



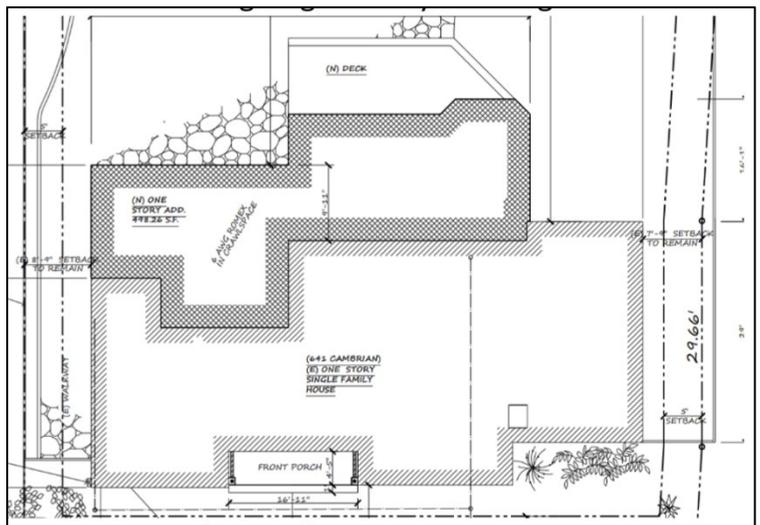
**CITY OF CAMPBELL**  
Community Development Department

May 26, 2022

**NOTICE OF ADMINISTRATIVE ACTION**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

**Project Address:** 641 Cambrian Drive  
**Zoning | Area Plan:** R-1-8 | Campbell Village  
**Neighborhood Association(s):** Campbell Village Neighborhood Association  
**File No.:** PLN-2022-40  
**APN:** PLN-2022-40  
**Applicant:** Colin McCubbins  
**Property Owner:** Edith Csaba-Gallant  
**Application Type:** Administrative Site and Architectural Review



**Project Description:** Construction of a 1,038 square-foot addition to an existing single-family residence.

This project will be decided by the Community Development Director, and you have the opportunity to provide comment prior to the Director’s decision. The ten-day comment period for this application begins on May 27, 2022 and ends on June 6, 2022. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 PM on **June 6, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

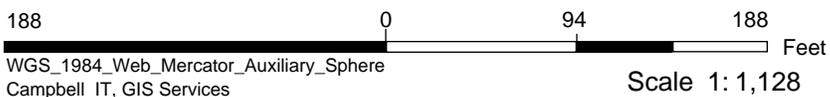
Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City’s website by scanning the QR code, below.

Questions or comments regarding this application may be addressed to Larissa Lomen, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email at [larissal@campbellca.gov](mailto:larissal@campbellca.gov).





# Location Map for 601 Ginden Drive

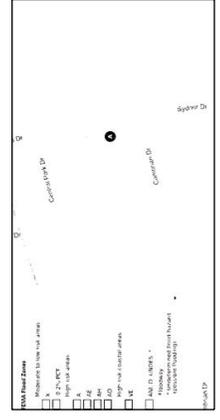


This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

**CODES:**  
 2019 Edition, California Building Code  
 2019 Edition, California Electrical Code (CEC) (2019 LBC)  
 2019 Edition, California Mechanical Code (2019 LMC)  
 2019 Edition, California Plumbing Code (2019 UPC)  
 2019 Edition, California Electrical Code (2019 NEC)  
 2019 Edition, California Fire Code (2019 IFC)  
 2019 Edition, California Energy Code  
 2019 Edition, California Mechanical, Elect. & Plumbing Code (2019 IRC)

**Index Of Drawings**

- A1 SITE PLAN & PROJECT DATA
- A2 SPECIFICATIONS
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- A4 EXISTING & PROPOSED ELEVATIONS
- A5 EXISTING & PROPOSED SECTIONS
- A6 ROOF PLAN & BUILDING SECTION
- A7 RELOCATED CEILING PLAN
- A8 ELEVATIONS WITH FINIS & MATERIALS
- A9 DETAILS
- A10 WASTE MANAGEMENT PLAN
- A11 CONSTRUCTION BEST MANAGEMENT PRACTICES
- T24-1 TITLE 24 PAGE 1
- T24-2 TITLE 24 PAGE 2
- M1E MANDATORY MEASURES
- S - STRUCTURAL PLANS



**FLOOD ZONE MAP**  
SCALE: 1/8" = 1'-0"



**VICINITY MAP**  
SCALE: 1/8" = 1'-0"

Project Data		McClubbard Residence
Zoning Dist.:	R-1-8	641 Cambrian
Existing Lot Size:	11328 s.f.	Campbell, CA
APN NO.:	41237069	
Construction Type	VB	
<b>1. Building Footprint:</b>		
(E) Footprint includes Garage	1961 s.f.	
(N) ADDED Footprint (Main House)	1038 s.f.	
(N) Shed	100 s.f.	
(N) TOTAL Footprint	3099 s.f.	
<b>2. Habitable: FAR CALC</b>		
(E) Habitable	1530 s.f.	
(N) ADDED Habitable	1038 s.f.	
TOTAL (N) HABITABLE	2568 s.f.	
MFA 45% of 11328s.f. (Lot Area)	= 5064.6 s.f.	COMPLIANT
<b>3. Landscaping (Open Area Req. Complies)</b>		
(E) Paved Backyard Area Replaced to match (N) Impervious paving	776 s.f.	
(E) Paved Front Area & Conc. Driveway	867 s.f.	
New Impervious Paved Backyard Area	1888 s.f.	
Softscape, Green Landscape	4340 s.f.	
<b>4. Parking = 2 Car Garage to Remain</b>		
<b>5. Building Wall Height-Cabled Roof</b>		
Existing Building Height	10'-11" +/-	
New Building Height	11'-2" +/-	
NOTE: NO EXISTING FIRE SPRINKLER SYSTEM		
<b>6. Scope Of Work</b>		
A. Master Bedroom Addition with attached bathroom and walk-in-closet.		
B. Family Room & Guest Bedroom with attached bathroom Addition		
C. Laundry Area Relocated, Den Removed, New Furnace Located in Attic		
D. Front Entrance Porch Rereisling		
E. Install Typ. Std. Shed		

Section R32.0.2, Address numbers; Building shall have approved address numbers, identification numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (102 mm) high with a minimum stroke width of 1/8 inch (3.2 mm). Where applicable by means of a private road and the way, a monument plate or other sign or device shall be used to identify the structure.

NOTE: "Address Assignment is required prior to final inspection of the building permit". Reference shall be made to the Building Department for additional information.

C A M B R I A N S T.

Photo Site 1



Photo Site 2



Photo Site 3



Photo Site 4



Photo Site 5



Photo Site 6



Photo Site 7







**Venting Calculations**  
SEE TABLE PROVIDED ON FILE

**EAVES**  
Ea. 2" dia. Dished hole = 3.1 sq. inches  
C. 1" x 2" holes = 3.14 sq. inches  
Bays are 24" apart.

New Master Bedroom Addition roof eave is 3.971 long on 1 side (8 bays).  
This yields 74.4 sq. inches of eave provided. (6.0 sq. inches per 4" section).  
Where 24" x 24" ridge vent is provided, (6.0 sq. inches per 4" section).  
Where 18" x 24" ridge vent is provided, (4.5 sq. inches per 4" section).

74.4 - 270 = **344.4 sq. inches venting provided**

Additional venting provided by 9" x 9" bouvered attic vent.

New Entry Area & Guest Bedroom Addition roof eave is 152.1 long on 2 sides (5 bays). This yields 74.4 sq. inches of eave provided. (6.0 sq. inches per 4" section).  
Where 24" x 24" ridge vent is provided, (6.0 sq. inches per 4" section).  
Where 18" x 24" ridge vent is provided, (4.5 sq. inches per 4" section).

74.4 - 270 = **344.4 sq. inches venting provided**

Additional venting provided by 9" x 9" bouvered attic vent.

This will be more than adequate for the minimum requirements for venting to the house addition.

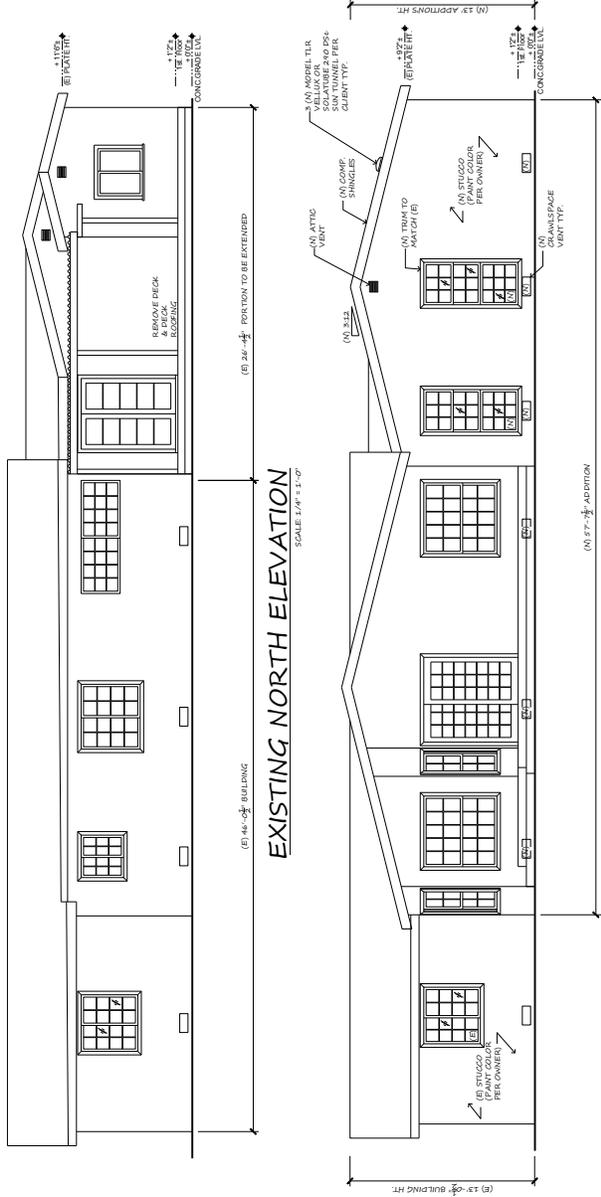
**COMPLIANT**

Upper eaves shall be vented by 2" dia. holes, (1) drilled into each eave roof framing bay. Removing blocking between rafters is not allowed, so at least 1" of clear space must be maintained between rafters. Each vent shall have a net area of 3.14 sq. inches for every 100 sq. feet of attic area. See: 1505 U.K.C. (SEE CALCULATIONS).

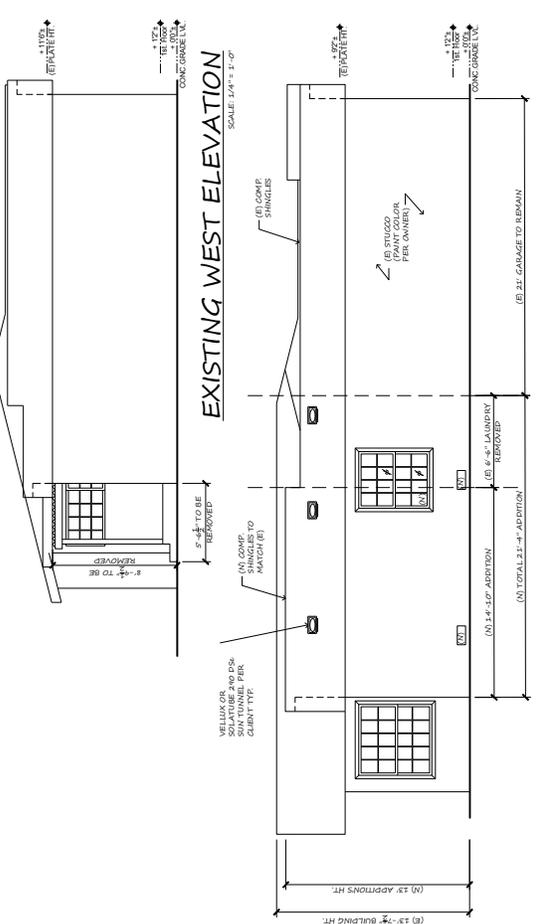
Each drilled vent hole is to be covered by a proper flame retardant mesh or corrosion resistant wire mesh, with openings of 2/4" dimension or less. Vent openings shall be protected with a minimum 1/2" x 1/2" x 1/4" galvanized steel or uncoated cross-ventilation, with a continuous gap in the roof framing between the mesh and the eave. The mesh shall be attached to the roof framing opposite the eaves. Shells underneath of bay windows to be vented as well.

**COMPLIANT**

**Camouflage**



EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

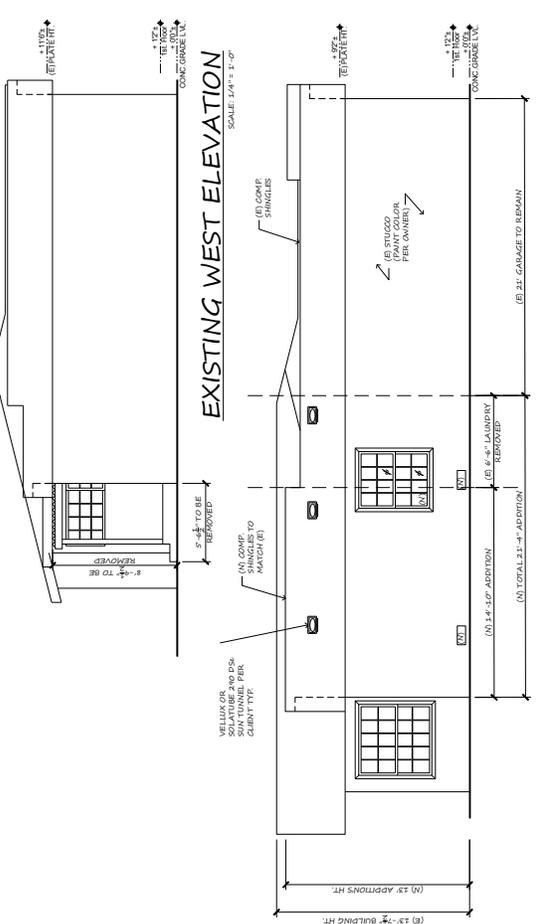


PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

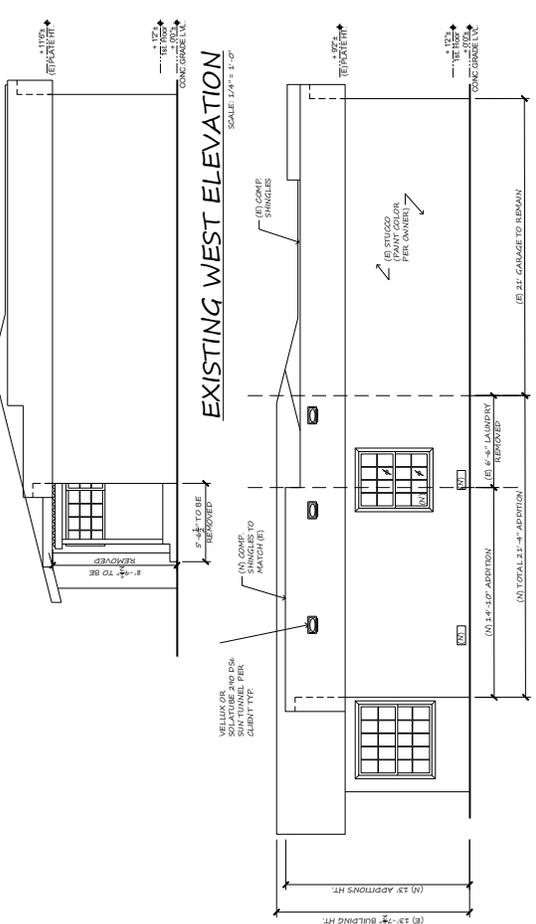
**TYPICAL EXTERIOR ELEVATION NOTES:**

- Contractor to note the following:
- Gutters and downspouts may not be shown, but they are required. If not shown, they shall be installed. If the quantity of material is not shown, please request more information from the architect. The contractor shall be responsible for obtaining all necessary permits and shall have a defect-free copy of the permit on file with the local authority (absolutely not to another property).
  - Proper venting is required, at soffits and underneath of eaves, and at all other locations where required. The contractor shall be responsible for providing all necessary venting materials and shall be responsible for obtaining all necessary permits and shall have a defect-free copy of the permit on file with the local authority (absolutely not to another property).
  - Note that hose bibbs, irrigation controls, utility connections, and other accessories and vents are all permanently affixed around the house and are not to be removed. Check that inventory of the same is completed prior to Contract.
  - Designer will provide clarification or details if requested. Please call the Designer if there are questions. Phone: 500-375-1014

PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

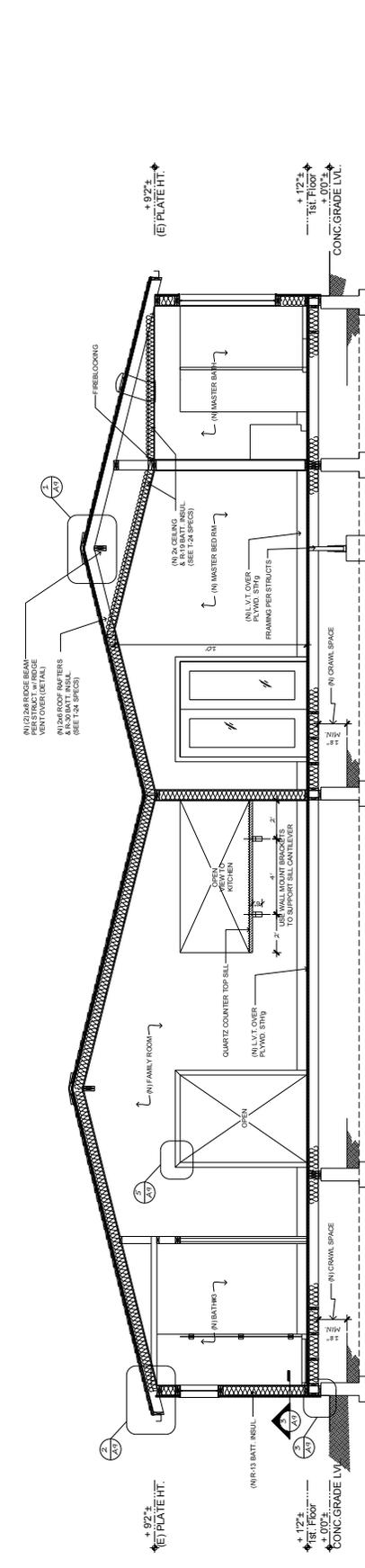


EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

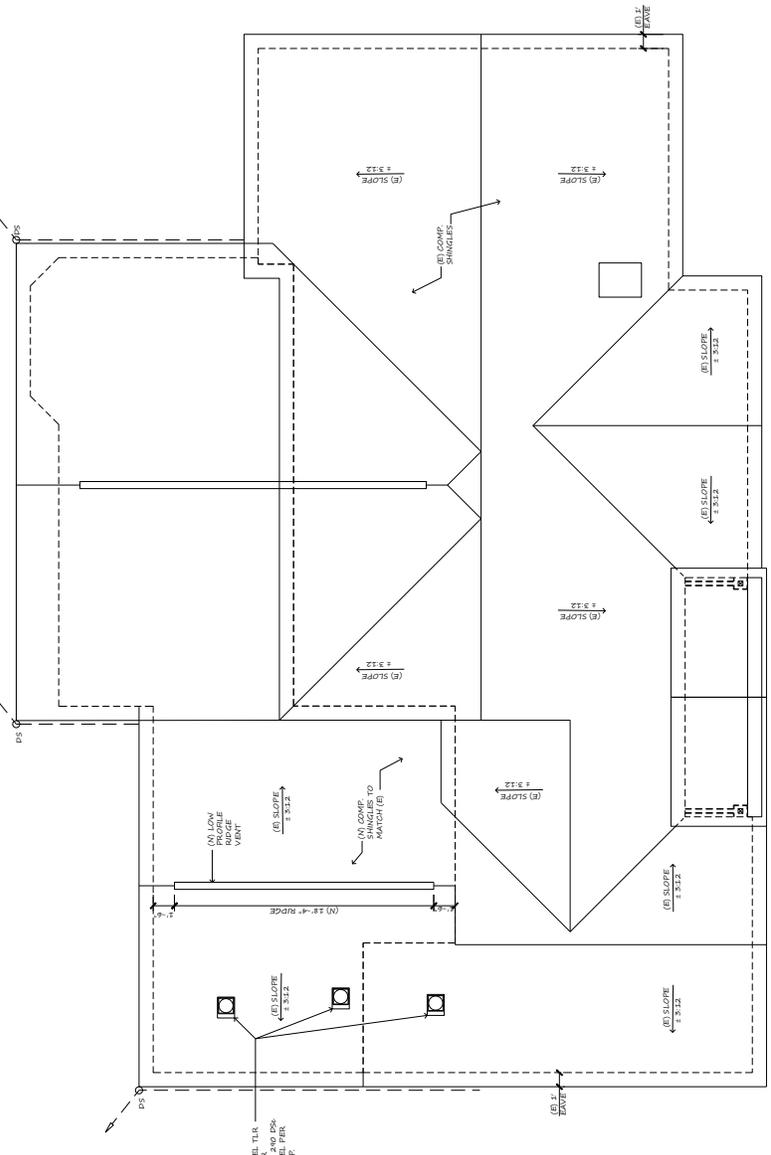


PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"





BUILDING SECTION X-X  
SCALE 1/4" = 1'-0"



- ELECTRICAL NOTES**
- SERVICE TO BE UPGRADED TO 200A IN PHASE 1 PROJECT.
  - CONDUIT SHALL BE INSTALLED IN WALLS, UNLESS OTHERWISE SPECIFIED. CONDUITS SHALL BE INSTALLED IN WALLS, UNLESS OTHERWISE SPECIFIED.
  - ALL (E) DUST OPERATIONS SHALL BE COVERED DURING CONSTRUCTION.
  - WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED DUCTS OR COVERS WHICH CLOSE WHEN THE FANS ARE NOT IN USE.
  - EXTERIOR ALL EXTERIOR OUTLETS TO BE ON GFCI & W/PERFECT-CONNECT 2108.
  - ALL KITCHEN OUTLETS TO BE GFI (TYP).
  - KITCHEN SKYLIGHT IS ELECTRIC-POWERED VENTING.

**CONTRACTOR NOTE:**  
1) ANNULAR SPACES AROUND PIPED, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT ROOF VENTS SHALL BE SEALED WITH AN APPROPRIATE SEALANT. SEALANT SHALL BE APPLIED TO THE JOINTS WITH GRANULAR INSULATION, GONG-KASOJANY.  
2) ALL (E) DUST OPERATIONS SHALL BE COVERED DURING CONSTRUCTION.  
3) WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED DUCTS OR COVERS WHICH CLOSE WHEN THE FANS ARE NOT IN USE.  
4) EXTERIOR ALL EXTERIOR OUTLETS TO BE ON GFCI & W/PERFECT-CONNECT 2108.  
5) DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENT IS SELECTED USING THE METHODS DESCRIBED IN 4.097.2 OF ASHRAE 62.1-2019.

**CLIENT / CONTRACTOR NOTE:**  
**VENT ON FIELD:**  
TYPICAL EXISTING SMOKE ALARMS AND CARBON MONOXIDE ALARMS, IF THE EXISTING SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE MORE THAN 20 YEARS OLD (10 YEARS FROM THE DATE OF INSTALLATION), THEY ARE REQUIRED TO BE REPLACED WITH NEW SMOKE ALARMS IN ACCORDANCE WITH THE CITY OF PALO ALTO MUNICIPAL CODE.

- ROOF PLAN NOTES**
- ATTIC VENTILATION SHALL BE PROVIDED AS PER IRC 3209 (3). THE NET FREE AREA OF ROOF VENTS SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE ROOF AREA VENTED.
  - PROVIDED GCM FLASHING AT ALL REQUIRED AREAS PER INDUSTRY STANDARDS.
  - INDICATES RIDGE VENT.
  - INDICATES DOWNSPOUT LOCATION.
  - INDICATES ROOF FINISH (4 INCH RISE 12 INCH RUN).





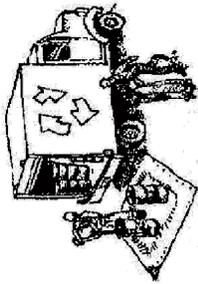




# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
  - Use (but don't overuse) reclaimed water for dust control.
  - Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

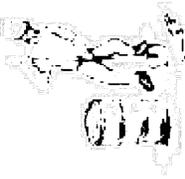
### Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleaned vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
  - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services, (800) 852-7550 (24 hours).

## Concrete Management and Dewatering



- Concrete Management**
- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
  - Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
  - Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

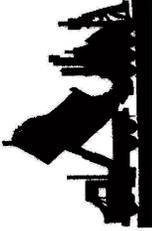
### Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

### Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discourage application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Paving/Asphalt Work

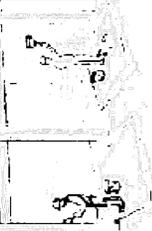


- Paving**
- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
  - Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
  - Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

## Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
  - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
  - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
  - Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
  - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



Santa Clara Valley  
Urban Runoff  
Pollution Prevention Program

Storm drain polluters may be liable for fines of up to \$10,000 per day!

**CERTIFICATE OF COMPLIANCE**  
 Project Name: 641 Cambrian Dr Residence  
 Calculation Date/Time: 2022-03-07T13:02:46-05:00  
 Input File Name: 2022\_03\_07\_13:02:46-05\_00  
 Calculation Description: Title 24 Analysis  
 ANALYSIS: 641Cambrian

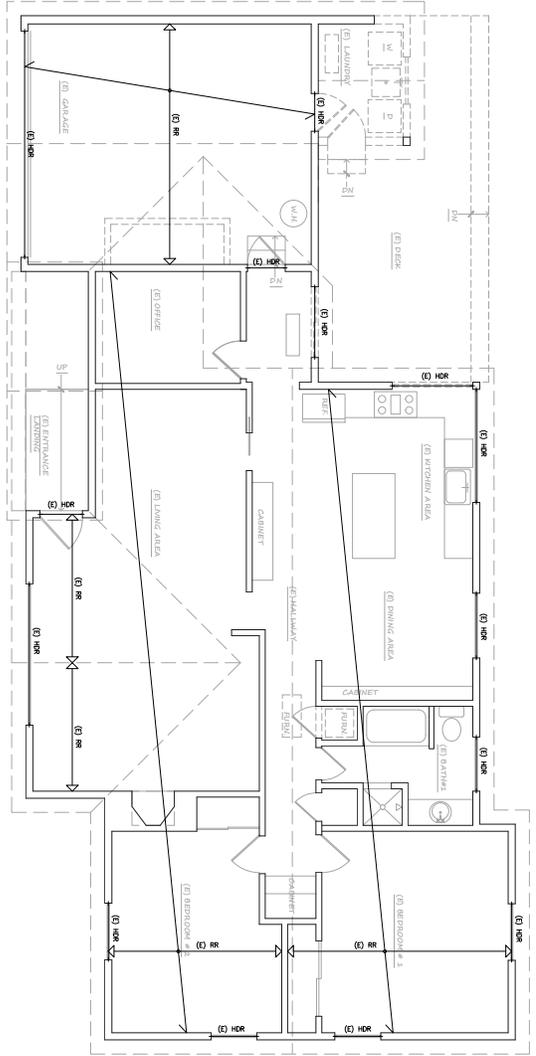
**GENERAL INFORMATION**

01	Project Name	641 Cambrian Dr Residence	06	City	Campbell
02	Project Address	641 Cambrian Dr	07	County	San Jose
03	City	Campbell	08	State	CA
04	Project Type	Single-Family Residential	09	Year Bldg	2022
05	Building Type	Single-Family Residential	10	Number of Cooling Units	1
06	Number of Cooling Units	1	11	Number of Heating Units	1
07	Number of Heating Units	1	12	Number of Water Heating Units	1
08	Number of Water Heating Units	1	13	Number of Dishwashers	1
09	Number of Dishwashers	1	14	Number of Garbage Disposals	1
10	Number of Garbage Disposals	1	15	Number of Stoves	1
11	Number of Stoves	1	16	Number of Freezers	1
12	Number of Freezers	1	17	Number of Refrigerators	1
13	Number of Refrigerators	1	18	Number of Freezers	1
14	Number of Freezers	1	19	Number of Dishwashers	1
15	Number of Dishwashers	1	20	Number of Garbage Disposals	1
16	Number of Garbage Disposals	1	21	Number of Stoves	1
17	Number of Stoves	1	22	Number of Freezers	1
18	Number of Freezers	1	23	Number of Refrigerators	1
19	Number of Refrigerators	1	24	Number of Freezers	1
20	Number of Freezers	1	25	Number of Dishwashers	1
21	Number of Dishwashers	1	26	Number of Garbage Disposals	1
22	Number of Garbage Disposals	1	27	Number of Stoves	1
23	Number of Stoves	1	28	Number of Freezers	1
24	Number of Freezers	1	29	Number of Refrigerators	1
25	Number of Refrigerators	1	30	Number of Freezers	1
26	Number of Freezers	1	31	Number of Dishwashers	1
27	Number of Dishwashers	1	32	Number of Garbage Disposals	1
28	Number of Garbage Disposals	1	33	Number of Stoves	1
29	Number of Stoves	1	34	Number of Freezers	1
30	Number of Freezers	1	35	Number of Refrigerators	1
31	Number of Refrigerators	1	36	Number of Freezers	1
32	Number of Freezers	1	37	Number of Dishwashers	1
33	Number of Dishwashers	1	38	Number of Garbage Disposals	1
34	Number of Garbage Disposals	1	39	Number of Stoves	1
35	Number of Stoves	1	40	Number of Freezers	1
36	Number of Freezers	1	41	Number of Refrigerators	1
37	Number of Refrigerators	1	42	Number of Freezers	1
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39	Number of Dishwashers	1	44	Number of Garbage Disposals	1
40	Number of Garbage Disposals	1	45	Number of Stoves	1
41	Number of Stoves	1	46	Number of Freezers	1
42	Number of Freezers	1	47	Number of Refrigerators	1
43	Number of Refrigerators	1	48	Number of Freezers	1
44	Number of Freezers	1	49	Number of Dishwashers	1
45	Number of Dishwashers	1	50	Number of Garbage Disposals	1
46	Number of Garbage Disposals	1	51	Number of Stoves	1
47	Number of Stoves	1	52	Number of Freezers	1
48	Number of Freezers	1	53	Number of Refrigerators	1
49	Number of Refrigerators	1	54	Number of Freezers	1
50	Number of Freezers	1	55	Number of Dishwashers	1
51	Number of Dishwashers	1	56	Number of Garbage Disposals	1
52	Number of Garbage Disposals	1	57	Number of Stoves	1
53	Number of Stoves	1	58	Number of Freezers	1
54	Number of Freezers	1	59	Number of Refrigerators	1
55	Number of Refrigerators	1	60	Number of Freezers	1
56	Number of Freezers	1	61	Number of Dishwashers	1
57	Number of Dishwashers	1	62	Number of Garbage Disposals	1
58	Number of Garbage Disposals	1	63	Number of Stoves	1
59	Number of Stoves	1	64	Number of Freezers	1
60	Number of Freezers	1	65	Number of Refrigerators	1
61	Number of Refrigerators	1	66	Number of Freezers	1
62	Number of Freezers	1	67	Number of Dishwashers	1
63	Number of Dishwashers	1	68	Number of Garbage Disposals	1
64	Number of Garbage Disposals	1	69	Number of Stoves	1
65	Number of Stoves	1	70	Number of Freezers	1
66	Number of Freezers	1	71	Number of Refrigerators	1
67	Number of Refrigerators	1	72	Number of Freezers	1
68	Number of Freezers	1	73	Number of Dishwashers	1
69	Number of Dishwashers	1	74	Number of Garbage Disposals	1
70	Number of Garbage Disposals	1	75	Number of Stoves	1
71	Number of Stoves	1	76	Number of Freezers	1
72	Number of Freezers	1	77	Number of Refrigerators	1
73	Number of Refrigerators	1	78	Number of Freezers	1
74	Number of Freezers	1	79	Number of Dishwashers	1
75	Number of Dishwashers	1	80	Number of Garbage Disposals	1
76	Number of Garbage Disposals	1	81	Number of Stoves	1
77	Number of Stoves	1	82	Number of Freezers	1
78	Number of Freezers	1	83	Number of Refrigerators	1
79	Number of Refrigerators	1	84	Number of Freezers	1
80	Number of Freezers	1	85	Number of Dishwashers	1
81	Number of Dishwashers	1	86	Number of Garbage Disposals	1
82	Number of Garbage Disposals	1	87	Number of Stoves	1
83	Number of Stoves	1	88	Number of Freezers	1
84	Number of Freezers	1	89	Number of Refrigerators	1
85	Number of Refrigerators	1	90	Number of Freezers	1
86	Number of Freezers	1	91	Number of Dishwashers	1
87	Number of Dishwashers	1	92	Number of Garbage Disposals	1
88	Number of Garbage Disposals	1	93	Number of Stoves	1
89	Number of Stoves	1	94	Number of Freezers	1
90	Number of Freezers	1	95	Number of Refrigerators	1
91	Number of Refrigerators	1	96	Number of Freezers	1
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93	Number of Dishwashers	1	98	Number of Garbage Disposals	1
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95	Number of Stoves	1	100	Number of Freezers	1
96	Number of Freezers	1	101	Number of Refrigerators	1
97	Number of Refrigerators	1	102	Number of Freezers	1
98	Number of Freezers	1	103	Number of Dishwashers	1
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101	Number of Stoves	1	106	Number of Freezers	1
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105	Number of Dishwashers	1	110	Number of Garbage Disposals	1
106	Number of Garbage Disposals	1	111	Number of Stoves	1
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110	Number of Freezers	1	115	Number of Dishwashers	1
111	Number of Dishwashers	1	116	Number of Garbage Disposals	1
112	Number of Garbage Disposals	1	117	Number of Stoves	1
113	Number of Stoves	1	118	Number of Freezers	1
114	Number of Freezers	1	119	Number of Refrigerators	1
115	Number of Refrigerators	1	120	Number of Freezers	1
116	Number of Freezers	1	121	Number of Dishwashers	1
117	Number of Dishwashers	1	122	Number of Garbage Disposals	1
118	Number of Garbage Disposals	1	123	Number of Stoves	1
119	Number of Stoves	1	124	Number of Freezers	1
120	Number of Freezers	1	125	Number of Refrigerators	1
121	Number of Refrigerators	1	126	Number of Freezers	1
122	Number of Freezers	1	127	Number of Dishwashers	1
123	Number of Dishwashers	1	128	Number of Garbage Disposals	1
124	Number of Garbage Disposals	1	129	Number of Stoves	1
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126	Number of Freezers	1	131	Number of Refrigerators	1
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129	Number of Dishwashers	1	134	Number of Garbage Disposals	1
130	Number of Garbage Disposals	1	135	Number of Stoves	1
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147	Number of Dishwashers	1	152	Number of Garbage Disposals	1
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150	Number of Freezers	1	155	Number of Refrigerators	1
151	Number of Refrigerators	1	156	Number of Freezers	1
152	Number of Freezers	1	157	Number of Dishwashers	1
153	Number of Dishwashers	1	158	Number of Garbage Disposals	1
154	Number of Garbage Disposals	1	159	Number of Stoves	1
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196	Number of Garbage Disposals	1	201	Number of Stoves	1
197	Number of Stoves	1	202	Number of Freezers	1
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203	Number of Stoves	1	208	Number of Freezers	1
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226	Number of Garbage Disposals	1	231	Number of Stoves	1
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231	Number of Dishwashers	1	236	Number of Garbage Disposals	1
232	Number of Garbage Disposals	1	237	Number of Stoves	1
233	Number of Stoves	1	238	Number of Freezers	1
234	Number of Freezers	1	239	Number of Refrigerators	1
235	Number of Refrigerators	1	240	Number of Freezers	1
236	Number of Freezers	1	241	Number of Dishwashers	1
237	Number of Dishwashers	1	242	Number of Garbage Disposals	1
238	Number of Garbage Disposals	1	243	Number of Stoves	1
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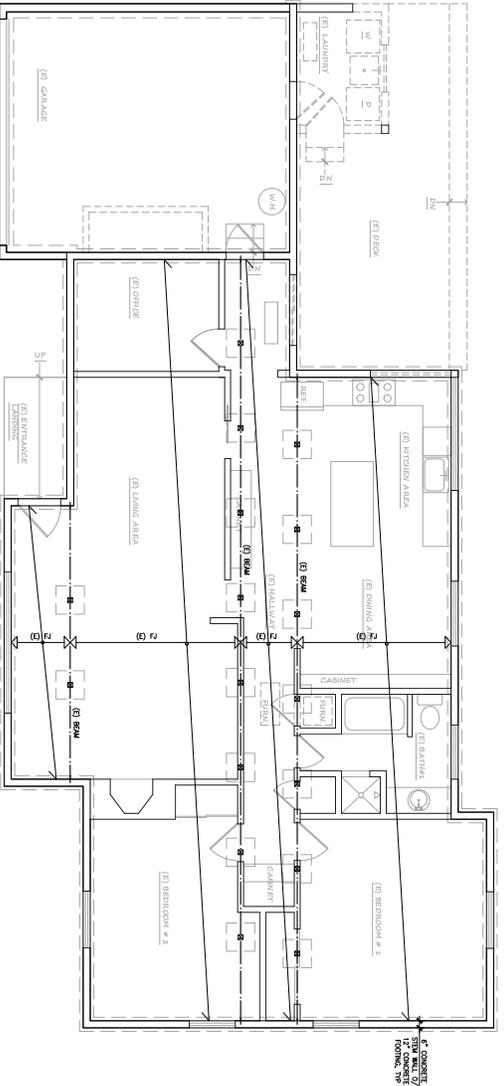








EXISTING FRAMING PLAN  
SCALE: 1/4"=1'



EXISTING FOUNDATION PLAN  
SCALE: 1/4"=1'

**FRAMING LEGEND**

1. EXISTING FOUNDATION WALLS TO REMAIN FOR EXISTING FOUNDATION
2. NEW FOUNDATION WALLS TO BE CONSTRUCTED
3. EXISTING FOUNDATION WALLS TO BE DEMOLISHED
4. EXISTING FOUNDATION WALLS TO BE RECONSTRUCTED
5. EXISTING FOUNDATION WALLS TO BE RECONSTRUCTED WITH NEW FINISHES
6. EXISTING FOUNDATION WALLS TO BE RECONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS
7. EXISTING FOUNDATION WALLS TO BE RECONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS
8. EXISTING FOUNDATION WALLS TO BE RECONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

1. NEW FOUNDATION WALLS TO BE CONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

2. NEW FOUNDATION WALLS TO BE CONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

3. NEW FOUNDATION WALLS TO BE CONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

4. NEW FOUNDATION WALLS TO BE CONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

5. NEW FOUNDATION WALLS TO BE CONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

6. NEW FOUNDATION WALLS TO BE CONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

7. NEW FOUNDATION WALLS TO BE CONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

8. NEW FOUNDATION WALLS TO BE CONSTRUCTED WITH NEW FINISHES AND NEW INTERIORS AND NEW EXTERIORS AND NEW FOUNDATION

**CLIENT:**  
MCCUBBINS  
641 CAMBRIAN DR.  
CAMPBELL, CA 95008

**ADDITION AND REMODEL**  
641 CAMBRIAN DR  
CAMPBELL, CA 95008

**REGISTERED PROFESSIONAL ENGINEER**  
JACK STANE  
C 86191  
3-19-2022

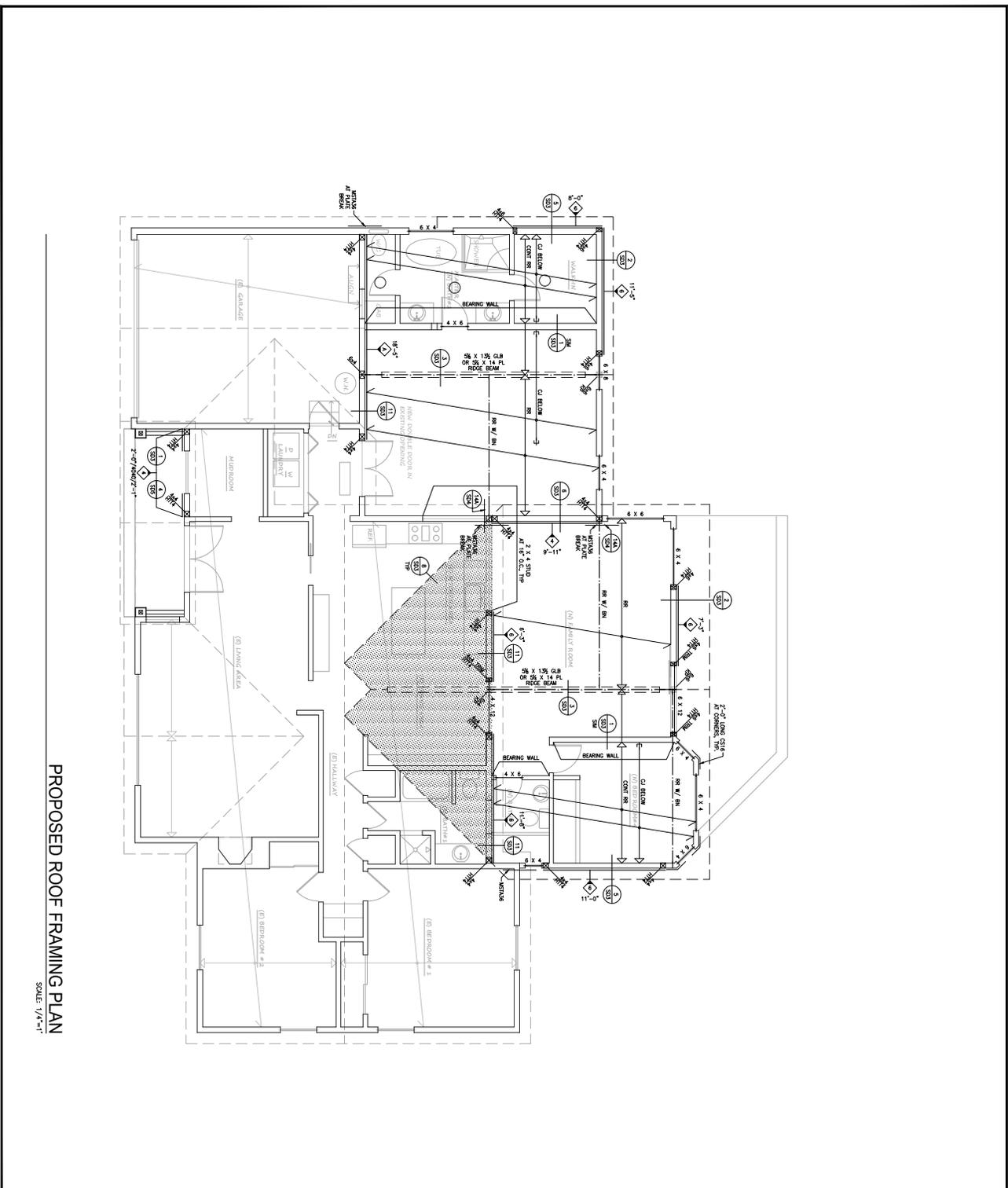
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**DATE:** 14E - 1/1/21  
**SCALE:** 1/4"=1'  
**PROJECT:** 03-10-2022

**EXISTING FOUNDATION & ROOF FRAMING PLAN**

**S1**





PROPOSED ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0"

FRAMING NOTES

- ALL STRUCTURAL STEEL FRAMES SHALL BE SHOWN AND DETAIL AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURE TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN.
- ALL JOISTS SHALL BE 2" X 8" OR 2" X 10" UNLESS OTHERWISE NOTED. ALL RAFTERS SHALL BE 2" X 8" UNLESS OTHERWISE NOTED. ALL BEAMS SHALL BE 4" X 6" UNLESS OTHERWISE NOTED.
- ALL JOISTS SHALL BE SPACED AT 16" ON CENTER UNLESS OTHERWISE NOTED. ALL RAFTERS SHALL BE SPACED AT 16" ON CENTER UNLESS OTHERWISE NOTED. ALL BEAMS SHALL BE SPACED AT 16" ON CENTER UNLESS OTHERWISE NOTED.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.
- ALL JOISTS SHALL BE CUT TO FIT OVER ALL BEAMS AND RAFTERS. ALL RAFTERS SHALL BE CUT TO FIT OVER ALL JOISTS AND BEAMS. ALL BEAMS SHALL BE CUT TO FIT OVER ALL JOISTS AND RAFTERS.

FRAMING LEGEND

- 1. JOIST: 2" X 8" OR 2" X 10" UNLESS OTHERWISE NOTED.
- 2. RAFTER: 2" X 8" UNLESS OTHERWISE NOTED.
- 3. BEAM: 4" X 6" UNLESS OTHERWISE NOTED.
- 4. BRACKET: 4" X 6" UNLESS OTHERWISE NOTED.
- 5. SHEAR WALL: 8" CMU UNLESS OTHERWISE NOTED.
- 6. WINDOW: 1/2" X 1/2" UNLESS OTHERWISE NOTED.
- 7. DOOR: 1/2" X 1/2" UNLESS OTHERWISE NOTED.
- 8. FINISH: 1/2" X 1/2" UNLESS OTHERWISE NOTED.

SHEAR WALL SCHEDULE

NO.	DESCRIPTION	THICKNESS	HEIGHT	LENGTH	AREA	VOLUME	WEIGHT	MARKING
1	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
2	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
3	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
4	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
5	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
6	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
7	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
8	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
9	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"
10	8" CMU	8"	8'	10'	640	1280	1280	10'-0" x 8'-0" x 8"

**ADDITION AND REMODEL**  
641 CAMBRIAN DR  
CAMPBELL, CA 95008

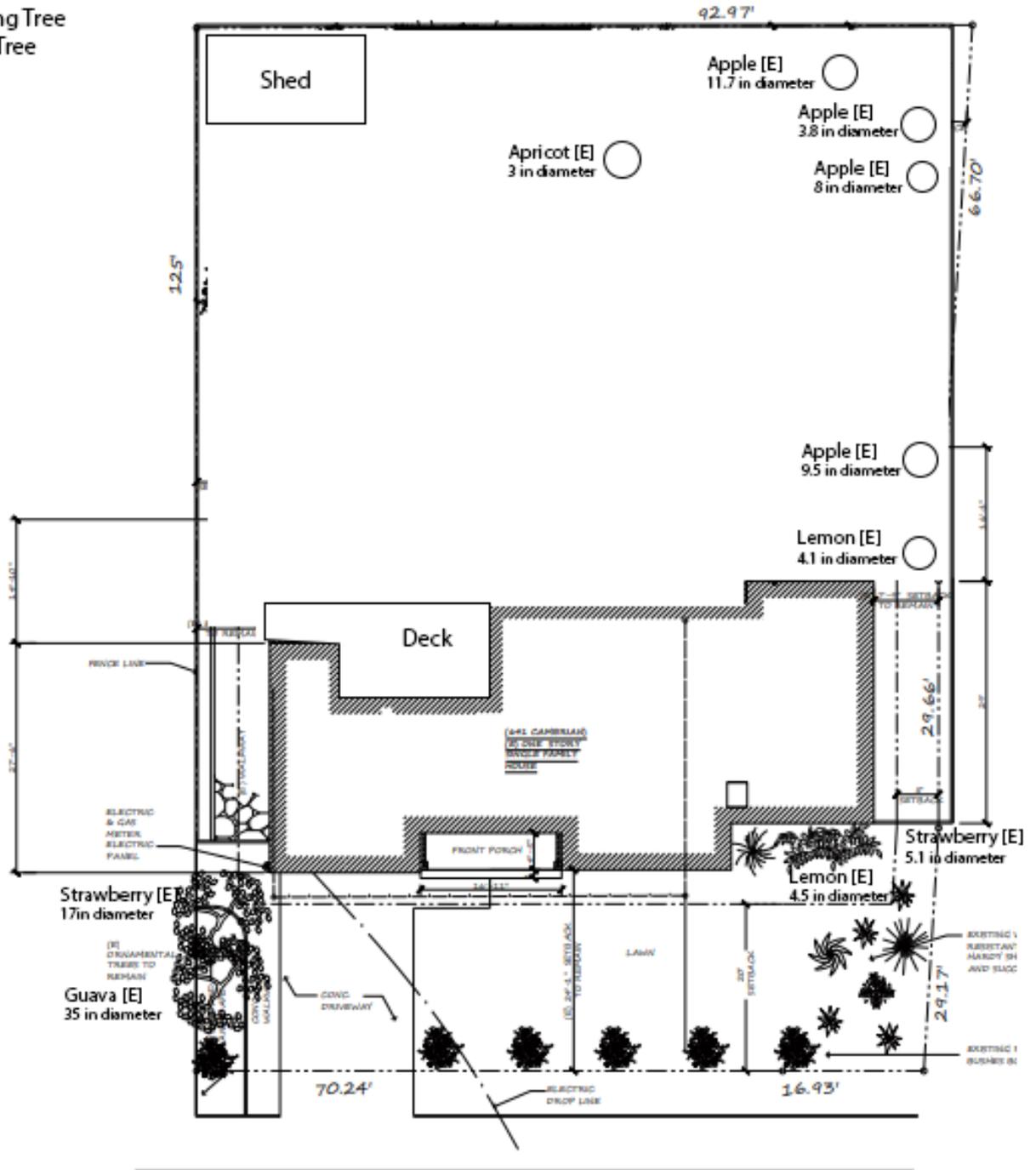
CLIENT:  
**McCLUBBINS**  
641 CAMBRIAN DR,  
CAMPBELL, CA 95008

DATE: 1-14-2022  
DRAWN BY: JES  
CHECKED BY: JES  
DATE: 01-10-2022

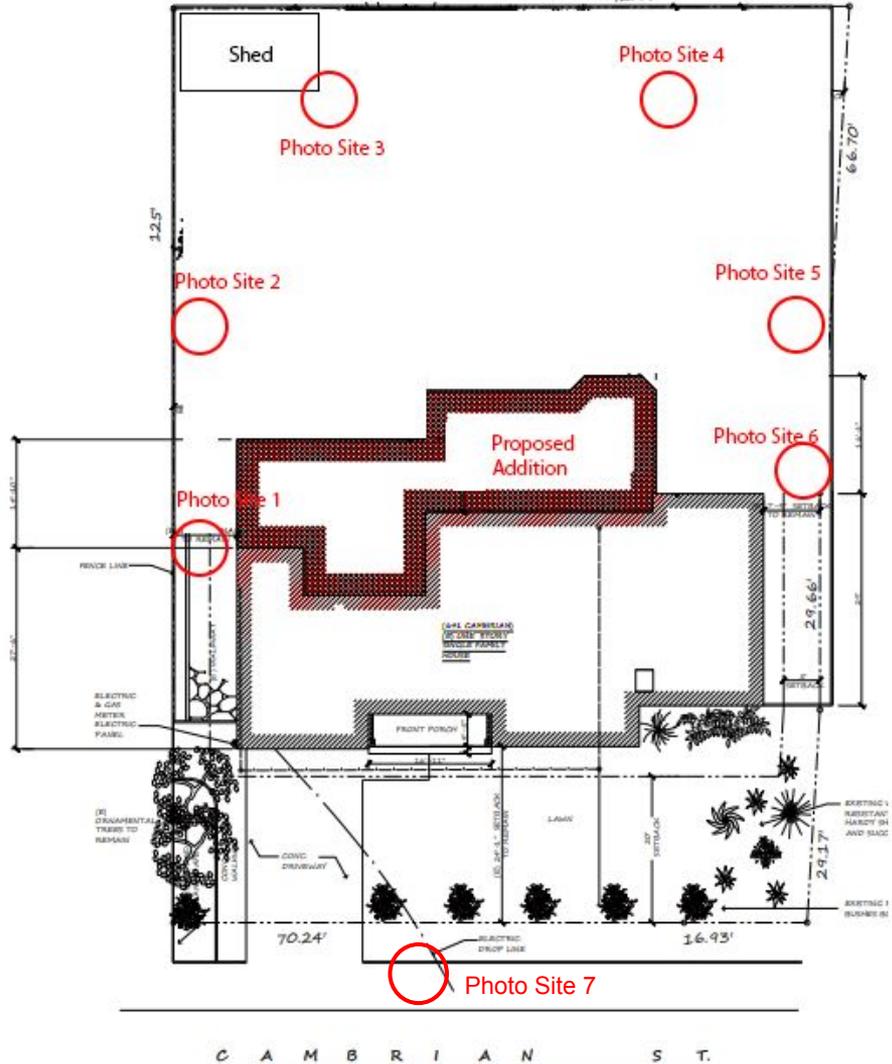
**PROPOSED ROOF FRAMING PLAN**

**S3**

Legend:  
 [E] : Existing Tree  
 [N] : New Tree



C A M B R I A N S T.



C A M B R I A N S T.





REGISTERED PROFESSIONAL ENGINEER  
 JACOB DAVIS  
 License No. C 86191  
 State of California  
 MECHANICAL ENGINEERING

CLIENT:  
 McCLEBBINS  
 641 CAMBRIAN DR.  
 CAMPBELL, CA 95008

ADDITION AND REMODEL  
 641 CAMBRIAN DR  
 CAMPBELL, CA 95008

SD1

DATE: 14E - 1/14/11  
 DRAWN BY: JED  
 CHECKED BY: JED  
 REVISION DATE: 03-10-2022


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