



CITY OF CAMPBELL
Community Development Department

COURTESY NOTICE OF NEW PLANNING APPLICATION

June 30, 2022

Dear Campbell Resident,

The following provides a brief description of a proposed project in your neighborhood. As a courtesy notice, this letter is intended to provide members of the public an early opportunity to become engaged in the planning process. If you should have any questions about the project, the contact information of the Project Planner has been provided below. Alternatively, you may visit the Planning Division to view the project plans. Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

Project Address: 1614 W Hacienda Ave

Zoning | Area Plan: R-1-9 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2022-67

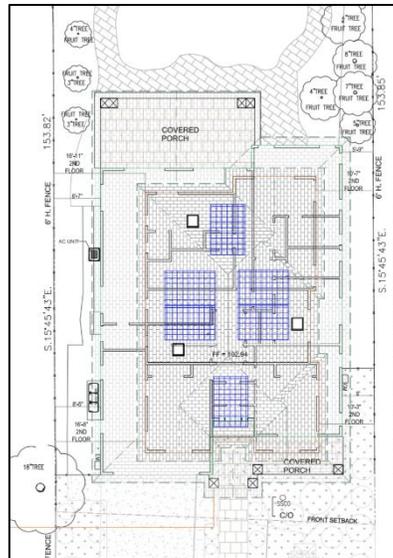
APN: 403-18-073

Applicant: Fahed Habayeb

Property Owner: Venkata Gurajada

Application Type: Site and Architectural Review Permit

Project Description: : A Site and Architectural Review Permit Application to allow the construction of a new 4,012 SF dwelling using portions of the existing house.



Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

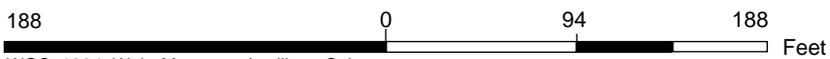
Phone Contact: (408) 866-2144

Note: This is a courtesy notice to all property owners within 300-feet of the project address. Applications may change after initial application submittal. To view the project plans, please scan the QR code:





Location Map for 1614 W Hacienda Ave.



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:1,128

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

FIRE DEPT. NOTES

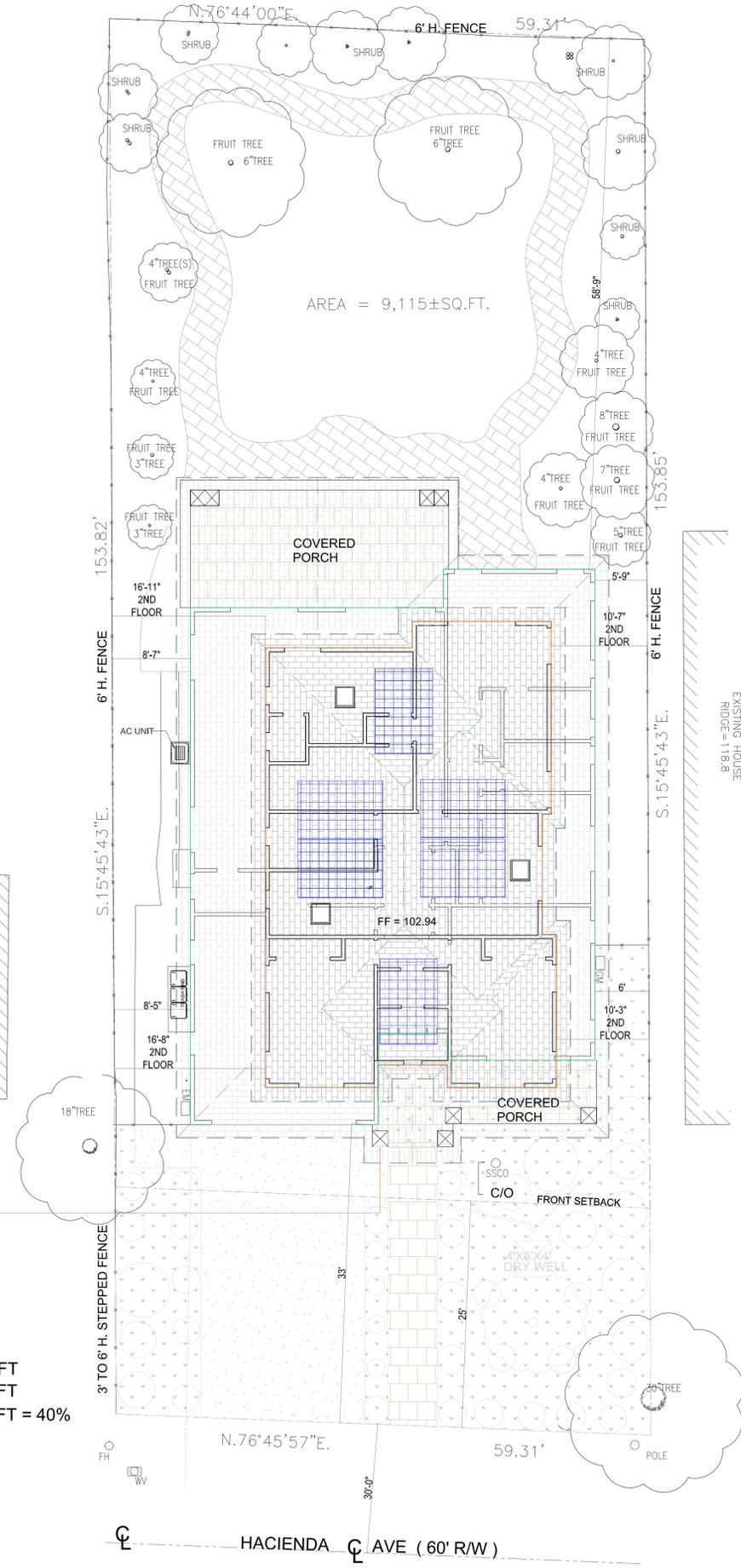
1. THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR (S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED.
NOTE: COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY CBLMC
2. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7
3. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7.



ADDITION DIAGRAM

BUILDING ADDRESS NOTE:
BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2".

- TOTAL FRONT SETBACK AREA = 1,482 SQFT
- TOTAL LANDSCAPE AREA = 889 SQFT
- TOTAL HARDSCAPE AREA = 593 SQFT = 40%



NEW SITE PLAN
1/8" = 1'-0"

NEW DWELLING USING PORTIONS OF THE ORIGINAL STRUCTURE
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008



PROJECT LOCATION

PROJECT DATA

- A.P.N. #	403-18-073
- LOT SIZE GROSS	10,895 SQ. FT.
- LOT SIZE NET	9,115 SQ. FT.
- ZONING	R1-9
- OCCUPANCY	R/3-U
- TYPE OF CONSTRUCTION	V-B
- BUILDING FULLY SPRINKLERED	YES
EXISTING F.A.R.	
- EXISTING HOUSE	1,440 SQ. FT.
- EXISTING GARAGE	552 SQ. FT.
- 3 SIDE WALL COVERED PORCHES	72 SQ. FT.
- TOTAL	2,064 SQ. FT.
	= 22 %

NEW F.A.R.	
- (E) 1ST FLOOR :	2,064 SQ. FT.
- 1ST FLOOR ADDITIONS	367 SQ. FT.
- 3 SIDE WALL COVERED PORCH	23 SQ. FT.
- NEW 2ND FLOOR	1,558 SQ. FT.
- TOTAL HOUSE	4,012 SQ. FT.
	= 44%

NEW LOT COVERAGE	
- TOTAL NEW 1ST FLOOR	2,454 SQ. FT.
- NEW FRONT COVERED ENTRY PORCH	190 SQ. FT.
- NEW REAR COVERED PORCH	370 SQ. FT.
- TOTAL	3,014 SQ. FT.
	= 33 %

DRAWING INDEX

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A2	NEW EXTERIOR ELEVATIONS
A3	CROSS SECTIONS
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L1	CONCEPTUAL LANDSCAPE PLAN
CM	PROJECT COLOR & MATERIALS
BP	EXIST 4 SIDE BUILDING PHOTOS

CODES

CALIFORNIA RESIDENTIAL CODE (CRC)	2019
CALIFORNIA BUILDING CODE (CBC)	2019
CALIFORNIA ELECTRICAL CODE (CEC)	2019
CALIFORNIA MECH. CODE (CMC)	2019
CALIFORNIA PLUMBING CODE (CPC)	2019
CALIFORNIA ENERGY CODE	2019
CALIFORNIA FIRE CODE (CFC)	2019
CALIFORNIA GREEN BUILDING STANDARD CODE	2019
CAMPBELL MUNICIPAL CODE	

SCOPE OF WORK

- 1- DEMOLITION WORK
 - EXISTING EXTERIOR & INTERIOR WALLS
 - COMPLETE DEMOLITION OF THE ROOF
- 2- NEW CONSTRUCTION OF 1ST STORY ADDITION & NEW 2ND FLOOR:
 - EXCAVATING & FOUNDATION WORK
 - WOOD FRAMING WORK
 - NEW ROOF
 - PLUMBING & MECHANICAL WORK
 - ELECTRICAL WORK
 - INTERIOR FINISH WORK

FAHED HABAYEB
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2640 SENTER CREEK CT.
SAN JOSE, CA. 95111
408 483-0302
habayeb3@aol.com

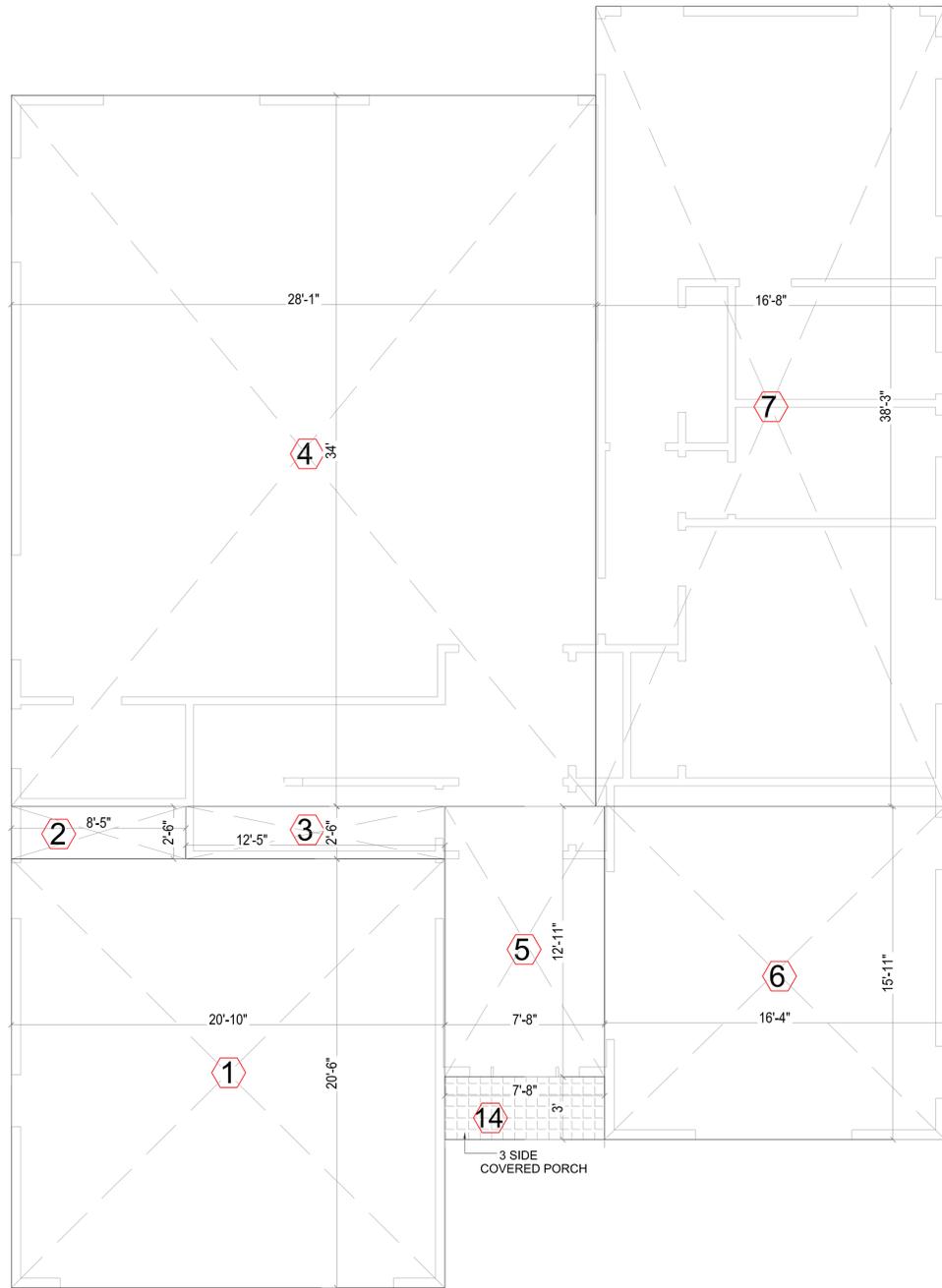


NEW DWELLING USING PORTIONS OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008

NO.	DATE	ISSUE

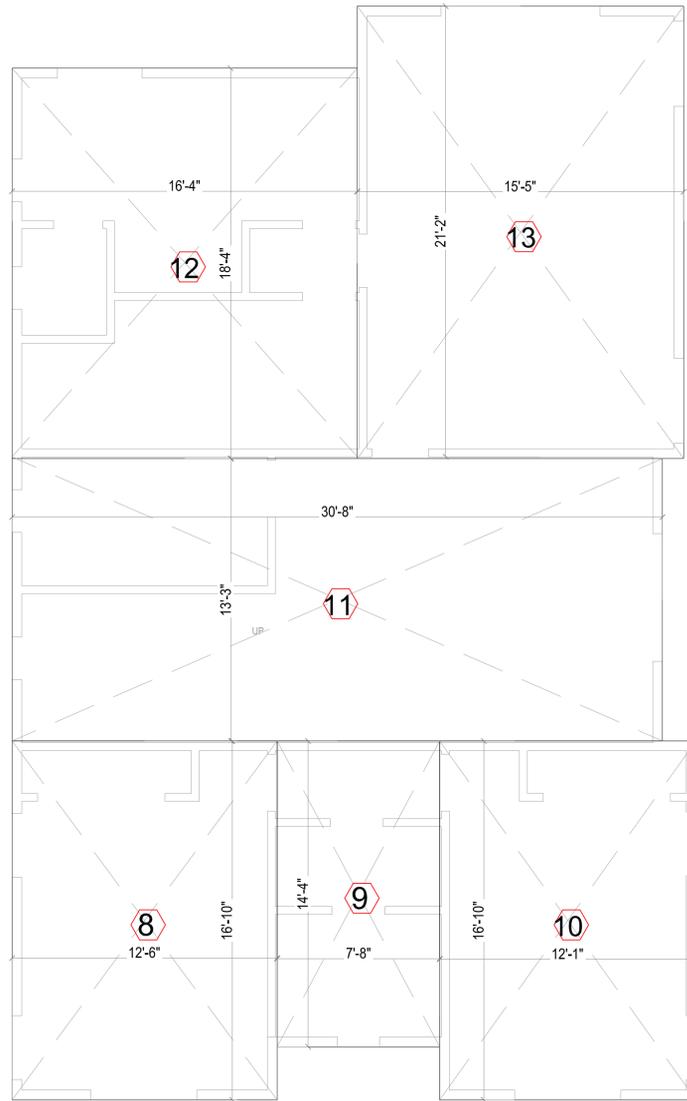
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SCALE AS NOTED
DRAWN BY FH
SHEET NO.



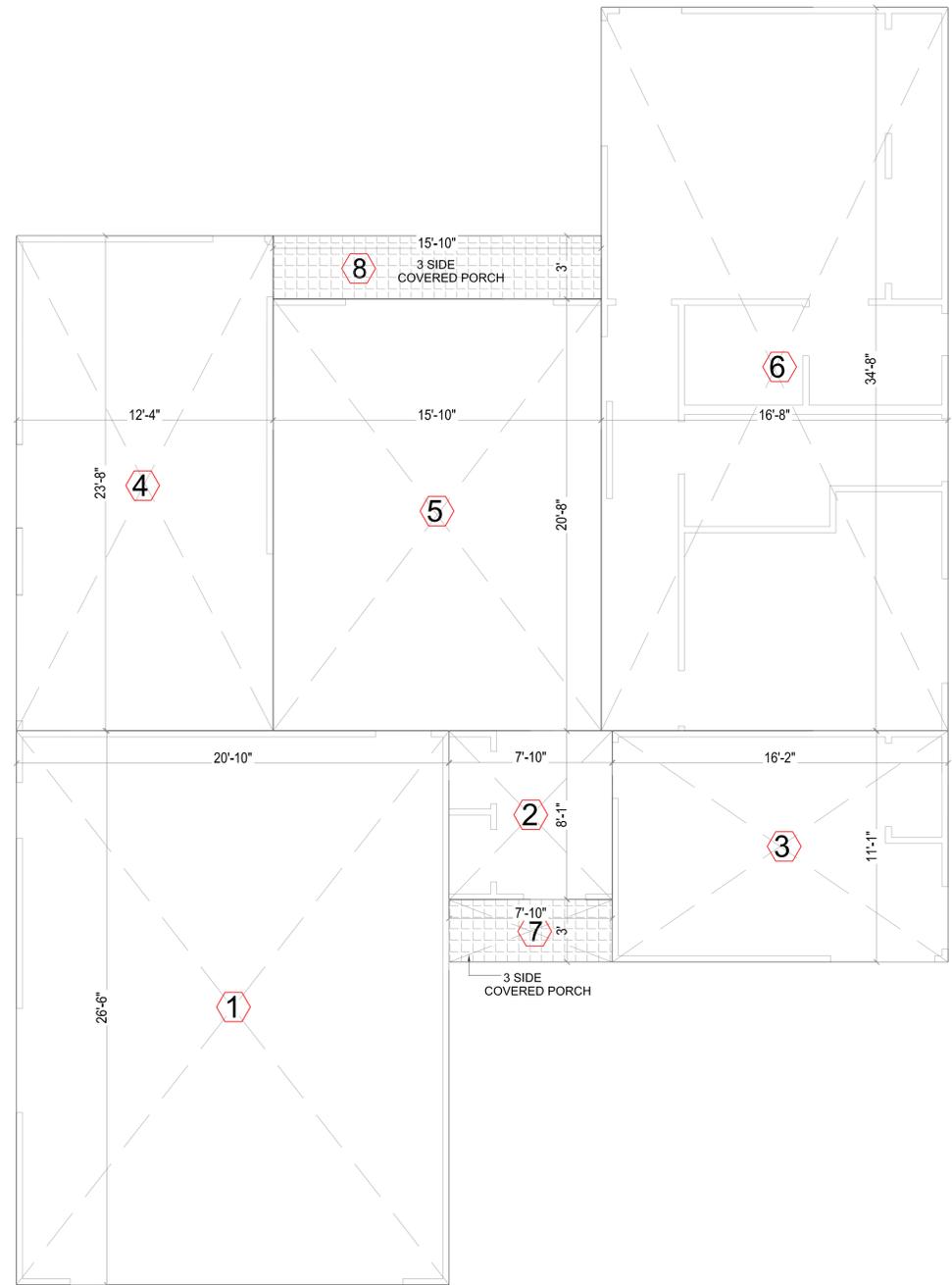


1ST FLOOR

PROPOSED



2ND FLOOR



EXISTING

FLOOR AREA CALCULATION

GARAGE	1ST FLOOR	2ND FLOOR	3 SIDE COVERED PORCH	TOTAL
1 20'-10"x20'-6" = 426	3 12'-5"x2'-6" = 31.25	8 12'-6"x16'-10" = 211	14 7'-8"x3' = 23	4,012 SQ. FT. = 44%
2 8'-5"x2'-6" = 21	4 28'-1"x 34'-0" = 952.50	9 7'-8"x 14'-4" = 110.25		
	5 7'-8"x12'-11" = 99.25	10 12'-1"x16'-10" = 203.75		
	6 16'-4"x15'-11" = 260	11 30'-8"x13'-3" = 407		
	7 16'-8"x38'-3" = 641	12 16'-4"x18'-4" = 298.75		
		13 15'-5"x21'-2" = 327.25		
TOTAL 447	TOTAL 1,984	1,558	23	

FLOOR AREA CALCULATION

GARAGE	1ST FLOOR	3 SIDE COVERED PORCH	TOTAL
1 20'-10"x20'-10" = 552	2 7'-10"x8'-1" = 63.50	7 7'-8"x3' = 24	2,064 SQ. FT. = 22%
	3 16'-2"x 11'-1" = 179.25	8 15'-10"x3' = 48	
	4 12'-4"x23'-8" = 292.75		
	5 15'-10"x20'-8" = 326.50		
	6 16'-8"x34'-8" = 578		
TOTAL 552	TOTAL 1,440	72	

FLOOR AREA DIAGRAM & CALCULATION

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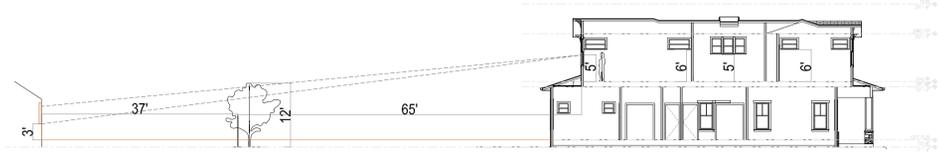
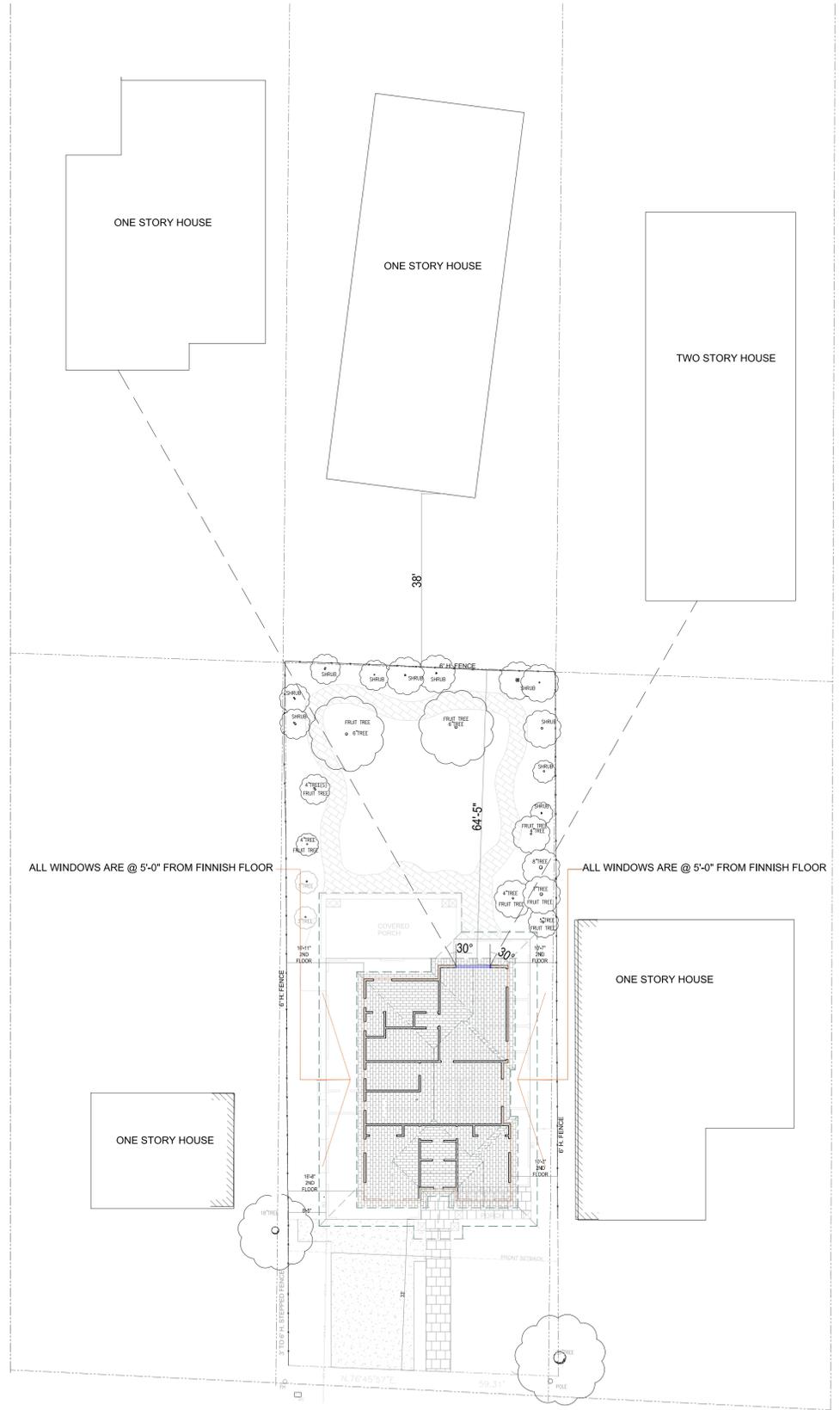
FAHED HABAYEB
 MAY 20 2022

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 OF THE ORIGINAL STRUCTURE
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NO.	DATE	ISSUE

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AFD



PRIVACY PLAN
1/16" = 1'-0"

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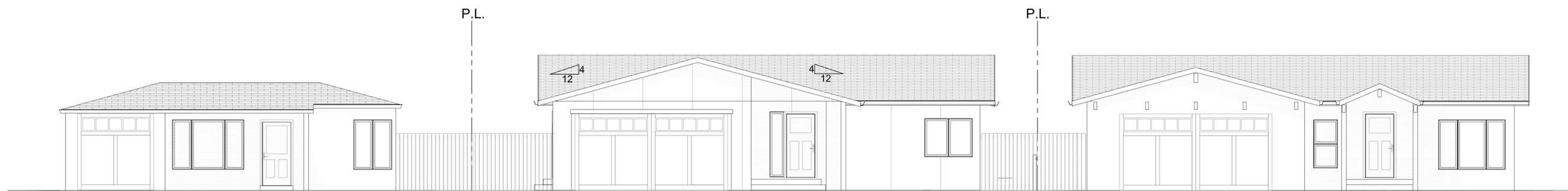
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SHEET NO.	



1612

PROPOSED FRONT ELEVATION

1630



1612

EXISTING FRONT ELEVATION

1630

STREETSCAPE

3/16" = 1'-0"

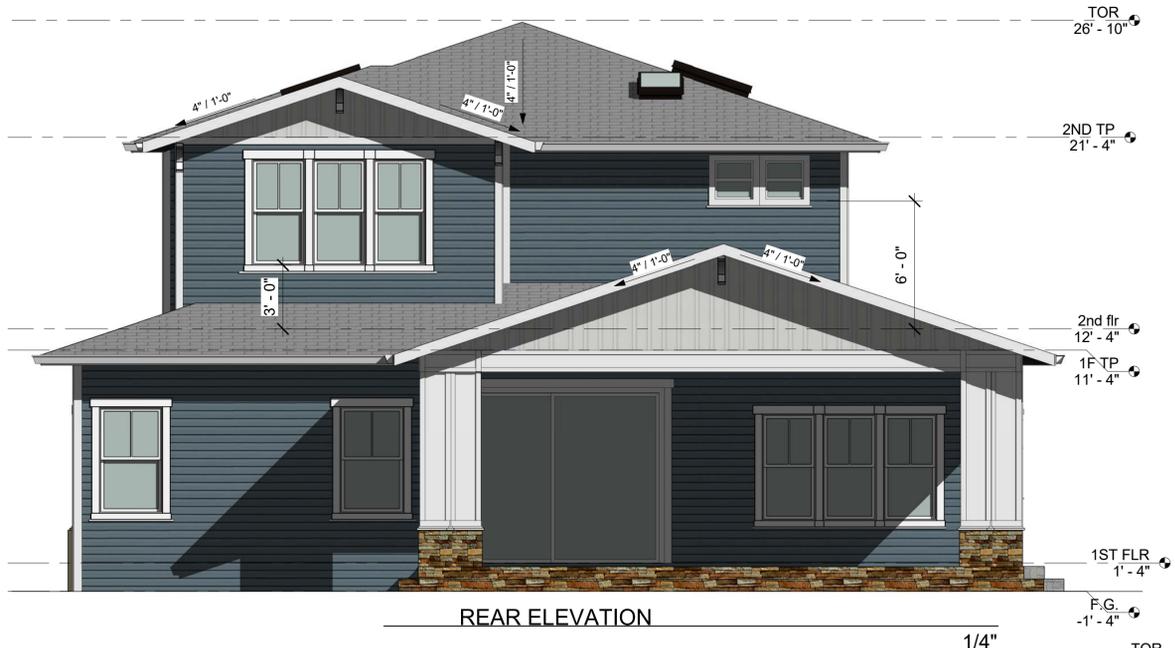
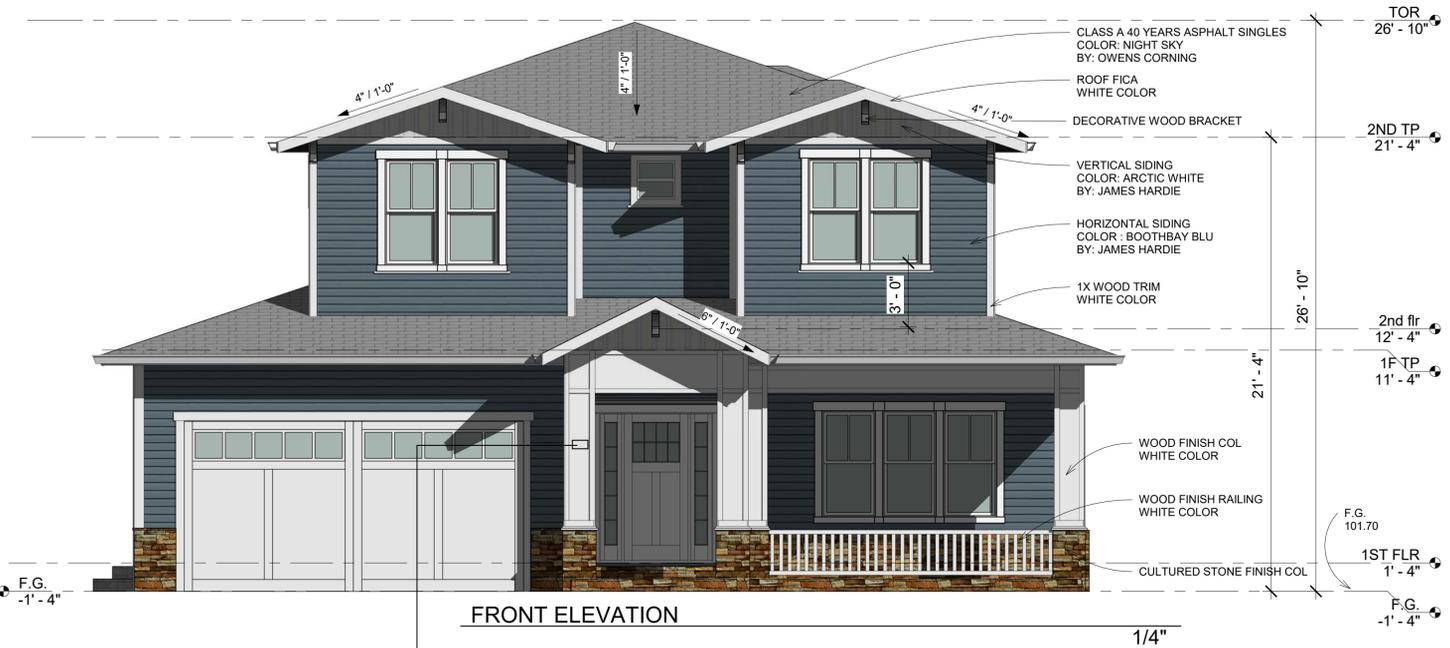
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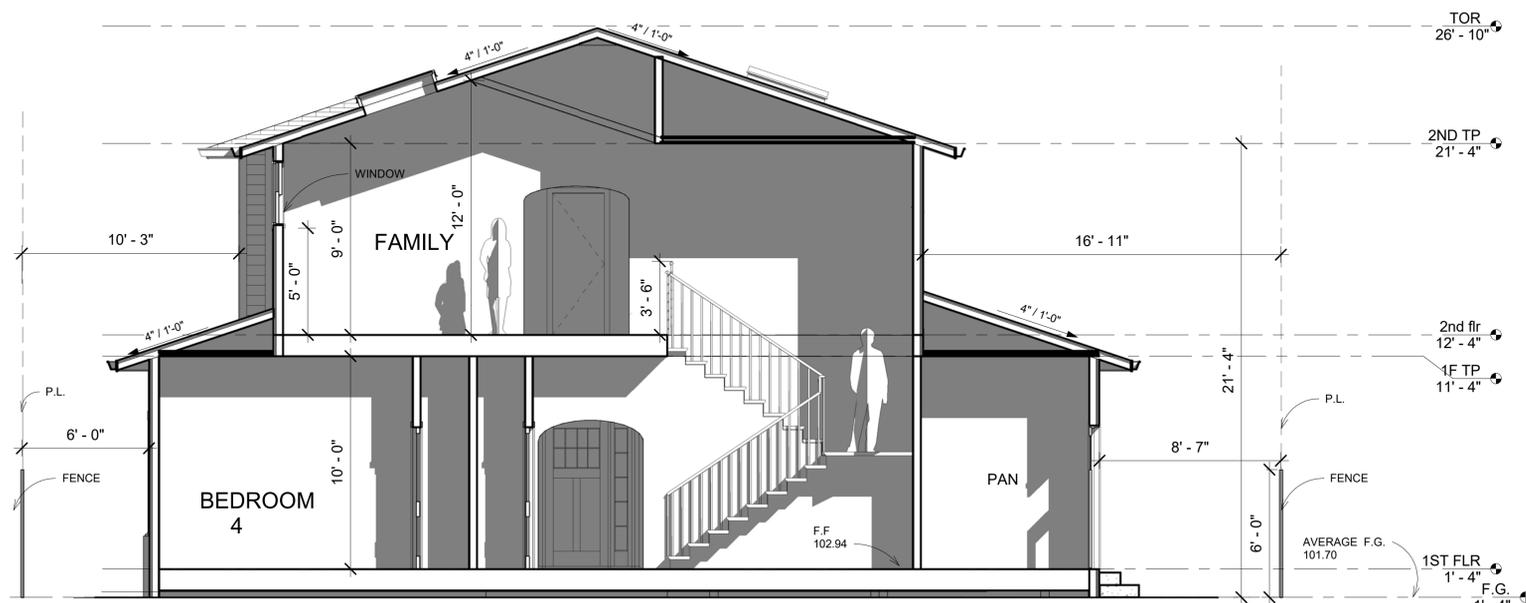
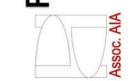
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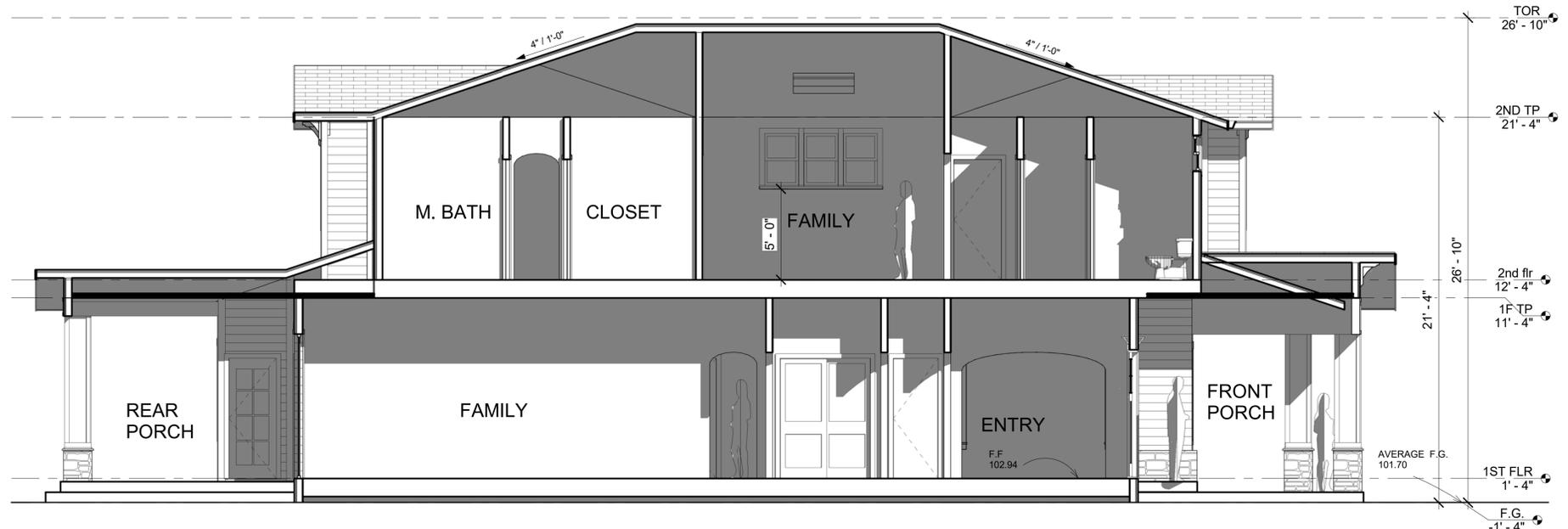


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CROSS SECTION
 1/4"



CROSS SECTION
 1/4"

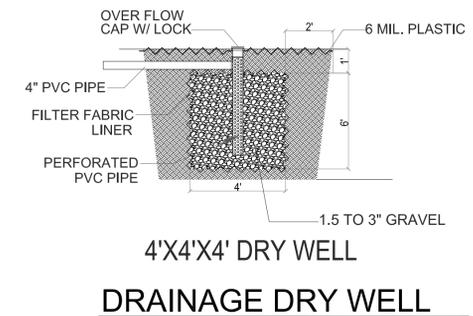
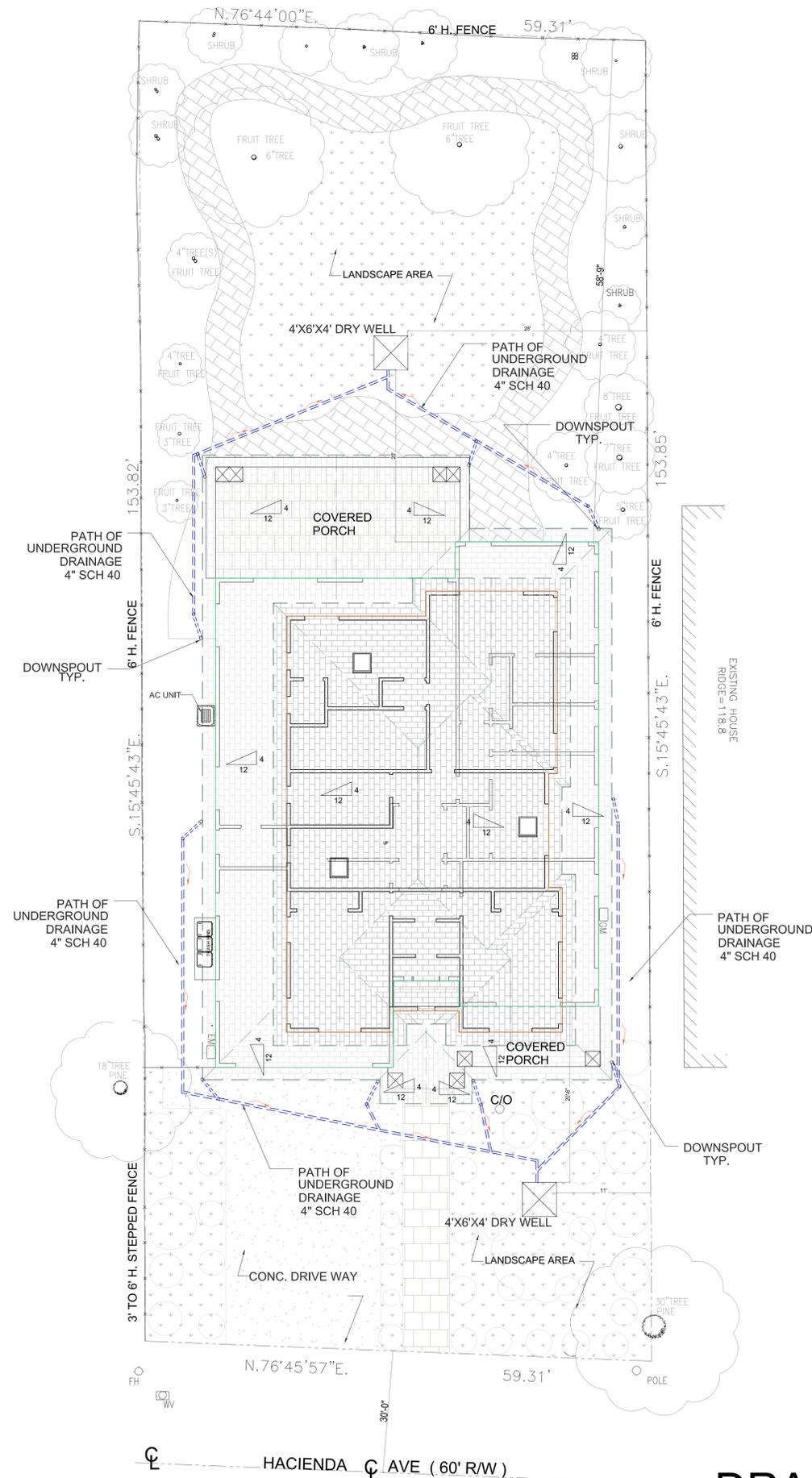
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CAMPBELL, CA.

CROSS SECTIONS

JOB NO. 0222
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2 STORY ADDITION
1614 HACIENDA AVE
CAMPBELL, CA.



DRAINAGE PLAN

1/8" = 1'-0"

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DRAINAGE PLAN

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habayeb3@aol.com

FAHED HABAYEB
JUNE 1 2012

D1



CLASS A 40 YEARS ASPHALT SINGLES
COLOR: NIGHT SKY
BY: OWENS CORNING



VERTICAL SIDING
COLOR: ARCTIC WHITE
BY: JAMES HARDIE



HORIZONTAL SIDING
COLOR : BOOTHBAY BLU
BY: JAMES HARDIE

1X WOOD TRIM WHITE COLOR



GARAGE DOOR
STYLE: CRAFTSMAN
BY: CLOPAYDOOR



WINDOWS
STYLE: CRAFTSMAN
BY: PELLA WINDOWS



CULTURED STONE



FRONT DOOR
STYLE: CRAFTSMAN
BY: JELD-WEN

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PROJECT
COLOR & MATERIALS

JOB NO.	0222
SCALE	AS NOTED
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SHEET NO.	



FRONT



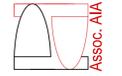
RIGHT SIDE



REAR



LEFT SIDE



FAHED HABAYEB
 MAY 20 2012

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EXIST 4 SIDE BUILDING PHOTOS

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