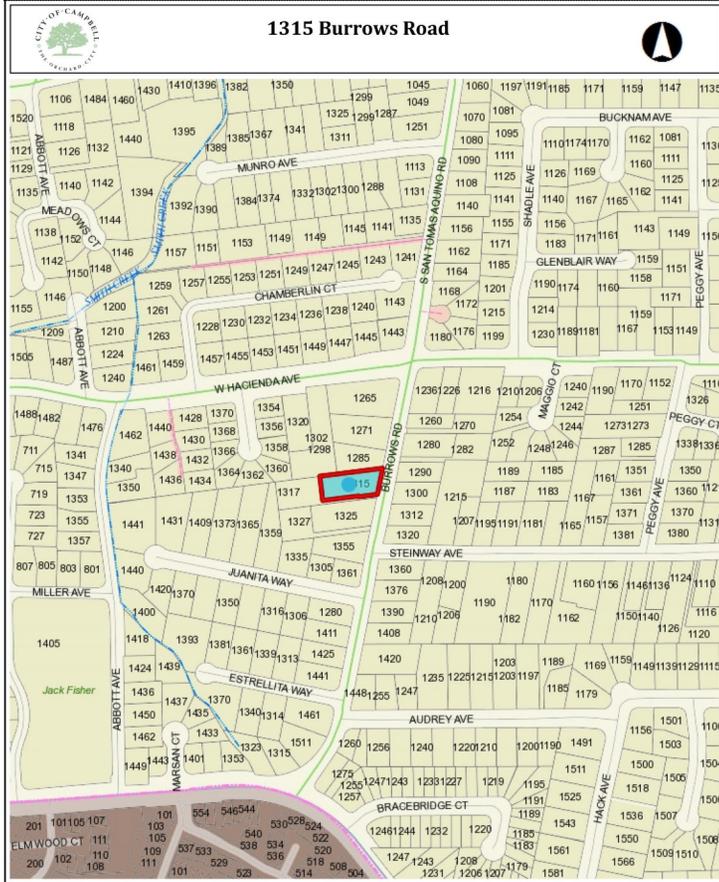


Location of Proposed Project



Project Image



City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Courtesy Notice

Dear Campbell Resident,

August 31, 2022

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1315 Burrows Road

Zoning | Area Plan: R-1-10 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2022-91

APN: 403-16-109

Applicant: Serge Sobor

Property Owner: Hao Wang

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow the construction of an approximately 1,818 square foot addition to an existing single-family residence.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

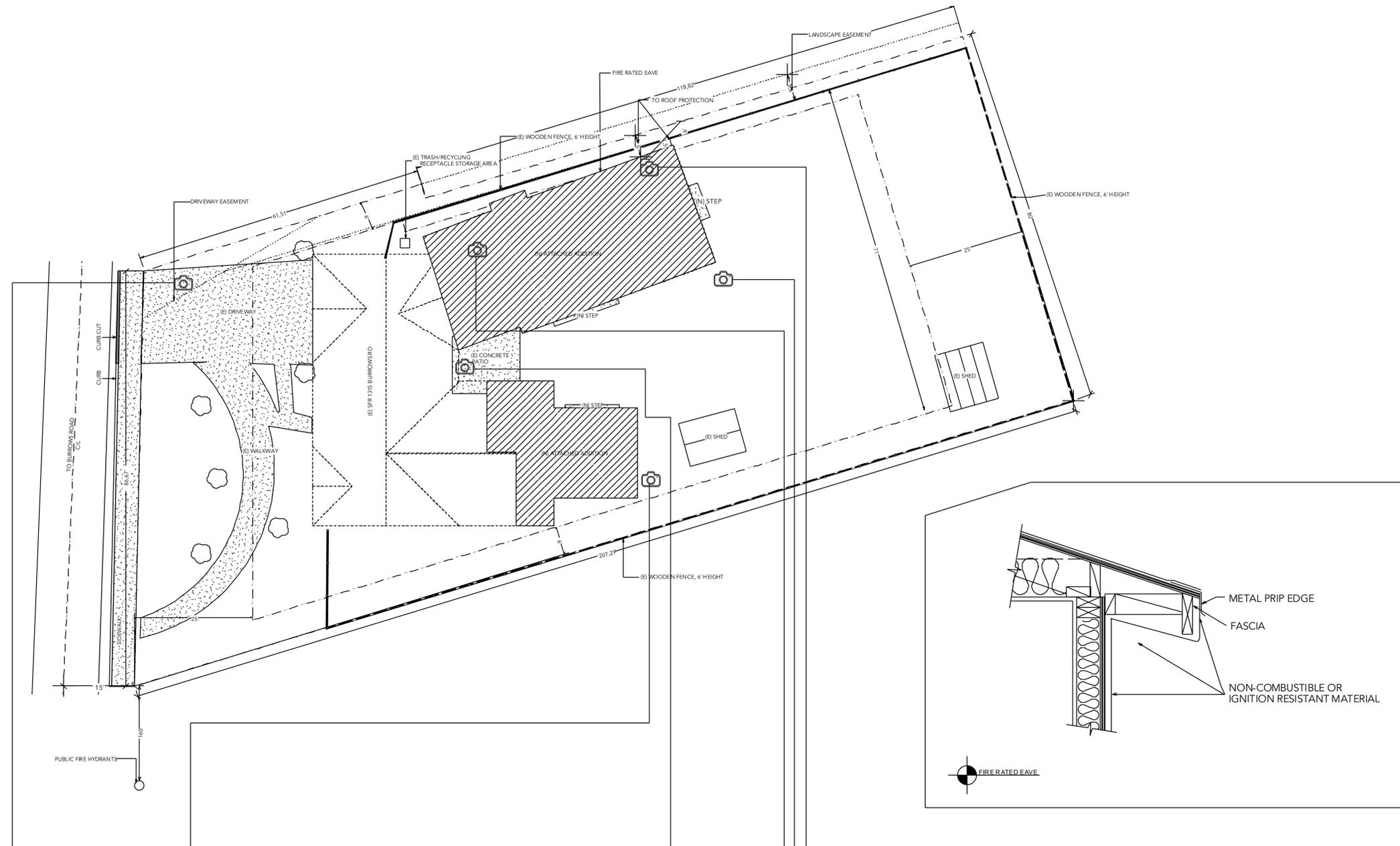


- City of Campbell -
Community Development Department
70 N. First Street, Campbell Ca 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español





PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
PLOT PLAN
AND
LANDSCAPE
PLAN

DATE
11.07.22

SCALE
1/12" = 1'



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

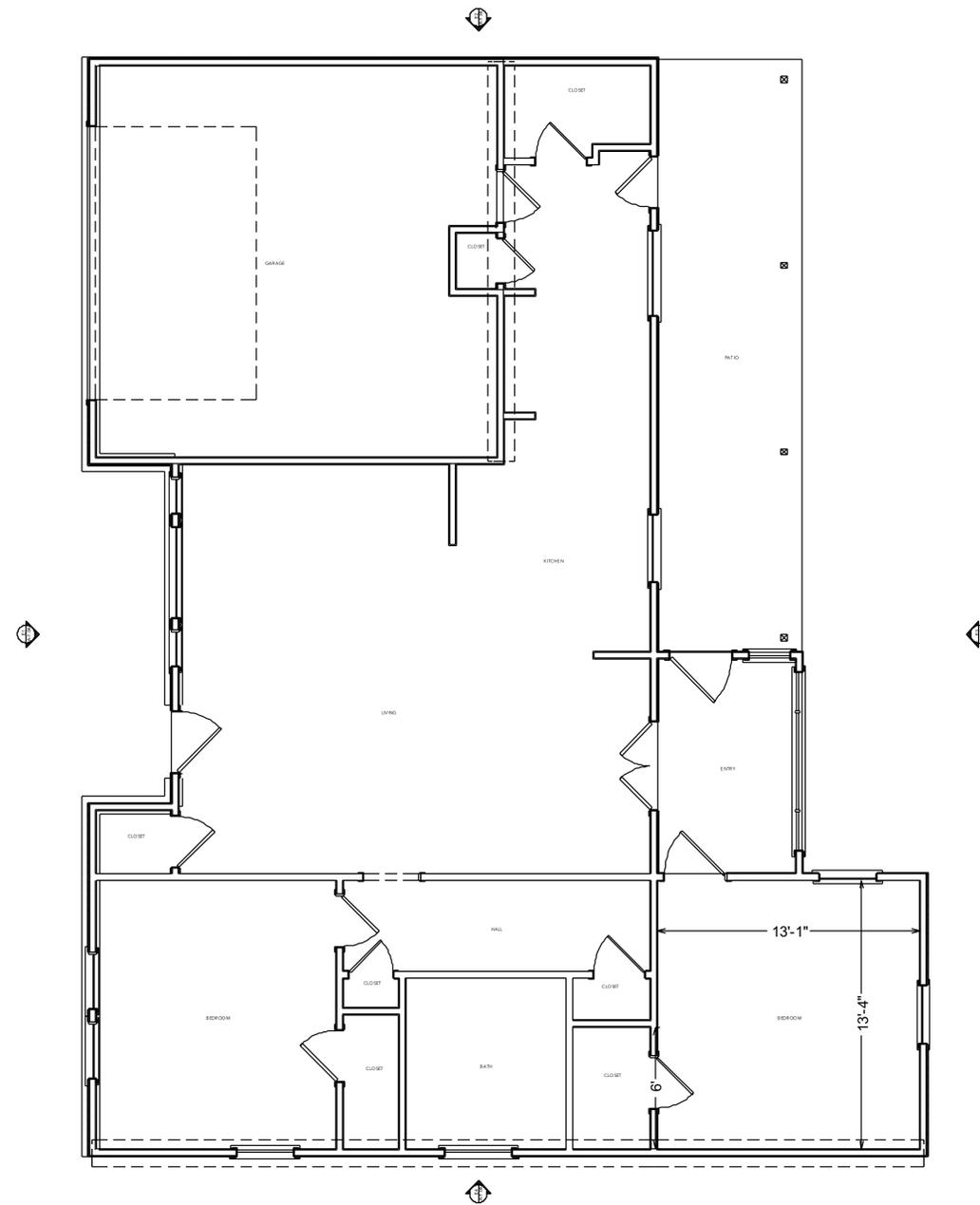
CLIENT
HAO WANG

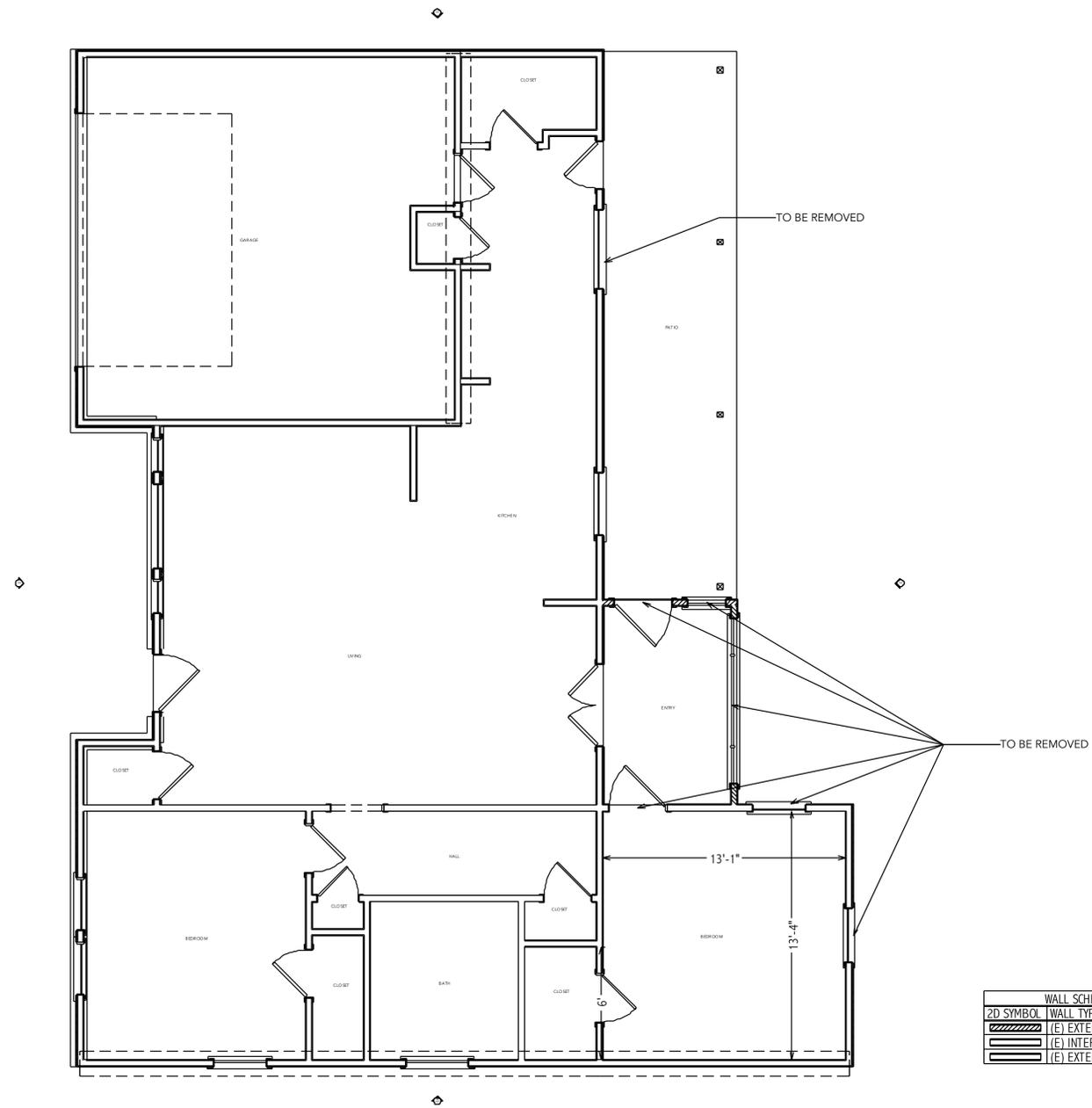
TITLE
FLOOR PLAN

EXISTING/AS-
BUILT

DATE
11.07.22

SCALE
1/4"=1'





PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
DEMOLITION
PLAN

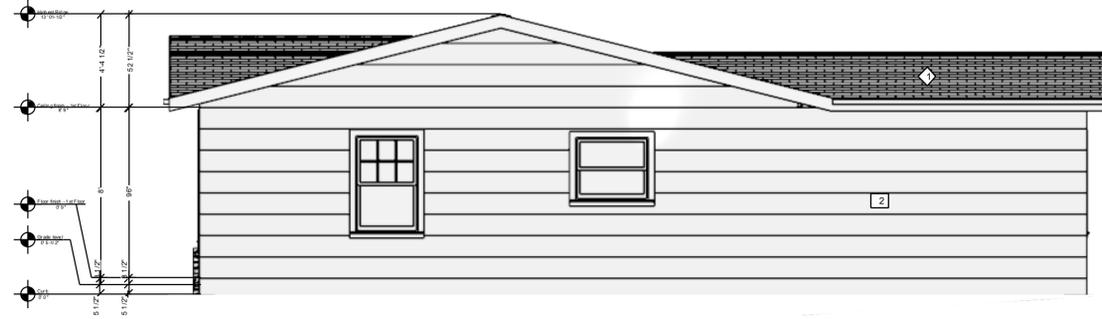
EXISTING/AS-BUILT

DATE
11.07.22

SCALE
1/4"=1'

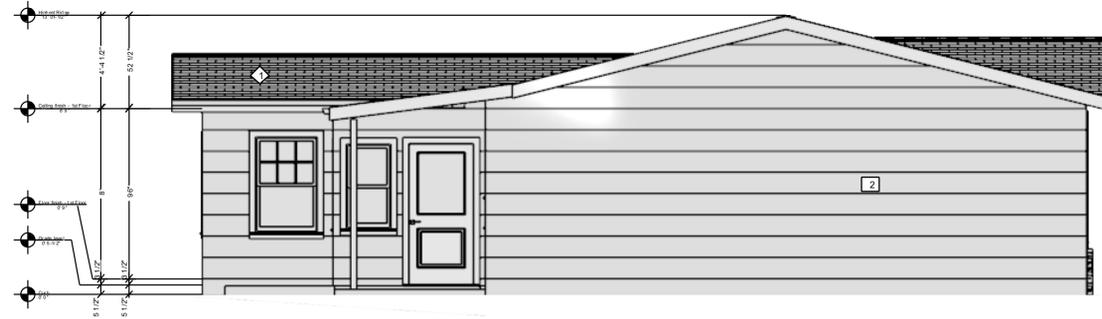
A-1.03

ELEVATION 4
1/4" = 1'



- ◇ (E) ASPHALT ROOF SHINGLE
- 2 (E) SIDING - WHITE

ELEVATION 2
1/4" = 1'



- ◇ (E) ASPHALT ROOF SHINGLE
- 2 (E) SIDING - WHITE

ELEVATION 1
1/4" = 1'



- ◇ (E) ASPHALT ROOF SHINGLE
- 2 (E) SIDING - WHITE
- ⊙ (E) PONY WALL - STONE

ELEVATION 3
1/4" = 1'



- ◇ (E) ASPHALT ROOF SHINGLE
- 2 (E) SIDING - WHITE

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
ELEVATIONS

EXISTING/AS-BUILT

DATE
11.07.22

SCALE
1/4"=1'

A-1.04

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

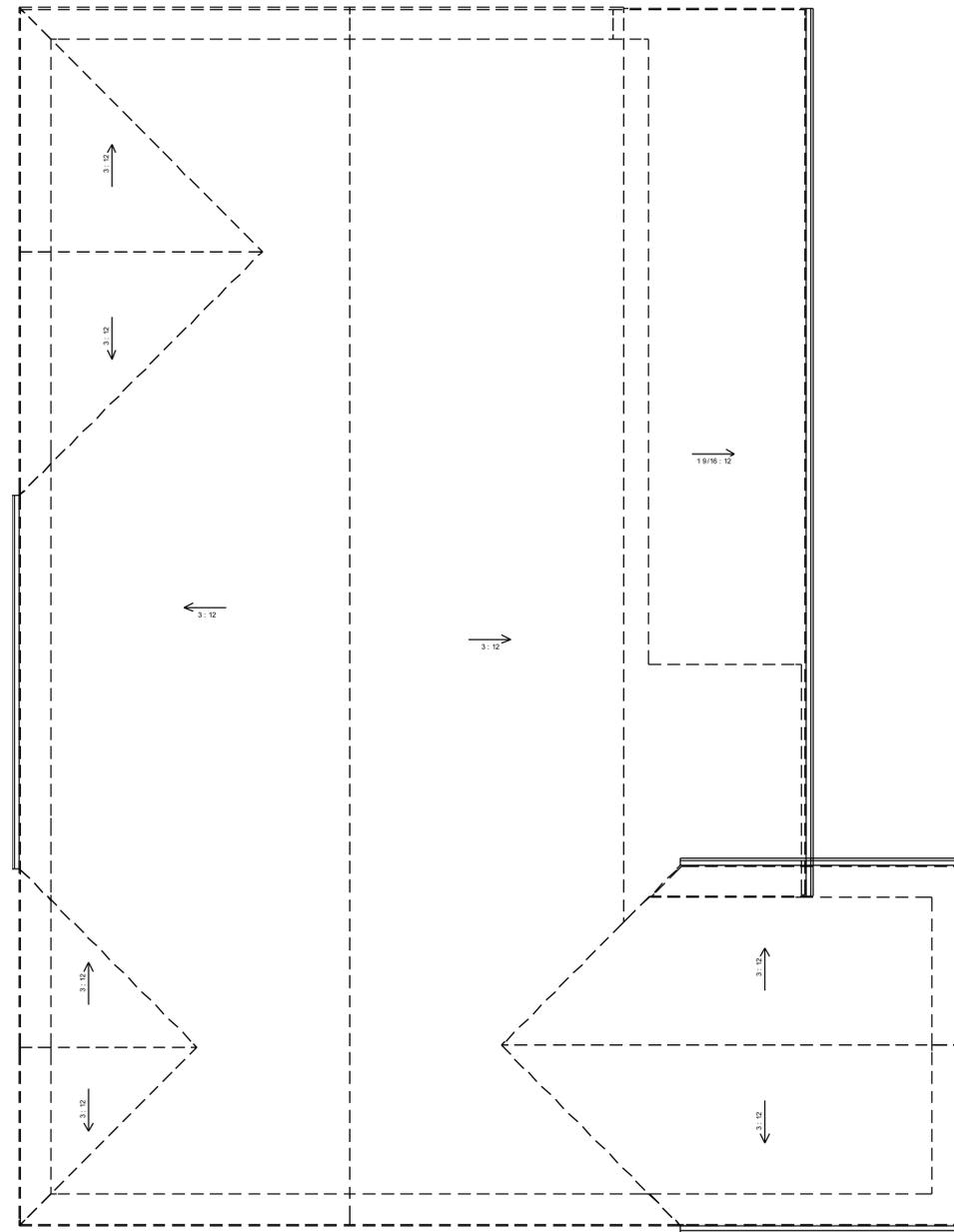
CLIENT
HAO WANG

TITLE
ROOF PLAN

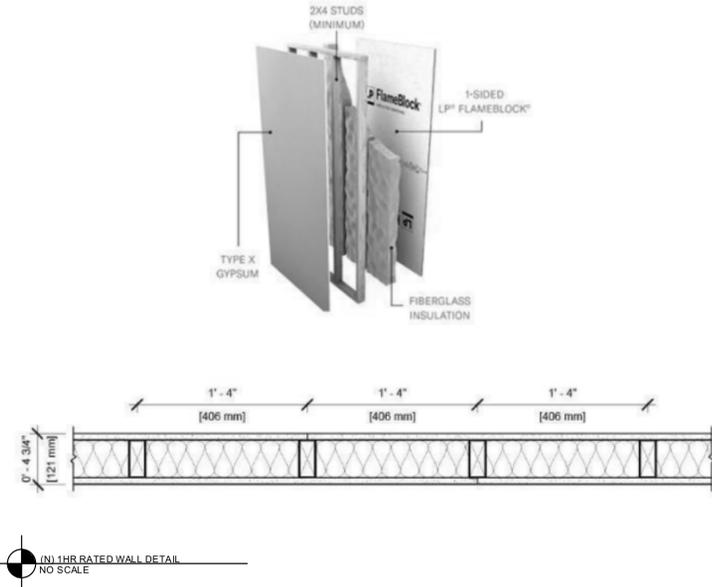
EXISTING/AS-BUILT

DATE
11.07.22

SCALE
1/4" = 1'



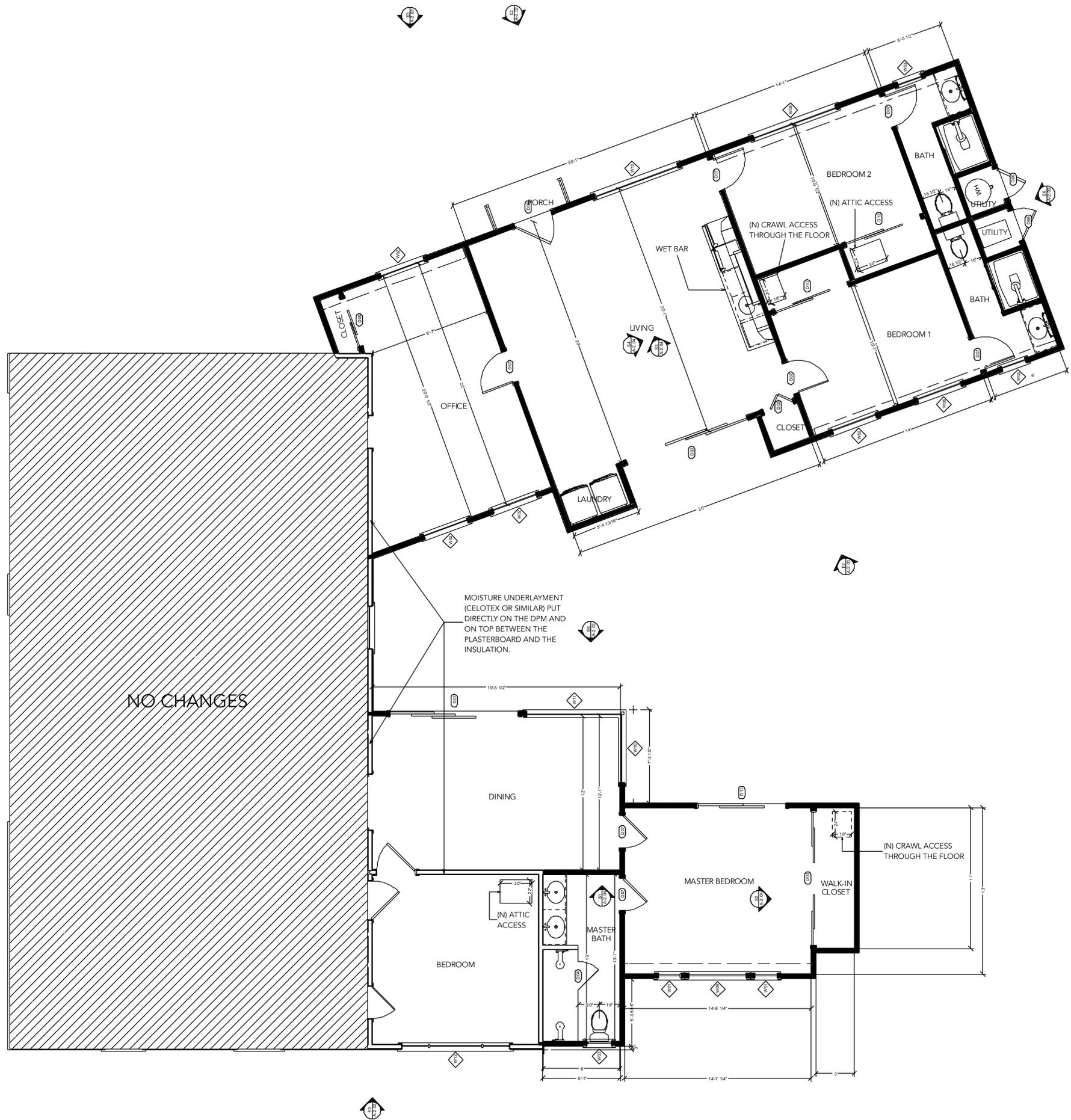
NOTE:
UL U305 Interior Partitions - Wood Stud (Load-Bearing)
FIBERGLASS INSULATION USED FOR 1 HR RATED WALL BETWEEN
(N) ATTACHED ADU AND (E) SFR WILL PROVIDE ENOUGH NOISE ATTENUATION.



DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION
D01	1	1	120"	80"	122"X83"	EXT. 0+3-PANEL SLIDER-GLASS PANEL
D02	1	1	120"	80"	122"X83"	0+3-PANEL SLIDER-DOOR F01
D03	1	1	125"	80"	127"X82 1/2"	QUAD SLIDER-LOUVERED
D04	1	1	27"	80"	27"X80"	SHOWER-GLASS SLAB
D05	1	1	29"	80"	31"X82 1/2"	2 DR. BIFOLD-LOUVERED
D06	2	1	29"	80"	31"X83"	EXT. HINGED-SLAB
D07	7	1	30"	80"	32"X82 1/2"	HINGED-DOOR P01
D08	1	1	36"	80"	38"X83"	EXT. HINGED-DOOR E26
D09	1	1	47"	80"	49"X82 1/2"	SLIDER-DOOR P04
D10	1	1	72"	80"	74"X82 1/2"	SLIDER-DOOR P04
D11	1	1	82"	80"	84"X83"	EXT. SLIDER-GLASS PANEL
D12	1	1	74"	80"	76"X82 1/2"	SLIDER-DOOR P04

WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION
W01	2	1	22"	59"	23"X60"	EGRESS DOUBLE HUNG
W02	4	1	44"	59"	45"X60"	DOUBLE HUNG
W03	3	1	24"	35"	25"X36"	DOUBLE HUNG
W04	2	2	12"	12"	13"X13"	LOUVERED
W05	1	1	44"	59"	45"X60"	YES DOUBLE HUNG
W06	1	2	18"	24"	19"X25"	LOUVERED
W07	2	2	12"	18"	13"X19"	LOUVERED
W08	1	1	83"	59"	84"X60"	YES DOUBLE HUNG
W09	1	1	55"	59"	56"X60"	YES SINGLE CASEMENT-HR
W10	1	1	65"	54"	66"X55"	SINGLE HUNG
W11	1	1	90"	54"	91"X55"	SINGLE HUNG
W12	1	1	83"	59"	84"X60"	DOUBLE HUNG
W13	1	1	102"	44"	103"X45"	TRIPLE CASEMENT-LHL/RHR

WALL SCHEDULE			ROOM AREA CALCULATION		
2D SYMBOL	WALL TYPE	NUMBER	ROOM NAME	AREA, INTERIOR (SQ FT)	TOTALS:
	(N) 1HR RATED WALL	R01	BATH	56	
	(N) INTERIOR WALL	R02	CLOSET	7	
	(E) INTERIOR WALL	R03	CLOSET	9	
	(N) EXTERIOR WALL	R04	DINING	232	
	(E) EXTERIOR WALL	R05	LAUNDRY	16	
		R06	MASTER BATH	77	
		R07	MASTER BEDROOM	189	
		R08	PORCH	13	
		R09	UNSPECIFIED	139	
		R10	UNSPECIFIED	140	
		R11	UNSPECIFIED	18	
		R12	UNSPECIFIED	233	
		R13	UNSPECIFIED	37	
		R14	UNSPECIFIED	401	
		R15	UTILITY	9	
		R16	WALK-IN CLOSET	33	
				1692	



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

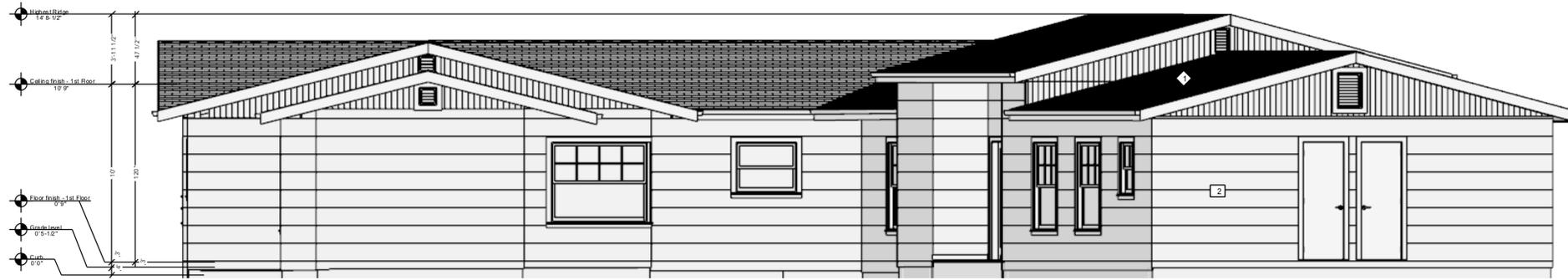
TITLE
FLOOR PLAN

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

A-2.01



ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

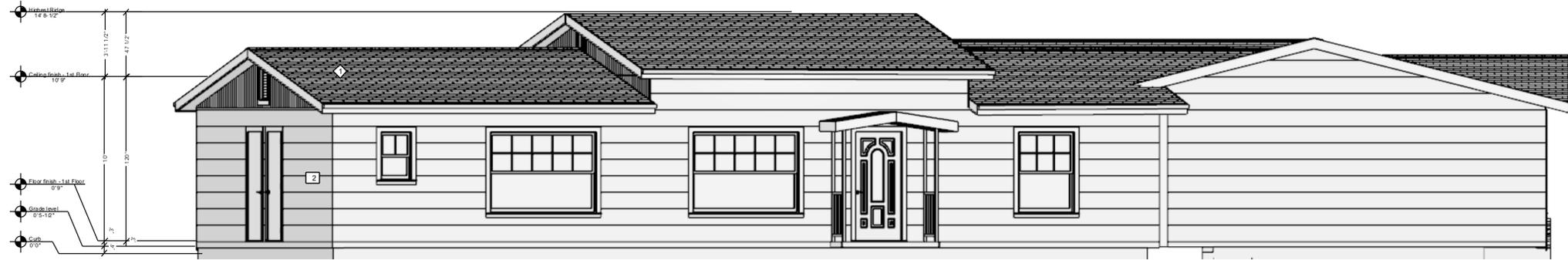
TITLE
ELEVATIONS

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

A-2.02



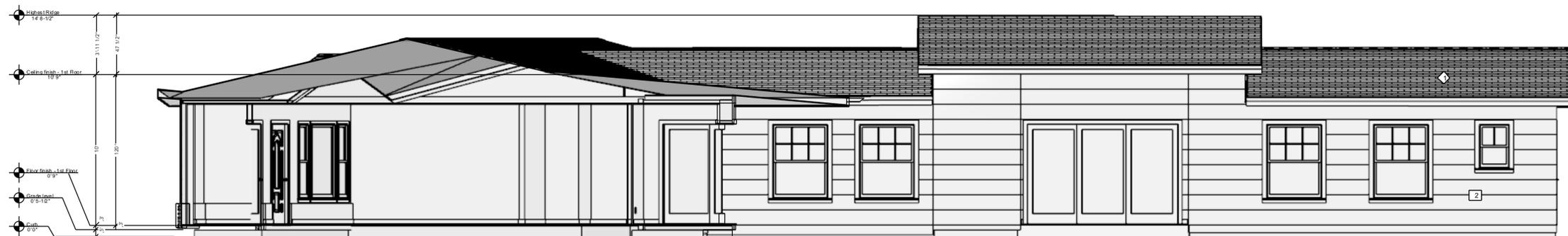
ELEVATION 5

- 2 (N) ASPHALT ROOF SHINGLE TO MATCH UNDERLAYMENT - ROOFING FELT PAPER
- (N) SIDING - TO MATCH UNDERLAYMENT STANDARD BLACK STUCCO PAPER



ELEVATION 6

- 2 (N) ASPHALT ROOF SHINGLE TO MATCH UNDERLAYMENT - ROOFING FELT PAPER
- (N) SIDING - TO MATCH UNDERLAYMENT STANDARD BLACK STUCCO PAPER



ELEVATION 7

- 2 (N) ASPHALT ROOF SHINGLE TO MATCH UNDERLAYMENT - ROOFING FELT PAPER
- (N) SIDING - TO MATCH UNDERLAYMENT STANDARD BLACK STUCCO PAPER



ELEVATION 8

- 2 (N) ASPHALT ROOF SHINGLE TO MATCH UNDERLAYMENT - ROOFING FELT PAPER
- (N) SIDING - TO MATCH UNDERLAYMENT STANDARD BLACK STUCCO PAPER

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
ELEVATIONS

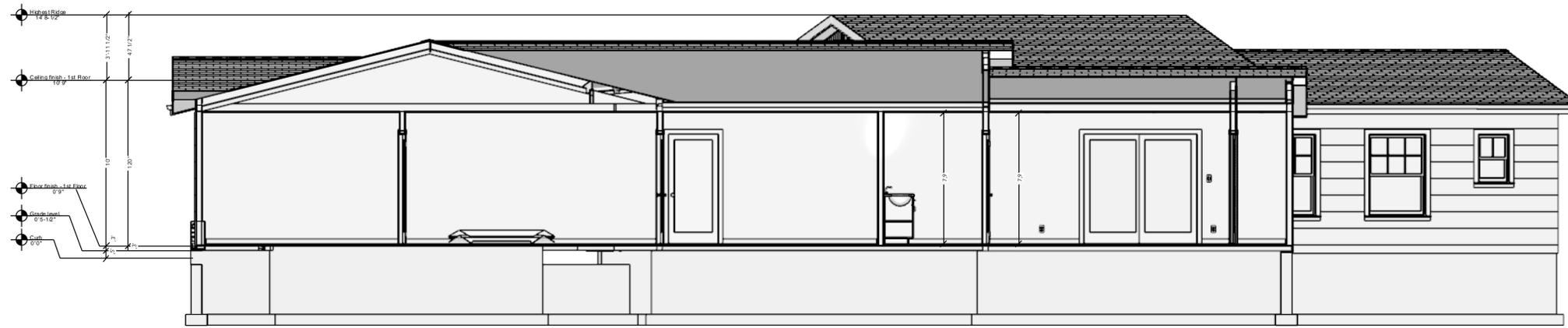
PROPOSED

DATE
11.07.22

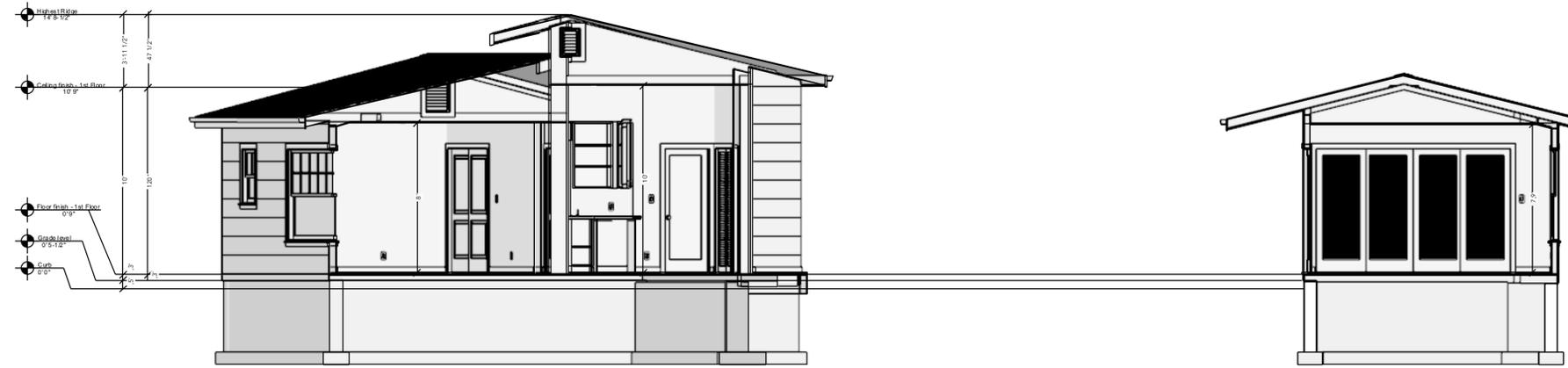
SCALE
1/4" = 1'

A-2.03

CROSS SECTION 1



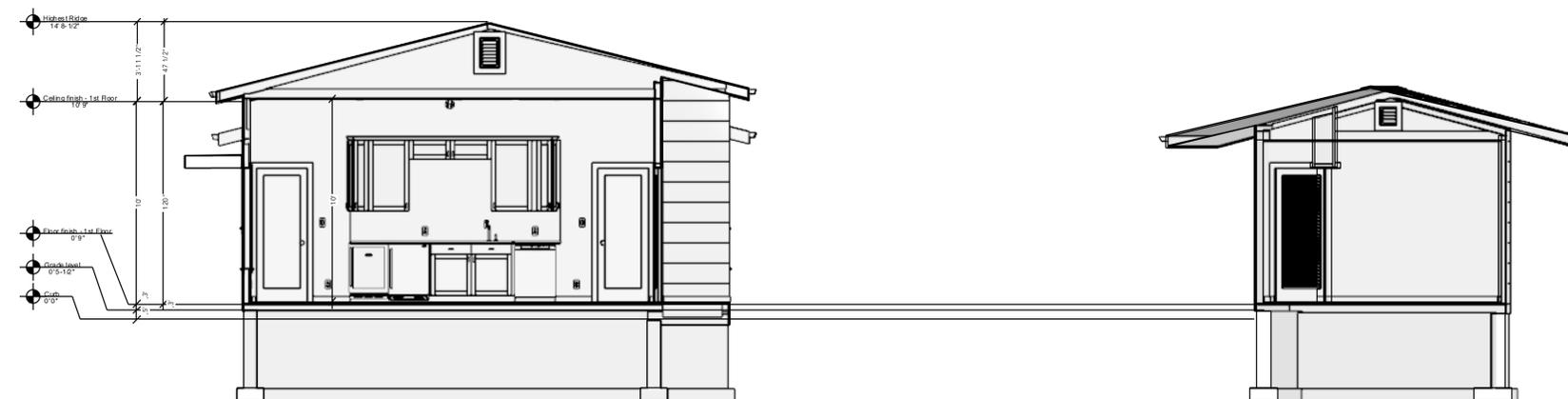
CROSS SECTION 2



CROSS SECTION 3



CROSS SECTION 4



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
CROSS SECTIONS

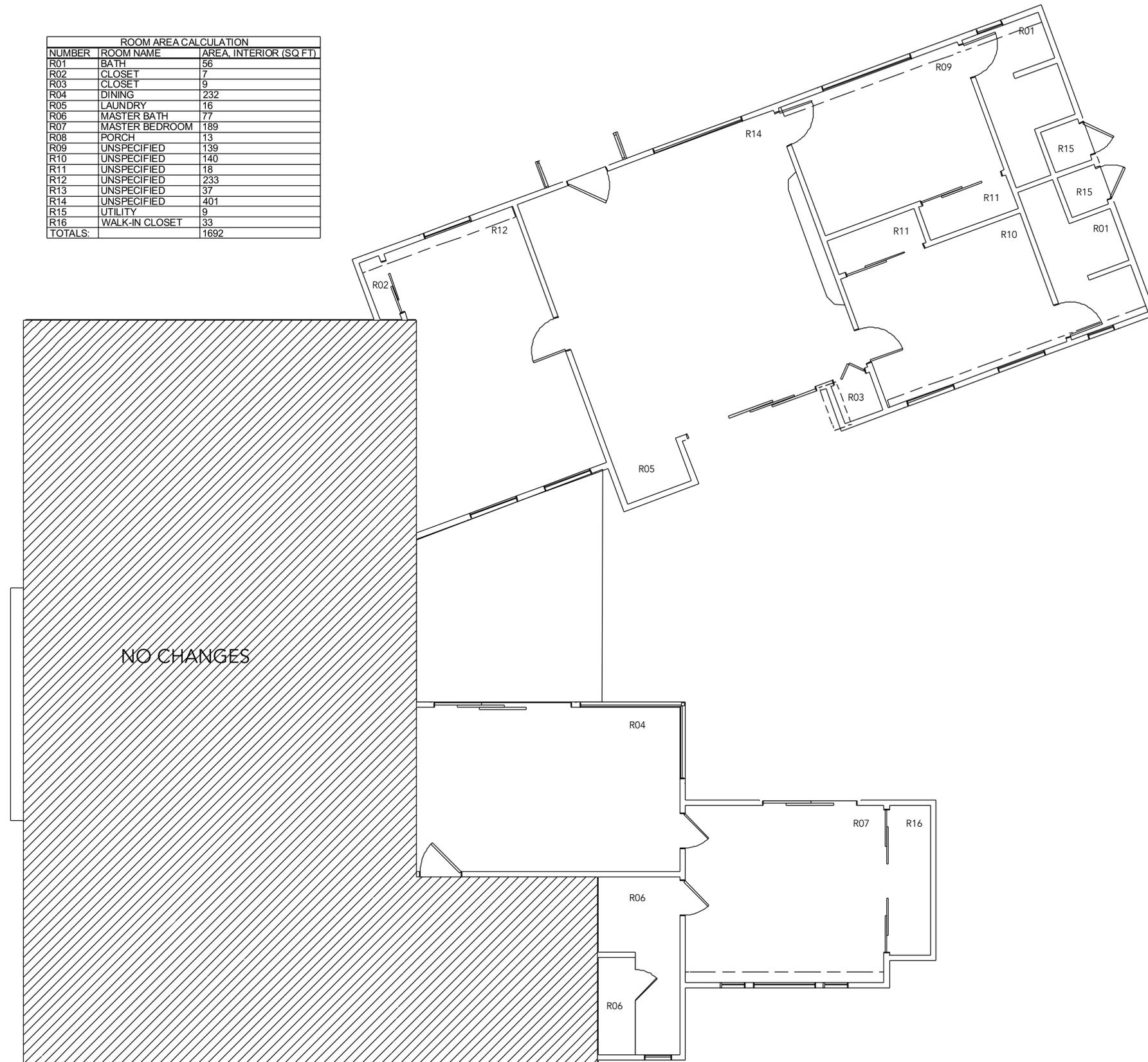
PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

A-2.04

ROOM AREA CALCULATION		
NUMBER	ROOM NAME	AREA, INTERIOR (SQ FT)
R01	BATH	56
R02	CLOSET	7
R03	CLOSET	9
R04	DINING	232
R05	LAUNDRY	16
R06	MASTER BATH	77
R07	MASTER BEDROOM	189
R08	PORCH	13
R09	UNSPECIFIED	139
R10	UNSPECIFIED	140
R11	UNSPECIFIED	18
R12	UNSPECIFIED	233
R13	UNSPECIFIED	37
R14	UNSPECIFIED	401
R15	UTILITY	9
R16	WALK-IN CLOSET	33
TOTALS:		1692



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

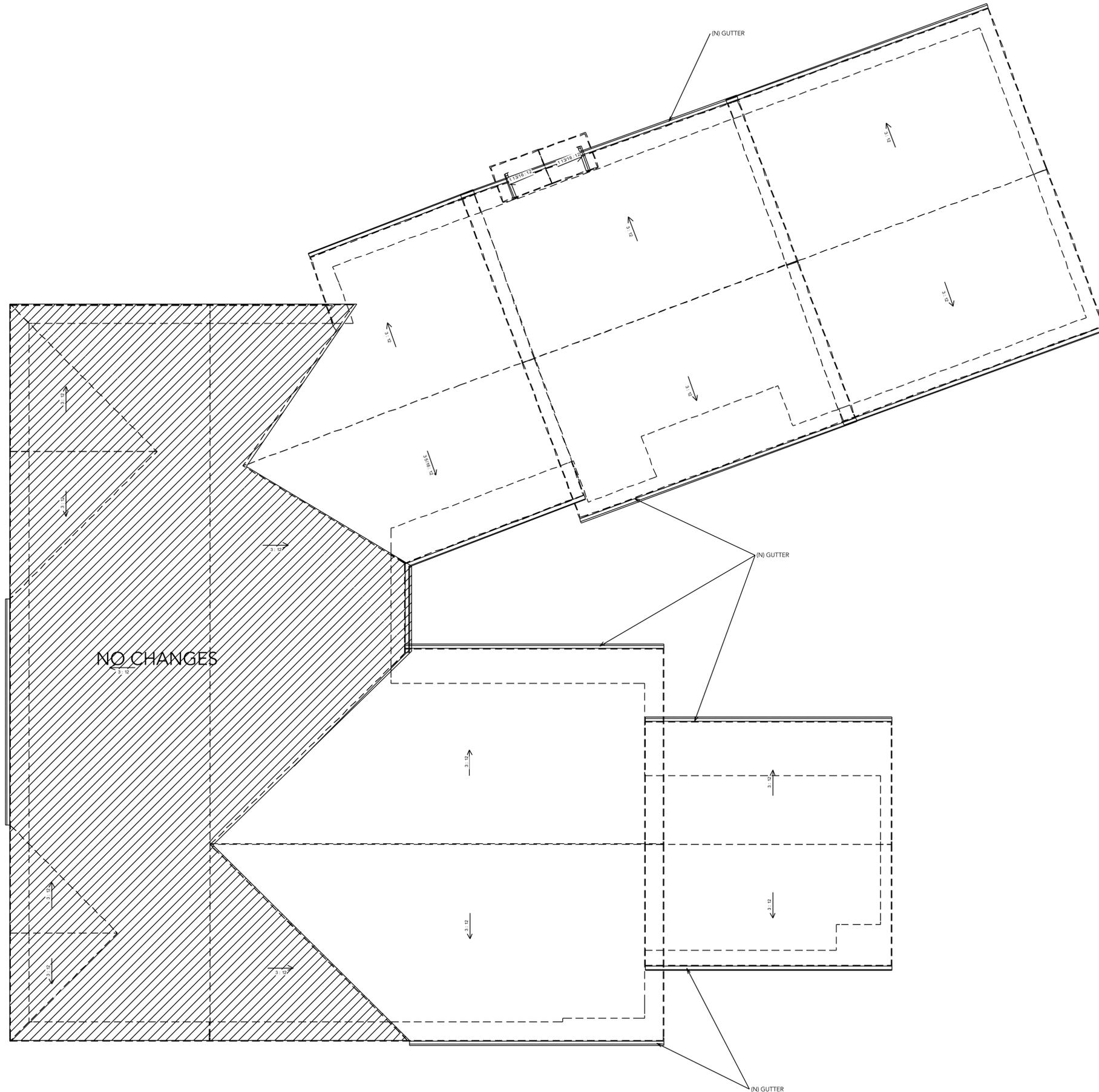
TITLE
AREA DIAGRAM

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

A-2.05



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
ROOF PLAN

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

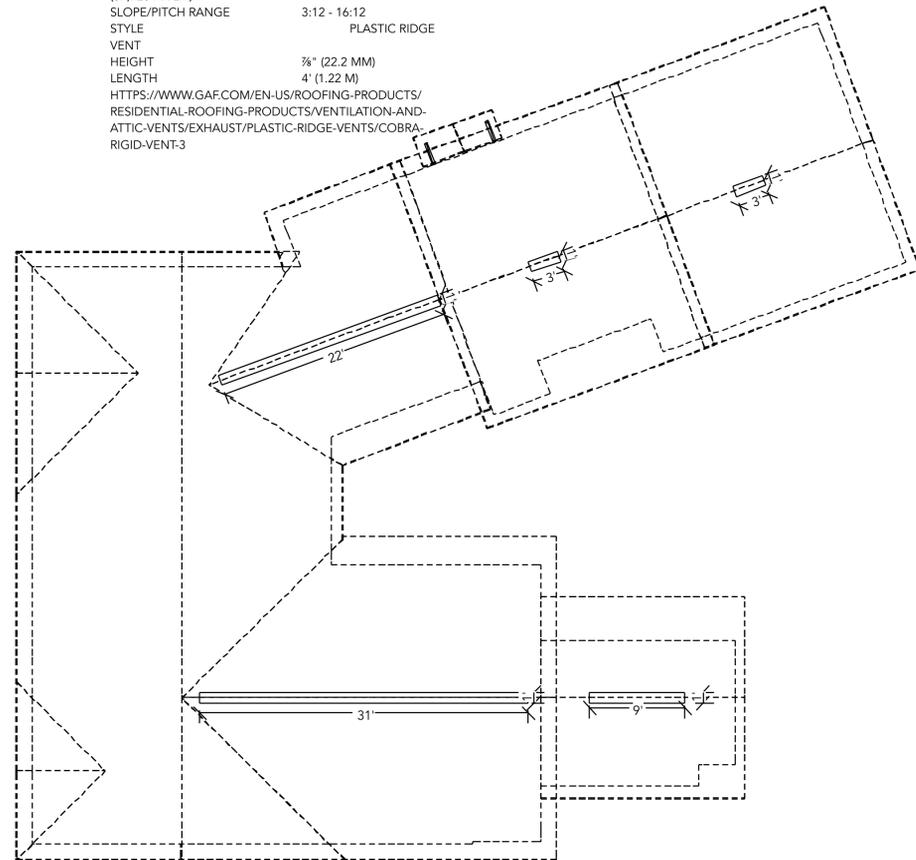
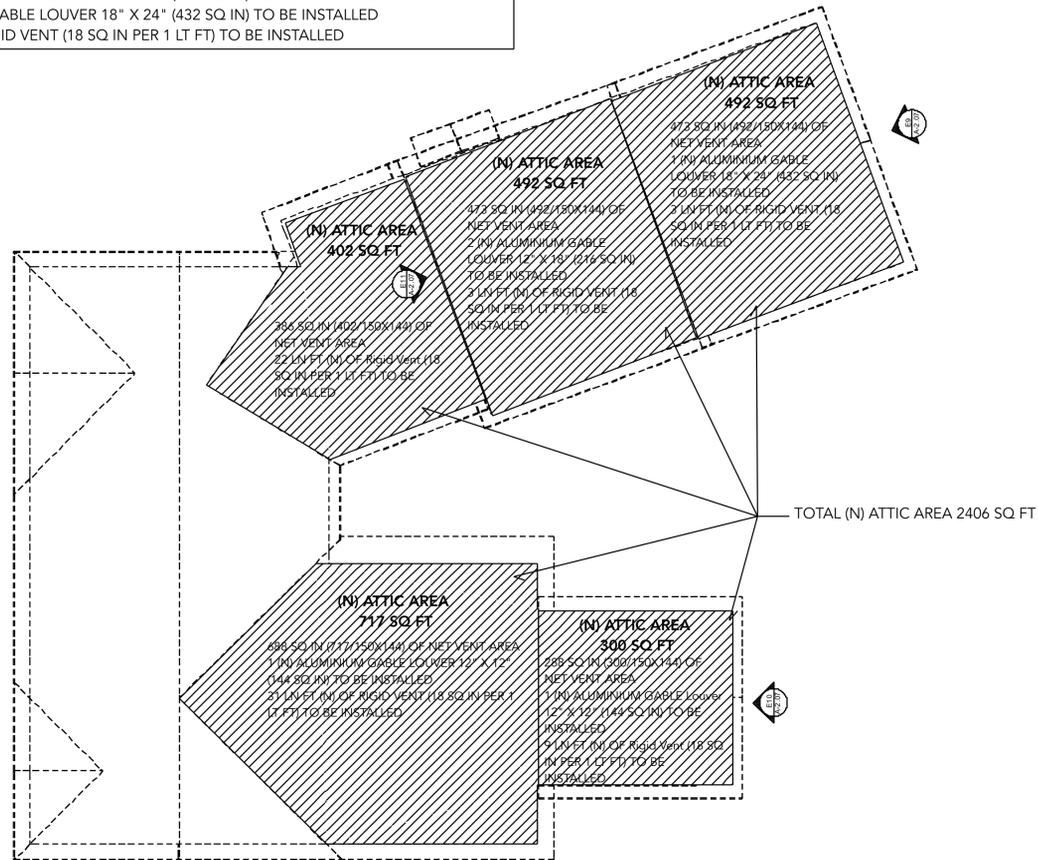
A-2.06

ATTIC VENTILATION CALCULATION

CRC R806.2 REQUIRES 1/150 OF THE AREA OF THE VENTED SPACE
(N) ATTIC SPACE AREA 2406 SQ FT
2310 MINIMUM SQ. IN. (2406/150X144) OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE
2 (N) ALUMINIUM GABLE LOUVER 12" X 18" (144 SQ IN) TO BE INSTALLED
2 (N) ALUMINIUM GABLE LOUVER 12" X 18" (216 SQ IN) TO BE INSTALLED
1 (N) ALUMINIUM GABLE LOUVER 18" X 24" (432 SQ IN) TO BE INSTALLED
68 LN FT (N) OF RIGID VENT (18 SQ IN PER 1 LT FT) TO BE INSTALLED

NOTE:

<p>  RIGID VENT (18 SQ IN PER 1 LT FT) MANUFACTURER CONSTRUCTION EASY TEAR INSTALLATION METHOD NET FREE AREA (NFA) (67,720 M²/LM) SLOPE/PITCH RANGE STYLE VENT HEIGHT LENGTH HTTPS://WWW.GAF.COM/EN-US/ROOFING-PRODUCTS/RESIDENTIAL-ROOFING-PRODUCTS/VENTILATION-AND-ATTIC-VENTS/EXHAUST/PLASTIC-RIDGE-VENTS/COBRA-RIGID-VENT-3 </p>	<p> GAF POLYPROPYLENE 3" INCREMENTS HAND NAIL 18 SQ. IN./LIN. FT. 3:12 - 16:12 PLASTIC RIDGE 7/8" (22.2 MM) 4' (1.22 M) </p>
---	--



(N) ATTIC AREA LAYOUT
SCALE 1/8"=1'

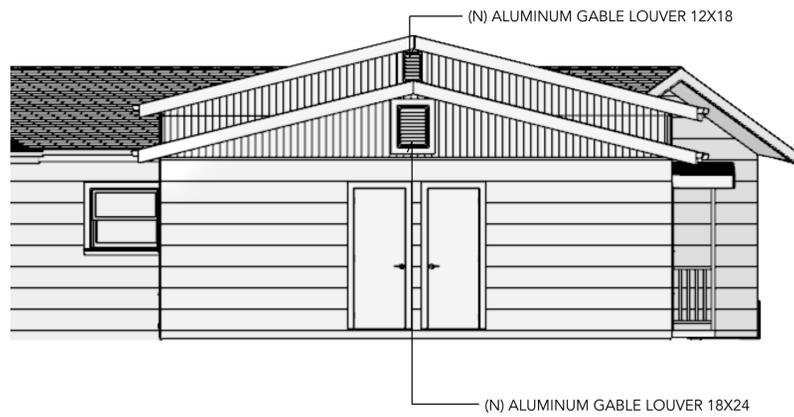
PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

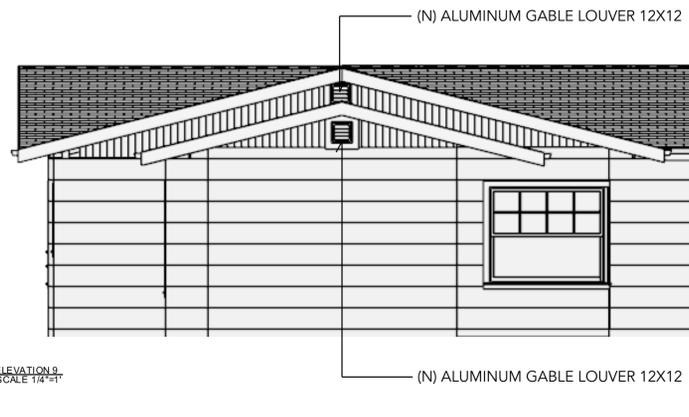
CLIENT
HAO WANG

TITLE
ATTIC AREA
VENTILATION

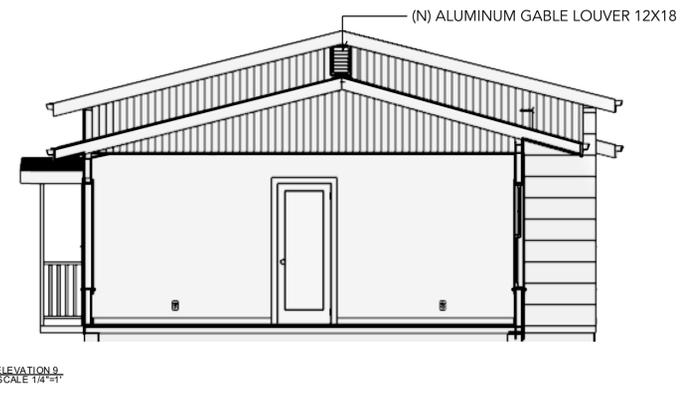
PROPOSED



ELEVATION 8
SCALE 1/4"=1'



ELEVATION 9
SCALE 1/4"=1'



ELEVATION 8
SCALE 1/4"=1'

NOTE:

<p> MASTER FLOW® ALUMINIUM GABLE LOUVERS MANUFACTURER COLORS CONSTRUCTION MOUNT HTTPS://WWW.GAF.COM/EN-US/ROOFING-PRODUCTS/RESIDENTIAL-ROOFING-PRODUCTS/VENTILATION-AND-ATTIC-VENTS/LOUVERS/INTAKE-EXHAUST-GABLE-LOUVERS/MASTER-FLOW-ALUMINIUM-GABLE-LOUVERS </p>	<p> GAF WHITE, MILL ALUMINUM FLUSH OR RECESSED </p>
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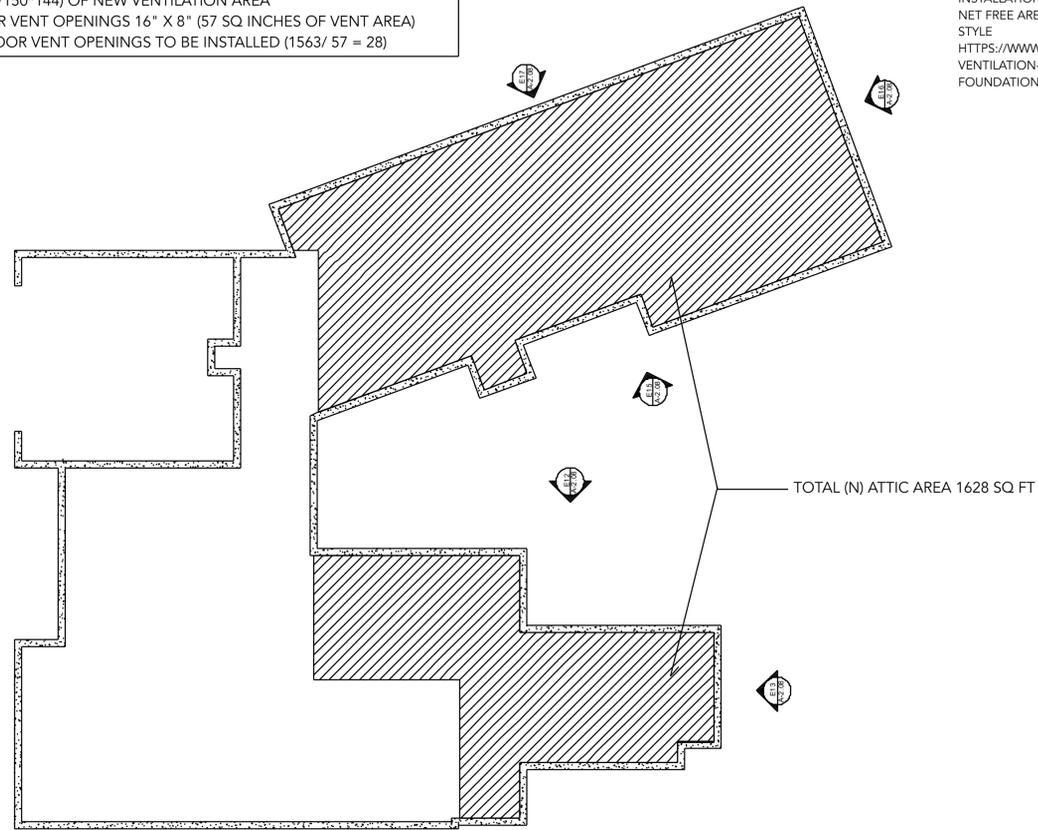
DATE
11.07.22

SCALE
AS NOTED

UNDER FLOOR VENTILATION CALCULATION

ACCORDING TO CRC R408.2
 UNDER FLOOR AREA OF 1628 SQ. FT REQUIRES
 1563 SQ. IN (1628/150*144) OF NEW VENTILATION AREA
 (N) UNDER FLOOR VENT OPENINGS 16" X 8" (57 SQ INCHES OF VENT AREA)
 28 (N) UNDER FLOOR VENT OPENINGS TO BE INSTALLED (1563/ 57 = 28)

NOTE:
 MASTER FLOW® AUTOMATIC FOUNDATION VENT - FVRABL
 MANUFACTURER GAF
 COLORS BLACK
 CONSTRUCTION HI-DENSITY POLYETHYLENE
 INSTALLATION METHOD SNAP-IN
 NET FREE AREA (NFA) 57 SQ. IN. NFA
 STYLE AUTOMATIC OPERATION
[HTTPS://WWW.GAF.COM/EN-US/ROOFING-PRODUCTS/RESIDENTIAL-ROOFING-PRODUCTS/VENTILATION-AND-ATTIC-VENTS/FOUNDATION-VENTS/MASTER-FLOW-AUTOMATIC-FOUNDATION-VENT-FVRABL/SPECIFICATIONS](https://www.gaf.com/en-us/roofing-products/residential-roofing-products/ventilation-and-attic-vents/foundation-vents/master-flow-automatic-foundation-vent-fvrabl/specifications)



ELEVATION 12
SCALE 1/4"=1'-0"

ELEVATION 13
SCALE 1/4"=1'-0"



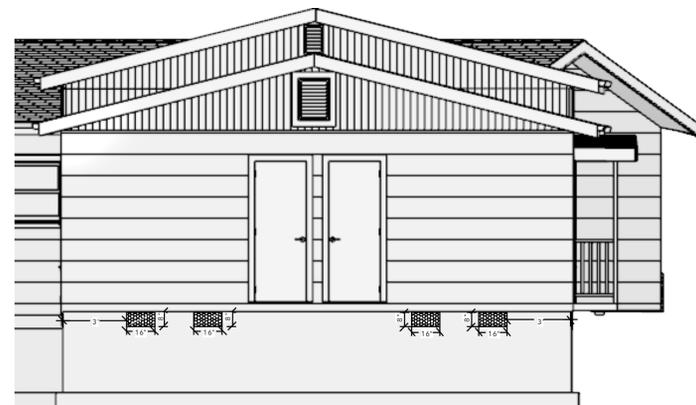
ELEVATION 14
SCALE 1/4"=1'-0"

ELEVATION 15
SCALE 1/4"=1'-0"



ELEVATION 16
SCALE 1/4"=1'-0"

ELEVATION 17
SCALE 1/4"=1'-0"



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
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CA 95008

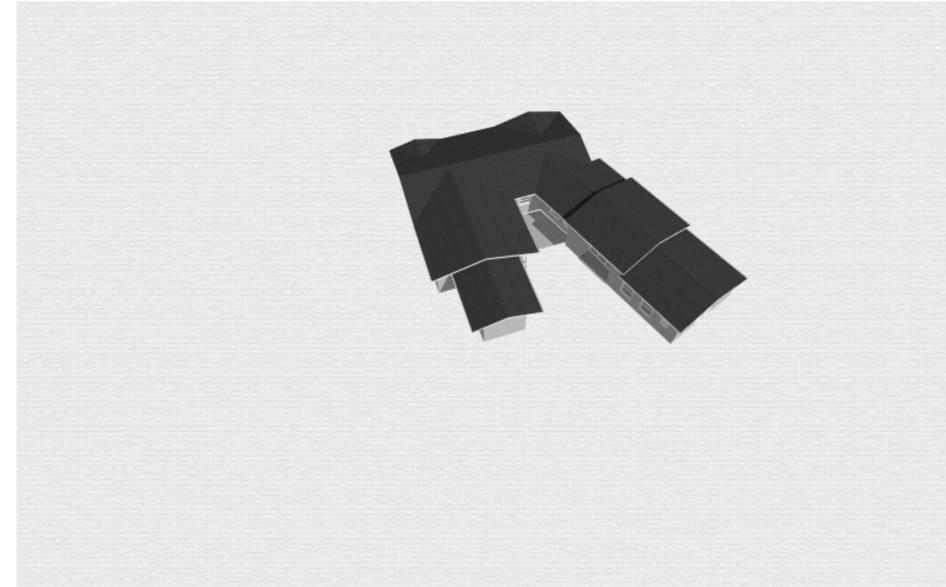
CLIENT
HAO WANG

TITLE
VENTILATION

PROPOSED

DATE
11.07.22

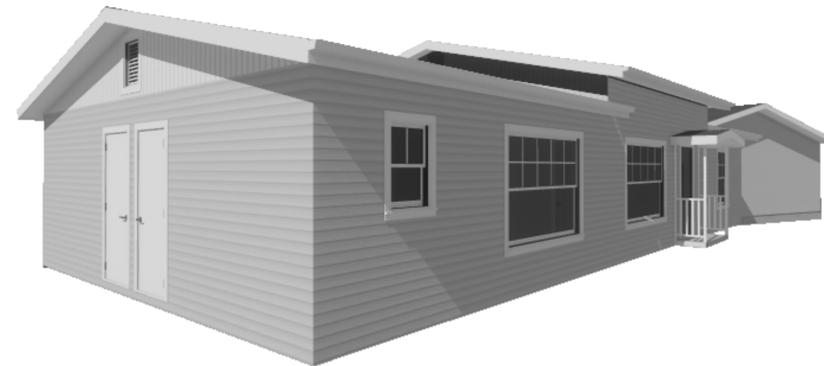
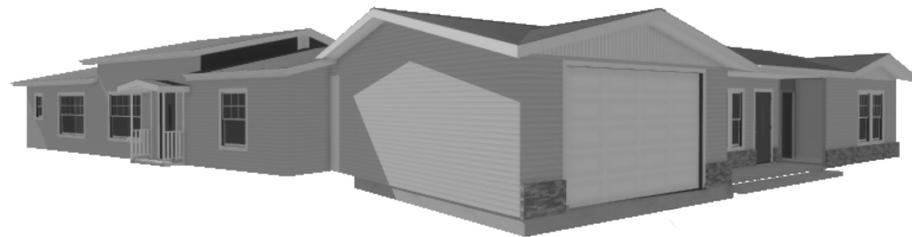
SCALE
AS NOTED



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG



TITLE
RENDERS

PROPOSED



DATE
11.07.22

SCALE
NO SCALE

GENERAL STRUCTURAL NOTES

STRUCTURAL DRAWINGS ARE A PORTION OF THE CONTRACT DOCUMENTS AND ARE INTENDED TO BE USED WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS FROM THESE DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK.

THESE GENERAL NOTES SUPPLEMENT THE PROJECT SPECIFICATIONS. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. NOTES AND DETAILS ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE GIVEN. CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.

CODE REQUIREMENTS: CONFORM TO THE 2019 CALIFORNIA BUILDING CODE (CBC), BASED ON THE 2018 INTERNATIONAL BUILDING CODE (IBC).

TEMPORARY CONDITIONS: THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES. CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.

DESIGN CRITERIA: DESIGN WAS BASED ON THE STRENGTH AND DEFLECTION CRITERIA OF THE CBC IN ADDITION TO THE DEAD LOADS, THE FOLLOWING LOADS AND ALLOWABLES WERE USED FOR DESIGN, WITH LIVE LOADS (LL) REDUCED PER CBC:

DESIGN CRITERIA		
GRAVITY SYSTEM CRITERIA		
ROOF LIVE LOAD	20 PSF LL	
FLOOR LIVE LOADS:	UNIFORM LOAD	CONCENTRATED LOAD
RESIDENTIAL	40 PSF LL	-
VERTICAL FLOOR DEFLECTION (INTERIOR)	L/360 LIVE LOAD PER CBC TABLE 1604.3	
NOTES:	1. LIVE LOADS REDUCED PER CBC WHERE APPLICABLE. 2. MEMBER DESIGNED FOR MORE CRITICAL OF UNIFORM OR CONCENTRATED LOAD.	

GEOTECHNICAL CRITERIA		
DESIGN BASED ON:	PRESUMPTIVE LOAD-BEARING VALUES FROM CRC TABLE R401.4.1	
ALLOWABLE SOIL PRESSURE:	1500 PSF	

WIND CRITERIA		
RISK CATEGORY	II	
MAIN WIND FORCE RESISTING SYSTEM	V _{ult} = 90 MPH ULTIMATE DESIGN WIND SPEED (3-SECOND GUST)	
COMPONENTS AND CLADDING	V _{ult} = 90 MPH ULTIMATE DESIGN WIND SPEED (3-SECOND GUST)	
EXPOSURE CATEGORY	C	
GUST/INTERNAL PRESSURE COEFFICIENT	GC _p = +/- 0.18	

SEISMIC CRITERIA		
RISK CATEGORY	II	
SEISMIC DESIGN CATEGORY	E	
SITE CLASS	D	
IMPORTANCE FACTOR	I _e = 1.0	
MCE SPECTRAL ACCELERATION	S _s = 1.5	S ₁ = 0.6
SITE FACTOR	F _a = 1.0	F _v = 1.7
DESIGN SPECTRAL ACCELERATION	S _{DS} = 1.00	S _{D1} = 0.680
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE PER ASCE 7-16 SECTION 12.8	
	X DIRECTION (E/W)	Y DIRECTION (N/S)
SEISMIC FLOOR RESISTING SYSTEM (SFRS)	LIGHT FRAMED WOOD SHEAR WALLS	LIGHT FRAMED WOOD SHEAR WALLS
RESPONSE MODIFICATION FACTOR	R = 6.5	R = 6.5
SEISMIC RESPONSE COEFFICIENT	C _s = 0.154	C _s = 0.154
DESIGN BASE SHEAR	1.5 KIPS	1.5 KIPS
REDUNDANCY FACTOR	p = 1.0	p = 1.0
SYSTEM OVERSTRENGTH FACTOR	Q _b = 3.0	Q _b = 3.0
DEFLECTION AMPLIFICATION FACTOR	C _d = 4.0	C _d = 4.0
DESIGN INELASTIC DISPLACEMENT/DRIFT	δ _b = 1.72"/Δ = 0.013	δ _b = 1.30"/Δ = 0.010

STRUCTURAL OBSERVATION: THE STRUCTURAL ENGINEER OF RECORD (SEOR) WILL PERFORM STRUCTURAL OBSERVATION BASED ON THE REQUIREMENTS OF THE CBC AT THE STAGES OF CONSTRUCTION LISTED BELOW. CONTRACTOR SHALL PROVIDE SUFFICIENT NOTICE AND ACCESS FOR THE SEOR TO PERFORM THESE OBSERVATIONS.

STRUCTURAL OBSERVATIONS			
ITEM	OBSERVED BY (2)		COMMENTS
	AOR	EOR	
AS REQUIRED TO ADDRESS STRUCTURAL ISSUES	X	X	REF. NOTES 1,3,4

FOOTNOTES:

- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE EOR IN ADVANCE.
- AOR- ARCHITECT/DESIGNER OF RECORD, EOR - ENGINEER OF RECORD.
- A FIELD REPORT WILL BE SUBMITTED TO THE BUILDING DEPARTMENT FOLLOWING EACH SITE VISIT.
- STRUCTURAL OBSERVATION IS FOR THE GENERAL PERFORMANCE OF THE STRUCTURAL DRAWING, SPECIAL INSPECTION IS STILL REQUIRED.
- AFTER REINFORCING STEEL HAS BEEN INSTALLED.

SUBMITTALS: SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND CONSTRUCTION OF ALL STRUCTURAL ITEMS, INCLUDING THE FOLLOWING:

ITEM	SUBMITTAL (1,4)	DEFERRED SUBMITTAL (2,4)	COMMENTS
CONCRETE MIX DESIGNS	X		
CONCRETE REINFORCEMENT	X		
CONCRETE ANCHORAGES	X		
EMBEDDED STEEL ITEMS	X		
ROOF DECK RAILING SYSTEM		X	
M/E/P EQUIPMENT ANCHORAGE AND BRACING		X	REF. NOTE 3

FOOTNOTES:

- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND CONSTRUCTION OF STRUCTURAL ITEMS. IF THE SHOP DRAWINGS DIFFER FROM OR ADD TO THE DESIGN OF THE STRUCTURAL DRAWINGS, THEY SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA. ANY CHANGES TO THE STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ARE SUBJECT TO REVIEW AND ACCEPTANCE OF THE ENGINEER OF RECORD.
- DESIGN DRAWINGS, SHOP DRAWINGS, AND CALCULATIONS FOR THE DESIGN AND FABRICATION OF ITEMS THAT ARE DESIGNED BY OTHERS SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA, AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION. CALCULATIONS SHALL BE INCLUDED FOR ALL CONNECTIONS TO THE STRUCTURE, CONSIDERING LOCALIZED EFFECTS ON STRUCTURAL ELEMENTS INDUCED BY THE CONNECTION LOADS. DESIGN SHALL BE BASED ON THE REQUIREMENTS OF THE CBC AND AS NOTED UNDER "DESIGN CRITERIA".
- THE CONTRACTOR SHALL COORDINATE SEISMIC RESTRAINTS OF MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT, MACHINERY, AND ASSOCIATED PIPING WITH THE STRUCTURE. CONNECTIONS TO STRUCTURE SHALL CONFORM TO ASCE 7-16 CHAPTER 13. BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF CALIFORNIA, AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION.
- FIELD ENGINEERED DETAILS DEVELOPED BY THE CONTRACTOR THAT DIFFER FROM OR ADD TO THE STRUCTURAL DRAWINGS SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- THE USE OF REPRODUCTIONS OR PHOTOCOPIES OF THE CONTRACT DRAWINGS SHALL NOT BE PERMITTED. THE CONTRACT DRAWINGS SHALL NOT BE SCALED. WHEN COMPUTER AIDED DESIGN (CAD) FILES ARE PROVIDED TO THE CONTRACTOR OR SUBCONTRACTORS, IT IS THE RESPONSIBILITY OF THE DETAILERS TO REMOVE ALL INFORMATION NOT DIRECTLY RELEVANT TO THE CREATION OF THE PLACING DRAWINGS AS WELL AS ALL REFERENCES TO THE OUTSIDE SOURCE FILES. CAD DRAWINGS SHALL NOT BE RELIED ON TO LAY OUT STRUCTURAL MEMBERS OR FOUNDATIONS.

CONCRETE: CONCRETE WORK SHALL CONFORM TO CHAPTER 19 OF THE CBC. CONCRETE STRENGTHS SHALL BE VERIFIED BY STANDARD CYLINDER TESTS PER ASTM C39. MIX DESIGNS SHALL BE AS FOLLOWS:

CONCRETE MIX DESIGNS				
USE	f _c (PSI)	TEST AGE (DAYS)	MAX. W/CM RATIO (NOTE 1)	MAX. AGGREGATE SIZE
MISC. CONCRETE, THICKENED EDGES, CURBS, INTERIOR SLAB ON GRADE, ETC.	3,000	28	0.50	1"

FOOTNOTES:

- VERIFY WATER-CEMENTITIOUS MATERIAL RATIO WITH FLOOR COVERING MANUFACTURER FOR CONCRETE FLOORS WITH MOISTURE SENSITIVE FLOOR COVERINGS.
- ESTABLISH WATER-CEMENTITIOUS MATERIAL RATIO PER ACI 318-14 CHAPTER 19.

PORTLAND CEMENT CONTENT MAY BE REPLACED UP TO 20% WITH FLY ASH CONFORMING TO ASTM C618 (INCLUDING TABLE 2A) TYPE F OR TYPE C OR UP TO 50% WITH SLAG CEMENT CONFORMING TO ASTM C989, PROVIDED THAT THE MIX STRENGTH IS SUBSTANTIATED BY TEST DATA. FOR MIX DESIGNS WITH f_c = 5,000 PSI OR LESS, SLAG CEMENT MAY BE SUBSTITUTED FOR FLY ASH AT A 1:1 RATIO WITHOUT TEST DATA. WHEN SLAG CEMENT IS SUBSTITUTED IN HIGHER STRENGTH MIXES OR AT DIFFERENT RATIO, THE MIX STRENGTH MUST BE SUBSTANTIATED BY TEST DATA.

A WATER-REDUCING ADMIXTURE CONFORMING TO ASTM C494 USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS SHALL BE INCORPORATED IN CONCRETE DESIGN MIXES. A HIGH-RANGE WATER-REDUCING (HRWR) ADMIXTURE CONFORMING TO ASTM C494 TYPE F OR G MAY BE USED IN CONCRETE MIXES PROVIDING THAT THE SLUMP DOES NOT EXCEED 10". AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C268 SHALL BE USED IN CONCRETE MIXES FOR ALL CONCRETE EXPOSED TO WEATHER. THE AMOUNT OF ENTRAINING AIR BY VOLUME SHALL BE AS FOLLOWS: 1.5%.

CONCRETE MIX AIR CONTENT	
MAX. AGGREGATE SIZE	CONCRETE SUBJECT TO FREQUENT MOISTURE
3/4"	6.0%
1"	6.0%

CONCRETE ELEMENTS SUBJECT TO FREQUENT MOISTURE INCLUDE ALL EXTERIOR CONCRETE SLABS.

THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS ALONG WITH TEST DATA COMPLIANT WITH ACI 318-14 CBC SECTION 1905 A MINIMUM OF TWO WEEKS PRIOR TO PLACING CONCRETE. NO WATER MAY BE ADDED TO CONCRETE IN THE FIELD UNLESS SPECIFICALLY APPROVED IN WRITING BY THE CONCRETE SUPPLIER IN CONJUNCTION WITH THE CONCRETE MIX DESIGN.

SLEEVES, OPENINGS, CONDUIT, AND OTHER EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER BEFORE PLACING CONCRETE. CONDUITS EMBEDDED IN SLABS SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN ONE THIRD OF THE THICKNESS OF THE SLAB AND SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS ON CENTER.

WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE, THE EXISTING CONCRETE SURFACE SHALL BE CLEANED AND ROUGHENED TO A MINIMUM 1/4" AMPLITUDE PER ACI 318. PROVIDE 3/4" CHAMFERS ON ALL EXPOSED CONCRETE EDGES, UNLESS NOTED OTHERWISE.

VERIFY ALL BLOCK OUTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS.

REINFORCING STEEL: ALL DEFORMED BAR REINFORCEMENT SHALL BE ASTM A615 GRADE 60 OR ASTM A706 GRADE 60. ASTM A615 REINFORCEMENT MAY BE SUBSTITUTED FOR ASTM A706 REINFORCEMENT PROVIDED THAT THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED 78,000 PSI AND THE RATIO OF ACTUAL TENSILE STRENGTH TO ACTUAL YIELD STRENGTH IS NOT LESS THAN 1.25 AND THE ELONGATION REQUIREMENTS OF ACI 318-14 ARE MET. MILL TESTS CERTIFICATIONS FOR SUBSTITUTED BARS SHALL BE SUBMITTED TO THE SPECIAL INSPECTOR AND SEOR PRIOR TO PLACEMENT.

BAR IN FOOTINGS AND SLABS SHALL BE SUPPORTED ON WELL-CURED CONCRETE BLOCKS OR APPROVED METAL OR PLASTIC CHAIRS, AS SPECIFIED BY THE CRSI MANUAL OF STANDARD PRACTICE, MSP-1. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315. SHOP DRAWINGS SHALL INCLUDE ELEVATIONS OF ALL BEAMS, WALLS AND COLUMNS SHOWING BAR LOCATIONS. LAP ALL REINFORCING BARS PER THE TYPICAL LAP SPLICE LENGTH SCHEDULES, EXCEPT AS NOTED ON DRAWINGS. USE LAP LENGTH FOR SMALLER BAR WHEN SPLICING DIFFERENT BAR SIZES. BARS SPLICED WITH NONCONTACT LAPS SHALL BE SPACED NO FARTHER THAN 1/5TH THE LAP LENGTH OR 6 INCHES. MECHANICAL SPLICES NOTED ON THE PLANS SHALL BE DAYTON SUPERIOR BAR-LOCK (ICC ESR-2495) OR TAPER-LOCK COUPLERS (APMO ES-0319) OR APPROVED WITH A CURRENT EVALUATION APPROVAL REPORT.

TYP. WALL AND SLAB LAP SPLICE LENGTH SCHEDULE (IN.)		
BAR SIZE	WALL VERTICAL AND SLAB BOTTOM BARS (NOTE 7)	WALL HORIZONTAL AND SLAB TOP BARS (NOTE 7)
	f _c = 3,000 PSI	
#3	18	24
#4	30	38
#5	36	48
#6	44	58
#7	70	92

TYP. FOUNDATION LAP SPLICE LENGTH SCHEDULE (IN.)		
BAR SIZE	WALL VERTICAL AND SLAB BOTTOM BARS (NOTE 7)	WALL HORIZONTAL AND SLAB TOP BARS (NOTE 7)
	f _c = 3,000 PSI	
#3	18	22
#4	22	28
#5	28	36
#6	34	42
#7	48	62

FOOTNOTES:

- MINIMUM LAP SPLICES NOTED ARE FOR NON-LATERAL LOAD RESISTING ELEMENTS.
- ASTM A615 OR ASTM A706, GRADE 60 DEFORMED REINFORCING BARS.
- MINIMUM CLEAR COVER AND BAR SPACING OF 4db TO BE PROVIDED.
- NORMAL WEIGHT CONCRETE. FOR LIGHT-WEIGHT CONCRETE MULTIPLY TABLE VALUES BY 1.3.
- UNCOATED BARS, FOR EPOXY-COATED BARS MULTIPLY TABLE VALUES BY 1.5.
- COMBINATIONS OF EFFECTS DUE TO CONCRETE STRENGTH, CONCRETE WEIGHT, AND EPOXY COATING ARE CUMULATIVE.
- SLAB AND FOUNDATION TOP BARS ARE BARS CAST ABOVE MORE THAN 12" OF FRESH CONCRETE. ALL OTHER SLAB BARS MAY BE CONSIDERED BOTTOM BARS.

REINFORCING STEEL SHALL HAVE PROTECTION AS FOLLOWS:

REINFORCING STEEL CONCRETE COVER	
USE	CLEAR COVER
SLABS	3/4"
EXPOSED TO EARTH OR WEATHER	1-1/2" (#5 AND SMALLER) 2" (#6 AND LARGER)
CONCRETE CAST AGAINST AND EXPOSED TO EARTH	3"

POST INSTALLED ANCHORS SHALL BE OF THE TYPE AND PRODUCT SPECIFIED ON THE DRAWINGS OR AS FOLLOWS:

POST INSTALLED CONCRETE ANCHORS	
TYPE	APPROVED ANCHORS
EXPANSION	HILTI KWIK BOLT T2 (ICC ESR-1917) SIMPSON STRONG-BOLT 2 (ICC ESR-3037)
CONCRETE SCREW	HILTI KWIK HUS-EZ (ICC ESR-3027) SIMPSON TITEN HD (ICC ESR-2713)
EPOXY ADHESIVE	HILTI HIT-HY 200 (ICC ESR-3187) HILTI HIT-RE 500 V3 (ICC ESR-3814) SIMPSON SET-XP (ICC ESR-2508)

ALL ANCHORS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND PRODUCT EVALUATION REPORTS. EMBEDMENTS SPECIFIED ON DRAWINGS ARE "EFFECTIVE" EMBEDMENTS. REFERENCE MANUFACTURER LITERATURE FOR CORRESPONDING ACTUAL EMBEDMENT DEPTHS.

REQUESTS FOR ANCHOR SUBSTITUTIONS SHALL BE SUBMITTED TO THE EOR IN WRITING ALONG WITH EVIDENCE OF EQUAL OR GREATER CAPACITY TO THE SPECIFIED CONNECTION. DO NOT CUT REINFORCING IN NEW OR EXISTING CONCRETE DURING INSTALLATION.

INSTALLATION OF ADHESIVE ANCHORS HORIZONTALLY OR UPWARDLY INCLINED SHALL BE PERFORMED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER AS CERTIFIED THROUGH ACICRSI AND IN ACCORDANCE WITH ACI 318-14 17.8.2.2. PROOF OF CURRENT CERTIFICATION SHALL BE SUBMITTED TO THE EOR PRIOR TO INSTALLATION.

ANCHORS EXPOSED TO EARTH OR WEATHER SHALL BE PROTECTED FROM CORROSION BY HOT-DIP GALVANIZING OR USE OF STAINLESS STEEL. PERMANENTLY EXPOSED EMBEDDED PLATES AND ANGLES SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION, UNLESS NOTED OTHERWISE.

NO LOADS OR WELDS SHALL BE PLACED ON EMBEDDED PLATES OR ANGLES FOR A MINIMUM OF 7 DAYS AFTER CASTING. IN ACCORDANCE WITH ACI 318-14 SECTION 17.8.2.1 ADHESIVE ANCHORS SHALL NOT BE INSTALLED FOR A MINIMUM OF 21 DAYS AFTER CASTING.

CRACK INJECTION EPOXY REPAIR ADHESIVE: EPOXY REPAIR ADHESIVE SHALL CONFORM TO ASTM C827 AND SHALL BE A TWO-COMPONENT, LIQUID EPOXY WITH NON-SAG CONSISTENCY AND A LONG POT LIFE. THE EPOXY ADHESIVE SHALL BE SUITABLE FOR USE ON DRY OR DAMP SURFACES. EPOXY SHALL MEET REQUIREMENTS OF A "TYPE IV" BONDING SYSTEM WITH A MINIMUM TENSILE STRENGTH OF 7,000 PSI. HOLE SIZES AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE APPROVED EVALUATION REPORT REQUIREMENTS. DO NOT CUT REINFORCING IN NEW OR EXISTING CONCRETE DURING INSTALLATION.

SAWN LUMBER: SAWN LUMBER SHALL CONFORM TO THE REQUIREMENTS AS INDICATED IN THE CURRENTLY ACCEPTED NATIONAL DESIGN SPECIFICATION (NDS) DESIGN VALUES FOR WOOD CONSTRUCTION AND CONFORMING TO THE WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. LUMBER SHALL BE THE SPECIES, GRADE, AND MOISTURE CONTENT NOTED BELOW.

SAWN LUMBER		
USE	SPECIES AND GRADE	MOISTURE CONTENT
LUMBER 2" TO 4" THICK x 5" OR WIDER (JOISTS/RAFTERS)	DOUGLAS FIR-LARCH NO. 2 & BTR	MCKD 15
LUMBER 2" TO 3" THICK x 4" TO 6" WIDE (STUDS)	DOUGLAS FIR-LARCH STUD	MCKD 15
LUMBER 5x5 AND GREATER (BEAMS)	DOUGLAS FIR-LARCH NO. 1	S-DRY
LUMBER 5x5 AND GREATER (POSTS)	DOUGLAS FIR-LARCH NO. 1	S-DRY

ALL LUMBER IN CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED, UNLESS AN APPROVED MOISTURE BARRIER IS PROVIDED.

FRAMING ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE (OR APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. ALL NAIL HOLES SHALL BE FILLED WITH STRUCTURAL FASTENERS, UNLESS NOTED OTHERWISE ON THE DRAWINGS AND FASTENERS SHALL BE INSTALLED FOLLOWING ALL MANUFACTURERS REQUIREMENTS. IF A SUBSTITUTION IS MADE, A DOCUMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL OUTLINING THE FRAMING ACCESSORIES BEING REPLACED AND THE SUBSTITUTED FRAMING ACCESSORIES. ALLOWABLE LOADS FOR THE SIMPSON ACCESSORIES SHALL BE TABULATED ALONG WITH ALLOWABLE LOADS FOR THE SUBSTITUTED ACCESSORIES, WHICH CLEARLY INDICATE THE SUBSTITUTED ACCESSORIES HAVING AN EQUAL OR GREATER CAPACITY.

ALL FRAMING NAILS SHALL BE OF THE SIZE AND QUANTITY INDICATED ON THE DRAWINGS AND CONFORM TO ASTM F 1687, "STANDARD SPECIFICATION OF DRIVEN FASTENERS: NAILS, SPIKES, AND STAPLES AND ICC-ES REPORT ESR-1539 "POWER-DRIVEN STAPLES AND NAILS". NAILS SHALL BE IDENTIFIED BY LABELS (ATTACHED TO THEIR CONTAINERS) THAT SHOW THE MANUFACTURER'S NAME AND ICC-ES REPORT NUMBER, NAIL SHANK DIAMETER, AND LENGTH AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FRAMING. NAILING NOT SHOWN SHALL BE AS INDICATED ON CBC TABLE 2304.9.1 OR ESR-1539. THE FOLLOWING NAIL SIZES SHALL BE USED WITH THE NAIL LENGTH DETERMINED BY MINIMUM PENETRATION INTO FRAMING MEMBER:

FRAMING NAILS			
NAIL TYPE	SHANK DIAMETER (IN.)	MINIMUM PENETRATION INTO FRAMING MEMBER (IN.)	
6d	0.113	1.125	
8d	0.131	1.375	
10d	0.148	1.5	
12d	0.148	1.5	
16d	0.148	1.5	

BOLTS AND LAG SCREWS SHALL CONFORM TO ANS/ASME STANDARD B18.2.1. ALL BOLTS AND LAG SCREWS SHALL BE INSTALLED WITH STANDARD CUT WASHERS.

CUTTING AND NOTCHING OF JOISTS AND STUDS SHALL CONFORM TO THE TYPICAL WOOD DETAILS PROVIDED OR CBC SECTIONS 2308.4.2.4, 2308.5.9 AND 2308.7.4 WHERE NO DETAILS ARE SPECIFIED.

WOOD STRUCTURAL PANELS: THE TERM "WOOD STRUCTURAL PANEL" REFERS TO A WOOD-BASED PANEL PRODUCT BONDED WITH A WATERPROOF ADHESIVE. INCLUDED UNDER THIS DESIGNATION ARE BOTH PLYWOOD AND ORIENTED STRAND BOARD (OSB). WOOD STRUCTURAL PANELS SHALL CONFORM TO U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARDS PS1 OR PS2 FOR WOOD-BASED STRUCTURAL USE PANELS, OR APA PERFORMANCE STANDARD PRP-108 (ICC-ES ESR-2586). PANELS SHALL BE APA RATED SHEATHING OR APA RATED STURD-FLOOR, EXTERIOR OR EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PANELS SHALL BE STAMPED WITH THE APA TRADEMARK.

WOOD STRUCTURAL PANEL INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND FLOOR SHEATHING SHALL BE INSTALLED WITH FACE GRAIN OR STRENGTH AXIS PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE LOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY CLIPS, WHERE CLIPPING IS SPECIFICALLY INDICATED ON THE DRAWINGS. T&G EDGES OR PLYCLIPS MAY NOT BE SUBSTITUTED. SHEATHING SHALL BE UNLOCKED, EXCEPT AS INDICATED ON DRAWINGS. FLOOR SHEATHING SHALL BE FIELD GLUED TO THE FRAMING USING ADHESIVES MEETING APA SPECIFICATION AF-311 OR ASTM D3496. TONGUE AND GROOVE PANELS SHALL ALSO BE GLUED AT THE T&G JOINT.

SHEAR WALL SHEATHING SHALL BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY AND BE BLOCKED WITH 2x FRAMING AT ALL PANEL EDGES. NAILING NOT SHOWN SHALL BE AS INDICATED ON CBC TABLE 2304.9.1.

SHEAR WALL SHEATHING SHALL BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY AND BE BLOCKED WITH 2x FRAMING AT ALL PANEL EDGES. NAILING NOT SHOWN SHALL BE AS INDICATED ON CBC TABLE 2304.9.1.

WOOD STRUCTURAL PANEL SHEAR WALLS: SHEAR WALL WOOD STRUCTURAL PANELS SHALL BE PLYWOOD OR OSB PANELS CONFORMING TO THE REQUIREMENTS FOR ITS TYPE SPECIFIED IN U.S. DOC PS1 OR PS2. SHEATHING SHALL BE APPLIED EITHER HORIZONTALLY OR VERTICALLY. SHEET SIZES SHALL BE 4x8 UNLESS AT BOUNDARIES OR FRAMING CHANGES.

NAIL HEADS SHALL BE DRIVEN FLUSH WITH SHEATHING. DO NOT PENETRATE SURFACE PLY WITH NAIL HEADS. IF NAIL HEADS ARE NOT FLUSH NOTIFY EOR. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS NECESSARY DUE TO OVER-PENETRATION OF NAILS.

ALL SHEAR WALL PANEL SHEATHING EDGES SHALL BE BLOCKED. EDGE NAILS SHALL BE AT LEAST 3/8" FROM EDGES AND ENDS OF PANELS. STAGGER NAILING ON EDGES.

STRUCTURAL COMPOSITE LUMBER: STRUCTURAL COMPOSITE LUMBER PRODUCTS SUCH AS LAMINATED VENEER LUMBER (LVL), PARALLEL STRAND LUMBER (PSL) AND LAMINATED STRAND LUMBER (LSL) SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. ALL STRUCTURAL COMPOSITE LUMBER PRODUCTS NOTED HERE SHALL HAVE A CURRENT ICC-ES REPORT.

MEMBERS SHALL HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES:

STRUCTURAL COMPOSITE LUMBER MINIMUM PROPERTIES		
LUMBER TYPE	FLEXURAL STRESS, F _b (PSI)	MODULUS OF ELASTICITY (PSI)
PSL	2,900	2,200,000
LVL	2,600	2,000,000
LSL HEADERS	2,325	1,550,000
LSL STUDS	1,700	1,300,000
LSL RIM BOARD	1,700	1,300,000
LSL SILL PLATE (TREATED)	1,900	1,300,000

FLEXURAL STRESS NOTED ABOVE ARE FOR A 12-INCH MEMBER. DEEPER MEMBERS SHALL BE DESIGNED FOR REDUCED STRESSES PER THE MANUFACTURER'S REQUIREMENTS.

kennedyassociates21@gmail.com

DO NOT SCALE THESE DRAWINGS

1315 BURROWS ROAD
CAMPBELL, CA 95008
RESIDENTIAL ADDITION

OWNER: HAO WANG



SHEET NAME:
GENERAL STRUCTURAL NOTES

REVISIONS:

PROJECT NUMBER:
20107

ISSUE DATE:
SEPTEMBER 14, 2020

SCALE:
AS NOTED

DRAWN BY:
NEK

ENGINEERED:
AJH

CHECKED:
NEK

SHEET:

S1.00

SHEAR WALL SCHEDULE

SHEAR WALL DESIGNATION (PER PLAN)	PANEL	NAILS	EDGES	FASTENING AT PLATFORM FRAMING BLOCKING	SOLE PLATE NAILING	ANCHOR BOLT AT FOUNDATION	NOTES	ASD SHEAR CAPACITY (PLF)
1	15/32"	10d COM	6" o.c.	A35 @ 24" o.c.	16d @ 6" o.c.	5/8" x 10" MIN. @ 36" o.c.		320
2	15/32"	10d COM	4" o.c.	A35 @ 16" o.c.	16d @ 4" o.c.	5/8" x 10" MIN. @ 24" o.c.		510
3	15/32"	10d COM	3" o.c.	A35 @ 12" o.c.	SDS x 6" @ 8" o.c.	5/8" x 10" MIN. @ 16" o.c.	SEE SPECIAL SHEAR WALL NOTES	665
4	15/32"	10d COM	2" o.c.	A35 @ 8" o.c.	SDS x 6" @ 6" o.c.	5/8" x 10" MIN. @ 12" o.c.	SEE SPECIAL SHEAR WALL NOTES	870

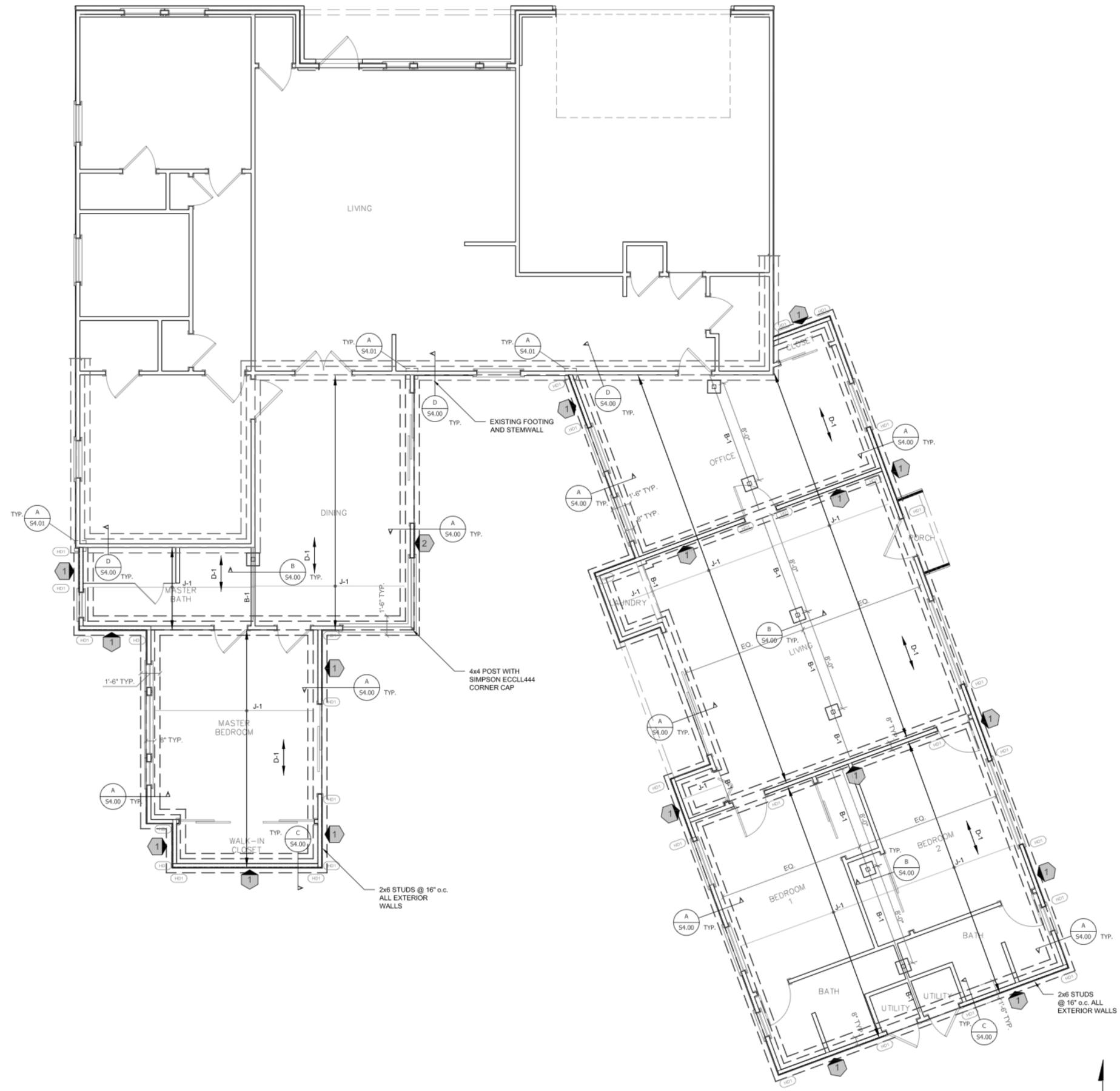
- SHEAR WALL NOTES:**
- ALL EXTERIOR WALLS TO BE SHEATHED WITH SHEAR WALL 1 MIN. UNO.
 - STRUCTURAL WALL SHEATHING SHALL BE NAILED WITH COMMON NAILS OR HOT-DIPPED (OR TUMBLED) GALVANIZED BOX NAILS. PROVIDE 1-3/8" MIN. PENETRATION INTO FRAMING MEMBERS FOR 8d NAILS & 1-1/2" MIN. PENETRATION FOR 10d NAILS.
 - STUDS SHALL BE SPACED AT 16" O.C. MAX.
 - FIELD NAILING FOR ALL SHEAR WALLS SHALL BE 12" O.C.
 - PROVIDE BLOCKING & EDGE NAILING AT ALL SHEAR PANEL EDGES.
 - LTP4 MAY BE SUBSTITUTED FOR A35 AT FULL DEPTH RIM BLOCKING.
 - REF. B/S4.01 FOR TYPICAL SHEAR WALL ELEVATION.

- SPECIAL SHEAR WALL NOTES:**
- USE 3X OR (2) 2X FRAMING AT SHEATHING JOINTS.
 - ALL PANEL EDGE NAILING SHALL BE STAGGERED.

HOLDOWN SCHEDULE

MARK	DESCRIPTION	POST	NOTES
HD1	SIMP. HDU2-SDS2.5' HOLDOWN	4x MIN.	USE 3/4" PAB-6 ANCHOR BOLT W/ 10" MINIMUM EMBEDMENT

NOTE: INSTALL ALL HOLDOWNS PER MFR. INSTRUCTIONS.



FOUNDATION PLAN

1/4" = 1'-0"

A



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DO NOT SCALE THESE DRAWINGS

1315 BURROWS ROAD
CAMPBELL, CA 95008
RESIDENTIAL ADDITION

OWNER: HAO WANG



SHEET NAME:

FOUNDATION PLAN

REVISIONS:

PROJECT NUMBER:
20107

ISSUE DATE:
SEPTEMBER 14, 2020

SCALE:
AS NOTED

DRAWN BY:
NEK

ENGINEERED:
AJH

CHECKED:
NEK

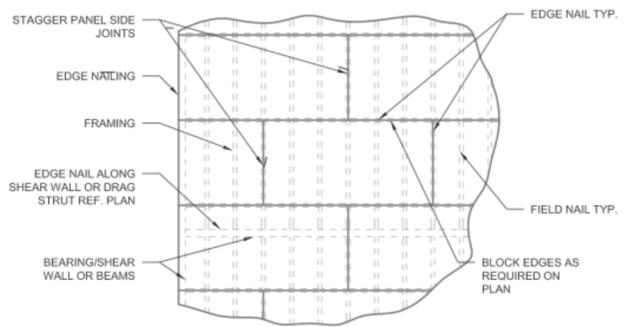
SHEET:

S2.00



ROOF FRAMING PLAN

WOOD DIAPHRAGM SCHEDULE					
TYPE	THICKNESS (SPAN RATING)	EDGE NAILING	FIELD NAILING	BLOCKING	NOTES
D-1	23/32"(48/24)	10d @ 6"o.c.	10d @ 12"o.c.	NONE	PROVIDE RING SHANK NAILS OR SCREWS AT FLOOR.
D-2	19/32"(40/20)	10d @ 6"o.c.	10d @ 12"o.c.	NONE	TYPICAL ROOF SHEATHING DIAPHRAGM

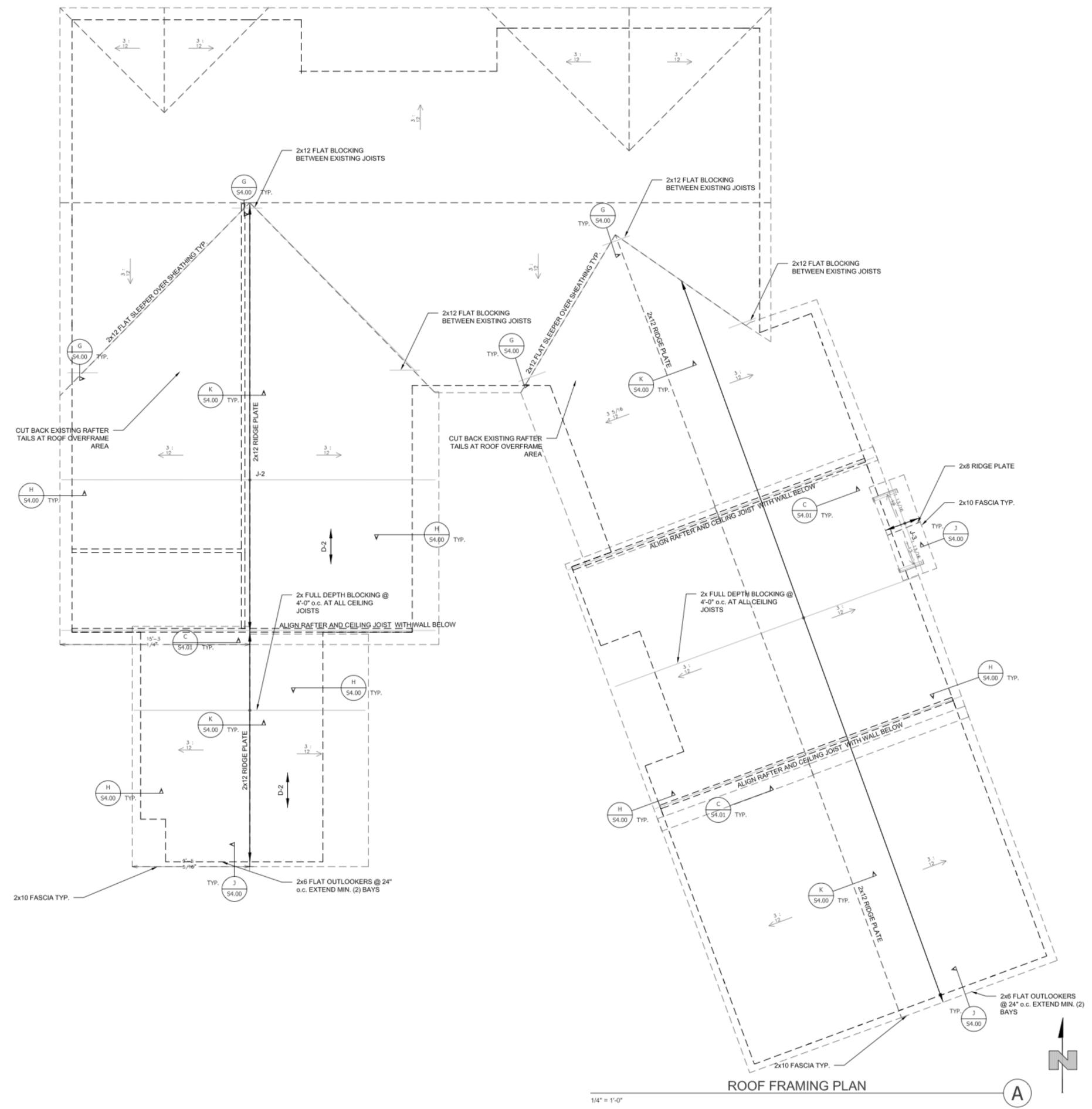


- NOTES:**
1. PROVIDE 1/8" GAP AT ALL PANEL JOINTS. REF. GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
 2. PANELS SHALL NOT BE LESS THAN 4'-0"x8'-0" EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING WHERE MINIMUM PANEL DIMENSION SHALL BE 24" UNLESS ALL EDGES OF UNDERSIZED PANELS ARE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.
 3. NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE EDGES OF PANELS.
 4. OSB IS PERMITTED TO BE USED ON FLOORS. EXCESSIVE SWELLING SHALL REQUIRE REPAIR AT CONTRACTOR'S EXPENSE.
 5. OSB IS NOT PERMITTED TO BE USED FOR ROOFS.

STRUCTURAL SCHEDULE

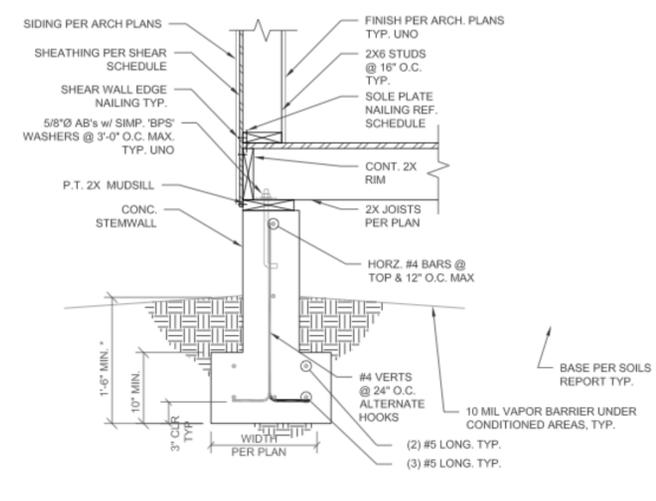
MARK	DESCRIPTION/NOTES	TOP FLANGE HANGER	FACE MOUNT HANGER
B-1	4x10 DF NO. 2 OR BETTER	N/A	N/A
J-1	2x10 DF NO. 2 OR BETTER @ 16" o.c. MAX.	N/A	N/A
J-2	2x10 DF NO. 2 CEILING JOISTS @ 16" o.c. ALIGNED WITH 2x8 RAFTERS @ 16" o.c.	N/A	N/A
J-3	2x8 DF NO. 2 CEILING JOISTS @ 24" o.c. ALIGNED WITH 2x6 NO. 2 RAFTERS @ 24" o.c.	N/A	N/A
ALL 2x JOISTS OR BLKG	NO. 2 OR BETTER. PROVIDE TREATED MEMBERS AT EXTERIOR APPLICATIONS.	LB SERIES	LUS SERIES

- NOTES:**
1. FOR HEADER FRAMING DETAIL, REF. M/S4.00.

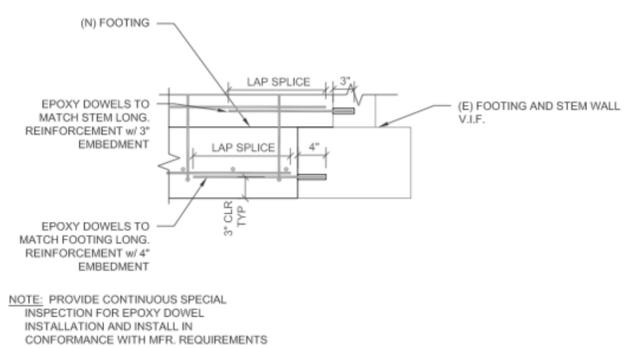


ROOF FRAMING PLAN

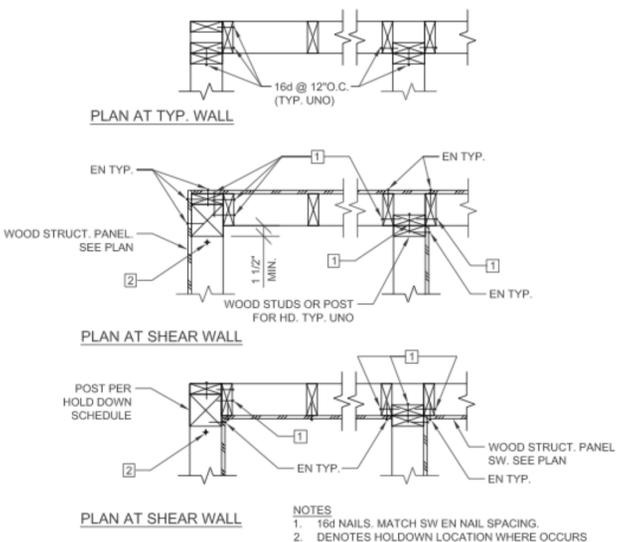
1/4" = 1'-0"



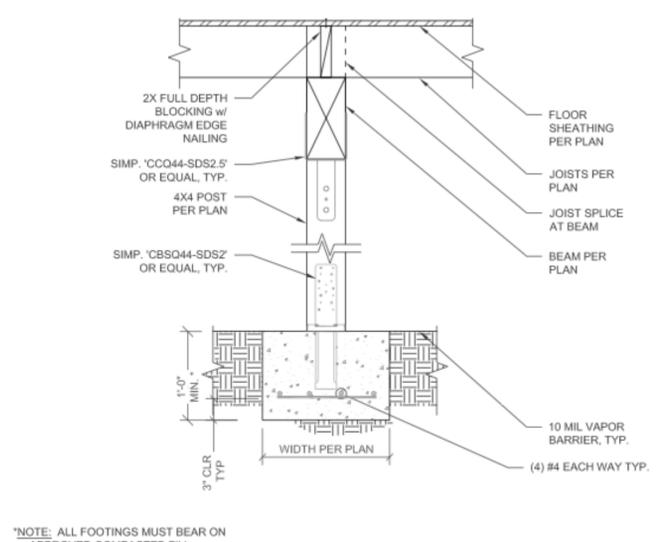
TYPICAL PERIMETER FOOTING (A)
SCALE: 1" = 1'-0"



CONNECTION OF (N) FOOTING TO (E) FOOTING AND STEM WALL V.I.F. (D)
SCALE: 1" = 1'-0"

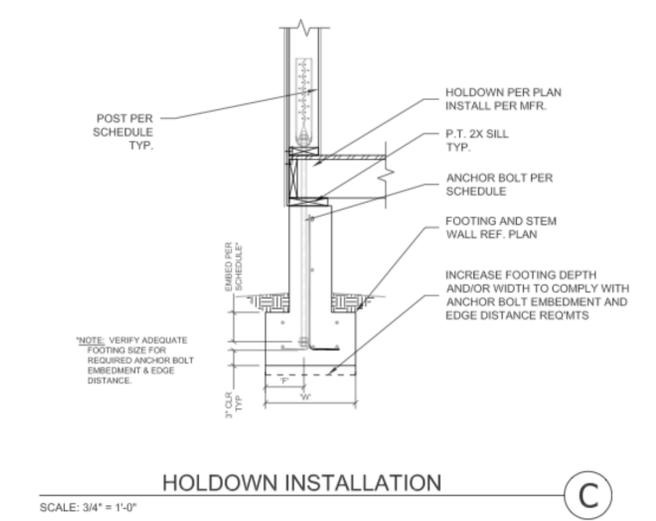


TYPICAL FRAMING DETAILS (E)
SCALE: 3/4" = 1'-0"

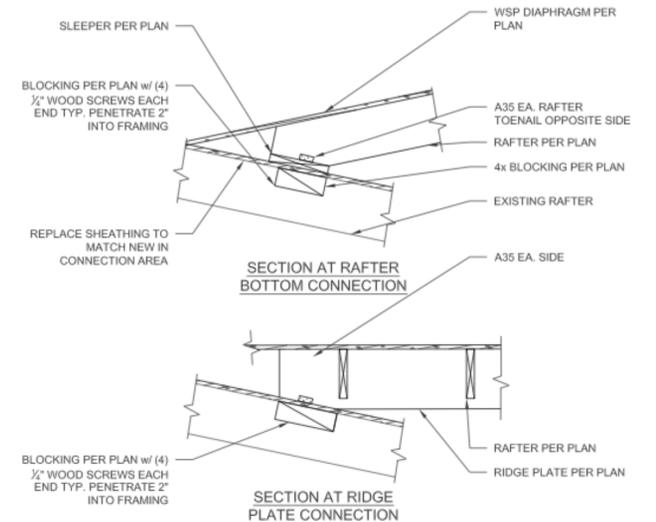


TYP. FTG. AT INTERIOR POST (B)
SCALE: 1" = 1'-0"

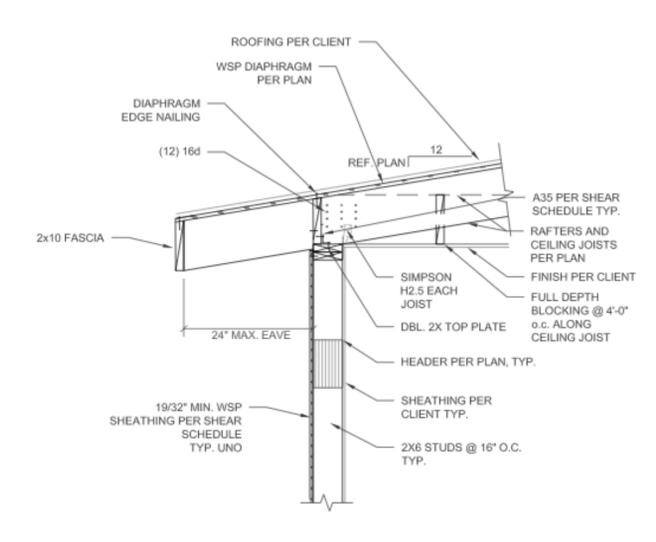
HOLD-DOWN ANCH	SIMP. A.B.	ALTERNATE ANCHOR	MIN. POST	MIN. A.B. EMBED	MIN. FOOTING EDGE DIST. 3"	MIN. FOOTING WIDTH 3"
HD1	PAB5	5/8"Ø ALL-THREAD w/ NUT-WASHER-NUT	(2) 2x6	6"	9"	1'-0"



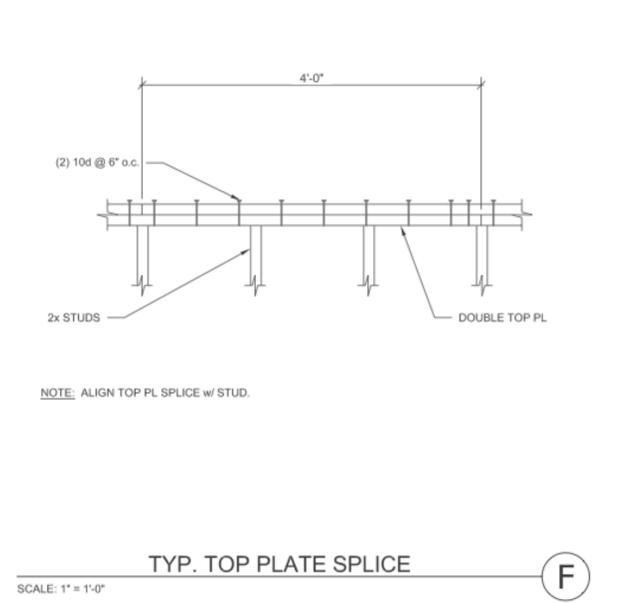
HOLD-DOWN INSTALLATION (C)
SCALE: 3/4" = 1'-0"



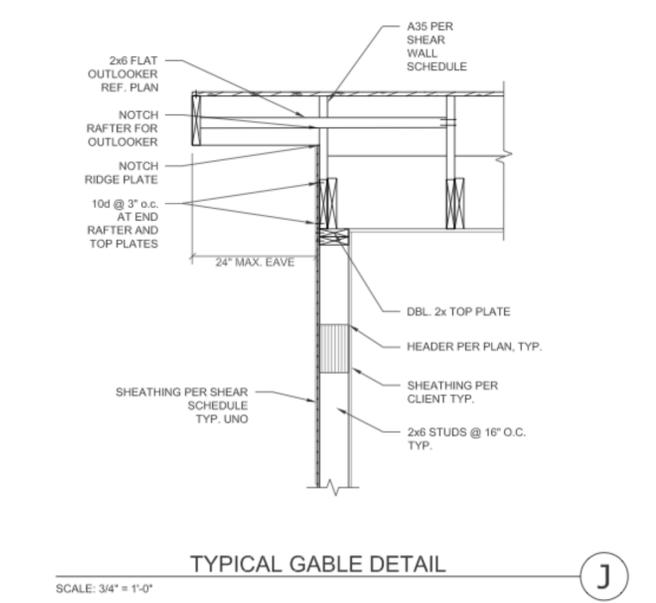
RIDGE PLATE CONNECTION (G)
SCALE: 3/4" = 1'-0"



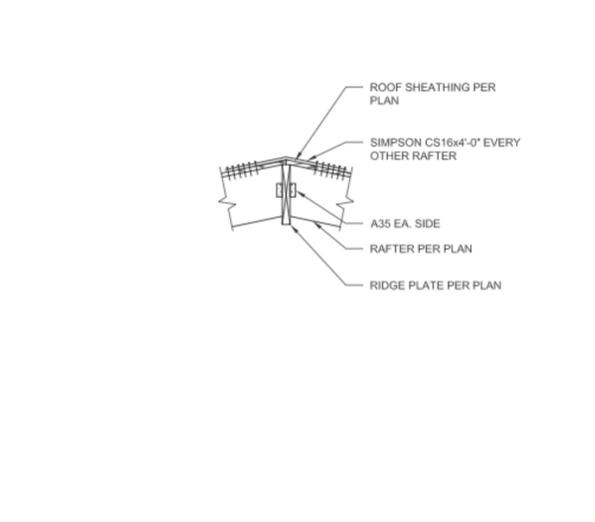
TYPICAL EAVE DETAIL (H)
SCALE: 3/4" = 1'-0"



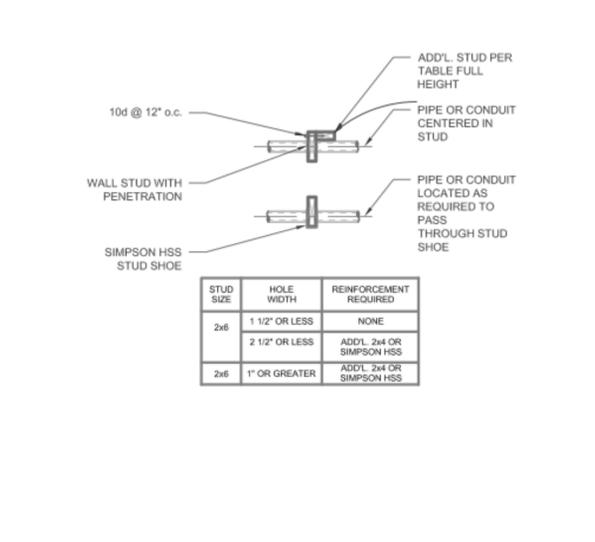
TYP. TOP PLATE SPLICE (F)
SCALE: 1" = 1'-0"



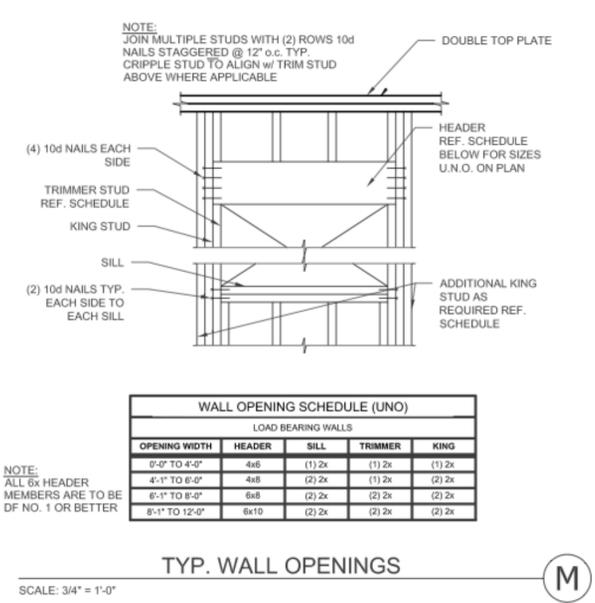
TYPICAL GABLE DETAIL (J)
SCALE: 3/4" = 1'-0"



RIDGE PLATE CONNECTION (K)
SCALE: 3/4" = 1'-0"



TYPICAL STUD PENETRATION DETAIL (L)
SCALE: 3/4" = 1'-0"



TYP. WALL OPENINGS (M)
SCALE: 3/4" = 1'-0"



SHEET NAME:

DETAILS

REVISIONS:

PROJECT NUMBER:
20107

ISSUE DATE:
SEPTEMBER 14, 2020

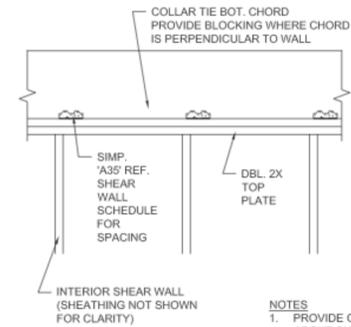
SCALE:
AS NOTED

DRAWN BY:
NEK

ENGINEERED:
AJH

CHECKED:
NEK

SHEET:
S4.01



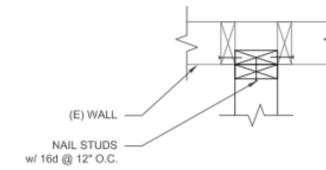
- NOTES**
1. PROVIDE COLLAR TIE DIRECTLY ABOVE SHEAR WALL LOCATIONS WHERE WALLS RUN PARALLEL TO COLLAR TIE SPAN.

WALL UNDER COLLAR TIE

COLLAR TIE SHEAR WALL CONNECTION

SCALE: 3/4" = 1'-0"

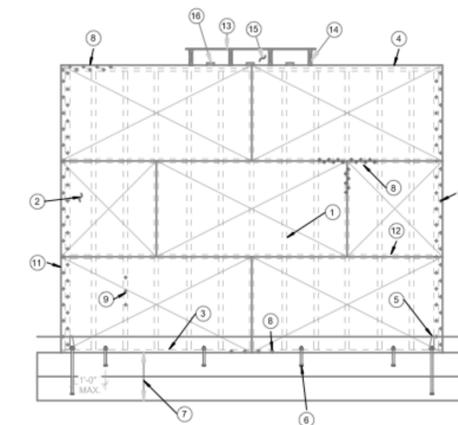
C



WALL CONNECTION TO (E) WALL

SCALE: 1" = 1'-0"

A



SHEAR WALL ELEVATION NOTES:

1. TYPICAL WALL STUDS.
2. WOOD STRUCTURAL PANEL SHEATHING. LAY HORIZONTALLY OR VERTICALLY. REF. SHEAR WALL SCHEDULE ON PLAN FOR ADDITIONAL REQUIREMENTS.
3. P.T. SILL PLATE.
4. DOUBLE TOP PLATE, REF. F154.00 FOR CHORD SPLICE DETAIL.
5. HOLDOWN ANCHOR, REF. SCHEDULE ON PLAN.
6. ANCHOR BOLTS REF. SHEAR WALL SCHEDULE AT SHEAR WALLS AND 3'-0" MAXIMUM AT ALL OTHER WALLS.
7. FOUNDATION, STEMWALL OR THICKENED SLAB.
8. EDGE NAILING REF. SHEAR WALL SCHEDULE.
9. FIELD NAILING REF. SHEAR WALL SCHEDULE.
10. PROVIDE EDGE NAILING TO EACH HOLDOWN POST. WHERE HOLDOWN POST CONSISTS OF BUILT-UP MEMBERS, PROVIDE STAGGERED NAILING TO EACH PIECE.
11. HOLDOWN POST.
12. ALL SHEATHING EDGES ARE TO BE BLOCKED. REF. SHEAR WALL SCHEDULE FOR FRAMING THICKNESS AT ADJOINING PANEL EDGES.
13. ROOF SHEATHING.
14. ROOF RAFTER OR TRUSS.
15. BLOCKING.
16. *SHEAR CLIP* PER SHEAR WALL SCHEDULE.

TYPICAL SHEAR WALL ELEVATION

SCALE: NTS

B

BUILDING ENERGY ANALYSIS REPORT

PROJECT:
Burrows Road Addition
1315 Burrows Rd
Campbell, CA 95008

Project Designer:

Report Prepared by:
Timothy Carstairs CEA, HERS, GPR
Carstairs Energy Inc.
2238 Bayview Heights Drive Suite E
Los Osos, CA 93402
(805) 904-9048


Job Number:
21-050430

Date:
5/5/2021

The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with both the Residential and Nonresidential 2019 Building Energy Efficiency Standards. This program developed by EnergySoft Software - www.energysoft.com.

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Form MF-1R Mandatory Measures Summary	19
Room Load Summary	23

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Burrows Road Addition **Calculation Date/Time:** 2021-05-04T15:05:46-07:00
Calculation Description: Title 24 Analysis **Input File Name:** Burrows Road Addition (1315).ribd19x

GENERAL INFORMATION					
01	Project Name	Burrows Road Addition			
02	Run Title	Title 24 Analysis			
03	Project Location	1315 Burrows Rd			
04	City	Campbell	05	Standards Version	2019
06	Zip code	95008	07	Software Version	EnergyPro 8.2
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)	90
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	Addition/Alteration	13	Number of Bedrooms	5
14	Addition Cond. Floor Area (ft ²)	1856	15	Number of Stories	1
16	Existing Cond. Floor Area (ft ²)	1244	17	Fenestration Average U-factor	0.3
18	Total Cond. Floor Area (ft ²)	3100	19	Glazing Percentage (%)	20.11%
20	ADU Bedroom Count	2	21	ADU Conditioned Floor Area	1276
22	Is Natural Gas Available?	Yes			

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY				
Energy Use (KTDU/ft ² -yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	44.25	39.39	4.86	11
Space Cooling	24.75	28.24	-3.49	-14.1
IAQ Ventilation	1.32	1.8	-0.48	-36.4
Water Heating	16.13	16.68	-0.55	-3.4
Self Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	86.45	86.11	0.34	0.4

Registration Number: 221-PO10086173A-000-000-0000000-0000 Registration Date/Time: 2021-05-05 13:41:36
 CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.1.300
HERS Provider: CaCERTS, Inc.
Report Generated: 2021-05-04 15:06:35

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Burrows Road Addition **Calculation Date/Time:** 2021-05-04T15:05:46-07:00
Calculation Description: Title 24 Analysis **Input File Name:** Burrows Road Addition (1315).ribd19x

REQUIRED SPECIAL FEATURES	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
<ul style="list-style-type: none"> • Indoor air quality, balanced fan • New ductwork added is less than 40 ft. in length 	

HERS FEATURE SUMMARY	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry	
Building-level Verifications: • Indoor air quality ventilation • Kitchen range hood Cooling System Verifications: • -- None -- Heating System Verifications: • -- None -- HVAC Distribution System Verifications: • Duct leakage testing • Duct Sealing required if a duct system component, plenum, or air handling unit is altered Domestic Hot Water System Verifications: • -- None --	

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Burrows Road Addition	3100	1	5	3	0	2

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Existing Living Area	Conditioned	HVAC System1	1244	8	DHW Sys 1	DHW Sys 2
New Living Area	Conditioned	HVAC System1	580	8	DHW Sys 1	DHW Sys 2
ADU Living Area	Conditioned	ADU HVAC System2	1276	8	DHW Sys 1	DHW Sys 2

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OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Front Wall	Existing Living Area	R-0 Wall	90	Front	272	95	90	none	Existing	No
Left Wall	Existing Living Area	R-0 Wall	180	Left	72	0	90	none	Existing	No
Rear Wall	Existing Living Area	R-0 Wall	270	Back	96	10	90	none	Existing	No
Right Wall	Existing Living Area	R-0 Wall	0	Right	336	54.2	90	none	Existing	No
Left Wall 2	New Living Area	R-15 Wall	180	Left	304	146.1	90	Extension	New	n/a
Rear Wall 2	New Living Area	R-15 Wall	270	Back	208	24.4	90	Extension	New	n/a
Right Wall 2	New Living Area	R-15 Wall	0	Right	200	77.5	90	Extension	New	n/a
NE Wall	ADU Living Area	R-15 Wall	45	n/a	96	0	90	Extension	New	n/a
SE Wall	ADU Living Area	R-15 Wall	135	n/a	432	111.8	90	Extension	New	n/a
SW Wall	ADU Living Area	R-15 Wall	225	n/a	216	0	90	Extension	New	n/a
NW Wall	ADU Living Area	R-15 Wall	315	n/a	456	144.5	90	Extension	New	n/a
Interior Surface	Existing Living Area>>_Garage_	R-0 Wall1	n/a	n/a	336	16.7	n/a		Existing	No
Interior Surface 2	New Living Area>>Existing Living Area	R-0 Wall1	n/a	n/a	312	0	n/a		New	n/a
Interior Surface 3	ADU Living Area>>Existing Living Area	R-0 Wall1	n/a	n/a	152	0	n/a		New	n/a
Roof 2	Existing Living Area	R-11 Roof Attic	n/a	n/a	1244	n/a	n/a		Existing	No
Roof 3	New Living Area	R-38 Roof Attic	n/a	n/a	580	n/a	n/a		New	n/a
Roof 4	ADU Living Area	R-38 Roof Attic	n/a	n/a	1276	n/a	n/a		New	n/a

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Calculation Description: Title 24 Analysis **Input File Name:** Burrows Road Addition (1315).ribd19x

OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Raised Floor	Existing Living Area	R-0 Floor Crawspace	n/a	n/a	1244	n/a	n/a		Existing	No
Raised Floor 2	New Living Area	R-19 Floor Crawspace	n/a	n/a	580	n/a	n/a		New	n/a
Raised Floor 3	ADU Living Area	R-19 Floor Crawspace	n/a	n/a	580	n/a	n/a		New	n/a
Front Wall 2	_Garage_	R-0 Wall	90	Front	160	0	90	none	Existing	No
Left Wall 3	_Garage_	R-0 Wall	180	Left	160	0	90	none	Existing	No
Rear Wall 3	_Garage_	R-0 Wall	270	Back	160	0	90	none	Existing	No
Right Wall 3	_Garage_	R-0 Wall	0	Right	160	0	90	none	Existing	No

OPAQUE SURFACES - CATHEDRAL CEILINGS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof	Status	Verified Existing Condition	Existing Construction
Roof	_Garage_	R-0 Roof No Attic	0	Right	401	0	3	0.1	0.85	No	Existing	No	

ATTIC									
01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Existing Living Area	Attic RoofExisting Living Area	Ventilated	3	0.1	0.85	No	No	Existing	No
Attic New Living Area	Attic RoofNew Living Area	Ventilated	3	0.1	0.85	Yes	No	New	n/a
Attic ADU Living Area	Attic RoofADU Living Area	Ventilated	3	0.1	0.85	Yes	No	New	n/a

Registration Number: 221-PO10086173A-000-000-0000000-0000 Registration Date/Time: 2021-05-05 13:41:36
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Report Generated: 2021-05-04 15:06:35

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window	Window	Front Wall	Front	90			1	15	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	Front Wall	Front	90			1	15	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 3	Window	Front Wall	Front	90			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 4	Window	Front Wall	Front	90			1	25	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 5	Window	Front Wall	Front	90			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 6	Window	Rear Wall	Back	270			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
W13	Window	Right Wall	Right	0			1	31.2	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Window 7	Window	Right Wall	Right	0			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 8	Window	Right Wall	Right	0			1	13	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Door D01	Window	Left Wall 2	Left	180			1	66.7	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W11	Window	Left Wall 2	Left	180			1	33.8	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
Door D11	Window	Left Wall 2	Left	180			1	45.6	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W10	Window	Rear Wall 2	Back	270			1	24.4	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W01	Window	Right Wall 2	Right	0			1	9	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W09	Window	Right Wall 2	Right	0			1	22.5	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W01 2	Window	Right Wall 2	Right	0			1	9	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W03	Window	Right Wall 2	Right	0			1	5.8	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W13 2	Window	Right Wall 2	Right	0			1	31.2	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W02	Window	SE Wall			135		1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition	
W12	Window	SE Wall			135			1	34	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W08	Window	SE Wall			135			1	34	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W03 2	Window	SE Wall			135			1	5.8	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W03 3	Window	NW Wall			315			1	5.8	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W05	Window	NW Wall			315			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W02 2	Window	NW Wall			315			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
Door D02	Window	NW Wall			315			1	66.7	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W02 3	Window	NW Wall			315			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W02 4	Window	NW Wall			315			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a

01	02	03	04	05	06
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition
Door	Front Wall	20	0.5	Existing	No
D08	SE Wall	20	0.2	New	n/a
Door 2	Interior Surface	16.7	0.5	Existing	No

01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab	__Garage__	401	80	none	0	0%	No	Existing	No

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-0 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-0	None / None	0.484	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board
R-0 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
Attic RoofExisting Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofNew Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofADU Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.216	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.046	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x10
R-11 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-11	None / None	0.081	Over Ceiling Joists: R-1.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
R-38 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-38.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

01	02	03	04	05	06	07	08	09	10
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	New	NA	
DHW Sys 2	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 2 (1)	n/a	None	n/a	New	NA	

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff.	1st HE Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Consumer Instantaneous	1	0	0.93-UEF	<= 200 kBtu/hr	0	n/a	n/a	n/a	n/a	New	
DHW Heater 2	Gas	Consumer Instantaneous	1	0	0.93-UEF	<= 200 kBtu/hr	0	n/a	n/a	n/a	n/a	New	

01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required
DHW Sys 2 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC System1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	1	1
ADU HVAC System2	Heating and cooling system other	Heating Component 2	Cooling Component 2	HVAC Fan 2	Air Distribution System 2	Setback	New	No	1	1

01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-80
Heating Component 2	Central gas furnace	1	AFUE-95

01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/CEER	Efficiency SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	No Cooling	1	n/a	n/a	Not Zonal	Single Speed	n/a
Cooling Component 2	No Cooling	1	n/a	n/a	Not Zonal	Single Speed	n/a



2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.

Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances, and Gas Log Measures, Space Conditioning, Water Heating, and Plumbing System Measures, and Solar Ready Buildings.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Clearances, Liquid Line Drier, Storage Tank Insulation, Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, Recirculating Loops, Solar Water-heating Systems, Wall Insulation, Ducts and Fans Measures, Factory-Fabricated Duct Systems, Field-Fabricated Duct Systems, Backdraft Damper, Gravity Ventilation Dampers, Protection of Insulation, Porous Inner Core Flex Duct, Duct System Sealing and Leakage Test, Air Filtration, and Space Conditioning System Airflow Rate and Fan Efficacy.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, and Lighting Measures.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Residential Common Areas, Solar Ready Buildings, and Solar Ready Buildings (continued).

ROOM LOAD SUMMARY

Summary table for Burrows Road Addition HVAC System. Includes Project Name, Date (5/5/2021), Floor Area (1,824), and a detailed ROOM LOAD SUMMARY table with columns for Zone Name, Room Name, Mult., CFM, Sensible, Latent, COIL COOLING PEAK, and COIL HTG. PEAK.

ROOM LOAD SUMMARY

Summary table for ADU HVAC System. Includes Project Name, Date (5/5/2021), Floor Area (1,276), and a detailed ROOM LOAD SUMMARY table with columns for Zone Name, Room Name, Mult., CFM, Sensible, Latent, COIL COOLING PEAK, and COIL HTG. PEAK.

PROJECT
ADDITION

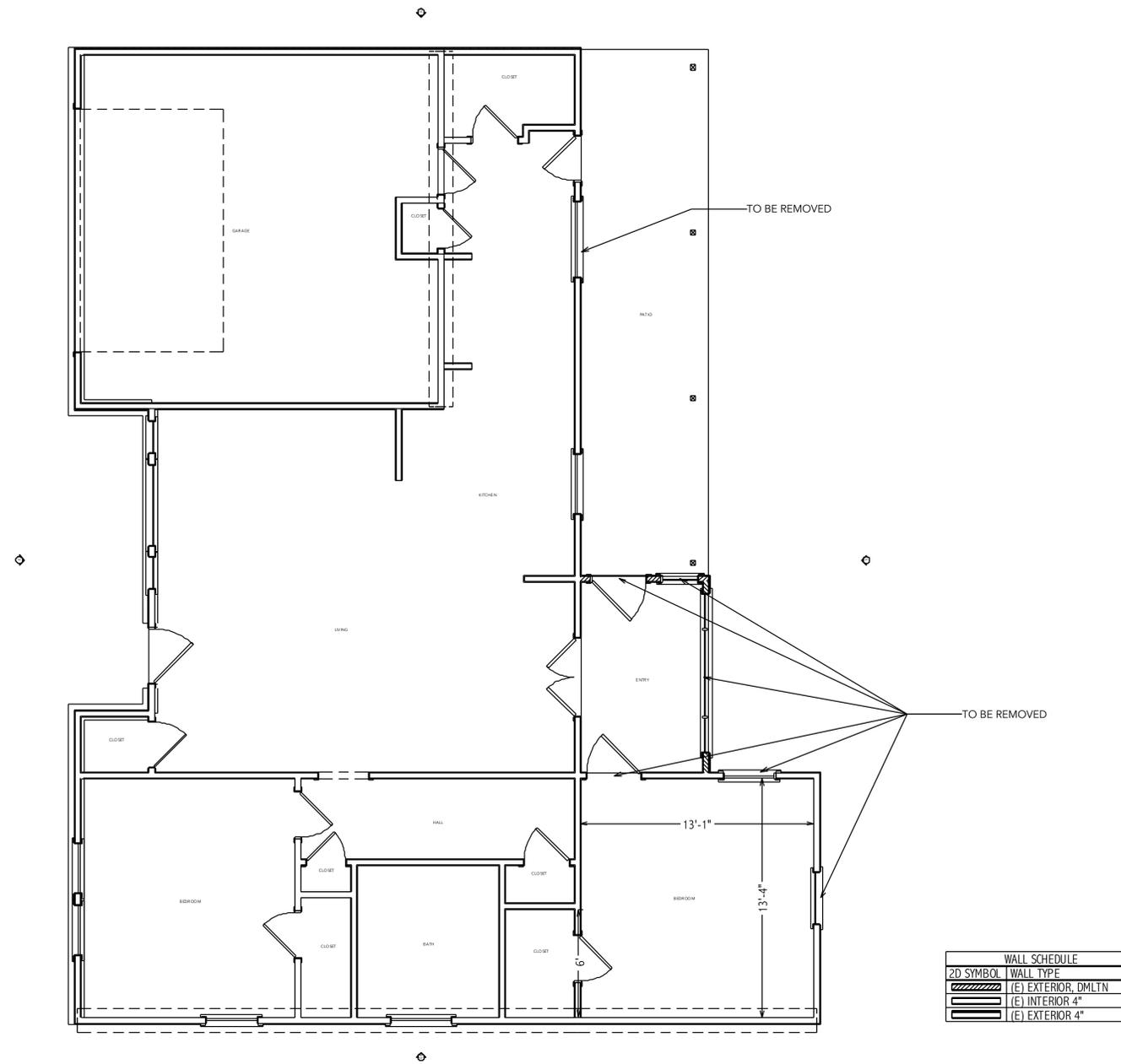
ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
DEMOLITION
PLAN

DATE
11.07.22

SCALE
1/4" = 1'



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
TREE PLAN

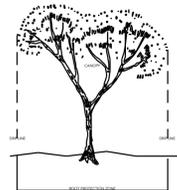
DATE
11.07.22

SCALE
1/12" = 1'

A-1.06

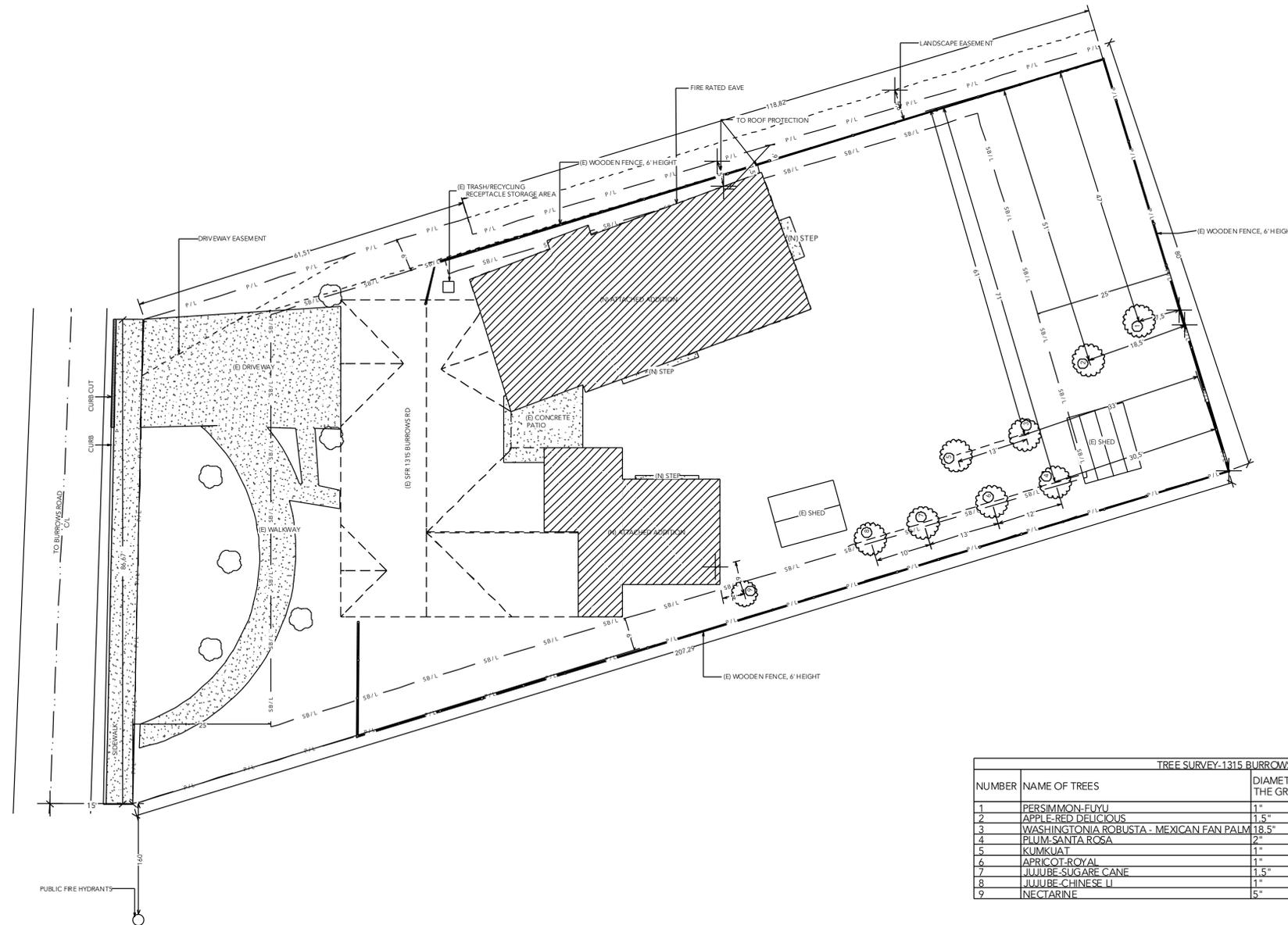
TREE PROTECTION NOTES:

- Tree roots are generally located in the top 12-24 inches of soil and can extend to a distance exceeding the tree's height and/or width. To comply with the tree protection guidelines:
- Any required trenching should be routed in a manner that minimizes root damage.
 - All work conducted in the ground within the root protection area of any protected tree should be accomplished with hand tools.
 - Construction activity should be diverted from the Tree/Root Protection Zone. Cutting of roots should be avoided (i.e., place pipes and cables below uncut roots).
- Additional Protective Measures**
- Protective chain-link fencing with an access gate of minimal width should be installed.
 - The Tree/Root Protection Zone should be irrigated sufficiently with clean, potable water to keep the tree in good health and vigor before, during, and after construction. This may mean deeply soaking the ground periodically.
 - No construction staging or disposal of construction materials or byproducts is allowed within the Tree/Root Protection Zone.



TREE INVENTORY:

- #1 IS A SPECIMEN TREE, WHICH IS PROTECTED.
- TRUNK 12" DBH
- CONDITION GOOD
- PROTECTION ZONE D



TREE SURVEY-1315 BURROWS RD			
NUMBER	NAME OF TREES	DIAMETER, 4 FEET ABOVE THE GROUND (IN)	EXTENT OF THE CANOPY IN DIAMETER (FT)
1	PERSIMMON-FUYU	1"	4'
2	APPLE-RED DELICIOUS	1.5"	4'
3	WASHINGTONIA ROBUSTA - MEXICAN FAN PALM	18.5"	8'
4	PLUM-SANTA ROSA	2"	6'
5	KUMKUAT	1"	4'
6	APRICOT-ROYAL	1"	6'
7	JUJUBE-SUGARE CANE	1.5"	3'
8	JUJUBE-CHINESE LI	1"	3'
9	NECTARINE	5"	7'