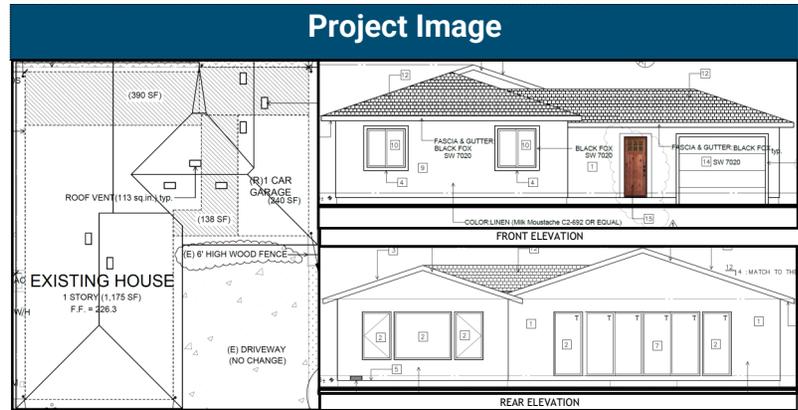




City of Campbell

70 North First Street



Notice of Decision on Proposed Project

Dear Campbell Resident,

September 20, 2022

The Community Development Director will be rendering a decision on the following project.

Project Address: 964 Linda Drive

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): San Tomas Area Community Coalition (STACC)

File No.: PLN-2022-53

APN: 406-05-038

Applicant: Jonghun Jeong

Property Owner: Ryunkwon Oh

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow the construction of a 528 square-foot addition to an existing single-family residence.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision

The ten-day comment period for this application begins on **September 20, 2022**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before **5:00 p.m. on September 30, 2022**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, CA 95008, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell Ca 95008
(408) 866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

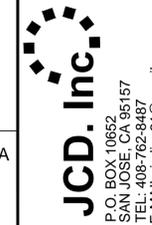
**Asistencia en Español disponible
Simplemente marque (408) 866-2140 y pida traducción en Español



OH RESIDENCE

(APN: 406-05-038)

PLN-2022-53



JCD, Inc.
P.O. BOX 10652
SAN JOSE, CA 95157
TEL: 408-762-8487
E-MAIL: jcdinc21@gmail.com

PROJECT:
OH RESIDENCE
964 LINDA DR.
CAMPBELL CA 95008

SHEET TITLE:
COVER SHEET, SITE PLAN

© COPYRIGHT

REVISIONS:
PLANNING COMMENTS(06/09/22)

DESIGNER: J. JEONG

DATE: 6-20-2022

SCALE: AS SHOWN

DRAWING NO.

T-1

PROJECT INFORMATION

1. PRIMARY OWNER: RYUNKWON OH
2. TYPE OF BUILDING : 1 - STORY SINGLE FAMILY RESIDENCE
3. ZONING DISTRICT : R1-6 (SAN TOMAS AREA)
4. OCCUPANCY GROUP: R-3/U
5. CONSTRUCTION TYPE: V-B
6. FIRE SPRINKLER : NO
7. BUILT :1961

DESIGN DATA

1. LOT SIZE : 6,150 sq.ft. (GROSS LOT SIZE: 7,872 sq.ft.)
2. EXISTING FLOOR AREA (LIVING) : 1,175 sq.ft.
3. NEW ADDITION (LIVING) :528 sq.ft.
4. PROPOSED FLOOR AREA(LIVING) : 1,703 sq.ft.
5. GARAGE : 240 sq.ft.
6. LOT COVERAGE : 1,943/6,150 = 31.59 %
7. F.A.R.: 1,943/6,150 = 0.32 < 0.45

JOB DESCRIPTION

THE SCOPE OF WORK WILL BE-

1. HOUSE ADDITION AS SHOWN ON PLAN: FOYER (68 SF), LAUNDRY(70 SF), DINING & PLAY ROOM (390 SF)
2. BATHROOM #1 (79 SF), BATHROOM #2 (49 SF) & KITCHEN REMODEL (131 SF)
3. NEW TANKLESS WATER HEATER INSTALLATION (199,000 BTU)
4. HVAC REPLACEMENT

APPLICABLE CODE:

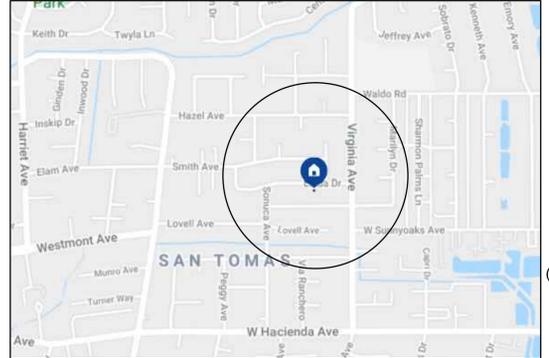
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
- 2019 CALIFORNIA FIRE CODE
- 2019 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS

LOCAL & COUNTY CODE

GENERAL NOTES

1. ALL DIMENSIONS & EXISTING CONDITIONS SHOULD BE VERIFIED IN THE FIELD. AND SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
2. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL LAWS, STATE STATUTES, LOCAL ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
3. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR COMPLYING WITH THE CONSTRUCTION SAFETY ORDERS AND THE GENERAL INDUSTRIAL SAFETY ORDERS OF THE STATE DIVISION OF INDUSTRIAL SAFETY, HEALTH ADMINISTRATIONS AND SUCH OTHER AGENCIES GOVERNING THE CONTRACTORS ACTS.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE ABOVE LISTED MATERIALS.

VICINITY MAP

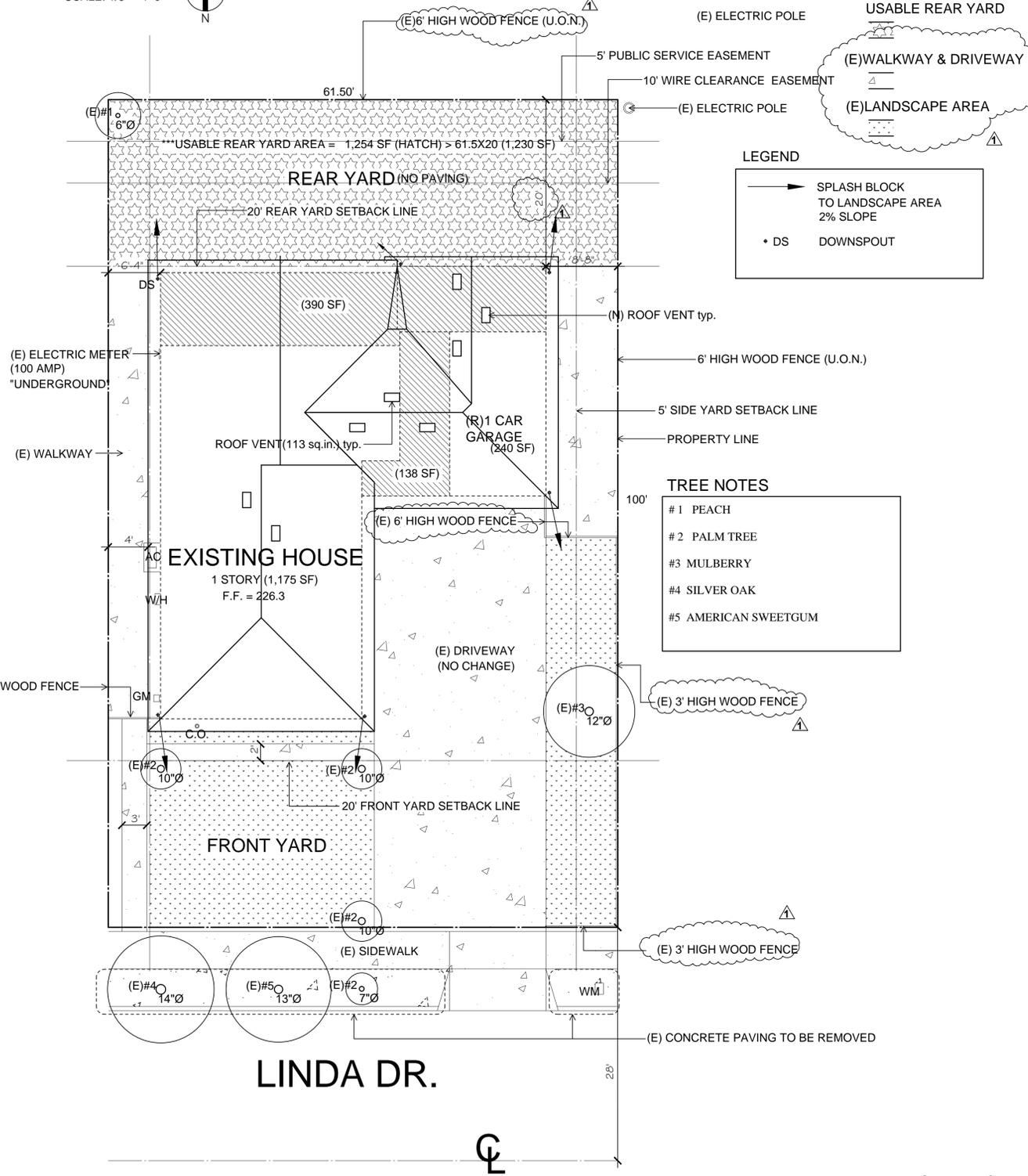


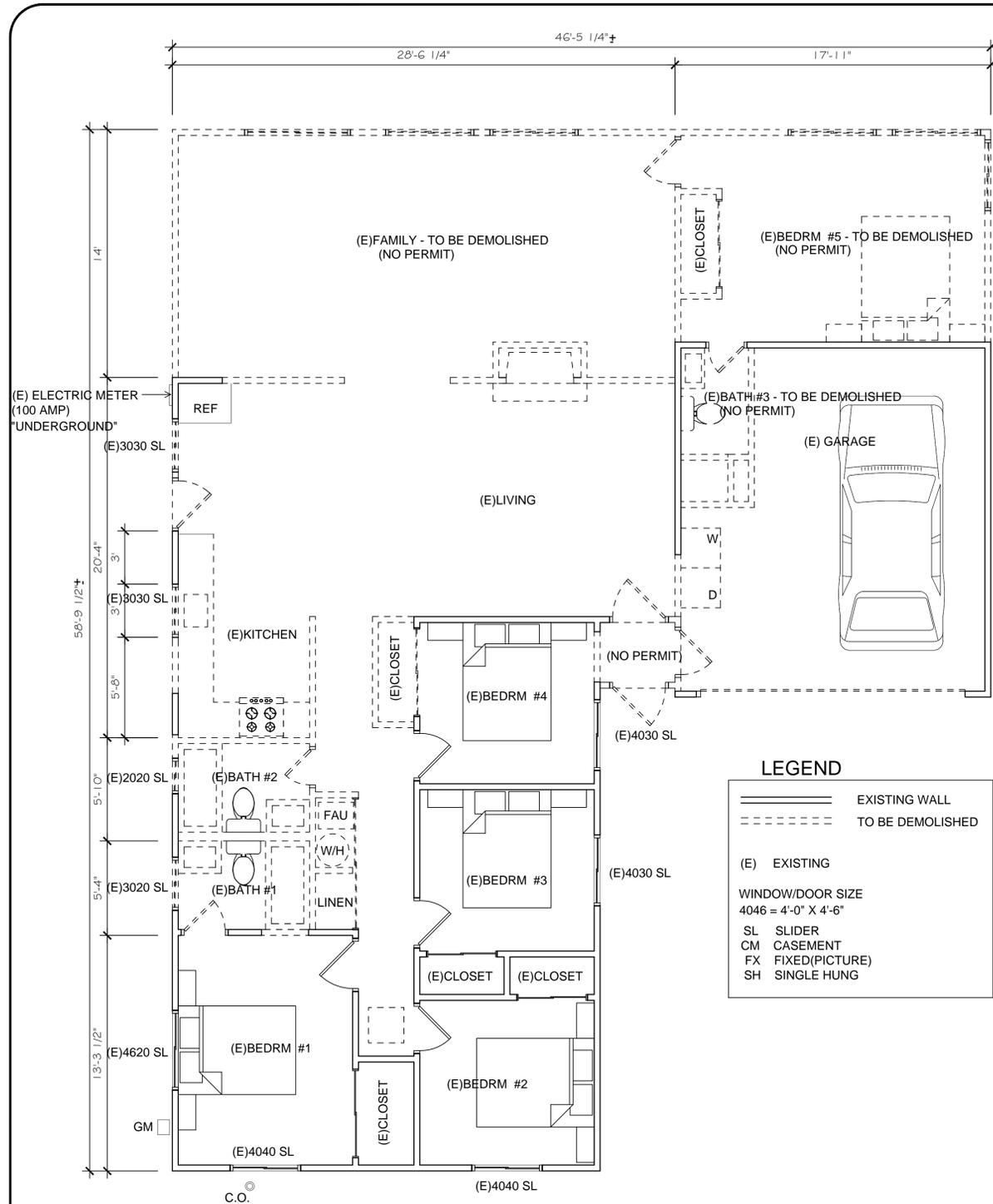
SHEET INDEX

- T - 1 COVER SHEET, SITE PLAN
- A - 1 EXISTING/DEMOLITION 1ST FLOOR PLAN / FLOOR AREA DIAGRAM
- A - 1.1 SITE PHOTOGRAPHS
- A - 2 PROPOSED 1ST FLOOR PLAN
- A - 3 ELEVATIONS - 1
- A - 3.1 ELEVATIONS - 2 (EXTERIOR COLOR) & PHOTOS
- A - 4 A-A & B-B SECTION DETAIL
- A - 5 PROPOSED ROOF PLAN
- E - 1 PROPOSED ELECTRICAL PLAN

SITE PLAN

SCALE: 1/8" = 1'-0"





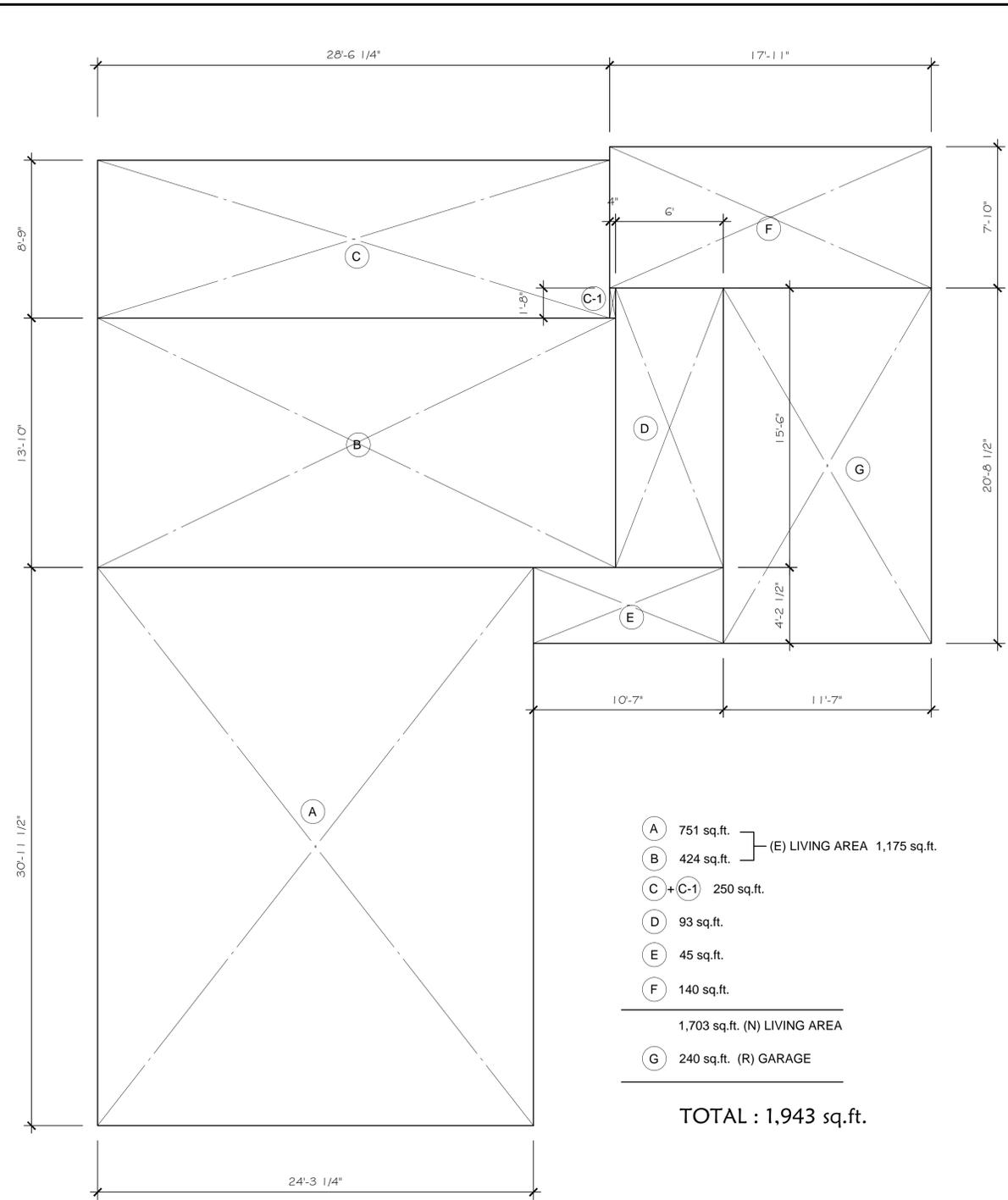
LEGEND

_____ EXISTING WALL
 - - - - - TO BE DEMOLISHED

(E) EXISTING

WINDOW/DOOR SIZE
 4046 = 4'-0" X 4'-6"
 SL SLIDER
 CM CASEMENT
 FX FIXED (PICTURE)
 SH SINGLE HUNG

1
A
EXISTING/DEMOLITION FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"



- A 751 sq.ft. } (E) LIVING AREA 1,175 sq.ft.
- B 424 sq.ft. }
- C + C-1 250 sq.ft.
- D 93 sq.ft.
- E 45 sq.ft.
- F 140 sq.ft.
- 1,703 sq.ft. (N) LIVING AREA
- G 240 sq.ft. (R) GARAGE

TOTAL : 1,943 sq.ft.

2
A
FLOOR AREA DIAGRAM
SCALE : 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	06/09/22	PLANNING COMMENTS

DESIGNER: J. JEONG

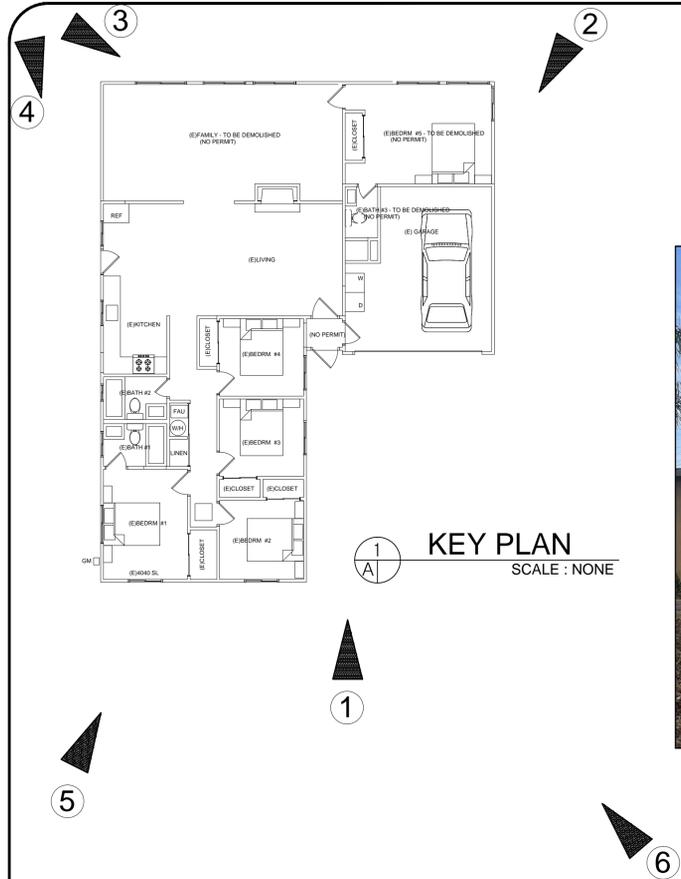
DATE: 6-20-2022

SCALE : AS SHOWN

DRAWING NO.

A-1

Jonghun Jeong



FRONT (NORTH) ①



RIGHT (WEST) ②



REAR (SOUTH) ③



LEFT (EAST) ④



FRONT (NORTH) ⑤



FRONT (NORTH) ⑥



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OH RESIDENCE
964 LINDA DR.
CAMPBELL CA 95008

PROJECT :

SITE PHOTOS

SHEET TITLE:

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REVISIONS

DESIGNER: J. JEONG

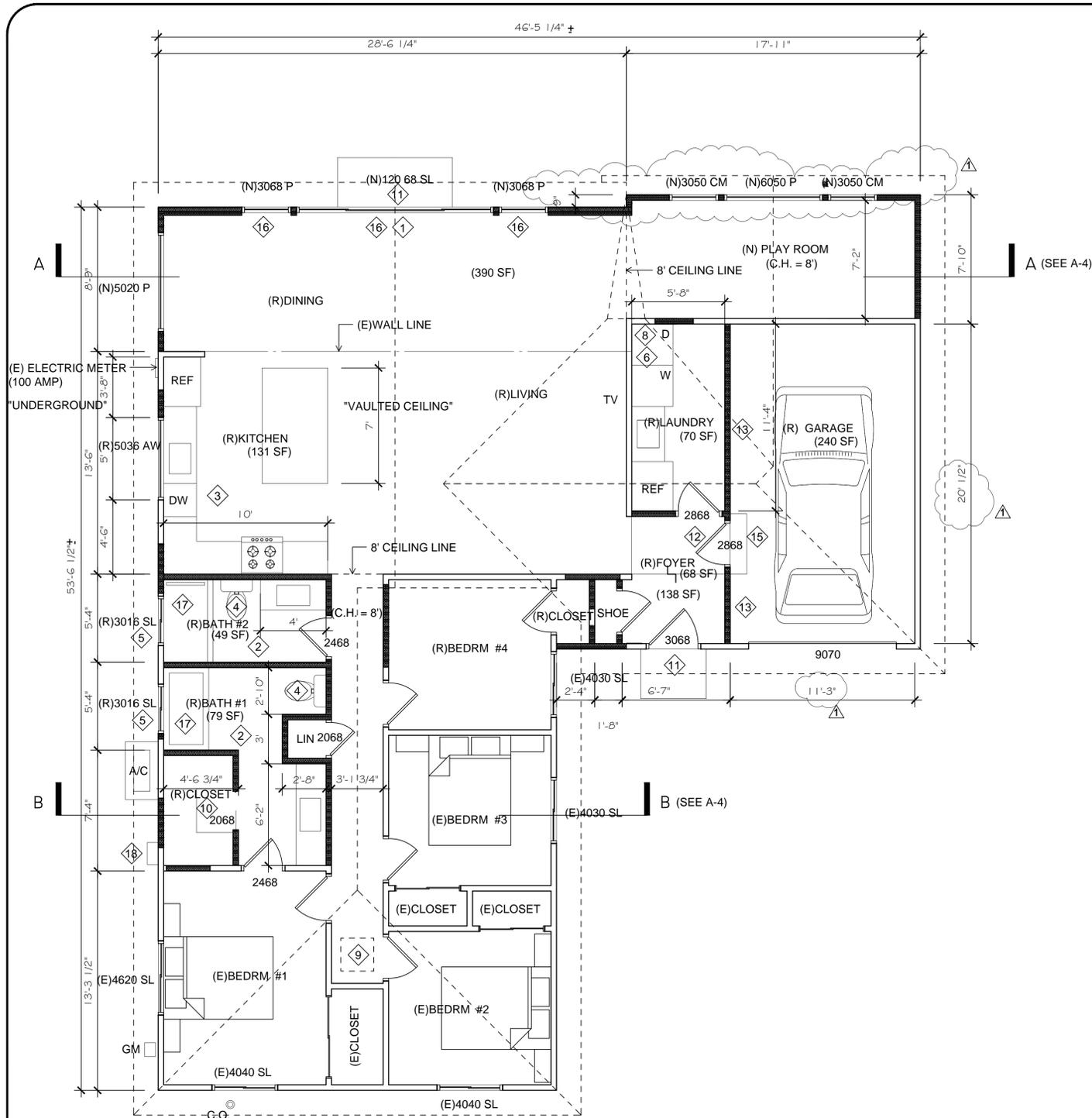
DATE: 11-05-21

SCALE : AS SHOWN

DRAWING NO.

A-1.1

Jonghun Jeong



1
A
PROPOSED FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

LEGEND

- EXISTING WALL
- (N) WALL: 2X4 STUD @ 16" O.C.
- (E) EXISTING
- (N) NEW
- (R) REMODEL

- WINDOW/DOOR SIZE
4046 = 4'-0" X 4'-6"
- SL SLIDER
 - CM CASEMENT
 - FX FIXED (PICTURE)
 - SH SINGLE HUNG

KEY NOTES:

- 1 CENTER WINDOWS/DOORS/OPENINGS WITH CENTERLINE OF EXPOSED BEAMS/RIDGE ABOVE, WHERE OCCURS. CENTER WITHIN ROOM/WALL LINE WHERE OCCURS, TYP.
- 2 A. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. SHOWERHEADS SHALL NOT EXCEED 1.8 GPM AND NEW LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI.
B. TOILETS AND BIDETS REQUIRE A MINIMUM 15 INCHES OF CLEARANCE FROM THE CENTER LINE OF THE BOWL TO EACH SIDE, AND 24 INCHES OF CLEARANCE FROM THE FRONT EDGE OF THE BOWL. THE MAXIMUM FLOW RATE IS 1.28 GPF.
C. LAVATORY SINKS REQUIRE A MINIMUM OF 24 INCHES FRONT CLEARANCE SHOWERS REQUIRE A MINIMUM 2 INCH DRAIN AND TRAP.
D. SAFETY GLASS (TEMPERED OR LAMINATED) IS REQUIRED FOR ALL GLASS SHOWER DOORS AND PARTITIONS AND FOR WINDOWS IN WALLS FACING THE TUB OR SHOWER AND LOCATED LESS THAN 60 INCHES ABOVE THE STANDING SURFACE OF THE TUB/SHOWER AND WITHIN 60 INCHES HORIZONTALLY.
E. THE MAXIMUM WATER TEMPERATURE TO A SHOWER OR TUB/SHOWER COMBINATION IS 120F. THE WATER HEATER THERMOSTAT CANNOT BE USED AS THE CONTROL FOR THIS TEMPERATURE. VALVES SHALL PROVIDE SCALD AND THERMAL SHOCK PROTECTION, AND BE PRESSURE-BALANCED, THERMOSTATIC, OR COMBINATION PRESSURE-BALANCED/THERMOSTATIC MIXING IN ACCORDANCE WITH ASSE 1016 OR ASMEA112.18.1/CSA B125.1.
F. MECHANICAL VENTILATION IS REQUIRED IN ALL BATHROOMS WITH TUBS OR SHOWERS. THE FAN MUST MOVE A MINIMUM 50 CFM OF AIR AND BE SEPARATELY SWITCHED FROM THE LIGHTING. FANS THAT OPERATE CONTINUOUSLY CAN BE 20 CFM. THE DUCT MUST TERMINATE ON THE EXTERIOR NOT LESS THAN 3 FEET FROM OPENINGS INTO THE BUILDING.
- 3 A. DISHWASHERS SHALL BE CONNECTED WITH AN APPROVED DRAINAGE AIR GAP DEVICES LOCATED ABOVE THE FLOOD LEVEL RIM OF THE SINK.
B. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE.
C. ALL PIPING 3/4 INCH OR MORE IN DIAMETER AND ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES MUST BE INSULATED WITH MIN. 1-INCH THICK INSULATION. EXISTING INACCESSIBLE PIPING DOES NOT REQUIRE INSULATION.
D. A KITCHEN EXHAUST HOOD THAT INCLUDES AN OUTSIDE AIR VENT. THE VENT MUST TERMINATE ON THE BUILDING EXTERIOR AT LEAST 3 FT. FROM OTHER OPENINGS INTO THE BUILDING.
- 4 BATHROOM EXHAUST FANS SHALL BE ENERGY STAR DUCTED TO OUTSIDE, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. BATHROOM EXHAUST FANS MUST BE CONTROLLED BY A HUMIDISTAT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% - 80%.
- 5 TEMPERED, DOUBLE PANE, OBSCURE
- 6 A. CLOTHES WASHER STANDPIPES MUST BE 2-INCH DIAMETER. THE WEIR OF THE TRAP MUST BE ROUGHED IN 6 - 18 INCHES ABOVE THE FLOOR; THE STANDPIPE MUST BE A MINIMUM OF 18 AND A MAXIMUM OF 30 INCHES ABOVE THE TRAP.
B. CLOTHES DRYERS IN CLOSETS REQUIRE A MINIMUM OF 100 SQ. IN. OF MAKEUP AIR, WHICH CAN BE SUPPLIED BY LOUVERS OR UNDERCUTTING THE DOOR.
C. DRYER DUCTS MUST BE SMOOTH-WALLED METAL 4-INCH DIAMETER AND NOT MORE THAN 14 FEET IN LENGTH. DUCTS MAY NOT PASS THROUGH PLENUMS OR BE SHARED WITH OTHER SYSTEMS OR VENTS. THEY CANNOT BE CONNECTED WITH SCREWS THAT PENETRATE THE DUCT INTERIOR. DRYER DUCTS MUST TERMINATE ON THE BUILDING EXTERIOR IN A BACKDRAFT DAMPER. SCREENS OR LOUVERS CANNOT BE INSTALLED.
D. FLEXIBLE TRANSITION DUCTS (CONNECTORS) BETWEEN THE DRYER AND THE METAL DUCT ARE ALLOWED IN LENGTHS UP TO 6 FEET AND CANNOT BE CONCEALED WITHIN CONSTRUCTION. THEY MUST BE UL LISTED AND LABELED (L&L) AS DRYER TRANSITION DUCTS, AND CANNOT BE PLASTIC.
- 7 PASSAGEWAY CLEARANCE: 3 FEET MINIMUM BETWEEN COUNTER FRONTS AND APPLIANCES, BETWEEN COUNTER FRONTS AND WALLS, AND BETWEEN COUNTER FRONTS AND ISLANDS.
- 8 PROVIDE DRYER VENT : SEE KEY NOTE #6
- 9 (N) ATTIC ACCESS (30"X30")
- 10 (N) CRAWL SPACE ACCESS : 18"X24" MIN.
- 11 NEW CONCRETE LANDING, DEPTH: MIN. 3" EXTERIOR LANDING SHALL NOT BE MORE THAN 7-3/4" BELOW TOP OF DOOR THRESHOLD AND LANDINGS SHALL NOT TO EXCEED 2% SLOPE.
- 12 MIN. 1-3/8" SOLID CORE 20-MINUTE RATED, SELF-CLOSING, WEATHER-STRIPPED AND SHALL LATCH CLOSED FROM ANY OPEN POSITION.
NOTE: DO NOT REMOVE FIRE RATING LABEL OR PAINT OVER RATING STAMP.
- 13 PROVIDE MIN. R15 INSULATION/ 5/8" TYPE X GYP.BD.TO THE ROOF AT GARAGE SIDE WALL
- 14 EGRESS
 - BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES ABOVE THE FLOOR
 - MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5 SQUARE FEET PERMITTED FOR GRADE FLOOR OPENINGS)
 - MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES
 - MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES
 - OPERATIONAL FROM INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE
- 15 12" X 3'-6", ANY STEPS DOWN : RISER 7-3/4" MAX.
- 16 TEMPERED
- 17 a) SHOWER STALLS SHALL HAVE A CLEAR INTERIOR FINISH AREA OF 1024 SQUARE INCHES AND BE ABLE TO ACCOMMODATE A MINIMUM 30 INCH CIRCLE AT THE THRESHOLD LEVEL. THESE CLEARANCES SHALL BE MAINTAINED UP TO A HEIGHT OF 70 INCHES ABOVE SHOWER DRAIN. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22 INCH UNOBSTRUCTED OPENING FOR EGRESS. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES (6 FT).
- 18 NEW TANKLESS WATER HEATER (199,000 BTU)
- 19
- 20

JCD, Inc.
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OH RESIDENCE
964 LINDA DR.
CAMPBELL CA 95008

PROJECT :

PROPOSED 1ST FLOOR PLAN

SHEET TITLE:

REVISIONS
PLANNING COMMENTS(06/09/22)

DESIGNER: J. JEONG

DATE: 6-20-2022

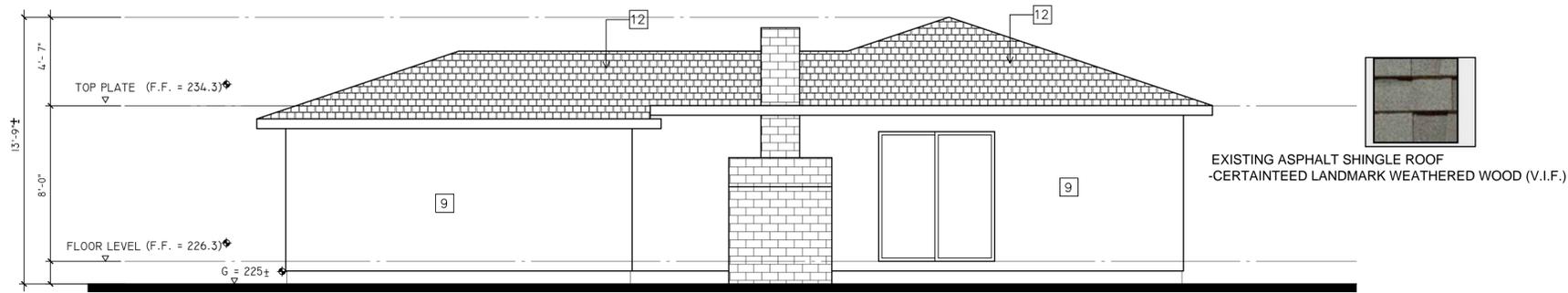
SCALE : AS SHOWN

DRAWING NO.

A-2

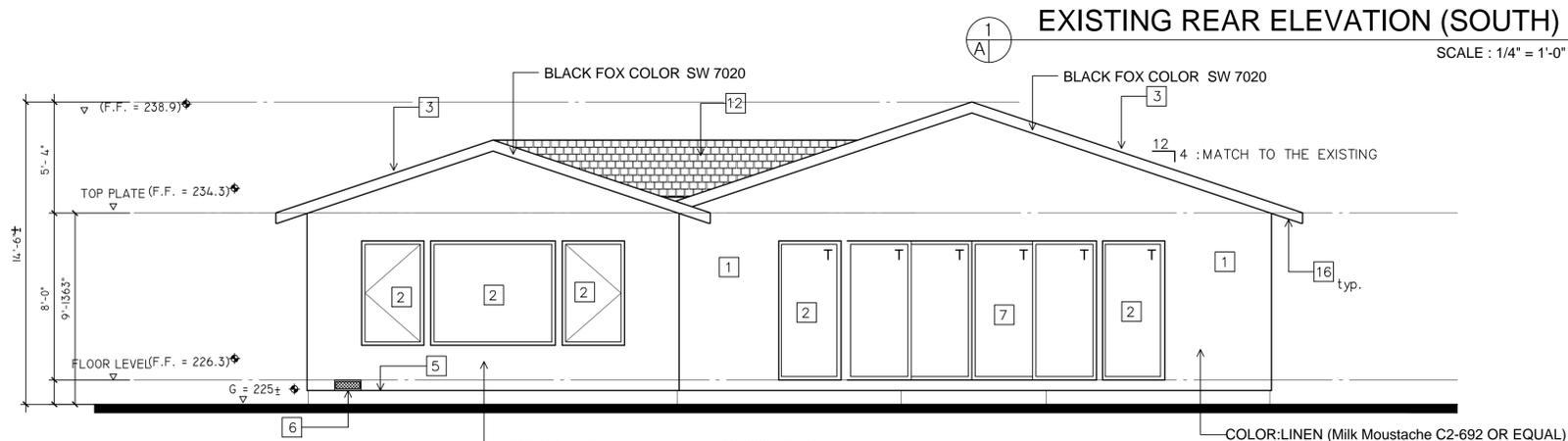
Jonghun Jeong

Jonghun Jeong



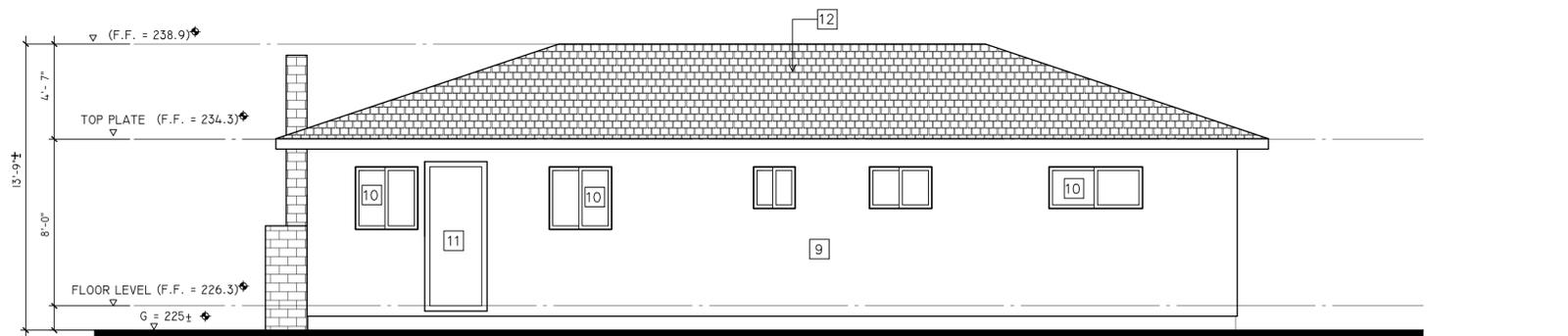
EXISTING REAR ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



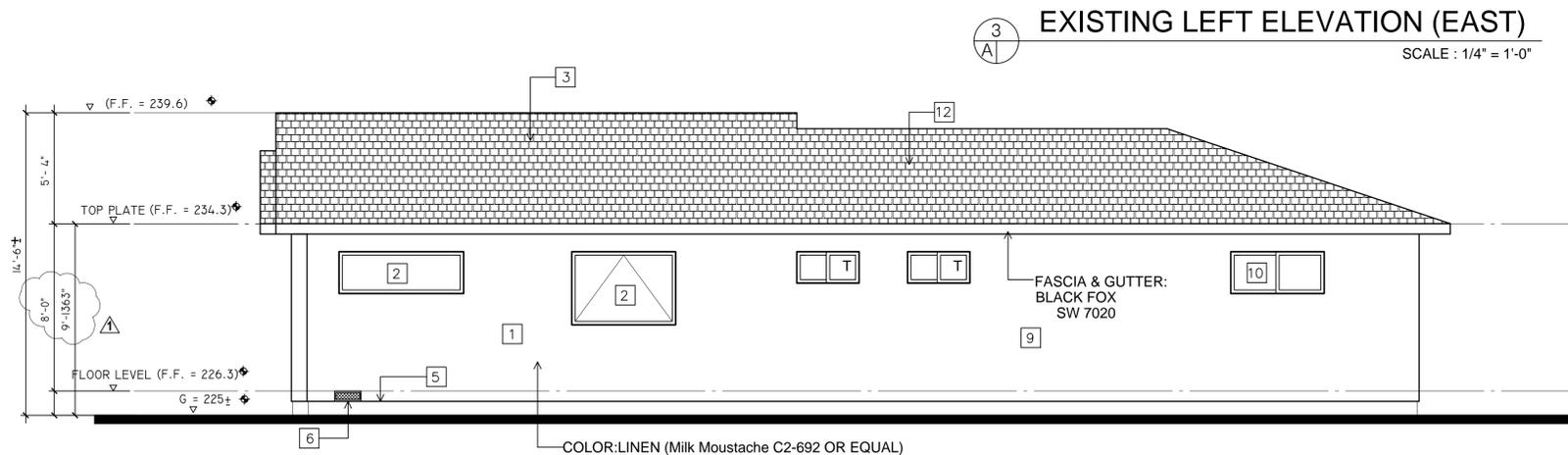
PROPOSED REAR ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

KEY NOTES:

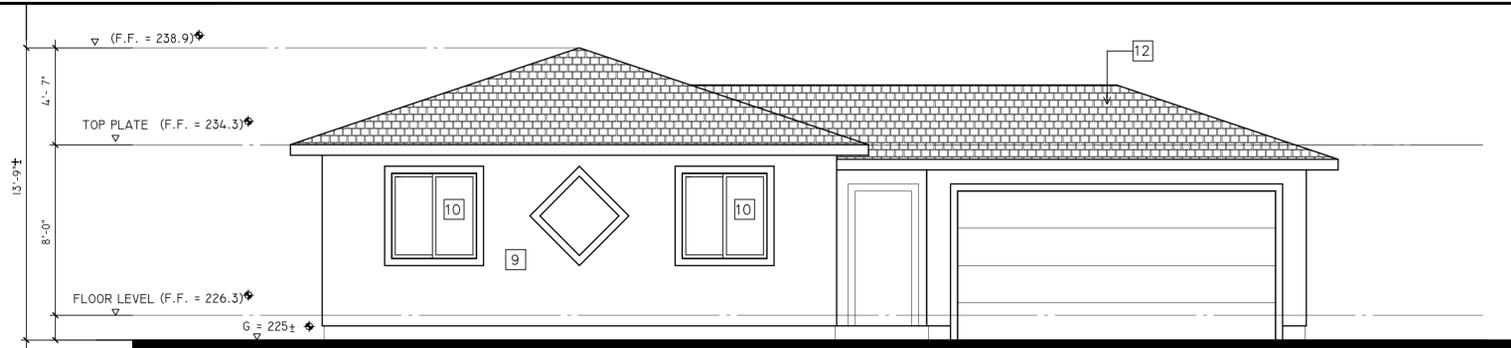
- 1 NEW MIN. 7/8"(3 COAT) STUCCO STUCCO WIRE WITH (2) LAYER GRADE 'D' PAPER : MATCH TO THE EXISTING
- 2 NEW VINYL WINDOW (LOW-E, DOUBLE PANE) : WHITE , MILGARD TRINSIC SERIES V300 : MATCH TO THE EXISTING
- 3 NEW ASPHALT SHINGLE ROOF : CLASS 'B' MIN. W/ 2 LAYER #15 FELT UNDERLAYMENT : MATCH TO THE EXISTING
- 4 NEW WOOD TRIM (TYP.): MATCH TO THE ADJACENT HOME
- 5 PROVIDE MIN. 26 GA. G.I. METAL WEEP SCREED AT BASE (TYP.) STUCCO SCREED SHALL BE 4" ABOVE GRADE AT EXTERIOR STUD WALLS OR 2" ABOVE PAVED AREAS
- 6 A. DINING & PLAY ROOM AREA (390 SF): PROVIDE 14" X 6" VENTS(84 sq.in, 8 EA) : TO EQ 1/150 OF CRAWL SPACE(TYP) 405/150 = 2.6 sq.ft. X 144 = 374 sq.in., (MIN. 5 REQUIRED) 3 VENTS TO BE REMOVED
- 7 NEW VINYL PATIO DOOR(LOW-E, DOUBLE PANE, TEMPERED) WHITE , MILGARD TRINSIC SERIES V300 : MATCH TO THE EXISTING
- 8 TEMPERED
- 9 EXISTING STUCCO FINISH
- 10 EXISTING WHITE VINYL WINDOW
- 11 EXISTING DOOR
- 12 EXISTING ASPHALT SHINGLE ROOF -CERTAINTED LANDMARK WEATHERED WOOD (V.I.F.)
- 13 PROVIDE NEW CRICKET
- 14 PROVIDE NEW GARAGE DOOR (9'X7') :BLACK FOX COLOR, WAYNE DALTON MATCH TO THE ADJACENT HOME
- 15 NEW FRONT DOOR - MATCH TO THE ADJACENT HOME
- 16 NEW EAVE : MATCH TO THE EXISTING

'T' = TEMPERED

KEY NOTES:

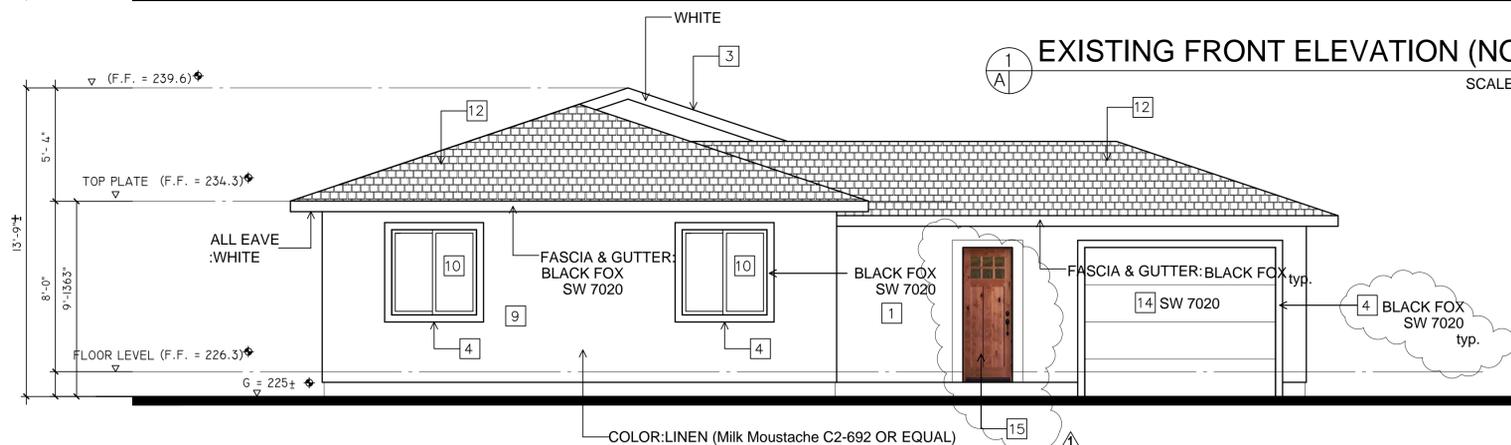
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T = TEMPERED



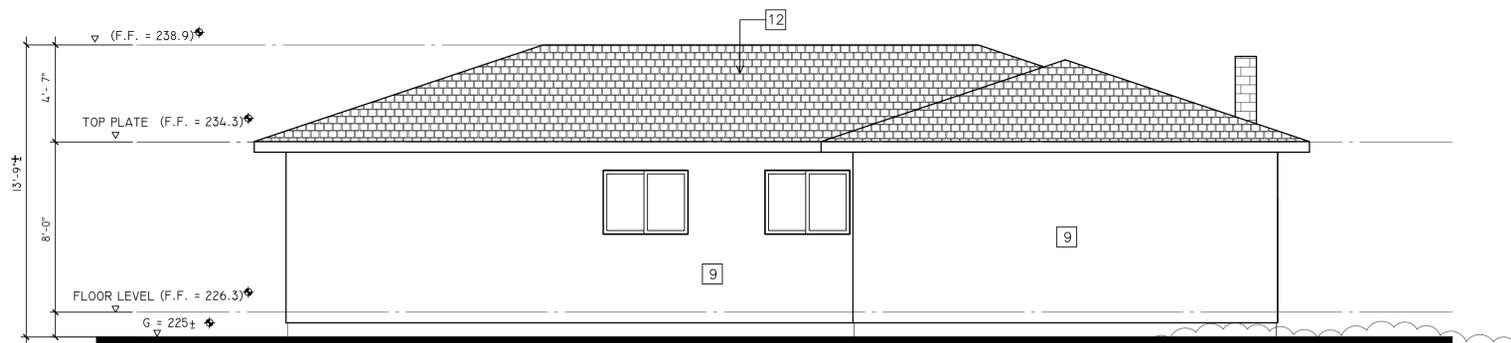
EXISTING FRONT ELEVATION (NORTH)

SCALE : 1/4" = 1'-0"



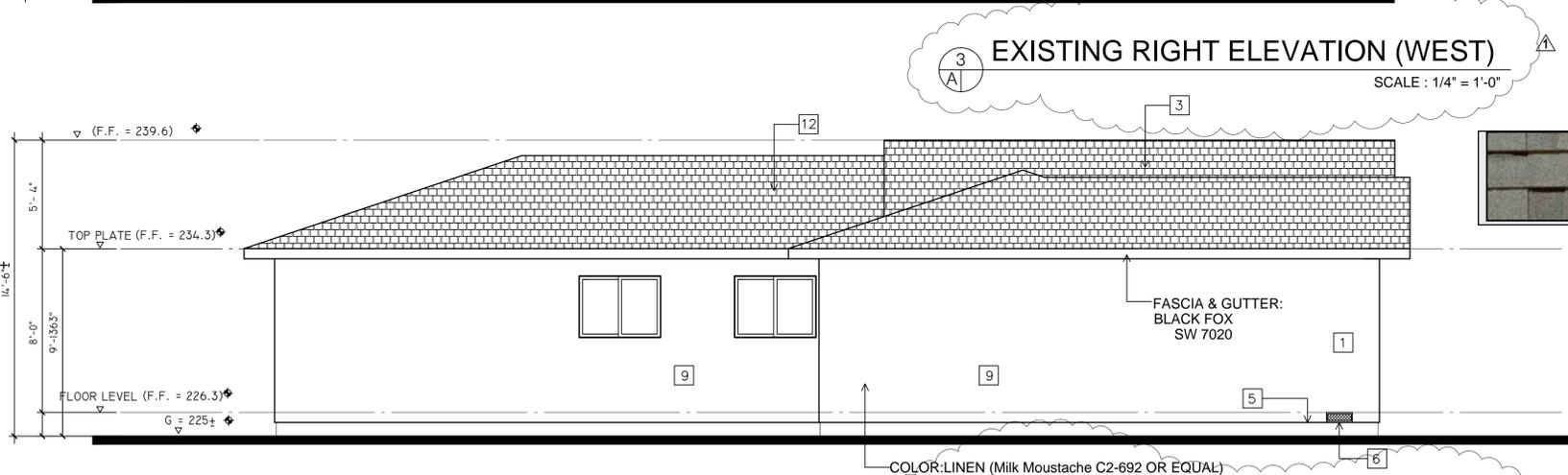
PROPOSED FRONT ELEVATION (NORTH)

SCALE : 1/4" = 1'-0"



EXISTING RIGHT ELEVATION (WEST)

SCALE : 1/4" = 1'-0"

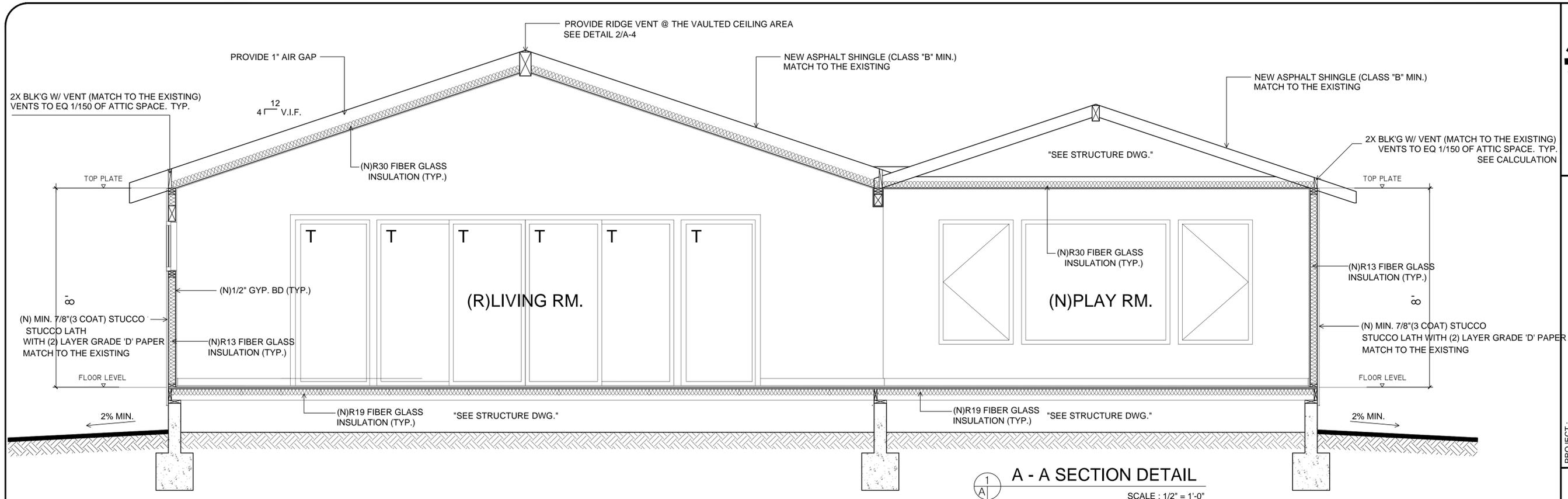


PROPOSED RIGHT ELEVATION (WEST)

SCALE : 1/4" = 1'-0"

EXISTING ASPHALT SHINGLE ROOF
 -CERTAINTED LANDMARK WEATHERED WOOD (V.I.F.)





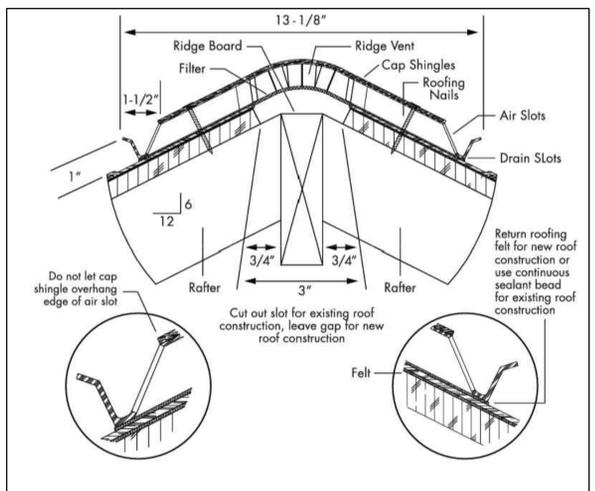
A - A SECTION DETAIL
SCALE : 1/2" = 1'-0"

*NOTE: IMPERVIOUS SURFACES SHALL BE SLOPED A MINIMUM OF 2% BUT PERVIOUS FINISH GRADE SHALL BE SLOPED A MINIMUM OF 5%

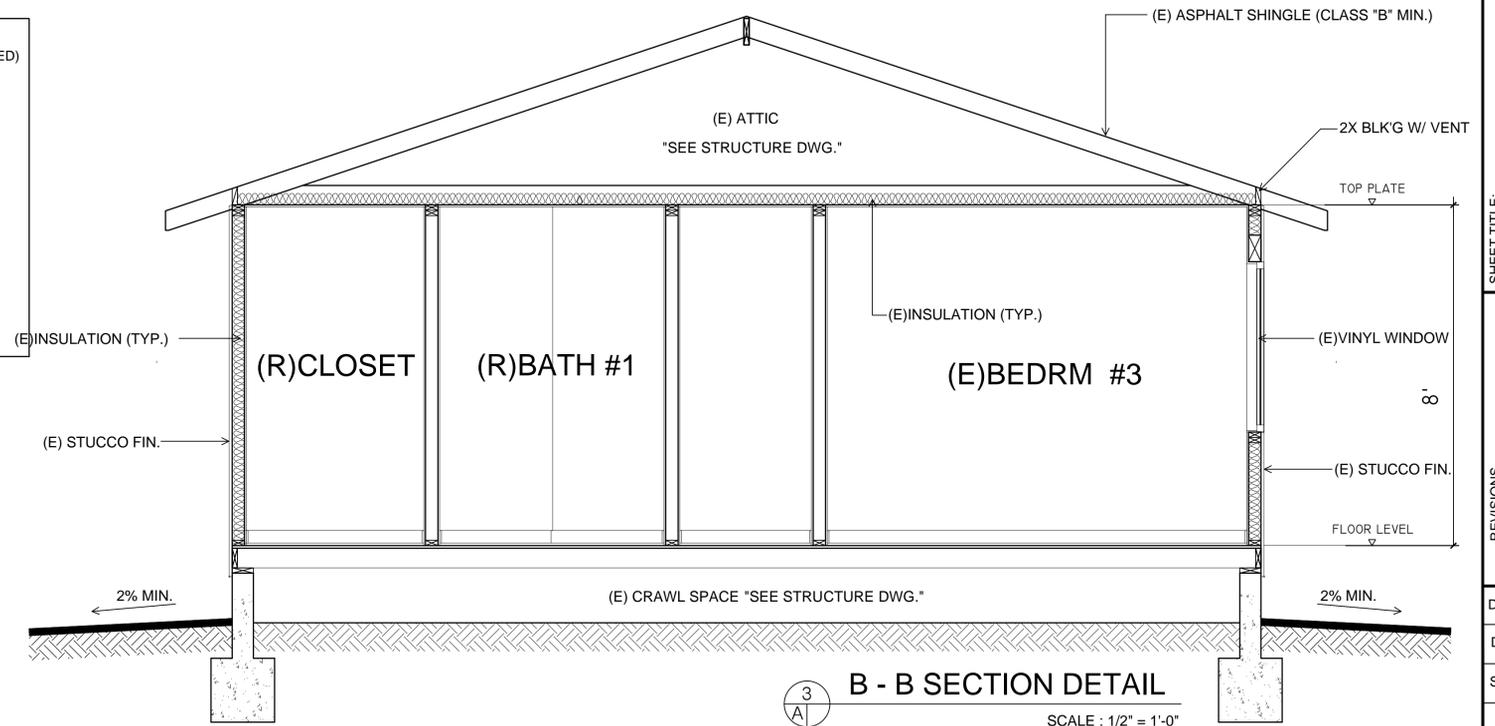
ATTIC VENTILATION CALCULATION

- PLAY ROOM :147 sq.ft.
a. $147/150 = 0.98 \text{ sq. ft.} \times 144 = 141 \text{ sq. in.} + 132 \text{ sq. in. (ATTIC VENT AREA TO BE REMOVED)} = 273 \text{ sq. in. (REQUIRED)}$
- PROVIDE: 22" X 3" VENT OR EQUAL
EAVE VENT(3 EA) = $66 \text{ sq. in.} \times 3 = 198 \text{ sq. in.}$
- PROVIDE ROOF VENTS (113 sq.in.) : 3 EA *** SEE SITE PLAN T-1
 $113 \times 3 = 339 \text{ sq. in.}$

***** $198+339 > 273 \text{ sq. in.}$



RIDGE VENT DETAIL
SCALE : NONE



B - B SECTION DETAIL
SCALE : 1/2" = 1'-0"

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CAMPBELL CA 95008

PROJECT :

A - A & B - B SECTION

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REVISIONS

DESIGNER: J.JEONG

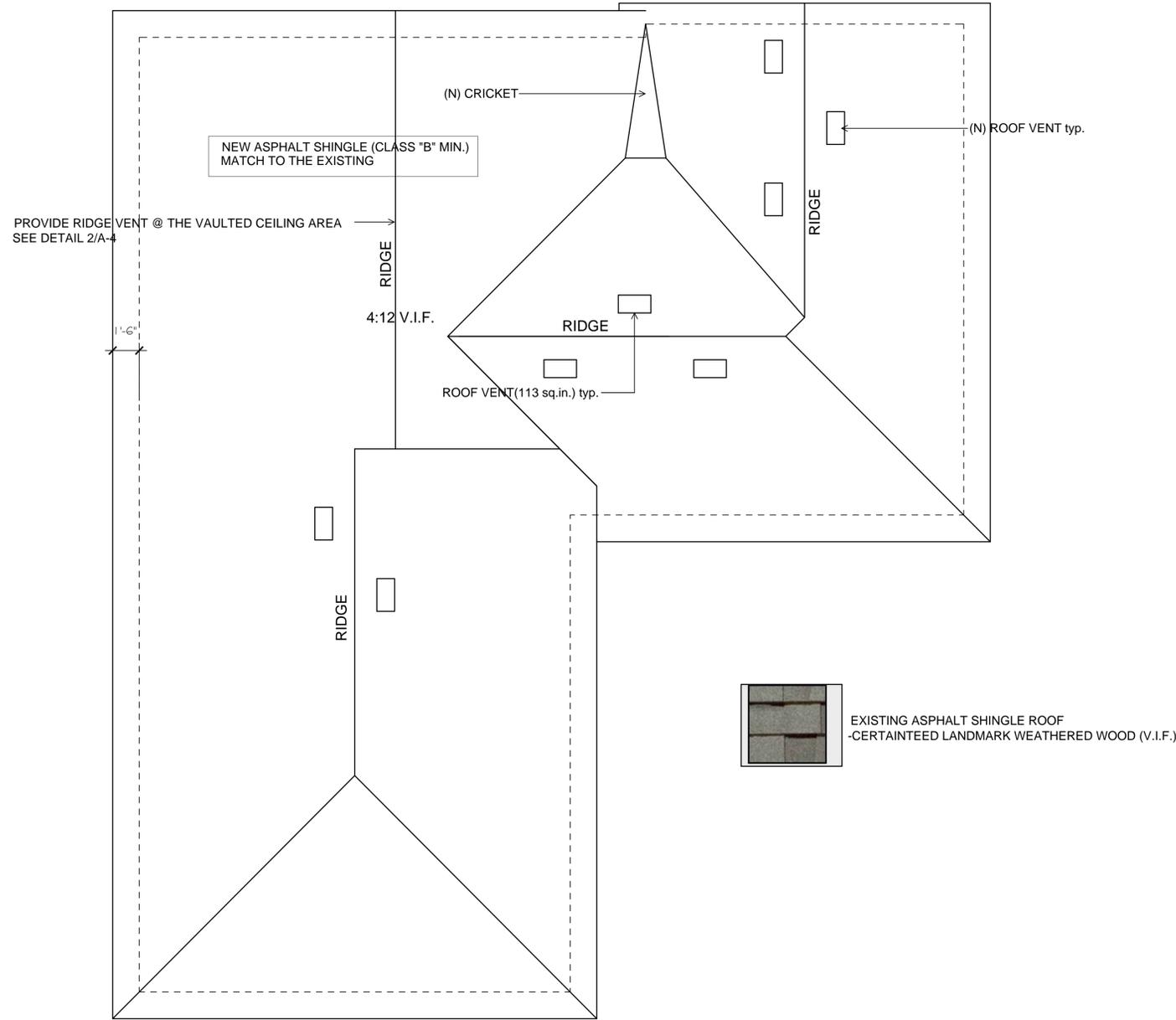
DATE: 03-13-22

SCALE : AS SHOWN

DRAWING NO.

A-4

Jonghun Jeong



PROPOSED ROOF PLAN
SCALE : 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	06/09/22	PLANNING COMMENTS

DESIGNER: J. JEONG

DATE: 6-20-2022

SCALE : AS SHOWN

DRAWING NO.

A-5

Jonghun Jeong

