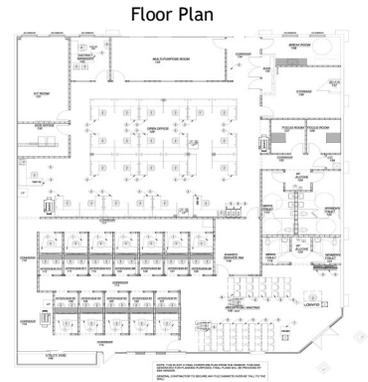





City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423

### Project Image



# Notice of Public Hearing

Dear Campbell Resident,

September 23, 2022

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday October 11, 2022, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

**Project Address:** 1480 West Campbell Avenue  
**Zoning | Area Plan:** C-2 | N/A  
**File No.:** PLN-2022-38  
**Neighborhood Association(s):** N/A  
**APN:** 404-01-035  
**Applicant:** SDA Inc.  
**Property Owner:** Campbell CA SSA LLC  
**Application Type:** Conditional Use Permit and Parking Modification Permit  
**Project Planner:** Tracy Tam, Associate Planner  
**Email Contact:** [tracyt@campbellca.gov](mailto:tracyt@campbellca.gov)  
**Phone Contact:** (408) 871-5103

**Project Description:**

To allow a new government office and facilities (e.g. Social Security Administration) within an existing commercial building and a reduction to the required number of parking spaces.

**You may participate virtually or watch online:**

- ◇ Register online to speak via Zoom: (<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream: (<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS ) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**\*\*Asistencia en Español disponible, Simplemente marque (408) 866-2140 y pida traduccion en Español**



# Tenant Improvements for: Social Security Administration

1480 W Campbell Ave  
Campbell, CA

Project Number 006119

May 25, 2022 Community Development Comment Response

## LIST OF DRAWINGS

COVER	COVER SHEET
AS1.0	ARCHITECTURAL SITE PLAN
D1.0	DEMO PLAN
A1.0	FLOOR PLAN
A1.1	FINISHES PLAN AND SCHEDULE
A1.2	FURNITURE PLAN (REFERENCE ONLY)
	EXISTING SITE PHOTO
	EXISTING BUILDING PHOTOS

## CONSULTANTS

<b>ARCHITECT</b> PGAL 7373 Peak Drive, Suite 170 Las Vegas, NV 89128 Phone: (702) 435-4448 Contact: Benjamin Girardin Email: bgirardin@pgal.com	<b>MPE Engineering</b> Engin8 8260 W Charleston, Suite 3 Las Vegas, NV 89117 Phone (702) 823-8682 Contact: Soren Peterson Email: soren@engin8.com
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## GENERAL INFO

PROJECT SCOPE:	THIS PROJECT CONVERTING AN EXISTING BANK BUILDING INTO A SOCIAL SECURITY OFFICE
FLOOR AREA:	EXISTING: 8,400 SF
PROJECT AREA:	8,400 SF
JURISDICTION:	CITY OF CAMPBELL
ADDRESS:	1480 W CAMPBELL AVE, CAMPBELL CA 95008
TENANT:	SOCIAL SECURITY ADMINISTRATION
CODES:	SEE REF 2
PROJECT TITLE:	TENANT IMPROVEMENTS FOR SOCIAL SECURITY ADMINISTRATION
OCCUPANCY:	GROUP B
CONSTRUCTION TYPE:	TYPE V-B
FIRE SPRINKLERS:	BUILDING IS FULLY SPRINKLED - PER 2019 CBC
FIRE ALARM:	YES - PER CBC 2019
HEIGHT:	55'- PER CBC - ACTUAL = 32'-6" (EXISTING)
STORIES:	1 STORY EXISTING - PER CBC TABLE 503
EXTERIOR WALLS:	0 HOURS -PER CBC TABLES 601 AND 602
FIRE RESISTANCE RATING:	STRUCTURAL FRAME = 0 HOURS - BEARING WALLS = 0 HOURS - NONBEARING WALLS AND PARTITIONS = 0 HOURS - ROOF = 0 HOURS - SHAFT WALLS = 1 HOUR PER CBC 2019 TABLE 601
PLUMBING FIXTURES:	SEE REF2 FOR CALCULATIONS
SPECIAL INSPECTION:	SEE STRUCTURAL

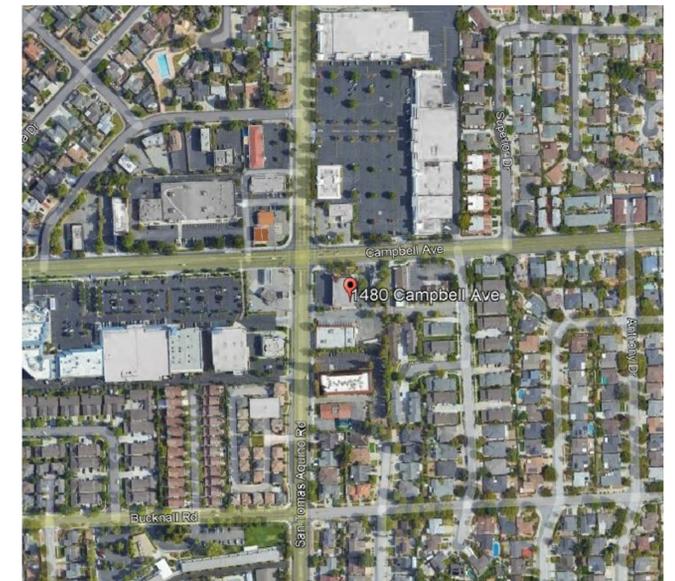
## DEFERRED SUBMITTAL

1. FIRE SPRINKLER SYSTEM MODIFICATION DRAWINGS
2. FIRE ALARM MODIFICATION DRAWINGS

# SDA Inc.



## LOCATION MAP N.T.S.



PROJECT LOCATION

## EXISTING BLDG /SITE INFO

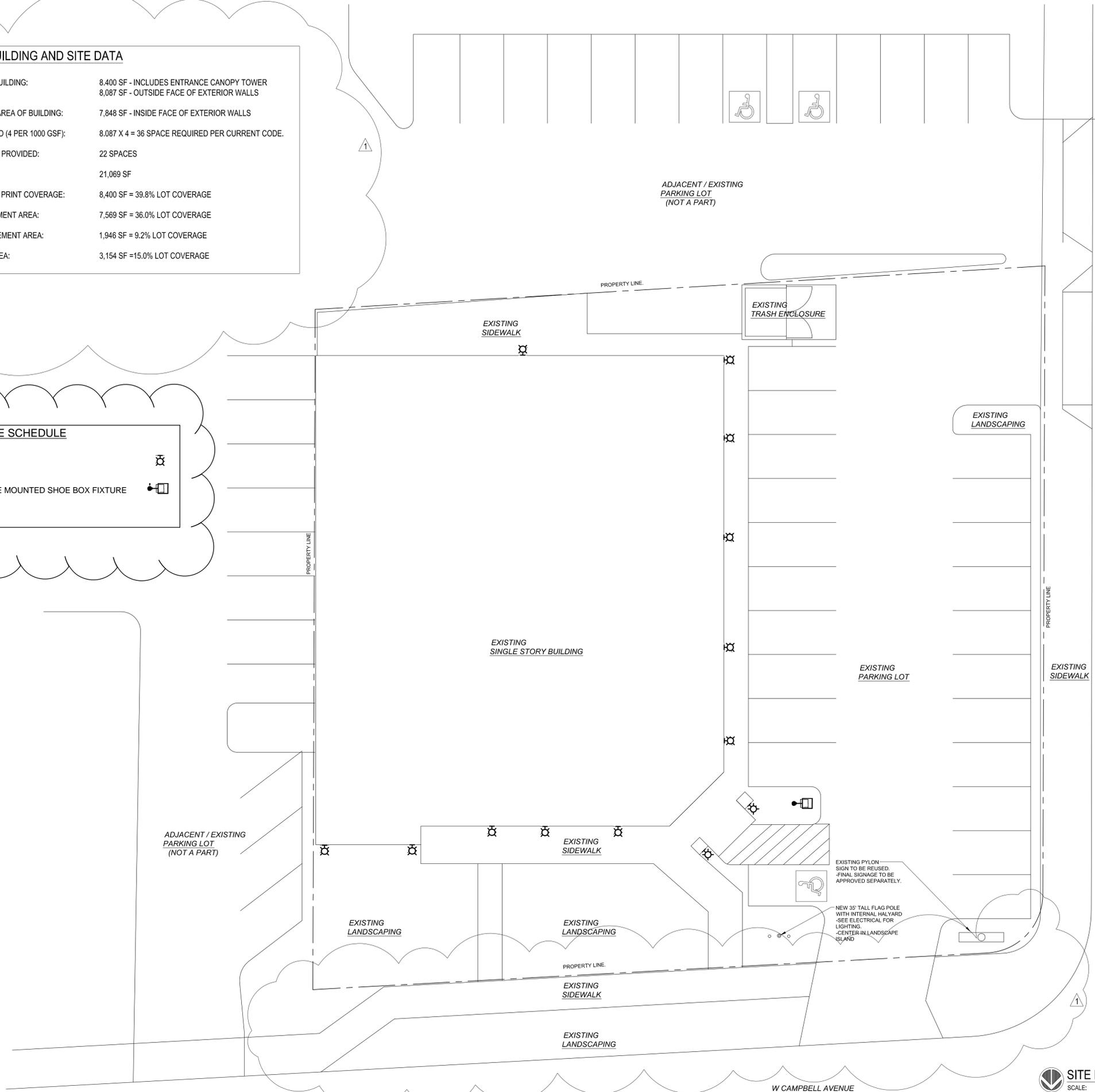
GROSS AREA OF BUILDING:	8,400 SF - INCLUDES ENTRANCE CANOPY TOWER 8,087 SF - OUTSIDE FACE OF EXTERIOR WALLS
NET OCCUPIABLE AREA OF BUILDING:	7,848 SF - INSIDE FACE OF EXTERIOR WALLS
PARKING REQUIRED (4 PER 1000 GSF):	8,087 X 4 = 36 SPACE REQUIRED PER CURRENT CODE.
EXISTING PARKING PROVIDED:	22 SPACES
TOTAL SITE AREA:	21,069 SF
(E) BUILDING FOOT PRINT COVERAGE:	8,400 SF = 39.8% LOT COVERAGE
(E) PARKING PAVEMENT AREA:	7,569 SF = 36.0% LOT COVERAGE
(E) SIDEWALK PAVEMENT AREA:	1,946 SF = 9.2% LOT COVERAGE
(E) LANDSCAPE AREA:	3,154 SF = 15.0% LOT COVERAGE

**EXISTING BUILDING AND SITE DATA**

GROSS AREA OF BUILDING:	8,400 SF - INCLUDES ENTRANCE CANOPY TOWER 8,087 SF - OUTSIDE FACE OF EXTERIOR WALLS
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**EXTERIOR LIGHTING FIXTURE SCHEDULE**

LITHONIA #WSR-70M-FTU-120	
LITHONIA #AS2-250M-SR4C; 17'-6" POLE MOUNTED SHOE BOX FIXTURE	



EXISTING PYLON SIGN TO BE REUSED. FINAL SIGNAGE TO BE APPROVED SEPARATELY.

NEW 35' TALL FLAG POLE WITH INTERNAL HALYARD -SEE ELECTRICAL FOR LIGHTING -CENTER IN LANDSCAPE ISLAND

1006119 FLOOR PLAN ROOF FRAMING.dwg / AS1.0 - 05/25/2022 - 9:12am - B24.dwg / 218-0001\_B24.dwg

Issued For:	Date:
Permit Set	01.07.2022
REV #1	05.22.2022
Drawn	BJG
Checked	BJG
Approved	BJG



**SDA Inc.**



7373 Peak Drive  
Suite 170  
Las Vegas, NV 89129

Project Title  
Social Security Administration Office  
1480 W. Campbell Ave  
Campbell, California

Sheet Title  
Site Plan

Project Number  
006119.00

Sheet Number  
**AS1.0**

**SITE PLAN**  
SCALE: 1" = 20'-0"

**GENERAL DEMOLITION NOTES:**

1. DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTORS PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AT THE CONTRACTORS OPTION.
2. CONTRACTOR SHALL COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION.
3. CONTRACTOR SHALL COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
4. CONTRACTOR SHALL SURVEY CONDITION OF BUILDINGS TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE DURING DEMOLITION.
5. CONTRACTOR TO LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND SEAL OR CAP OFF EXISTING UTILITY SERVICES SERVING AREAS TO BE REMOVED.
6. CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVE AND PROPERLY DISPOSE OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED FACILITIES.
7. CONTRACTOR SHALL RETURN ADJACENT AREAS TO EXISTING CONDITIONS AFTER DEMOLITION.
8. CONTRACTOR TO PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
  - A. DO NOT BURN DEMOLISHED MATERIALS.
  - B. TRANSPORT DEMOLISHED MATERIALS PROPERTY AND LEGALLY DISPOSE.

**KEY NOTES** #

1. REMOVE EXISTING DOOR, FRAME, AND HARDWARE
3. REMOVE EXISTING FINISHES. REMOVE ALL GLUE RESIDUE FROM SUBSURFACE TO REMAIN.
4. REMOVE EXISTING NON-BEARING WALL
5. CUT OPENING IN NON-BEARING WALL FOR NEW WINDOW. - SEE STRUCTURAL
6. NOT USED
7. CUT OPENING IN EXISTING NON-BEARING WALL FOR NEW DOOR OPENING.
8. REMOVE EXISTING CONCRETE VAULT WALLS AND CONCRETE CEILING.
9. REMOVE EXISTING VAULT DOOR.
10. REMOVE EXISTING SINK. CAP PLUMBING BELOW SLAB AND ABOVE CEILING.
11. REMOVE EXISTING TOILET. CAP PLUMBING BELOW SLAB AND ABOVE CEILING
12. REMOVE EXISTING MILLWORK.
13. REMOVE EXISTING HALF WALL AND ASSOCIATED GATE
14. REMOVE EXISTING NIGHT DROP SAFE
15. REMOVE EXISTING ROOF ACCESS LADDER
16. EXISTING ELECTRICAL GEAR, PANELS, AND CONTROLS TO REMAIN
17. INCOMING MAIN COMMUNICATIONS LINE TO BE RELOCATED TO NEW DCR ROOM.
18. EXISTING ROOF DRAIN PIPE TO BE RELOCATED TO CORNER OF NEW IVT ROOM. SEE IMPROVEMENT PLANS.
19. EXISTING WATER LINES TO BE RELOCATED TO CORNER OF NEW IVT ROOM.
20. EXISTING FIRE RISER / RISER ROOM TO REMAIN.
21. EXISTING COLUMN SURROUNDS TO BE REMOVED.



Issued For:	Date:
Review	10.01.2021
Review	10.12.2021
95% Review	11.02.2021
Permit	01.07.2022
FINAL SSA REVIEW	02.18.2022
Construction Set	04.18.2022

Drawn	BJG
Checked	BJG
Approved	BJG



**SDA Inc.**



7373 Peak Drive  
Suite 170  
Las Vegas, NV 89129

**Project Title**  
Social Security Administration Office  
1480 W. Campbell Ave  
Campbell, California

**Sheet Title**  
Demo Floor Plan

**Project Number**  
006119.00

**Sheet Number**  
D1.0

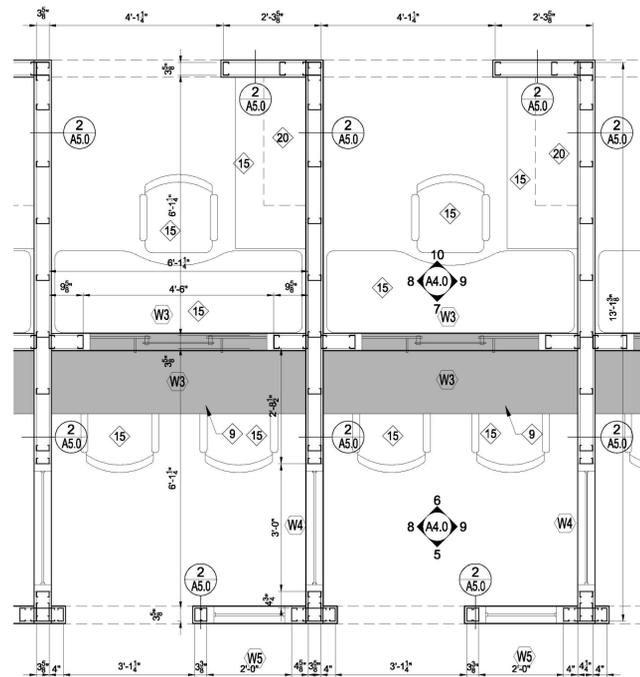
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**WALL LEGEND**

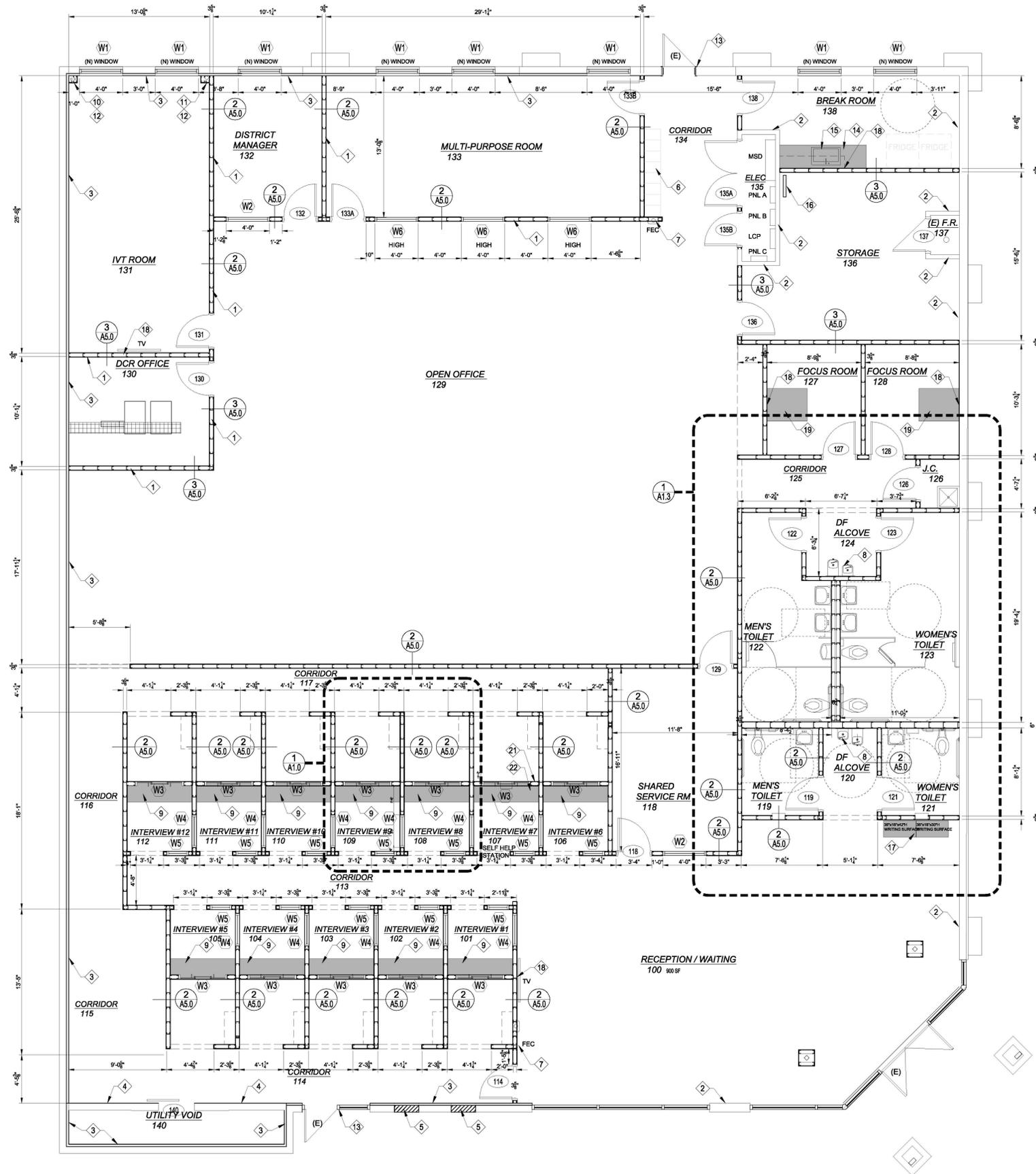
-  EXISTING METAL STUD WALL
-  NEW METAL STUD WALL - SEE WALL TYPES. ALL NEW WALLS NOT IDENTIFIED SHALL BE TYPE "A" WALLS 1A5.0.

**KEY NOTES**

1. NEW NON-BEARING METAL STUD AND GYP. BD. PARTITIONS WITH LEVEL 3 WITH LIGHT ORANGE PEAL TEXTURE. PAINTED AS SCHEDULED. (TYPICAL)
2. EXISTING NON-BEARING WALLS TO REMAIN - COAT TO MATCH NEW WALLS.
3. Z-FURING AND INSULATION ON EXPOSED CONCRETE WALLS.
4. LAMINATE GYP. BD. OR FUR OUT EXISTING EXPOSED CMU WALL TO MATCH PLAIN OF EXISTING GYP. BD. FACE.
5. INFILL EXISTING OPENINGS FOR NIGHT DROP AND ATM WITH METAL STUD FRAMING AT 16" O.C. FINISH EXTERIOR TO MATCH EXISTING STUCCO.
6. LOCKERS - PROVIDED BY SSA.
7. SEMI-RECESSED FIRE EXTINGUISHER CABINET
8. HI/LOW DRINKING FOUNTAIN - SEE PLUMBING
9. SOLID SURFACE BUILT-IN COUNTER TOP.
10. RELOCATED WATER LINES TO CORNER OF ROOM.
11. RELOCATED DRAIN LINE.
12. BUILD CORNER ENCLOSURES TO CONCEAL RELOCATED PIPES TO MATCH EACH OTHER.
13. MODIFY EXISTING DOOR / FRAME TO ACCEPT ACCESS CONTROL.
14. NEW PL BASE CABINETS / SOLID SURFACE COUNTER TOP / BACKSPLASH / AND PL UPPER CABINETS.
15. NEW STAINLESS STEEL SINK. SEE PLUMBING.
16. NEW ROOF ACCESS LADDER. EXISTING CAN BE MODIFIED FOR REUSE AT CONTRACTORS OPTION.
17. PLASTIC LAMINATE AND SOLID SURFACE WRITING STAND BY MILLWORK CONTRACTOR. SEE 5/A4.1
18. INSTALL FLAT STRAP BACKING AT ALL TELEVISIONS AND MILLWORK.
19. SOLID SURFACE DESK WITH PLASTIC LAMINATE LEG. SEE 6/A4.1
20. PROVIDE WALL BACKING FOR FUTURE SHELF TO BE MOUNTED 16" ABOVE WORK SURFACE (46" HG1).
21. PROVIDE 3" GROMMETED PASS THRU FOR CABLES FROM CUSTOMER SIDE TO EMPLOYEE SIDE UNDER COUNTER.
22. PROVIDE GROMMET ON PUBLIC SIDE THROUGH COUNTERTOP.. VERIFY EXACT LOCATION WITH SSA.



**INTERVIEW STATION (TYPICAL)  
ENLARGED PARTIAL FLOOR PLAN**  
SCALE: 1/2" = 1'-0"



**FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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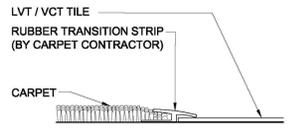
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**Project Title**  
Social Security  
Administration Office  
1480 W. Campbell Ave  
Campbell, California

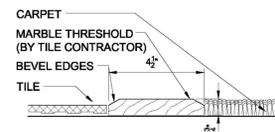
**Sheet Title**  
Floor Plan

**Project Number**  
006119.00

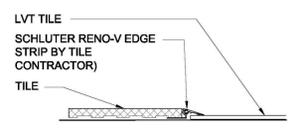
**Sheet Number**  
A1.0



**CARPET RESIL. REDUCER (T-1)**  
SCALE: 3" = 1'-0"



**MARBLE THRESHOLD (T-2)**  
SCALE: 3" = 1'-0"

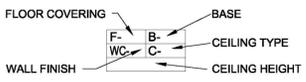


**TILE / RESIL. REDUCER (T-3)**  
SCALE: 3" = 1'-0"

**GENERAL NOTES**

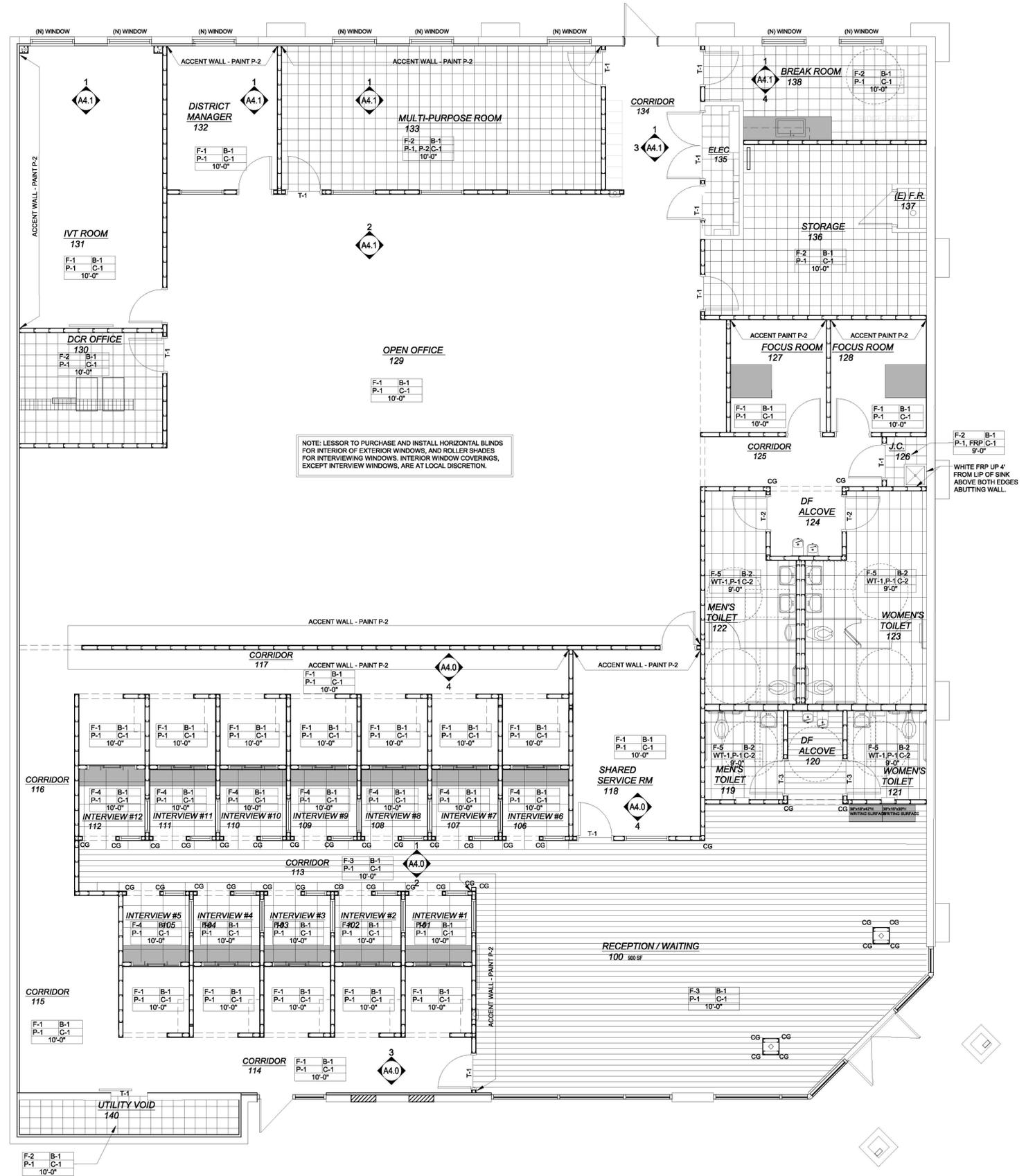
- ALL INTERIOR FINISHES SHALL MEET THE REQUIREMENTS OF THE 2019 C.B.C. CHAPTER 8, FOR THE MAXIMUM ALLOWABLE FLAME SPREAD.
- VERTICAL EXITS EXIT PASSAGEWAYS - CLASS "A" (FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450)
- EXIT ACCESS CORRIDORS AND OTHER EXITWAYS - CLASS "A" (FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450)
- ROOMS AND ENCLOSED SPACES - CLASS "A" (FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450).
- FLOORING TO BE CLASS I OR CLASS II.
- ALL WALKING SURFACES OF EACH ELEMENT IN THE MEANS OF EGRESS SHALL BE UNIFORMLY SLIP RESISTANT ALONG THE NATURAL PATH OF TRAVEL.
- ALL EXISTING FINISH SURFACES TO BE "PATCHED" SHALL BE REPAIRED TO A "LIKE NEW" APPEARANCE WHEN WORK IS COMPLETED.
- ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDED INSTRUCTIONS.
- SEE SHEET A4.1 FOR FLOORING DETAILS.
- ALL ROOMS TO HAVE (1) ACCENT PAINT WALL.
- THE CONTRACTOR SHALL SUBMIT SAMPLES IN DUPLICATE OF ALL FINISH MATERIAL TO THE DESIGNER FOR APPROVAL, INCLUDING PAINT, WALL COVERINGS, MILLWORK MATERIALS AND FLOORING, ETC.
- ALL PRINTED SURFACE ARE TO RECEIVE A MINIMUM OF TWO COATS FINAL COLOR OR PER MANUFACTURER'S INSTRUCTIONS.
- INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION, ADHESIVES AND BACKINGS, INCLUDING WALL COVERS, FLOORING MATERIALS, LAMINATES, ETC.
- THE CONTRACTOR SHALL REPAIR ALL ROUGH FLOOR SLAB UNEVENNESS SUITABLE FOR PROPER FLOOR COVERING INSTALLATION.

**ROOM FINISH LEGEND**



**INTERIOR FINISHES SCHEDULE**

- FLOOR TREATMENTS**
- F-1: CARPET TILE - SHAW CONTRACT - LINEAGE 59106-05750 BRIDGE
  - F-2: VCT - ARMSTRONG IMPERIAL TEXTURE - DESERT BEIGE - 51809
  - F-3: LVT PLANK - SHAW - SOLITUDE - COLOR: UMBER 48761 - 6"x48" - STAGGERED
  - F-4: LVT TILE - SHAW - COMPOUND - #4077V - BISQUE 77620 - SIZE 24"x24"
  - F-5: PORCELAIN TILE - DAL TILE - VOLUME 1.0 - AURAL SAND VL77 12"x24"
- BASE**
- B-1: 4" COVED RUBBER BASE - ROPPE 123 CHARCOAL
  - B-2: PORCELAIN TILE BASE - WT-1 WITH SCHLUTER COVE TRANSITION.
- WALL FINISH**
- P-1: PAINT - MAIN COLOR - BENJAMIN MOORE - ICICLE - OC-60 - LVR: 82.
  - P-2: PAINT - ACCENT COLOR - BENJAMIN MOORE - TEMPLETON GRAY - HC-161 - LVR: 24
  - P-3: PAINT - ACCENT COLOR - BENJAMIN MOORE - SHAKER BEIGE - HC-45 - LVR: 54
  - P-4: PAINT - CEILING COLOR - BENJAMIN MOORE - CHANTILLY LACE - 2121-70 - FLAT
- WT-1: WALL TILE - DAL TILE - VOLUME 1.0 - AURAL SAND VL77 12"x24"**
- CEILING TREATMENTS**
- C-1: 2x4 - USG - MARS CLIMA PLUS - HIGH NRC - WHITE - WITH 15/16" WHITE GRID
  - C-2: 5/8" GYP. BD. WITH LEVEL 4 FINISH, PAINTED P-4.
- MILLWORK FINISH**
- SOLID SURFACE - TBD - STANDARD MATERIAL
  - PL-1: PLASTIC LAMINATE - TBD - STANDARD WOOD GRAIN MATERIAL
- CORNER GUARDS**
- CG: 3"x4" WITH END CAPS - WALLGUARD.COM - 2300 - STANDARD COLOR OR EQUAL



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**SDA Inc.**



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Finishes Plan

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Sheet Number

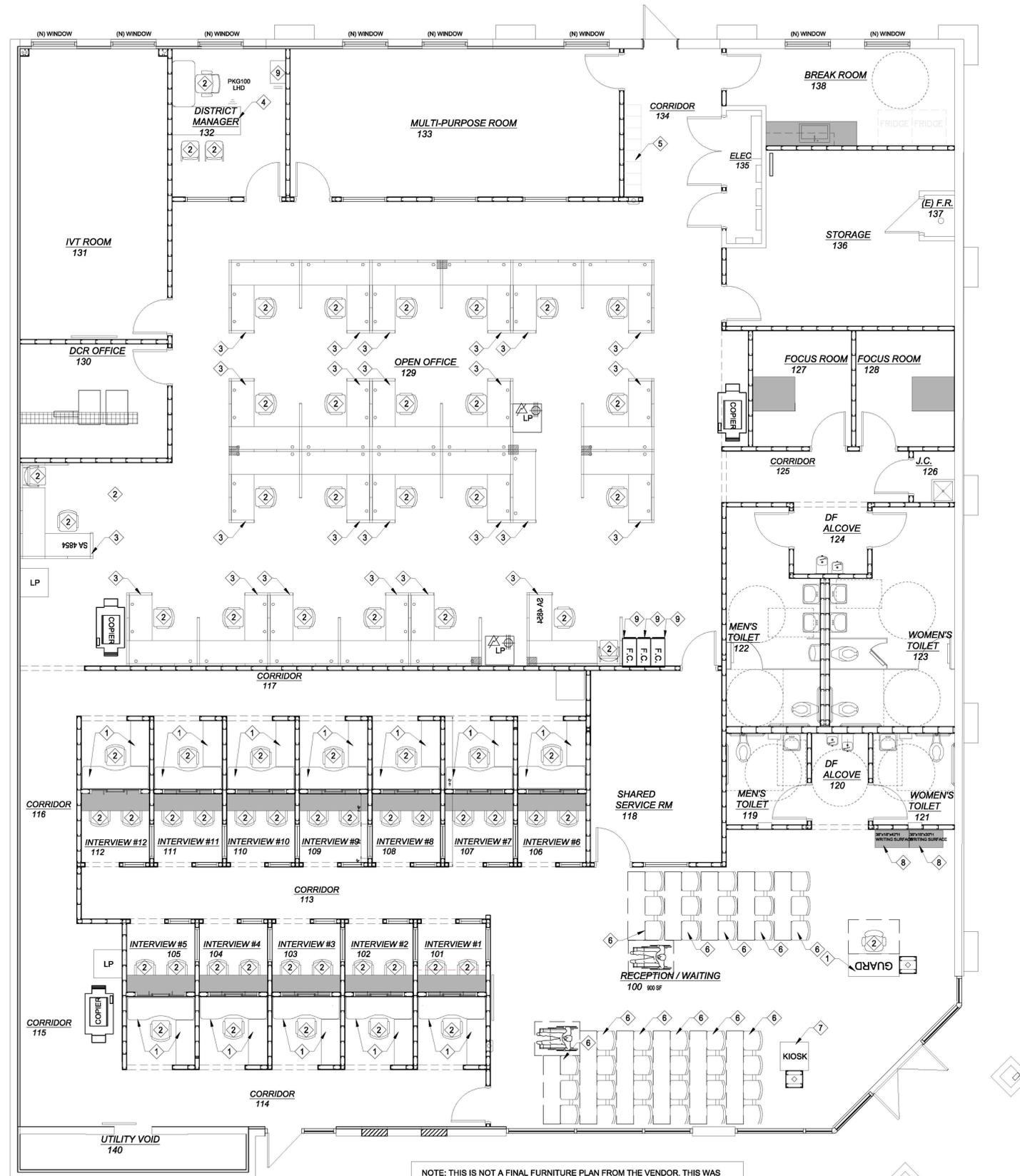
**A1.1**

1006119 FLOOR PLAN ROOF FRAMING.dwg / A1.1 - 01/26/2022 - 3:52pm - B24.dwg / 218-0001\_B24.dwg

1006119 FLOOR PLAN ROOF FRAMING.dwg / A1.2 - 01/25/2022 - 9:54am - B24.dwg / 218-0001\_B24.dwg

**KEY NOTES** #

1. DESK PROVIDED BY SSA
2. CHAIR SUPPLIED BY SSA
3. CUBICLE WORK STATION SUPPLIED BY SSA. ELECTRICAL AND DATA CABLING BY CONTRACTOR.
4. PRIVATE OFFICE DESK PROVIDED BY SSA.
5. LOCKERS PROVIDED BY SSA.
6. RAIL SEATING PROVIDED BY SSA.
7. KIOSK PROVIDED BY SSA.
8. WRITING SURFACES PROVIDED BY MILLWORK CONTRACTOR.
9. FILE CABINET PROVIDED BY SSA.



NOTE: THIS IS NOT A FINAL FURNITURE PLAN FROM THE VENDOR. THIS WAS GENERATED FOR PLANNING PURPOSES. FINAL PLANS WILL BE PROVIDED BY SSA VENDOR.  
 GENERAL CONTRACTOR TO SECURE ANY FILE CABINETS OVER 60" TALL TO THE WALL.

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**SDA Inc.**



7373 Peak Drive  
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Project Title  
 Social Security Administration Office  
 1480 W. Campbell Ave  
 Campbell, California

Sheet Title  
**Furniture Floor Plan**

Project Number  
**006119.00**

Sheet Number  
**A1.2**



KEY  
Subject Property 

**Site Plan**  
Project: Campbell - Social Security Administration



1. Northwestern corner of property building with parking and view of main entrance



2. Southwestern corner of property building with parking



3. Northeastern corner of property building



4. Southeastern corner of property building



5. Typical landscaping



6. Parking