ASSEMBLY, DINING, DRINKING, OR SIMILAR PURPOSES HAVING AN OCCUPANT LOAD OF 50 OR MORE SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.
- WHERE EXIT SIGNS ARE REQUIRED ADDITIONAL APPROVED FLOOR-LEVEL EXIT SIGNS WHICH ARE INTERNALLY OR EXTERNALLY ILLUMINATED, PHOTOLUMINESCENT OR SELF-LUMINOUS SHALL BE PROVIDED IN ALL INTERIOR CORRIDORS.
- ALL BUILDING AND FACILITY ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES SHALL BE IDENTIFIED WITH A MINIMUM OF ONE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, UTILIZING THE SYMBOL, AT JUNCTIONS WHERE THE ACCESSIBLE ROUTE OF TRAVEL DIVERGES FROM THE REGULAR CIRCULATION PATH, TO BE VISIBLE TO PERSONS ALONG APPROACHING CIRCULATION PATHS. ENTRANCES WHICH ARE NOT ACCESSIBLE SHALL HAVE DIRECTIONAL SIGNAGE WHICH INDICATES THE LOCATION AND ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE.
- OUTDOOR GAS FIXED FIREPIT, PER 933.1.1 AND NFPA 54:10.32.1, THE DECORATIVE FIRE APPLIANCE SHALL BE INSTALLED OUT DOORS IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS AND WITH CLEARANCES TO COMBUSTIBLE MATERIAL OF NOT LESS THAN 36" FROM THE SIDES. IN NO CASE SHALL THE APPLIANCE BE LOCATED UNDER OVERHEAD CONSTRUCTION. FIRE BURNER TO BE CSA CERTIFIED.

EATON HALL ARCHITECTURE  
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TEL 408.265.5255  
A CALIFORNIA CORPORATION

1ST & CAMPBELL - 3F MEZZANINE INFILL  
276 EAST CAMPBELL AVE. CAMPBELL, CA 95008  
CLIENT: INWALLE PROPERTIES

Rev #	Description	Date
1	ISSUED FOR PLAN CHECK	05/09/2022

Project Number: 17.048  
Date: 4/27/2022  
Drawn by: RJ  
Checked by: Checker

Sheet Title: EXIT PLANS

PROPOSED PARKING TABULATION				
FLOOR	USAGE	AREA	LOAD FACTOR	PARKING REQUIRED
FIRST FLOOR	OFFICE	571 SF	425	1.34
	RESTAURANT STORAGE	251 SF	-	-
	RETAIL BACK-OF-HOUSE	516 SF	345	1.49
SECOND FLOOR	OFFICE (LOBBY + CIRCULATION)	512 SF	425	1.20
	OFFICE AREA	6,439 SF	425	15.15
THIRD FLOOR	OFFICE AREA	1,760 SF	425	4.14
	EXPANSION (FILL IN 3RD FLOOR)	650 SF	425	1.52
<b>PARKING REQUIRED:</b>				<b>24.84</b>

**LEGEND**

- PROPERTY LINE
- > ACCESSIBLE PATH OF TRAVEL:  
48" MIN CLR. WIDTH, 5% MAX RUNNING SLOPE, AND 2% MIN CROSS SLOPE PER 2019 CBC 11B-403

**SITE PLAN NOTES**

- AT LEAST FOUR ELECTRICAL CHARGING STATION AND ONE HANDICAPPED SPACE SHALL BE PROVIDED PRIOR TO OCCUPANCY.
- WALKWAYS AND SIDEWALK ALONG ACCESSIBLE ROUTES OF TRAVEL ARE CONTINUOUSLY ACCESSIBLE, HAVE MAXIMUM 1/2" CHANGES IN ELEVATION, OR ARE PROVIDED WITH CURB RAMPS WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5%.
- ALL ACCESSIBLE PATHS OF TRAVEL HAVE A MAXIMUM CROSS SLOPE OF 2%.
- DETECTABLE WARNING SURFACES SHALL BE YELLOW AND APPROXIMATE FS 33538 OF FEDERAL STANDARD 595C.
- THE ACCESSIBLE ROUTE SHALL COINCIDE WITH OR BE LOCATED IN THE SAME AREA AS GENERAL CIRCULATION PATHS PER CBC 11B-206.2.1 AND 11B-206.3

**KEYNOTES**



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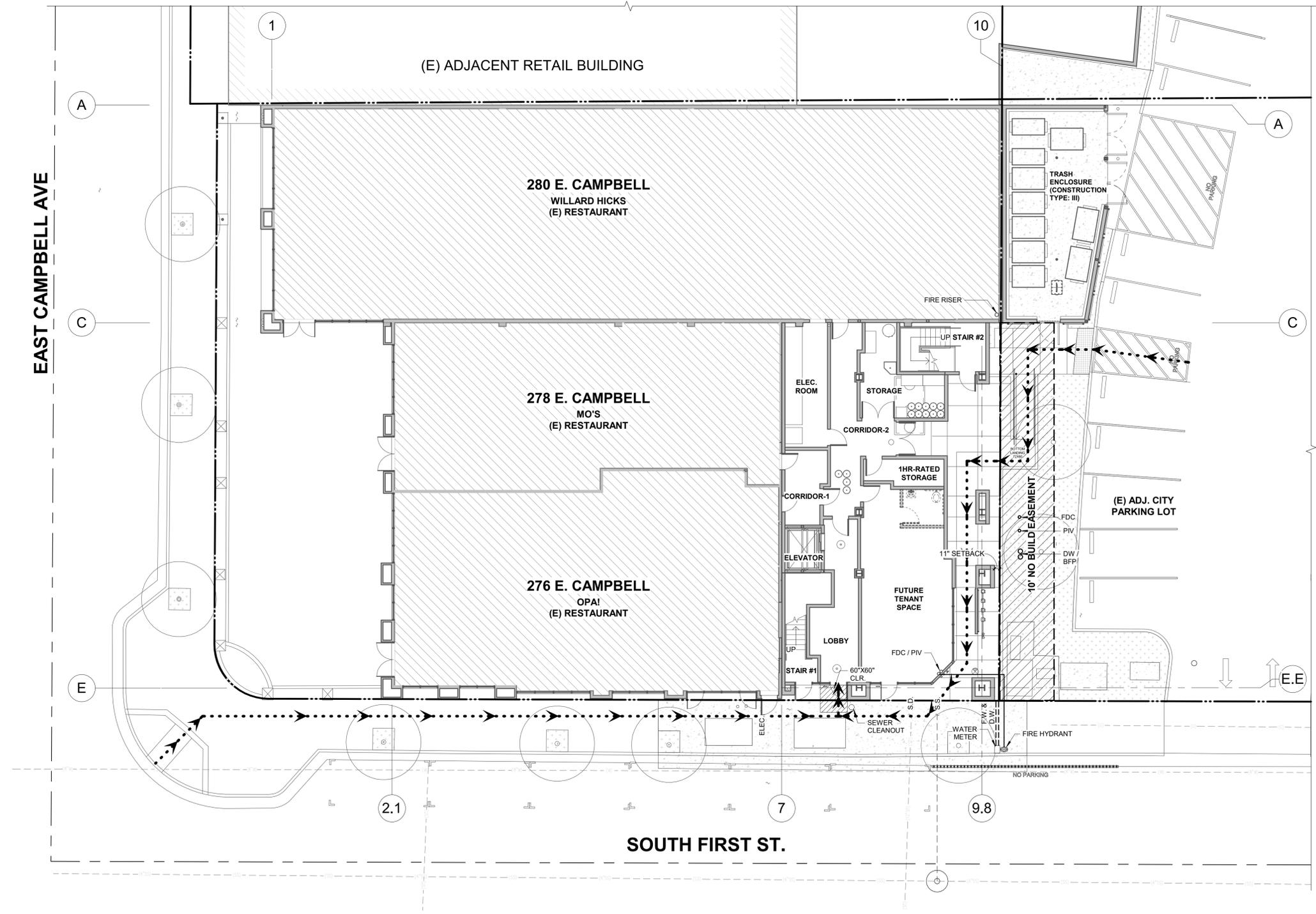
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Rev #	Description	Date
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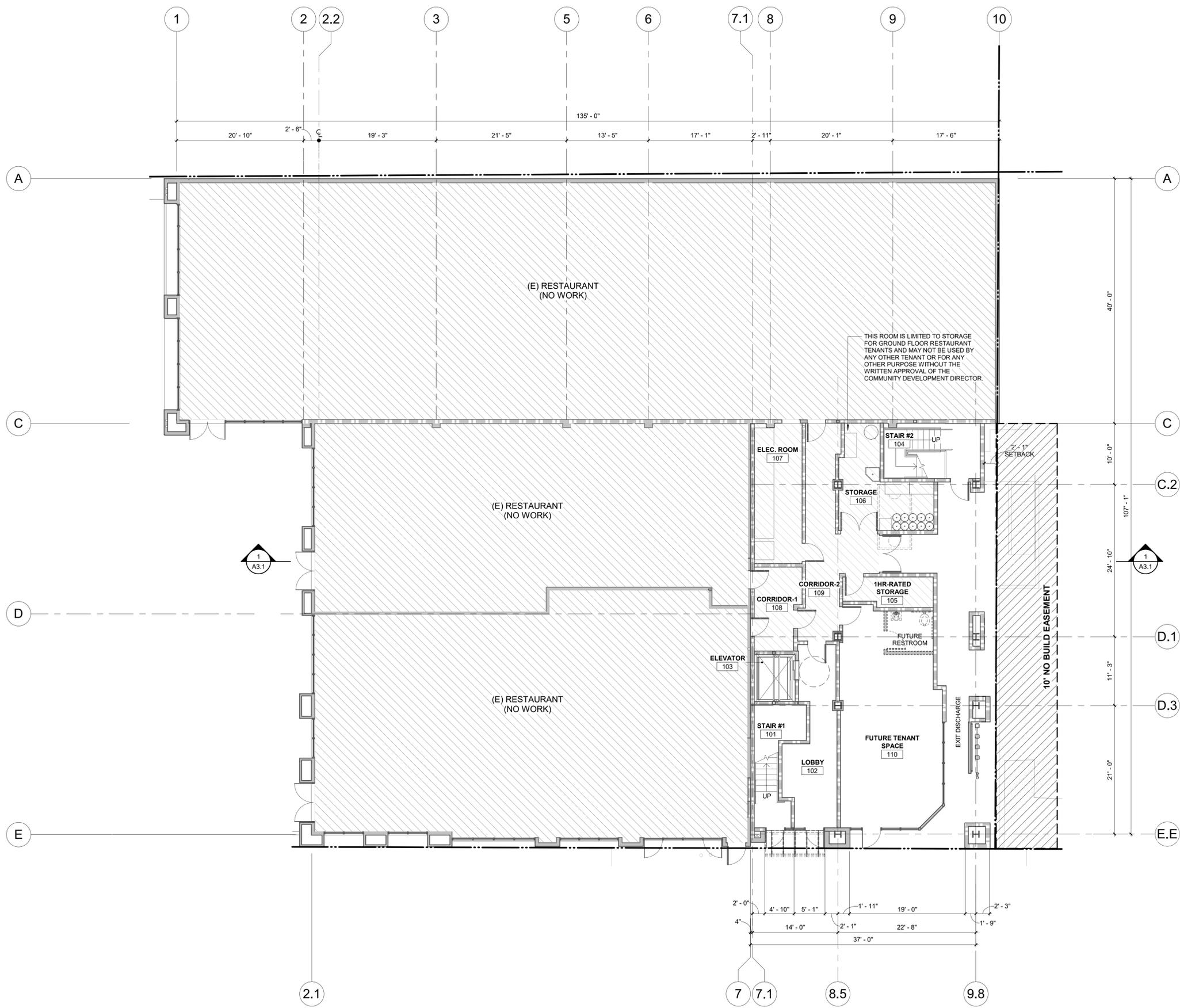
Project Number: 17.048  
Date: 4/27/2022  
Drawn by: RJ  
Checked by: Checker

Sheet Title:  
**EXISTING SITE PLAN**

**A1.0**



**EXISTING SITE PLAN / FIRST FLOOR PLAN** 1  
1" = 10'-0"



### LEGEND

	EXISTING WALL
	EXISTING 1HR FIRE RATED WALL
	EXISTING 2HR FIRE RATED WALL
	EXISTING DOOR
	EXISTING RESTAURANTS (NO WORK)

- ### PLAN NOTES
- EXISTING SHELL & CORE CONSTRUCTION SHOWN w/ POCHES AND OR SCREENED
  - REFER TO FURNITURE PLAN FOR FURNITURE LAYOUT, DIMENSIONS, ETC.
  - REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL DIMENSIONS DESCRIBING PARTIAL HEIGHT WALLS, CASEWORK LAYOUT, SPECIALTY OUTLET LOCATIONS, ETC.
  - REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CEILING HEIGHTS & PLENUM BARRIER LOCATIONS.
  - REFER TO GENERAL INFORMATION AND CONSTRUCTION NOTES SHEETS FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, & SCHEDULES.

### KEYNOTES



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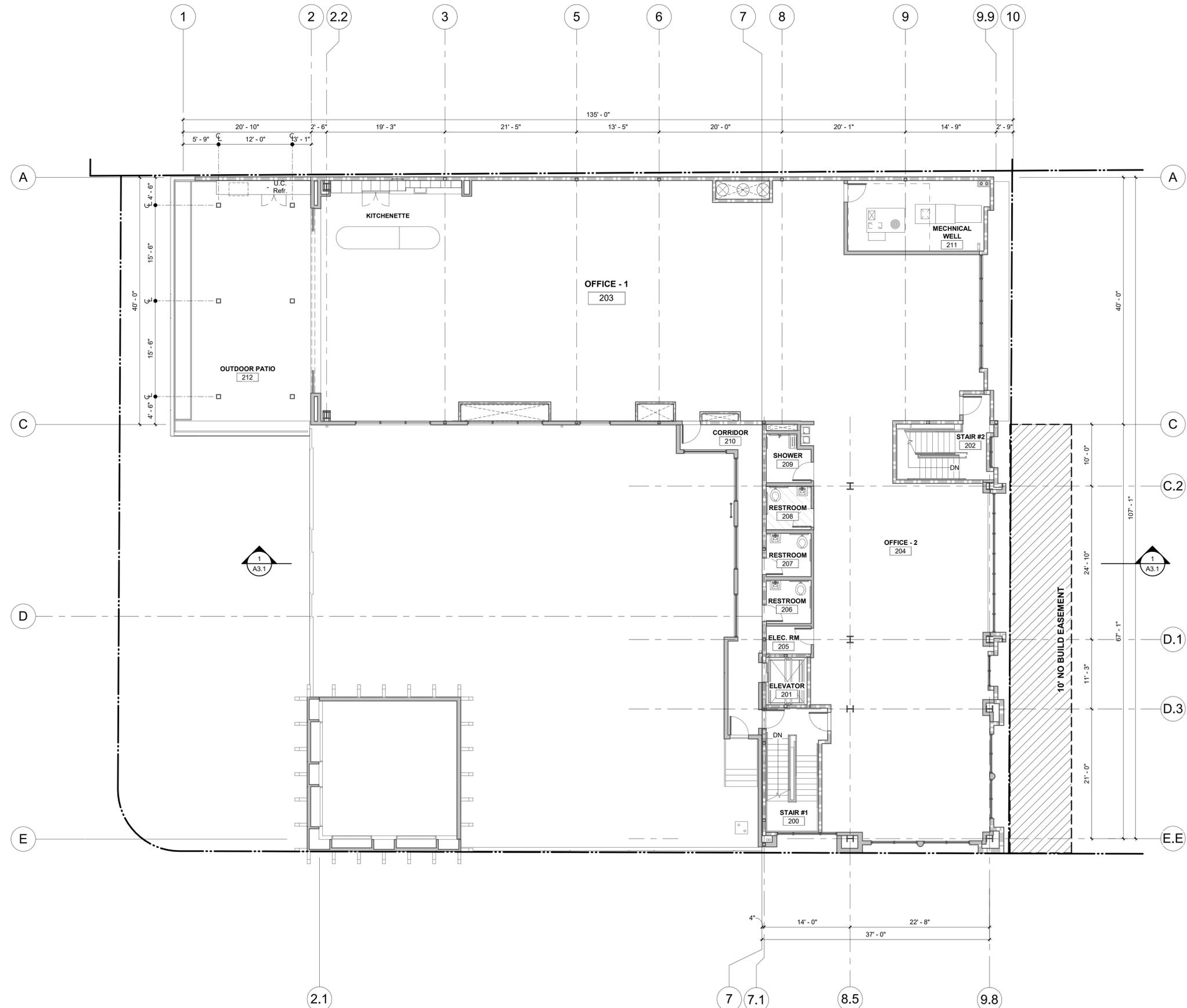
Rev. #	Description	Date
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Project Number: 17.048  
 Date: 4/27/2022  
 Drawn by: RJ  
 Checked by: Checker

Sheet Title:  
**EXISTING FLOOR PLAN - GROUND**

**A2.1a**

**PROPOSED FLOOR PLAN - GROUND** 1  
 1/8" = 1'-0"



### LEGEND

- EXISTING WALL
- EXISTING 1HR FIRE RATED WALL
- EXISTING 2HR FIRE RATED WALL
- EXISTING DOOR
- EXISTING RESTAURANTS (NO WORK)

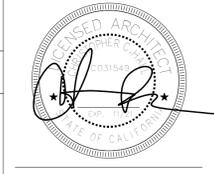
### PLAN NOTES

1. EXISTING SHELL & CORE CONSTRUCTION SHOWN w/ POCHÉ AND OR SCREENED
2. REFER TO FURNITURE PLAN FOR FURNITURE LAYOUT, DIMENSIONS, ETC.
3. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL DIMENSIONS DESCRIBING PARTIAL HEIGHT WALLS, CASEWORK LAYOUT, SPECIALTY OUTLET LOCATIONS, ETC.
4. REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CEILING HEIGHTS & PLENUM BARRIER LOCATIONS.
5. REFER TO GENERAL INFORMATION AND CONSTRUCTION NOTES SHEETS FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, & SCHEDULES.

### KEYNOTES



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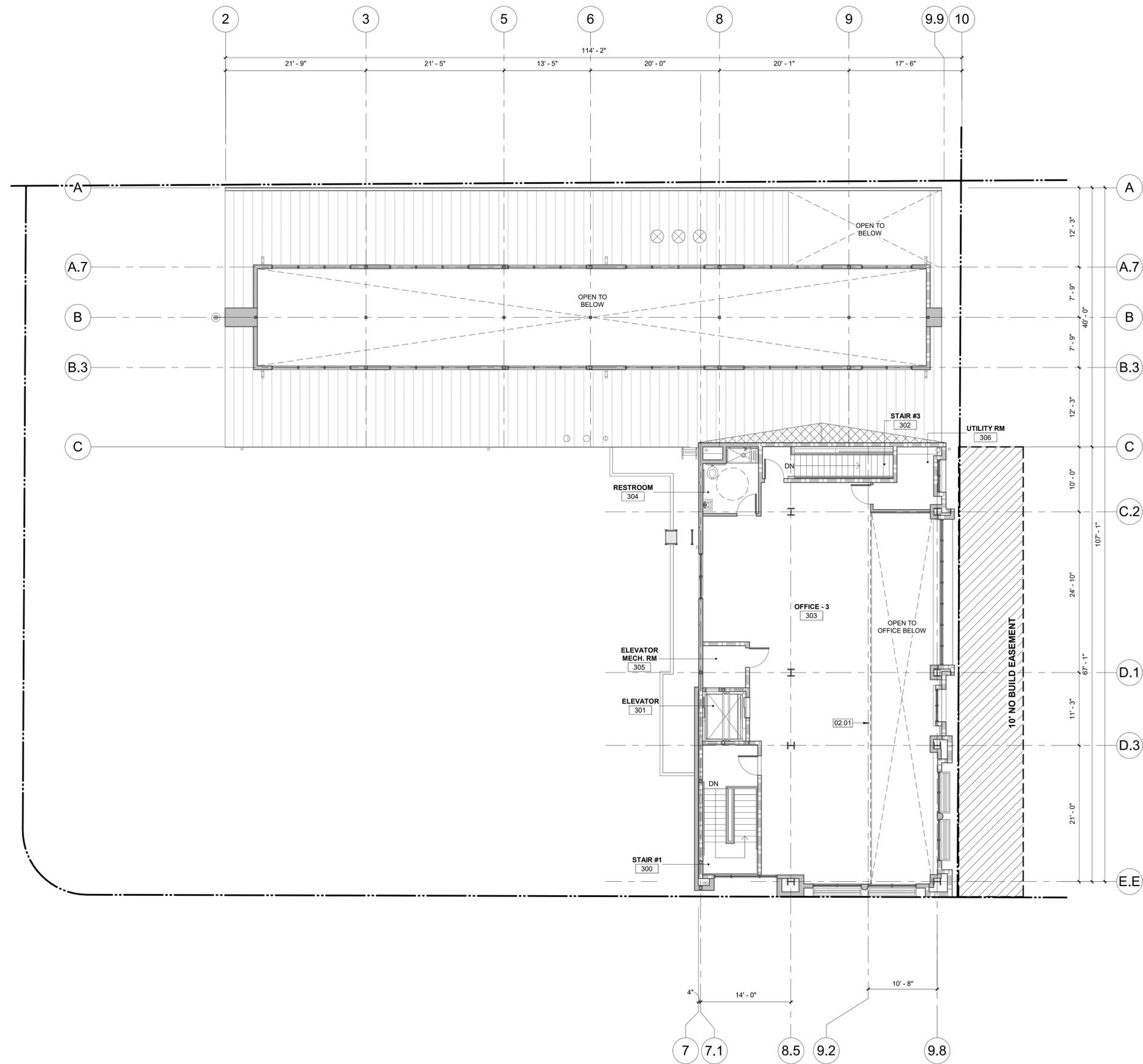
Rev. #	Description	Date
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Project Number: 17.048  
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Sheet Title:  
**EXISTING FLOOR PLAN - SECOND**

**A2.1b**

**PROPOSED SECOND FLOOR PLAN** 1  
 1/8" = 1'-0"



### LEGEND

- EXISTING WALL
- EXISTING 1HR FIRE RATED WALL
- EXISTING 2HR FIRE RATED WALL
- EXISTING DOOR

### PLAN NOTES

1. EXISTING SHELL & CORE CONSTRUCTION SHOWN w/ POCHÉ & OR SCREENED.
2. REFER TO F&E PLAN FOR EQUIPMENT LAYOUT, DIMENSIONS, ETC.
3. REFER TO INTERIOR ELEVATIONS FOR ADD'L DIMENSIONS DESCRIBING PARTIAL HT WALLS, CASEWORK LAYOUT, SPECIALTY OUTLET LOCATIONS, ETC.
4. REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CLG HTS & PLENUM BARRIER LOCATIONS.
5. REFER TO GENERAL INFORMATION AND CONSTRUCTION NOTES SHEETS FOR ADD'L NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, & SCHED.

### KEYNOTES

02.01 REMOVE (E) RAILING



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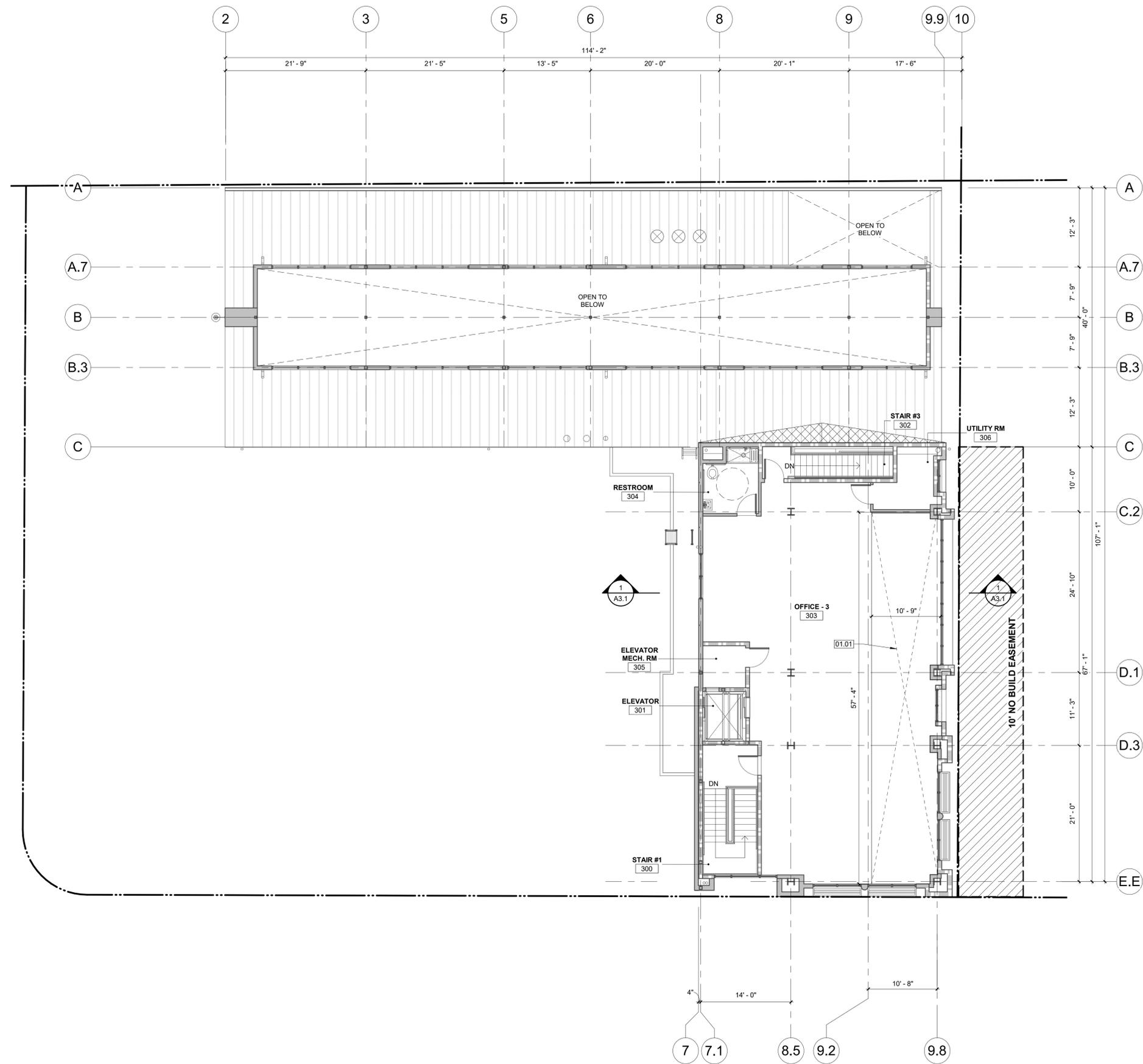
Rev #	Description	Date
1	ISSUED FOR PLAN CHECK	5/5/2022

Project Number: 17.048  
 Date: 4/27/2022  
 Drawn by: RJ  
 Checked by: Checker

Sheet Title:  
**EXISTING/DEMOLITION FLOOR PLAN - THIRD**

**A2.1c**





### LEGEND

	EXISTING WALL
	EXISTING 1HR FIRE RATED WALL
	EXISTING 2HR FIRE RATED WALL
	EXISTING DOOR
	EXISTING RESTAURANTS (NO WORK)

### PLAN NOTES

- EXISTING SHELL & CORE CONSTRUCTION SHOWN w/ POCHÉ AND OR SCREENED
- REFER TO FURNITURE PLAN FOR FURNITURE LAYOUT, DIMENSIONS, ETC.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL DIMENSIONS DESCRIBING PARTIAL HEIGHT WALLS, CASEWORK LAYOUT, SPECIALTY OUTLET LOCATIONS, ETC.
- REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CEILING HEIGHTS & PLENUM BARRIER LOCATIONS.
- REFER TO GENERAL INFORMATION AND CONSTRUCTION NOTES SHEETS FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, & SCHEDULES.

### KEYNOTES

01.01 (N) INFILL FLOOR, S.S.D.



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**1ST & CAMPBELL - 3F MEZZANINE INFILL**  
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CLIENT: IMWALLE PROPERTIES

Rev #	Description	Date
1	ISSUED FOR PLAN CHECK	5/09/2022

Project Number: 17.048  
Date: 4/27/2022  
Drawn by: RJ  
Checked by: Checker

Sheet Title:  
**PROPOSED FLOOR PLAN - THIRD**

**A2.1d**

**PROPOSED FLOOR PLAN - THIRD FLOOR** 1

1/8" = 1'-0"







**STRUCTURAL SPECIFICATIONS**

**SHEATHING**

ALL SHEATHING SHALL CONFORM TO U.S. PRODUCT STANDARD PS 1, AMERICAN PLYWOOD ASSOCIATION. EACH SHEET SHALL BE STAMPED WITH THE PS AND/OR APA GRADEMARK.

**FLOOR SHEATHING**

- SHALL BE MINIMUM 1-1/8" OSB OR 7 PLY INTERIOR TYPE RATED STURD-1-FLOOR, C-C PLUGGED GRADE WITH EXTERIOR GLUE (EXPOSURE 1), SPAN RATING 48" O.C., SPECIES GROUP 2 OR BETTER.

ALL SHEATHING PERMANENTLY EXPOSED TO WEATHER SHALL BE EXTERIOR TYPE SHEATHING VS. INTERIOR TYPE SHEATHING AS REFERENCED ABOVE.

ALL UNBLOCKED SHEATHING EDGES SHALL BE TONGUE-AND-GROOVE OR SUPPORTED WITH CLEATS OR CLIPS.

**FRAMING**

DOUGLAS FIR COAST REGION, CONFORMING TO WEST COAST LUMBER INSPECTION BUREAU STANDARD GRADING AND DRESSING RULE NO. 17 AS AMENDED TO DATE. ALL NEW LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION AND FABRICATION.

- 2x, 3x, PLATES, JOISTS, AND PURLINS NO.2 (900F-b), PARA. 123-a.
- 4x, PURLINS, LEDGERS, AND BEAMS, NO.1 (1000F-b), PARA. 123-b.
- 6x BEAMS, DENSE NO.1 (1550F-b), PARA. 130-bb.
- 4x4 POSTS, NO.1 (1500F-c), PARA. 124-b.
- 4x6 POSTS, NO.1 (1500F-c), PARA. 123-b.
- 6x6 AND LARGER POSTS, DENSE NO.1 (1200F-c), PARA. 131-bb.
- 2x4, 3x4, STUDS BLOCKING, CONSTRUCTION GRADE, (1000F-b), PARA. 122-b.
- 2x6 OR LARGER STUDS AND BLOCKING NO.1 (1000F-b), PARA. 123-b.
- FOUNDATION PLATES: PRESSURE TREATED DOUGLAS FIR.

ALL FRAMING LUMBER 6" OR LARGER IN THE LEAST DIMENSION SHALL BE F.O.H.C.

**LIGHT GAGE METAL CONNECTORS**

ALL LIGHT GAGE METAL CONNECTORS SHALL BE SIMPSON COMPANY STRONG TIE CONNECTORS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

**FLOOR JOISTS**

RED-1 FLOOR JOISTS SHALL BE MANUFACTURED BY RED-BUILT. RED-1 FLOOR JOISTS CONSTRUCTION SHALL BE IN ACCORDANCE WITH ICBO REPORT ESR-2994.

**STRUCTURAL STEEL AND MISCELLANEOUS IRON**

ALL STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL RECEIVE SHOP PRIME COAT. INDIVIDUAL SPECIFICATIONS ARE AS FOLLOWS.

- 1) WIDE FLANGE - ASTM A992, Fy=50 ksi
- 2) HOLLOW STRUCTURAL STEEL AND TUBE STEEL - ASTM A500, GRADE B, Fy = 46ksi
- 3) STEEL PIPE - ASTM A53, TYPE E OR S, GRADE B, w/ SULFUR NOT EXCEEDING .05%, Fy = 35ksi
- 4) ANGLE IRON - ASTM A36, Fy = 36ksi
- 5) MISCELLANEOUS IRON - ASTM A36M Fy = 36ksi

**MACHINE BOLTS, ANCHOR BOLTS, STUDS AND THREADED RODS**

ASTM A307

**WELDING**

ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS PER AWS "STANDARD QUALIFICATION PROCEDURE" TO PERFORM THE TYPE OF WORK REQUIRED. ALL WELDING SHALL BE IN ACCORDANCE WITH AWS WELDING CODE. ARC WELDING ELECTRODES SHALL BE E70 SERIES. WELDING SHALL BE INSPECTED AS REQUIRED BY THE CALIFORNIA BUILDING CODE.

**EARTHWORK**

EARTHWORK SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE FOUNDATION INVESTIGATION BY HP INSPECTIONS, INC. DATED NOVEMBER 16, 2017.

**CONSTRUCTION LIABILITY**

CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

**EXISTING CONDITIONS**

THE CONTRACTOR OR SUBCONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AND OR ORDERING MATERIAL, ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

**SPECIAL INSPECTIONS**

THE OWNER SHALL EMPLOY A SPECIAL INSPECTOR DURING CONSTRUCTION ON THE FOLLOWING TYPES OF WORK:

**WELDING**

- ALL STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCING STEEL.

EXCEPTIONS:

1. WELDING DONE IN A FABRICATOR'S SHOP, APPROVED BY THE CITY BUILDING OFFICIAL.
2. SINGLE PASS FILLET WELDS MAY HAVE PERIODIC INSPECTION PER C.B.C. NOTED OTHERWISE UNLESS ON THE CONTRACT DRAWINGS.

**SPECIAL INSPECTOR**

- THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE HIS COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF A PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.

**DUTIES AND RESPONSIBILITIES OF THE SPECIAL INSPECTOR**

- THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPLICABLE DESIGN DRAWINGS AND SPECIFICATIONS.
- THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER OR ARCHITECT OF RECORD, AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.
- THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF HIS KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISION OF THIS CODE.

**DESIGN CRITERIA: 2019 C.B.C.**

SITE LOCATION:	
LATITUDE:	37.28716
LONGITUDE:	-121.94492
SCOPE OF WORK:	
INFILL OPENING IN 3RD FLOOR WITH FRAMING	
SEISMIC DESIGN CATEGORY : D	
SEISMIC FORCE-RESISTANCE SYSTEM:	
- SPECIAL STEEL MOMENT FRAME	
- LIGHT FRAME WALLS SHEATHED w/ WOOD STRUCTURAL PANELS	
- SPECIAL REINFORCED MASONRY SHEARWALL	
SEISMIC DESIGN ANALYSIS PROCEDURE:	
EQUIVALENT LATERAL FORCE PROCEDURE	
EARTHQUAKE DESIGN DATA: WIND DESIGN DATA:	
RISK CATEGORY II	RISK CATEGORY II
I <sub>s</sub> = 1.0	V <sub>ir</sub> = 110mph
S <sub>r</sub> = 1.5g	V <sub>ir</sub> = 85mph
S <sub>i</sub> = 0.8g	WIND EXPOSURE = C
SITE CLASS = D INTERNAL PRESSURE EFFICIENT, GC <sub>i</sub> = ± 0.18	
F <sub>s</sub> = 1.0	WIND EXPOSURE = 16 PSF MINIMUM FOR COMPONENT & CLADDING
F <sub>v</sub> = 1.5	
S <sub>w</sub> = 1.842g	
S <sub>w</sub> = 0.964g	
S <sub>w</sub> = 1.212g	
S <sub>w</sub> = 0.636g	
R = 5.0	
V = 0.215W	
ROOF LOADS:	
	DEAD LIVE
TYPICAL ROOF	18 PSF 20 PSF
ROOF w/ FUTURE SOLAR PANELS	24 PSF 20 PSF
FLOOR LOADS:	
	DEAD LIVE
TYP. 2ND FLOOR	32 PSF 50 PSF
TYP. 2ND FLOOR w/ STEEL TRUSSES	25 PSF 50 PSF
TYP. 2ND FLOOR DECK/PATIO	25 PSF 100 PSF
TYP. 3RD FLOOR	32 PSF 50 PSF
STAIR LOADS:	
	DEAD LIVE
TYPICAL STAIR	50 PSF 100 PSF
FOUNDATION BEARING PRESSURE:	
2500 PSF	DEAD + LIVE
3325 PSF	DEAD + LIVE + WND OR SEISMIC

**ABBREVIATIONS**

&	And
A.B.	Anchor bolt
∅	At
ALUM.	Aluminum
ARCH.	Architect or Architectural
BLK.	Block
BLKG.	Blocking
BN	Boundary Nailing per Schedule/Plan
BTWN.	Between
CL or ∅	Centerline
C.J.	Construction Joint or Cold Joint
CLR	Clear
COL.	Column
CONC.	Concrete
CONN.	Connection
CONT.	Continuous
CMU	Concrete Masonry Unit
DBL	Double
DF	Douglas Fir
DIA. or ∅	Diameter
DWG.	Drawing(s)
(E)	Existing
EA.	Each
E.F.	Each Face
E.J.	Expansion Joint
ELEV.	Elevation
EMBED.	Embedment
EN	Edge Nail per Shearwall Schedule
EXT.	Exterior
FDN.	Foundation
F.F.	Finish Floor
F.F.V.	Flat Face Vertical
FLR.	Floor
FN	Field Nailing per Schedule
F.O.B.	Face of Building
F.O.C.	Face of Concrete
F.O.H.C.	Face of Heart Center
F.O.S.	Face of Stud
F.O.W.	Face of Wall
F.P.	Full Penetration
F.S.	Far Side
FTG.	Footing
ga.	Gage (Gauge)
GALV.	Galvanized
G.I.	Galvanized Iron
GLB	Glulam Beam
GBDW.	Gypsum Board Dry Wall
GYP.	Gypsum
HORIZ.	Horizontal
H.S.B.	High Strength Bolt(s)
I.F.	Inside Face
INSUL.	Insulation
LVL	Microlam Laminated Veneer Lumber
(L.L.H.)	Long Leg Horizontal
(L.L.V.)	Long Leg Vertical
MAX.	Maximum
M.B.	Machine Bolt(s)
MC	Miscellaneous Channel
MECH.	Mechanical
MFR.	Manufacturer
M.I.	Malleable Iron
MIN.	Minimum
(N)	New
N.T.S.	Not To Scale
N.I.C.	Not In Contact
N.S.	Near Side
O.C.	On Center
O.M.R.F.	Ordinary Moment Resisting Frame
O.F.	Outside Face
O.H.	Opposite Hand
PL or ∅	Plate
PLAS.	Plaster
PLYWD.	Plywood
P.P.	Partial Penetration
PSL	Parallam Parallel Strand Lumber
PT.	Point
PTDF	Pressure Treated Douglas Fir
REINF.	Reinforcing or Reinforcement
REQ.	Require or Required
RDWD.	Redwood
S.A.D.	See Architectural Drawings
SECT.	Section
SHT.	Sheet
SIM.	Similar
SN	Sill Nail
SMRF	Special Moment Resisting Frame
SPECS.	Specifications
SQ. or ∅	Square
S.S.	Stainless Steel
SSP	Standard Steel Pipe
XSP	Extra Strong Steel Pipe
XSP	Double Extra Strong Steel Pipe
STAGG	Staggered
STD.	Standard
STIFF.	Stiffener
STL.	Steel
T&B	Top and Bottom
T.&G.	Tongue and Groove
TN	Toe Nail
T.O.C.	Top of Concrete or Top of Curb
T.O.P.	Top of Plywood
T.O.S.	Top of Steel
TS	Tube Steel
TYP.	Typical
U.N.O.	Unless Noted Otherwise
VERT.	Vertical
V.I.F. or *	Verify In Field
w/	With
w/o	Without

**TABLE OF CONTENTS**

SHEET	CONTENT
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S1.0	THIRD FLOOR/ROOF FRAMING PLAN

**SYMBOLS LEGEND**

SYMBOL	DESCRIPTION
	Detail No.
	Sheet Location
	View Direction
	Section/Elevation No.
	Shear Wall Type per Schedule,
	See Detail
	Shear Wall Length (FEET)
	Plate Fastening Type per Schedule,
	See Detail
	Etc... Indicates Pre-Manufactured Proprietary Hardware by Simpson Strong-Tie Inc. Model Number enclosed within Box.
	Indicates Degree of Slope
	Indicates Sloped Beam, Slab, or Deck. Arrowhead indicates direction.
	Indicates estimated dimension. For Exact Dimension see Architect
	Indicates Field Weld, Shop Weld when not shown.
	Weld Notes
	Weld Type
	Weld Size
	Weld all sides
	Refer to AISC, Latest Edition, for All Weld Types & Symbols
	Revision Number
	Affected Region due to Current Revision.



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1ST & CAMPBELL - TI 3RD FLOOR INFILL  
276 EAST CAMPBELL AVE,  
CAMPBELL, CA 95008  
IMWALLE PROPERTIES

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Sheet Title:  
**STRUCT. SPEC.  
ABBRV LEGEND  
SYMBOLS LEG.  
TABLE OF CONT.**

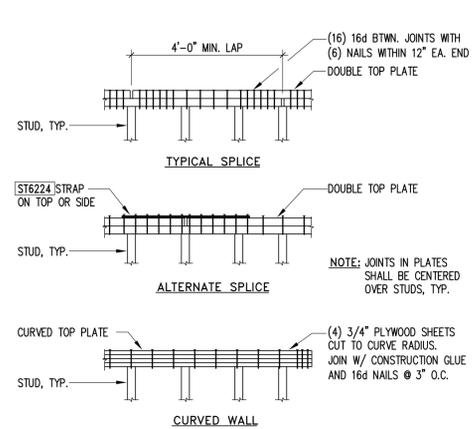
**S0.0**

NAILING SCHEDULE	
NAILED CONNECTION DESCRIPTION	MINIMUM REQUIRED NAILING (UNLESS DETAILED OTHERWISE)
JOIST TO SILL PLATE OR GIRDER	(3)-8d TOE NAILS
BRIDGING TO JOIST	(2)-8d TOE NAILS EA. END
1"x 6" SUBFLOOR OR LESS	(2)-8d FACE NAILS EA. JOIST
WIDER THAN 1"x 6" SUBFLOOR	(3)-8d FACE NAILS EA. JOIST
2" SUBFLOOR TO JOIST OR GIRDER	(2)-16d BLIND & FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING	16d @ 16" O.C. FACE NAIL, (3)-16d EVERY 16" O.C. @ BRACED WALL PANELS
TOP PLATE TO STUD	(2)-16d END NAIL
STUD TO SILL PLATE	(4)-8d TOE NAIL, (2)-16d END NAIL AT 2x SILL OR (2)-20d END NAIL AT ALL 3x SILLS
DOUBLE STUDS	16d FACE NAILS @ 24" O.C.
DOUBLE TOP PLATES	16d FACE NAILS @ 16" O.C., (8)-16d @ LAPS
BLKG. BTWN. JOISTS OR RAFTERS TO TOP PLATE	(3)-8d TOE NAILS
RIM JOIST TO TOP PLATE	8d TOE NAILS @ 6" O.C.
TOP PLATE @ LAPS AND INTERSECTIONS	(2)-16d FACE NAILS
CONT. HEADER, TWO PIECES (ALONG EA. EDGE)	16d @ 16" O.C.
CEILING JOIST (C.) TO PLATE	(3)-8d TOE NAILS
CONT. HEADER TO STUD	(4)-8d TOE NAILS
CEILING JOIST (C.) LAPPED OVER PARTITIONS	(3)-16d FACE NAILS
CEILING JOIST (C.) PARALLEL TO RAFTERS	(3)-16d FACE NAILS
RAFTER TO PLATE	(3)-8d TOE NAILS
1" DIAGONAL BRACE TO EA. STUD & PLATE	(3)-8d FACE NAILS
1"x 8" SHEATHING OR LESS TO EACH BEARING	(3)-8d FACE NAILS
WIDER THAN 1"x 8" SHEATHING TO EACH BEARING	(3)-8d FACE NAILS
BUILT UP CORNER STUDS	16d @ 24" O.C.
BUILT UP GIRDERS AND BEAMS	20d @ 32" O.C. FACE NAILS TOP & BOT. STAGGERED w/ (2)-20d @ EA. END & SPLICES
2" PLANKS, EACH END AND EACH BEARING	(2)-16d
COLLAR TIE TO RAFTER	(3)-10d FACE NAILS
JACK RAFTER TO HIP	(3)-10d TOE NAILS OR (2)-16d FACE NAILS
ROOF RAFTER TO 2x RIDGE BEAM	(2)-16d TOE NAILS OR (2)-16d FACE NAILS
JOISTS TO RIM JOIST	(3)-16d FACE NAILS
2x LEDGER STRIP	(3)-16d FACE NAILS

- NOTES:
- USE COMMON WIRE NAILS FOR ALL NAILED CONNECTIONS. BOX NAILS ARE PROHIBITED.
  - WHERE POSSIBLE, DRIVE NAILS PERPENDICULAR TO THE GRAIN IN LIEU OF TOE NAILING.
  - NAILING DETAILED ELSEWHERE SUPERSEDES THE REQUIREMENTS OF THIS SCHEDULE. NAILING SHOWN ABOVE ARE MINIMUM REQUIREMENTS.
  - NAILS USED AT PRESSURE TREATED FRAMING SHALL BE HOT-DIPPED GALVANIZED.

NAILING SCHEDULE

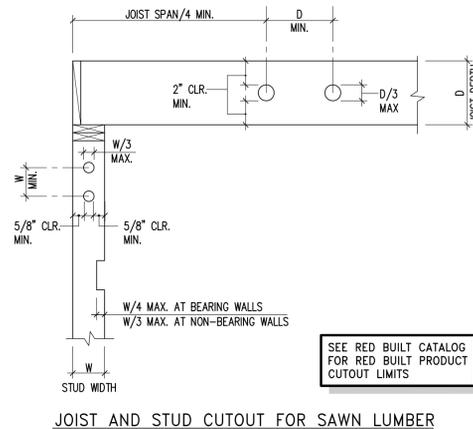
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DOUBLE TOP PLATE DETAILS

SCALE: 3/4" = 1'-0"

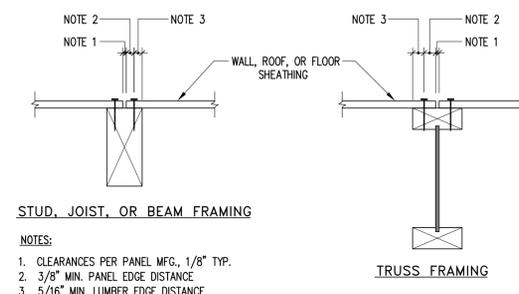
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JOIST & STUD CUTOUT FOR SAWN LUMBER

SCALE: 3/4" = 1'-0"

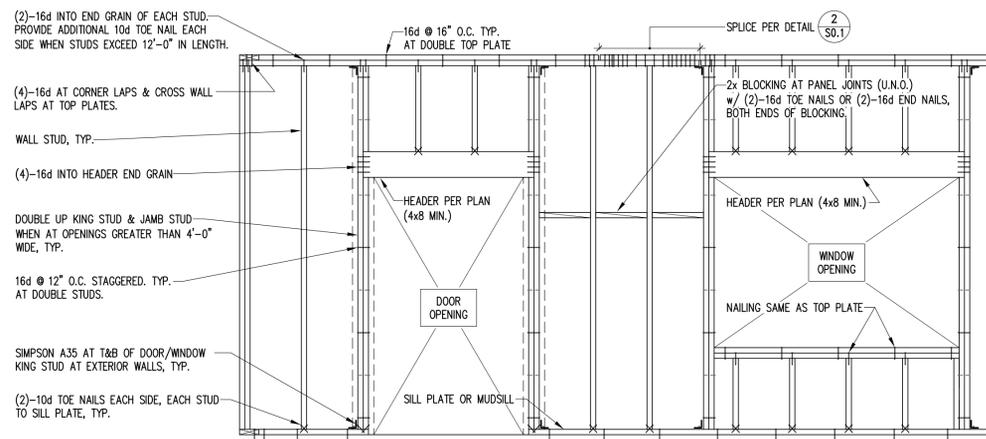
3



MINIMUM NAILING EDGE DISTANCES FOR SHEATHING

SCALE: 2" = 1'-0"

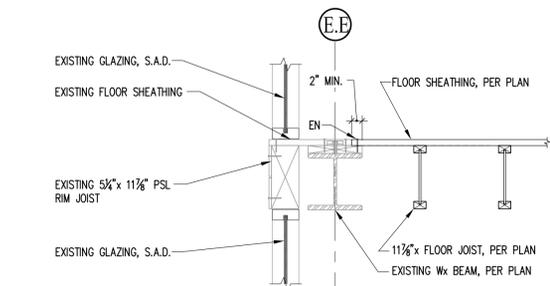
4



TYPICAL BEARING/STUD WALL FRAMING

SCALE: 1/2" = 1'-0"

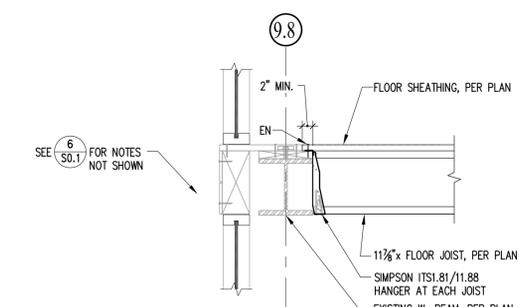
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SECTION

SCALE: 3/4" = 1'-0"

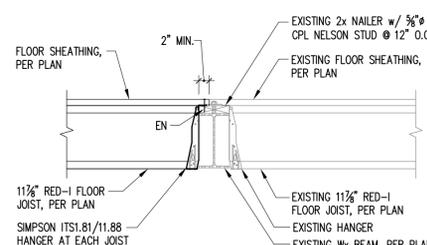
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SECTION

SCALE: 3/4" = 1'-0"

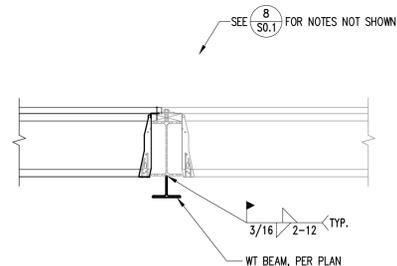
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SECTION

SCALE: 3/4" = 1'-0"

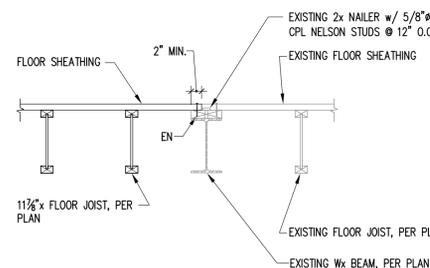
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SECTION

SCALE: 3/4" = 1'-0"

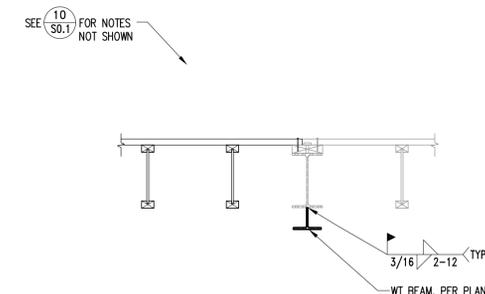
9



SECTION

SCALE: 3/4" = 1'-0"

10



SECTION

SCALE: 3/4" = 1'-0"

11



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NAILING SCHEDULE STANDARD DETAILS

S0.1

SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ELEVATIONS AND WALL LAYOUT. DO NOT SCALE THE STRUCTURAL DRAWINGS.

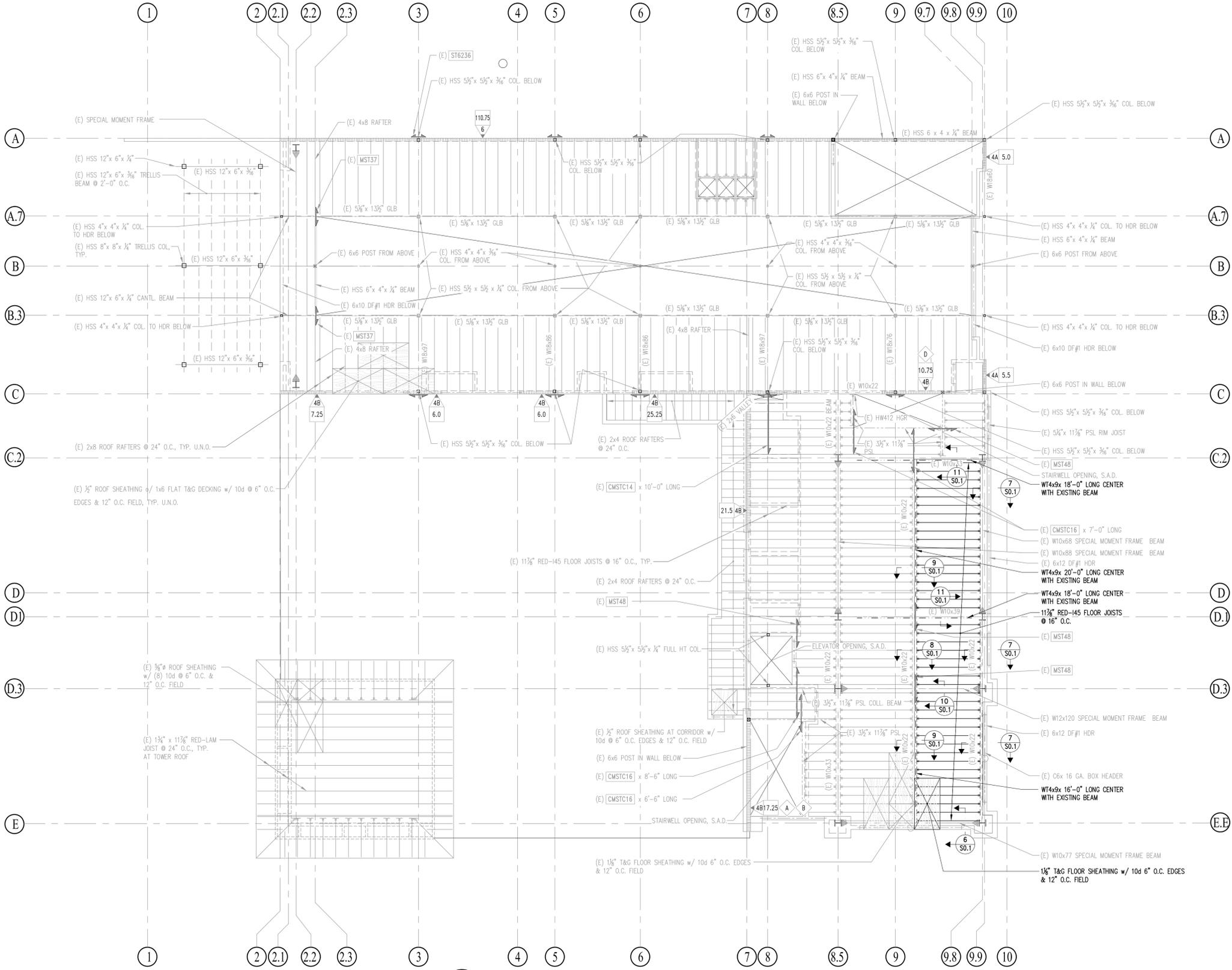


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**FRAMING NOTES :**

- INDICATES EXISTING WALLS
- SEE SHEET S0.1 FOR MINIMUM NAILING REQUIREMENTS.
- SEE SHEET S0.0 FOR STRUCTURAL SPECIFICATIONS.
- INDICATES WALL LENGTH (FEET) USED IN CALCULATIONS
- INDICATES EXISTING SHEAR WALL PLATE FASTENING, SEE SCHEDULE ON SHEET S0.2.
- INDICATES EXISTING SHEAR WALLS WITH SPECIAL NAILING REQUIREMENTS, SEE SCHEDULE ON SHEET S0.2.



3RD FLOOR/ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

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S1.0