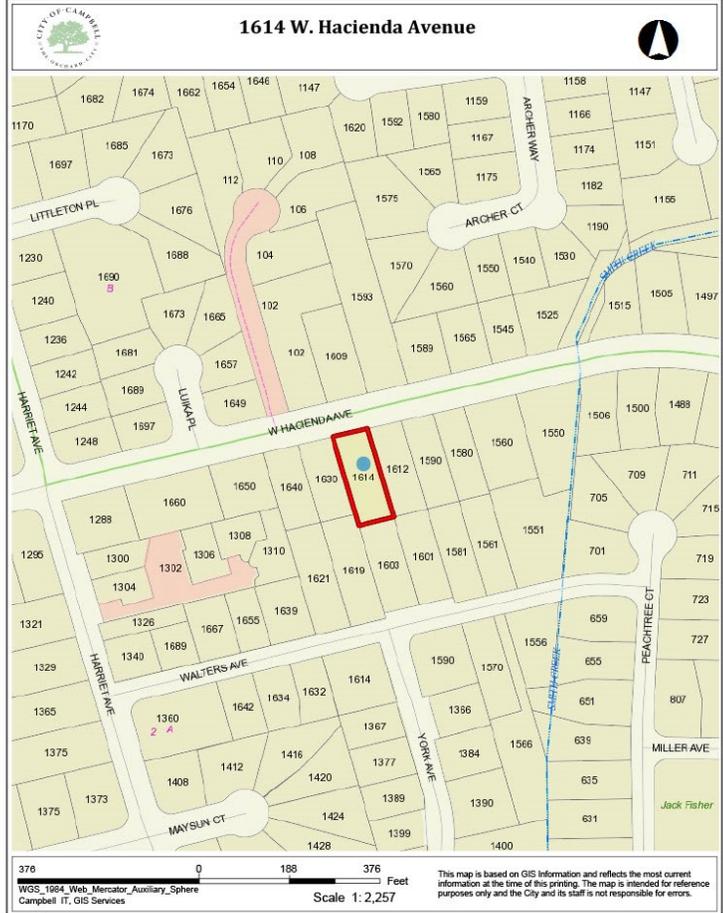


Location of Proposed Project




City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Public Hearing

Dear Campbell Resident,

October 10, 2022

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday October 25, 2022, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 1614 W. Hacienda Avenue
Zoning | Area Plan: R-1-9 | San Tomas Area Neighborhood Plan
File No.: PLN-2022-67
Neighborhood Association(s): STACC
APN: 403-18-073
Applicant: Fahed Habayeb
Property Owner: Venkata Gurajada
Application Type: Site and Architectural Review Permit
Project Planner: Larissa Lomen, Assistant Planner
Email Contact: larissal@campbellca.gov
Phone Contact: (408) 866-2144

Project Description:

To allow for the construction of a new 3,963 square-foot dwelling using portions of the existing house.

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



FIRE DEPT. NOTES

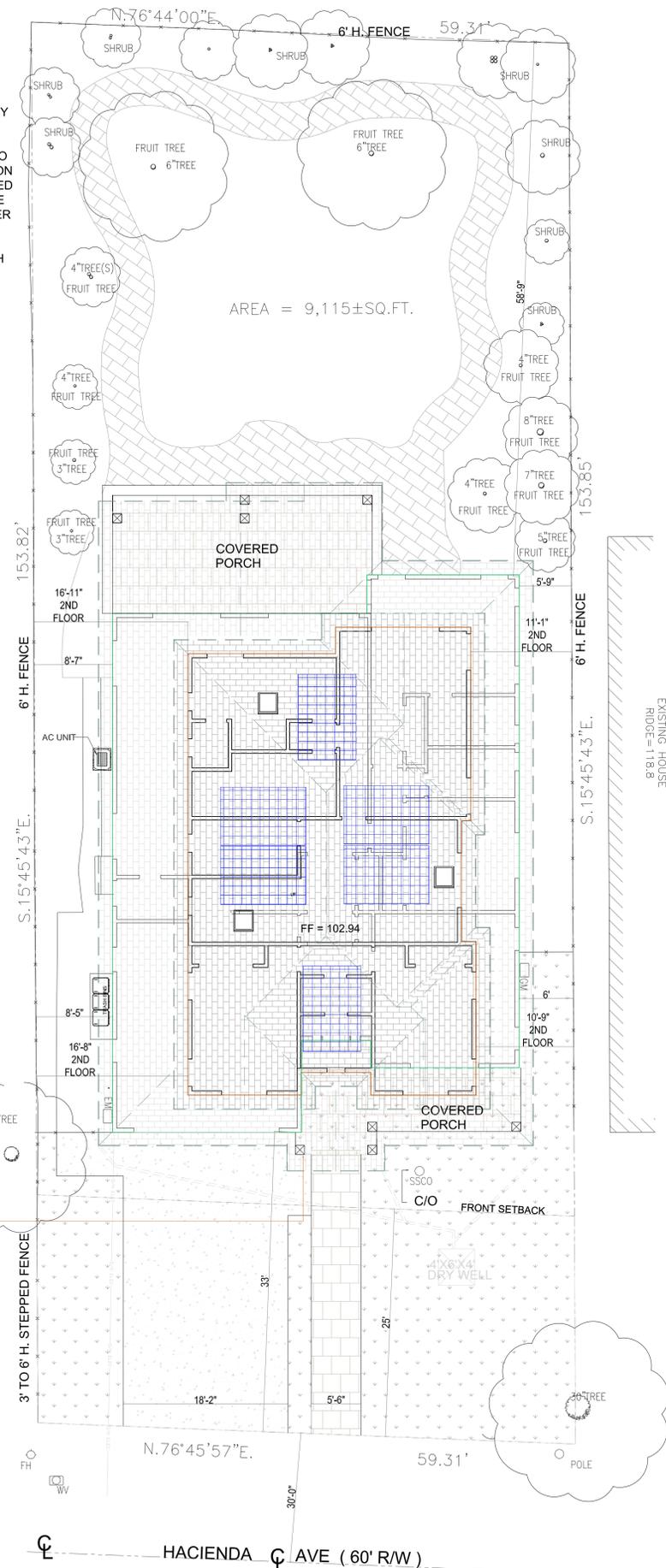
- 1- WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.
- 2- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.



ADDITION DIAGRAM

BUILDING ADDRESS NOTE:
BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2".

- TOTAL FRONT SETBACK AREA = 1,482 SQFT
- TOTAL LANDSCAPE AREA = 889 SQFT
- TOTAL HARDSCAPE AREA = 593 SQFT = 40%



NEW SITE PLAN
1/8" = 1'-0"

NEW DWELLING USING PORTIONS OF THE ORIGINAL STRUCTURE
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008



PROJECT LOCATION

PROJECT DATA

- A.P.N. #	403-18-073
- LOT SIZE GROSS	10,895 SQ. FT.
- LOT SIZE NET	9,115 SQ. FT.
- ZONING	R1-9
- OCCUPANCY	R/3-U
- TYPE OF CONSTRUCTION	V-B
- BUILDING FULLY SPRINKLERED	YES
EXISTING F.A.R.	
- EXISTING HOUSE	1,440 SQ. FT.
- EXISTING GARAGE	552 SQ. FT.
- 3 SIDE WALL COVERED PORCHES	72 SQ. FT.
- TOTAL	2,064 SQ. FT.
	=22 %
NEW F.A.R.	
- (E) 1ST FLOOR :	2,064 SQ. FT.
- 1ST FLOOR ADDITIONS	367 SQ. FT.
- 3 SIDE WALL COVERED PORCH	23 SQ. FT.
- NEW 2ND FLOOR	1,532 SQ. FT.
- TOTAL HOUSE	3,986 SQ. FT.
	= 43.7%
NEW LOT COVERAGE	
- TOTAL NEW 1ST FLOOR	2,454 SQ. FT.
- NEW FRONT COVERED ENTRY PORCH	190 SQ. FT.
- NEW REAR COVERED PORCH	334 SQ. FT.
- TOTAL	2,978 SQ. FT.
	=32.6 %

DRAWING INDEX

CS	NEW SITE PLANS & PROJECT DATA
AFD	FLOOR AREA DIAGRAM
PP	PRIVACY PLAN
SS	STREETSCAPE
A	EXISTING & DEMO SITE, FLOOR PLANS & ELEVATIONS
A1	NEW ROOF & FLOOR PLANS
A2	NEW EXTERIOR ELEVATIONS
A3	CROSS SECTIONS
A4	3D VIEWS
D1	DRAINAGE PLAN
L1	CONCEPTUAL LANDSCAPE PLAN
CM	PROJECT COLOR & MATERIALS
BP	EXIST 4 SIDE BUILDING PHOTOS

CODES

CALIFORNIA RESIDENTIAL CODE (CRC)	2019
CALIFORNIA BUILDING CODE (CBC)	2019
CALIFORNIA ELECTRICAL CODE (CEC)	2019
CALIFORNIA MECH. CODE (CMC)	2019
CALIFORNIA PLUMBING CODE (CPC)	2019
CALIFORNIA ENERGY CODE	2019
CALIFORNIA FIRE CODE (CFC)	2019
CALIFORNIA GREEN BUILDING STANDARD CODE	2019
CAMPBELL MUNICIPAL CODE	

SCOPE OF WORK

- 1- DEMOLITION WORK
 - EXISTING EXTERIOR & INTERIOR WALLS
 - COMPLETE DEMOLITION OF THE ROOF
- 2- NEW CONSTRUCTION OF 1ST STORY ADDITION & NEW 2ND FLOOR:
 - EXCAVATING & FOUNDATION WORK
 - WOOD FRAMING WORK
 - NEW ROOF
 - PLUMBING & MECHANICAL WORK
 - ELECTRICAL WORK
 - INTERIOR FINISH WORK

DEFERRED SUBMITTALS

1. FIRE AUTOMATIC SPRINKLER SYSTEMS
2. PV SYSTEMS.

FAHED HABAYEB
PLANNING & DESIGN
2640 SENTER CREEK CT.
SAN JOSE, CA. 95111
408 483-0302
habayeb3@aol.com

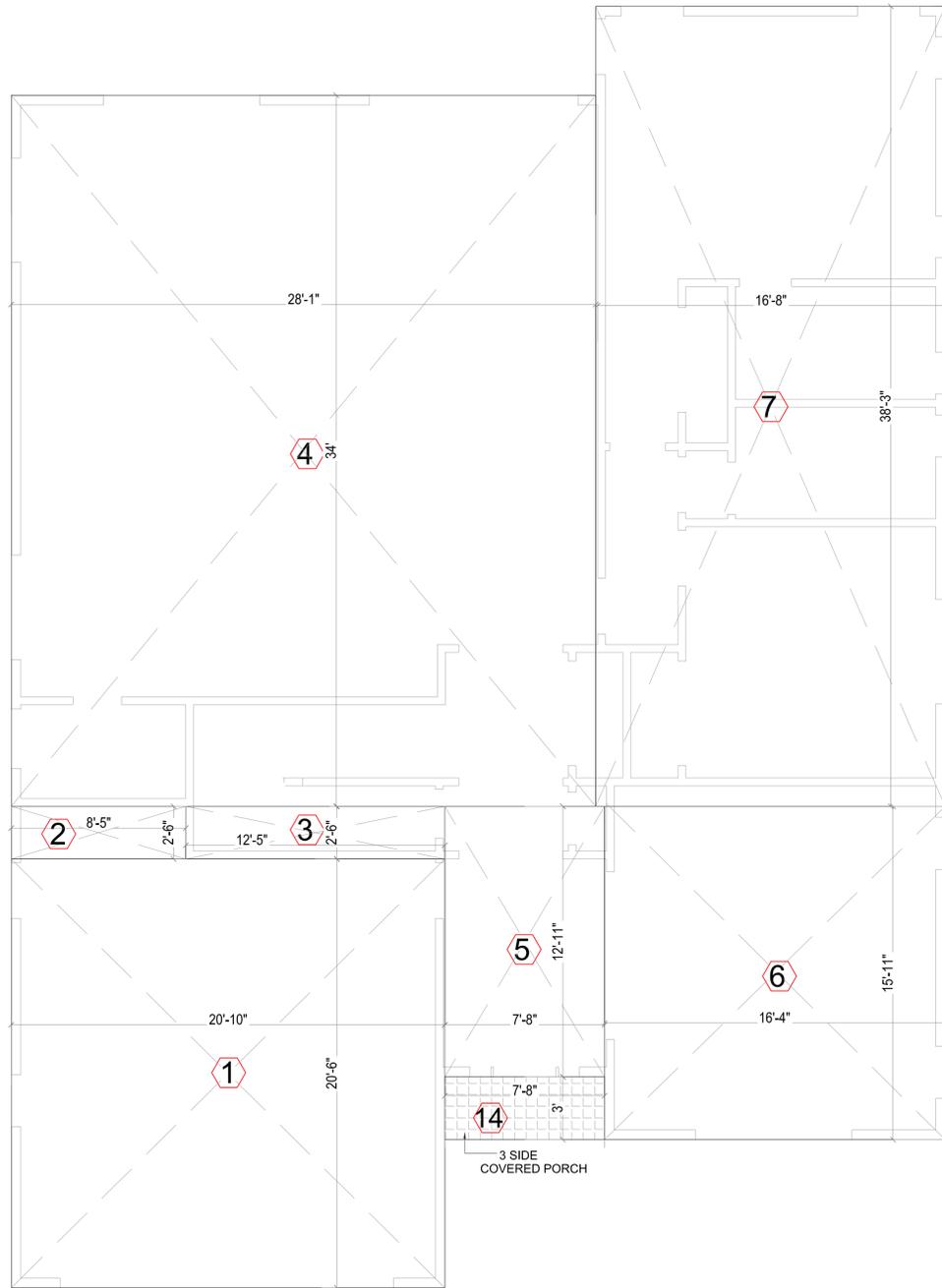


NEW DWELLING USING PORTIONS OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008

NO.	DATE	ISSUE

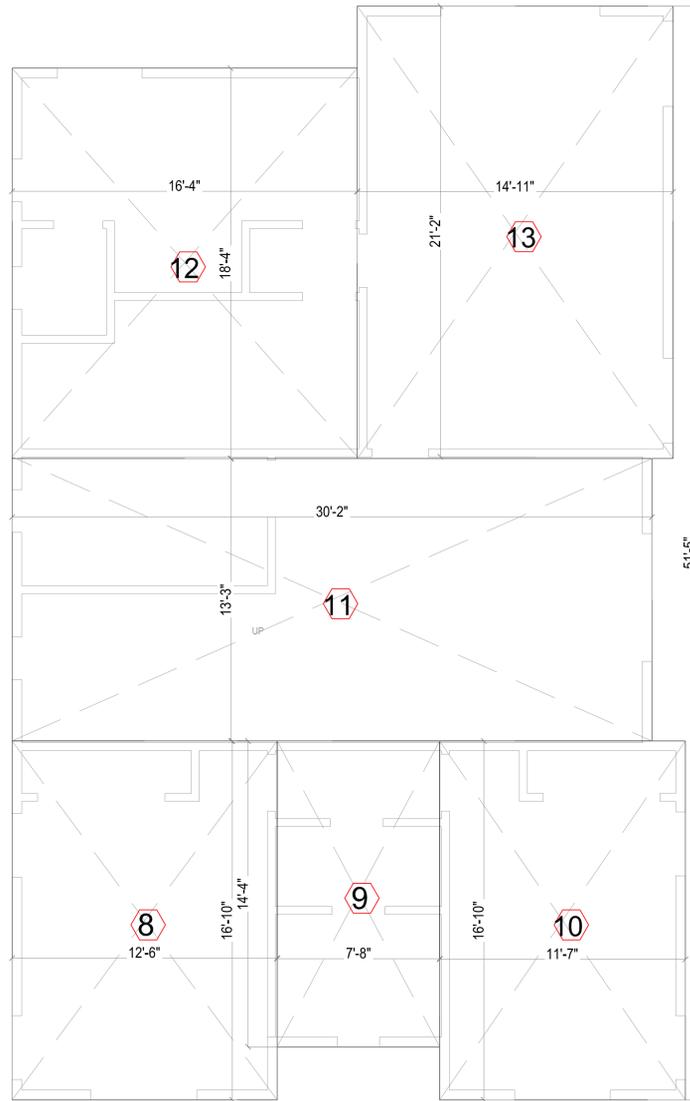
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SCALE AS NOTED
DRAWN BY FH
SHEET NO.



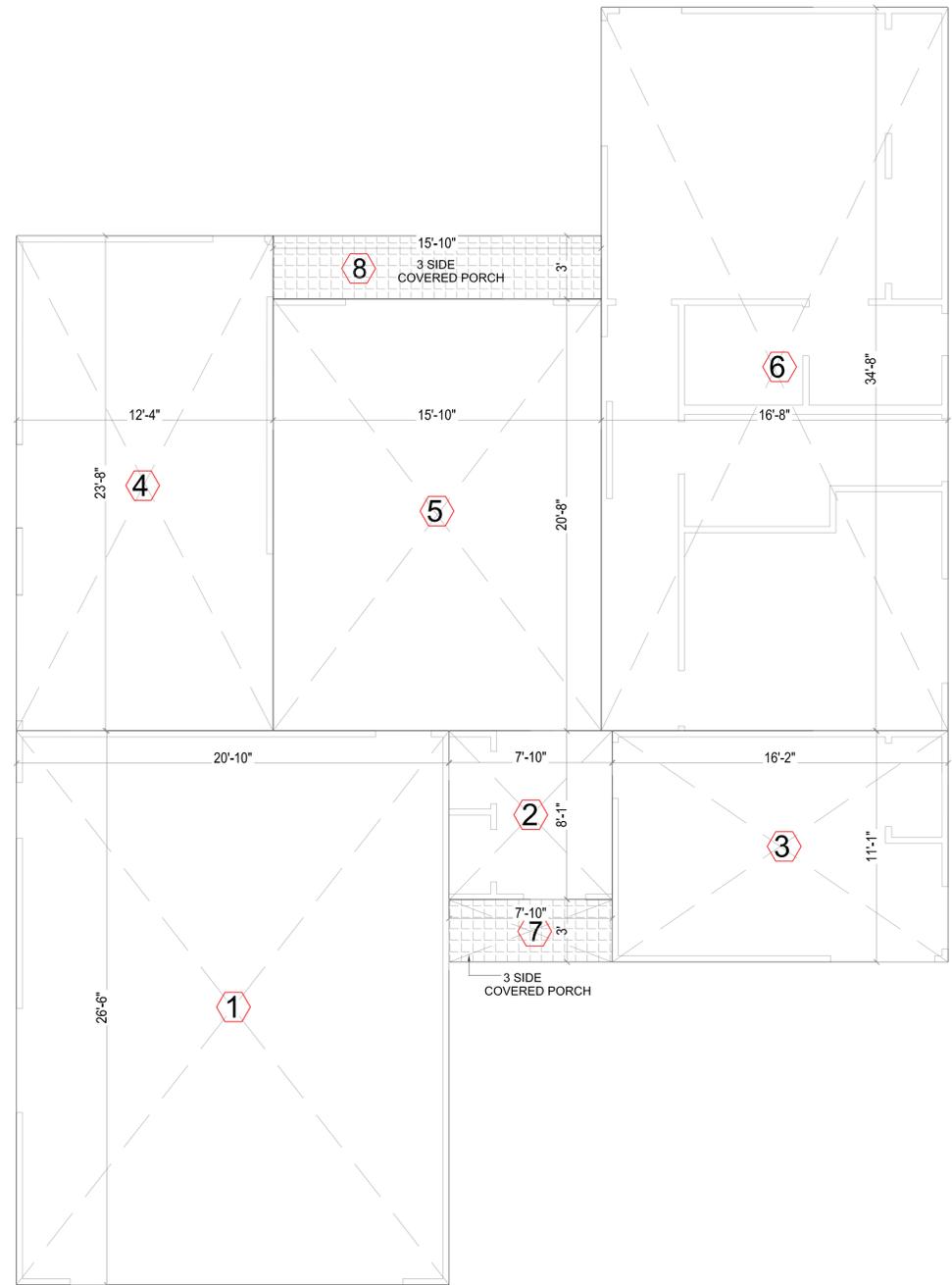


1ST FLOOR

PROPOSED



2ND FLOOR



EXISTING

FLOOR AREA CALCULATION

GARAGE	1ST FLOOR	2ND FLOOR	3 SIDE COVERED PORCH	TOTAL
1 20'-10"x20'-6" = 426	3 12'-5"x2'-6" = 31.25	8 12'-6"x16'-10" = 211	14 7'-8"x3' = 23	3,986 SQ. FT. = 43.7%
2 8'-5"x2'-6" = 21	4 28'-1"x 34'-0" = 952.50	9 7'-8"x 14'-4" = 110.25		
	5 7'-8"x12'-11" = 99.25	10 11'-7"x16'-10" = 195.50		
	6 16'-4"x15'-11" = 260	11 30'-2"x13'-3" = 400		
	7 16'-8"x38'-3" = 641	12 16'-4"x18'-4" = 298.75		
		13 14'-11"x21'-2" = 316.50		
TOTAL 447	TOTAL 1,984	1,532	23	

FLOOR AREA CALCULATION

GARAGE	1ST FLOOR	3 SIDE COVERED PORCH	TOTAL
1 20'-10"x20'-10" = 552	2 7'-10"x8'-1" = 63.50	7 7'-8"x3' = 24	2,064 SQ. FT. = 22%
	3 16'-2"x 11'-1" = 179.25	8 15'-10"x3' = 48	
	4 12'-4"x23'-8" = 292.75		
	5 15'-10"x20'-8" = 326.50		
	6 16'-8"x34'-8" = 578		
TOTAL 552	TOTAL 1,440	72	

FLOOR AREA DIAGRAM & CALCULATION

NEW DWELLING USING PORTIONS
OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008

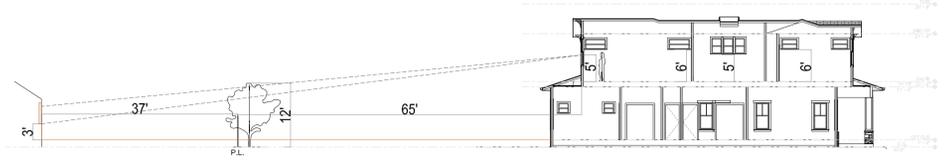
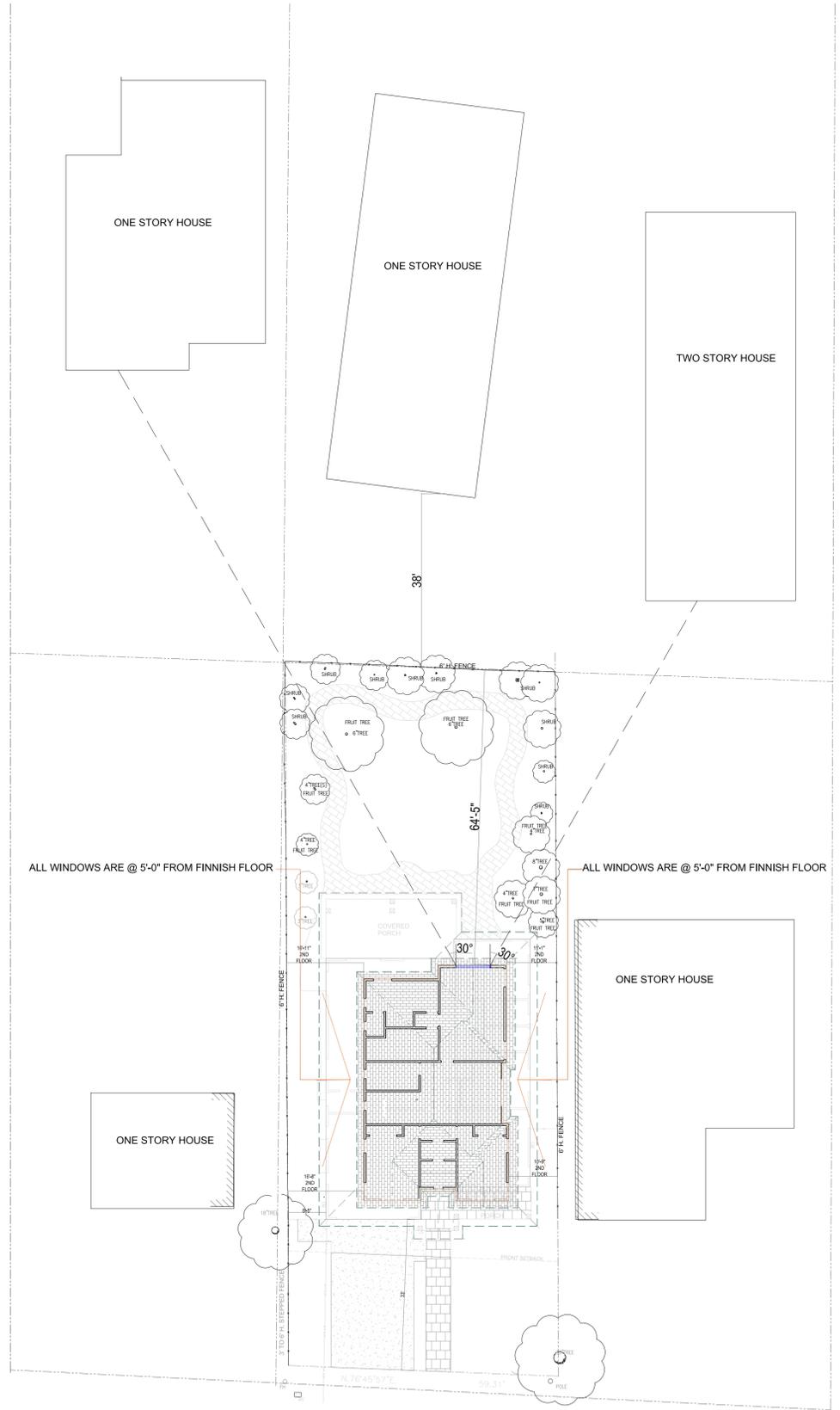
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AFD

FAHED HABAYEB
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SAN JOSE, CA. 95111
408 483-0302
habayeb3@aol.com

FAHED HABAYEB
AUG 8 2022



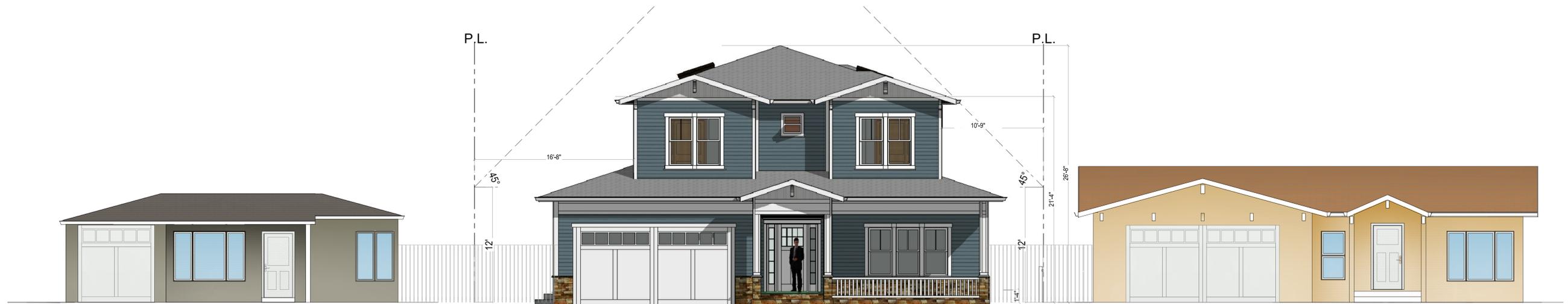
 **PRIVACY PLAN**
1/16" = 1'-0"

NEW DWELLING USING PORTIONS
OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008

NO.	DATE	ISSUE

PRIVACY PLAN

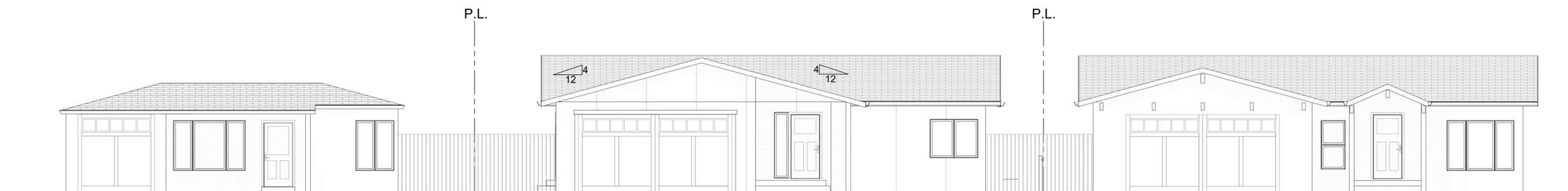
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SCALE	AS NOTED
DRAWN BY	FH
SHEET NO.	



1612

PROPOSED FRONT ELEVATION

1630



1612

EXISTING FRONT ELEVATION

1630

STREETSCAPE

3/16" = 1'-0"

FAHED HABAYEB
 AUG 8 2022

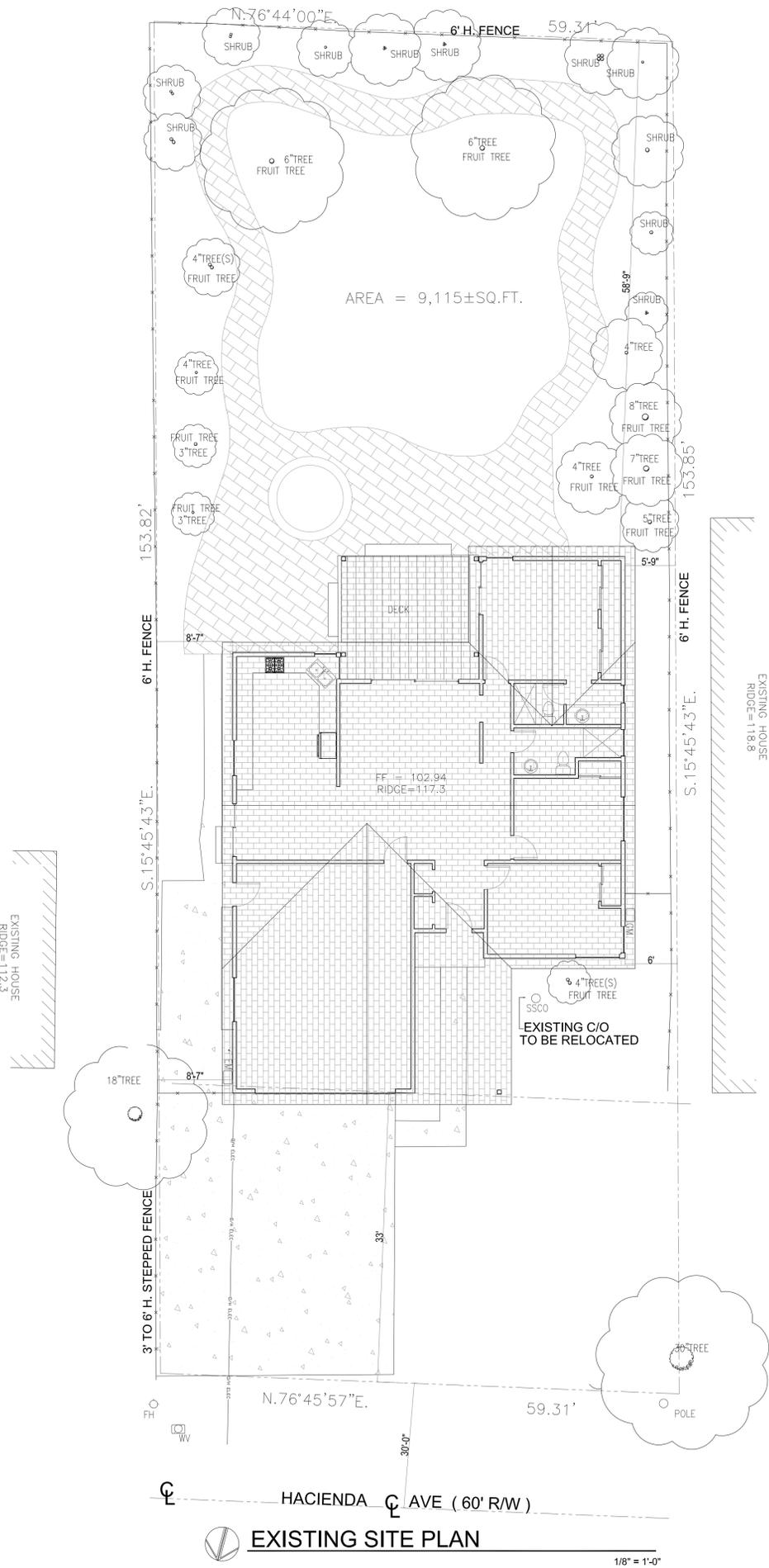
NEW DWELLING USING PORTIONS
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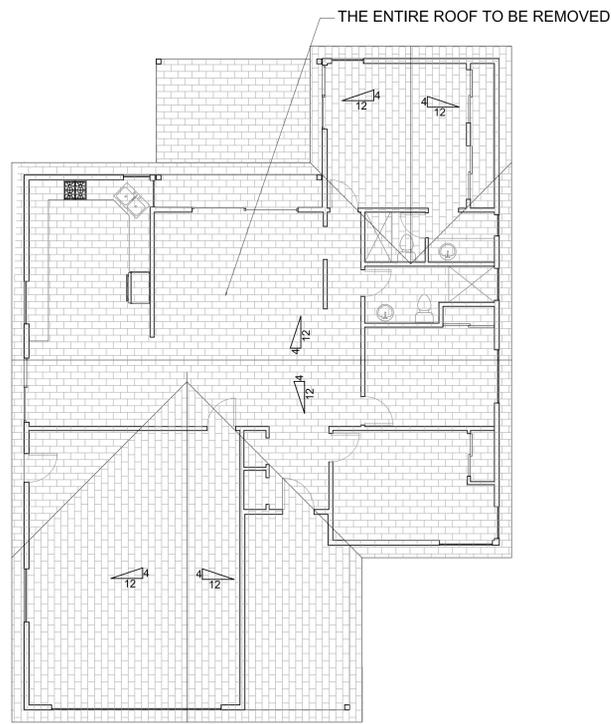
STREETSCAPE

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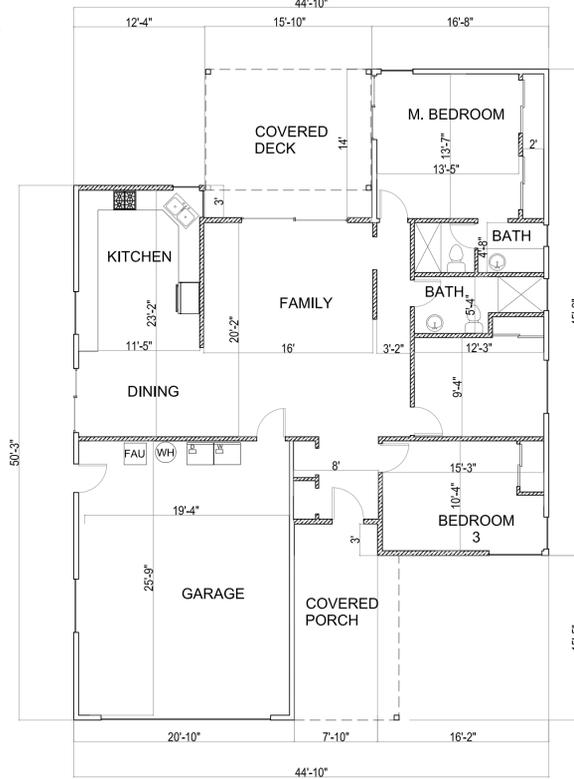




EXISTING SITE PLAN
1/8" = 1'-0"



EXISTING & DEMO ROOF PLAN
1/8" = 1'-0"



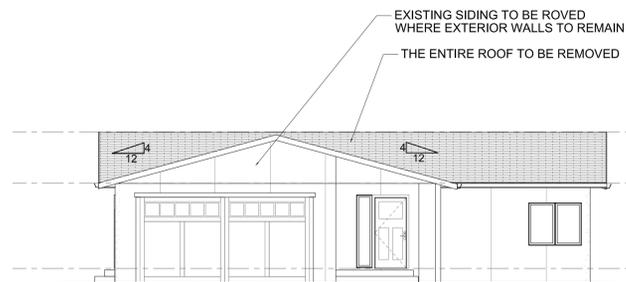
EXISTING & DEMO FLOOR PLAN
1/8" = 1'-0"

WALL LEGEND

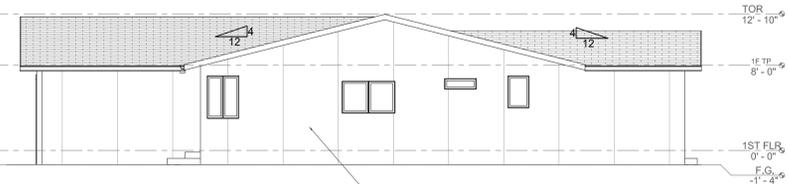
- WALLS TO REMAIN
- WALLS TO BE REMOVED

DEMOLITION NOTES

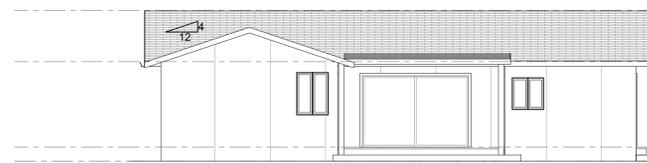
- 1- EXISTING WINDOWS AND DOORS TO BE ROVED
- 2- EXISTING KITCHEN AND BATH FIXTURES TO BE ROVED
- 3- EXISTING WASHER AND DRYER TO BE ROVED
- 4- EXISTING FURNACE AND WATER HEATER TO BE ROVED



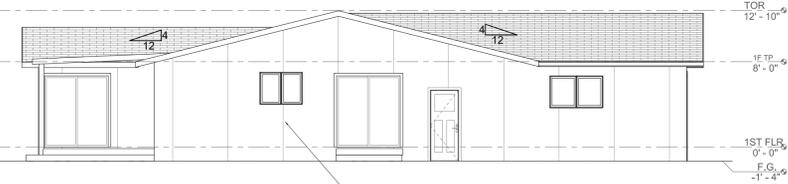
EXISTING FRONT ELEVATION
1/8" = 1'-0"



EXISTING RIGHT SIDE ELEVATION
1/8" = 1'-0"



EXISTING REAR ELEVATION
1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION
1/8" = 1'-0"

NEW DWELLING USING PORTIONS
OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
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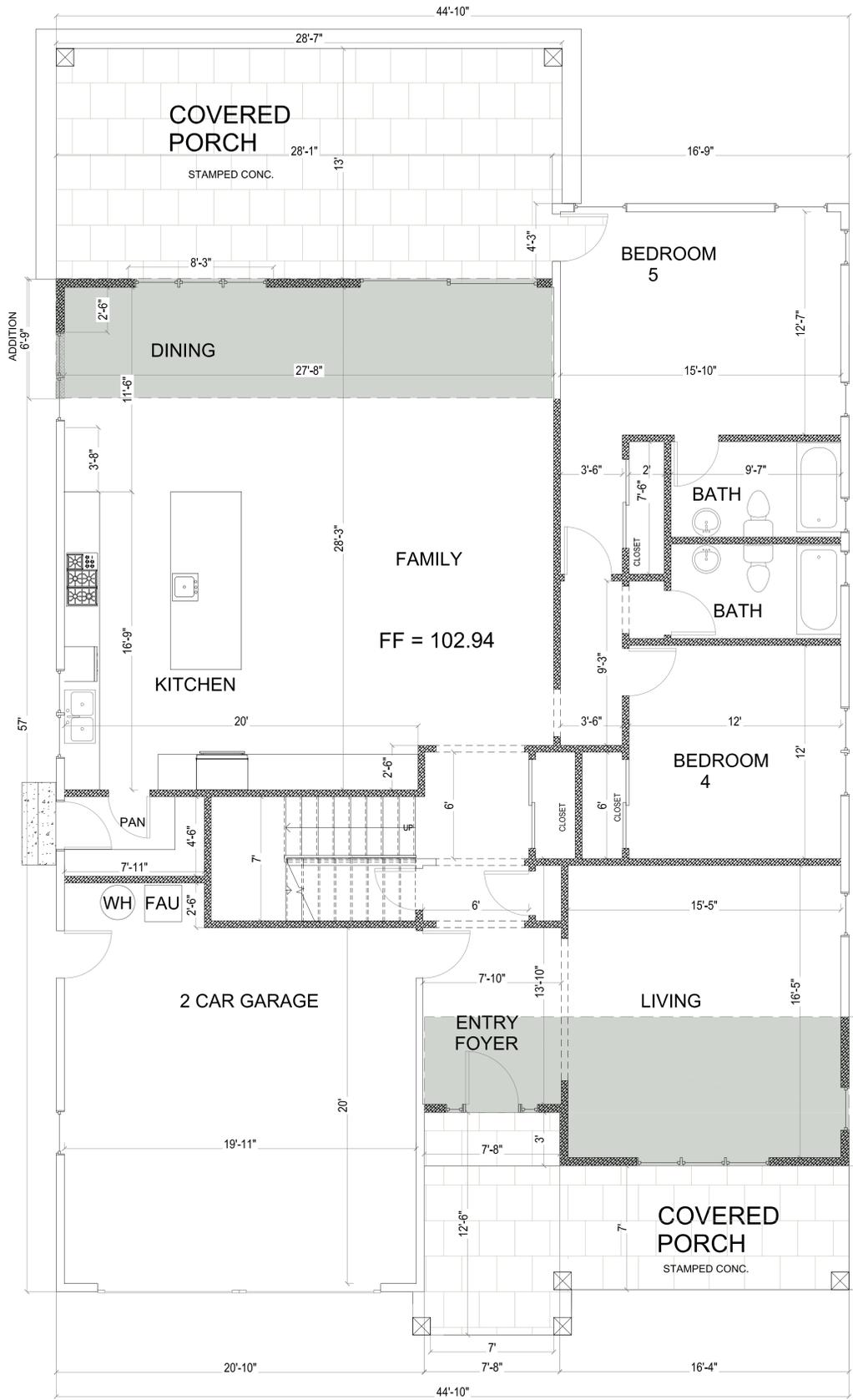
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PLANNING & DESIGN
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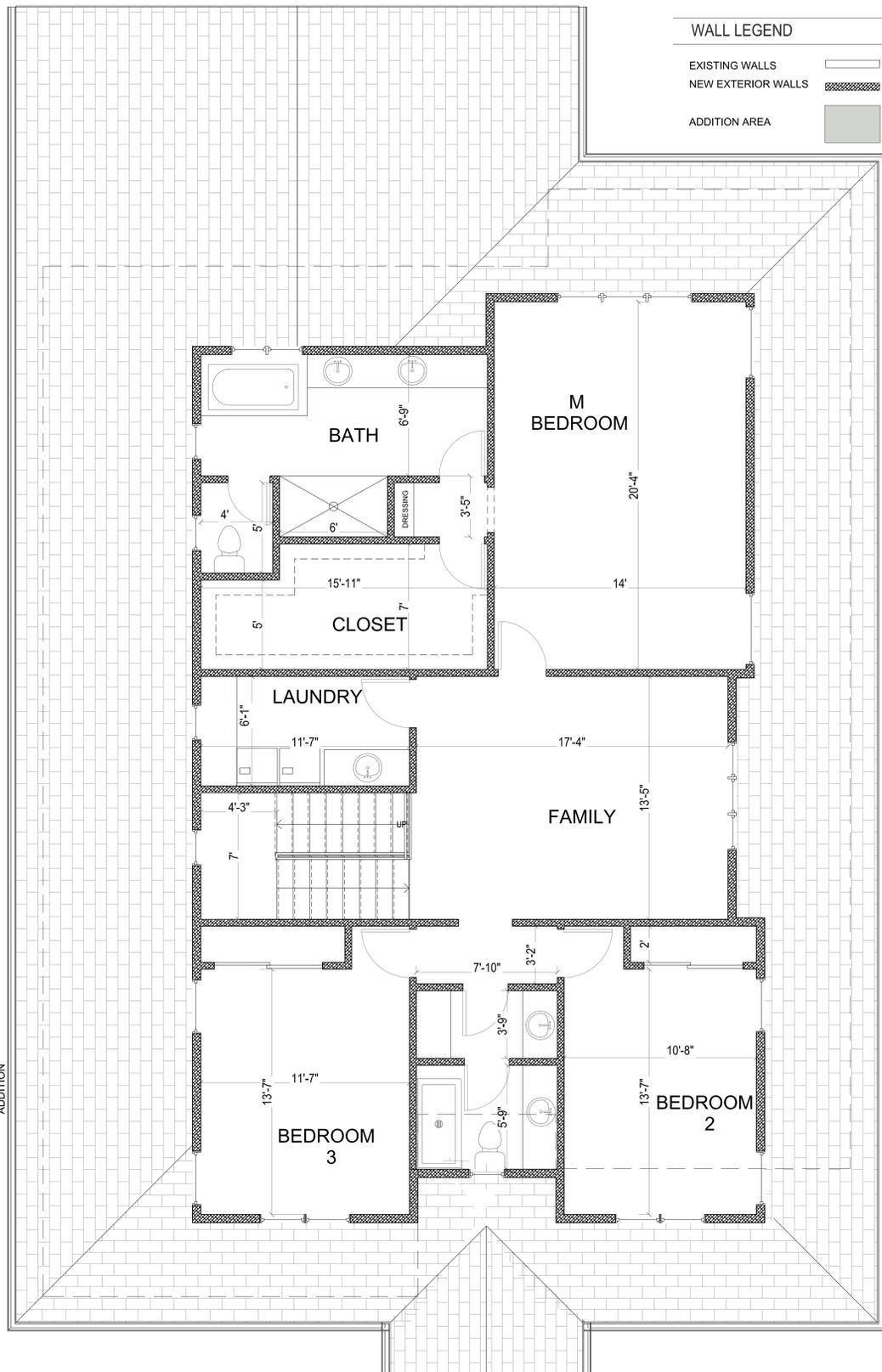
FAHED HABAYEB
ASSOC. AIA
AUG 8 2022

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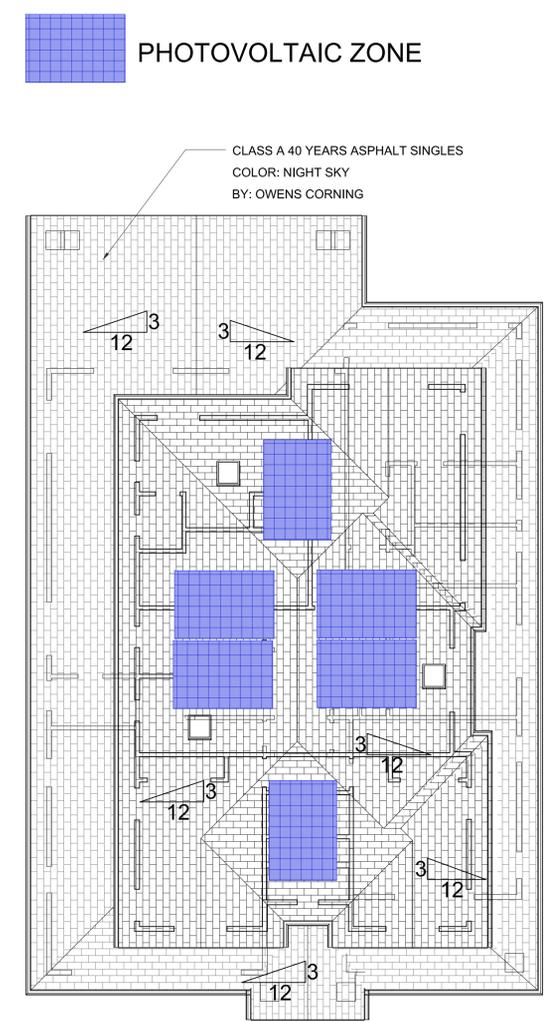
NEW 1ST FLOOR PLAN

1/4" = 1'-0"



NEW 2ND FLOOR PLAN

1/4" = 1'-0"



NEW ROOF PLAN

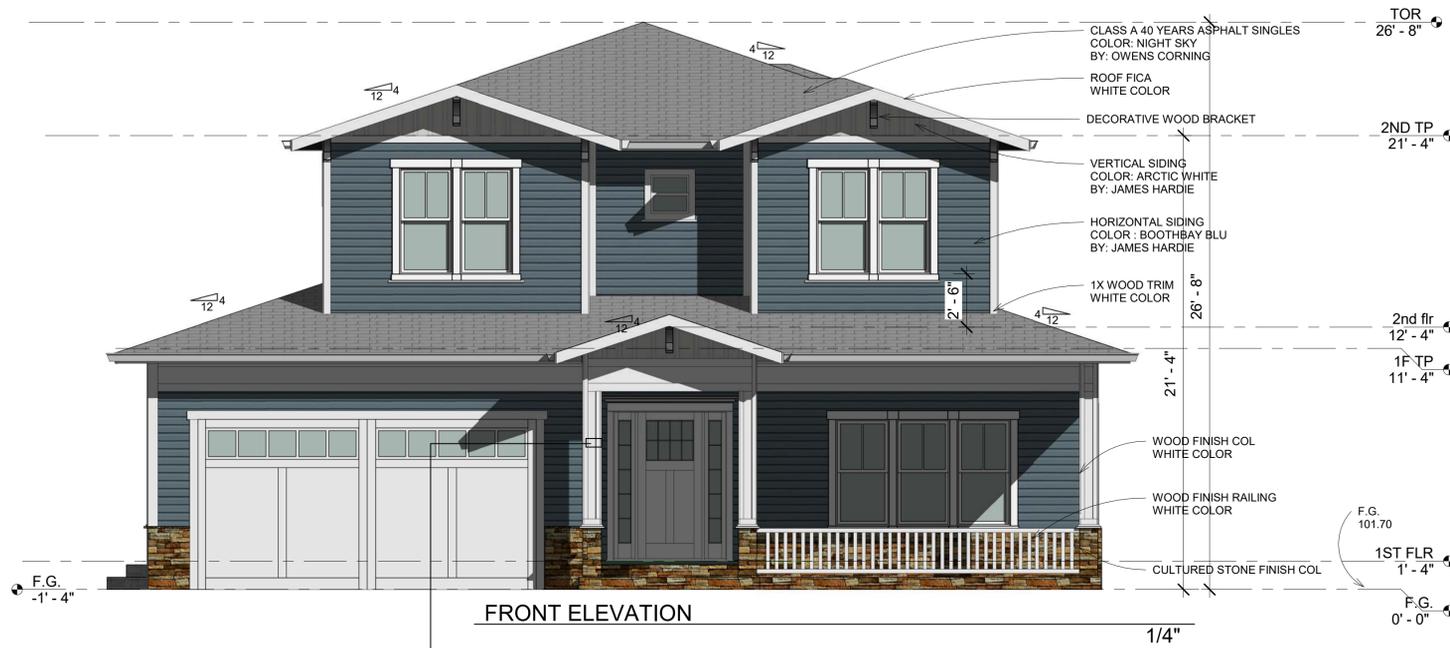
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NEW DWELLING USING PORTIONS
OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008

NO. DATE ISSUE

NEW PLANS

JOB NO. 0222
SCALE AS NOTED
DRAWN BY FH
SHEET NO.



BUILDING ADDRESS NOTE:
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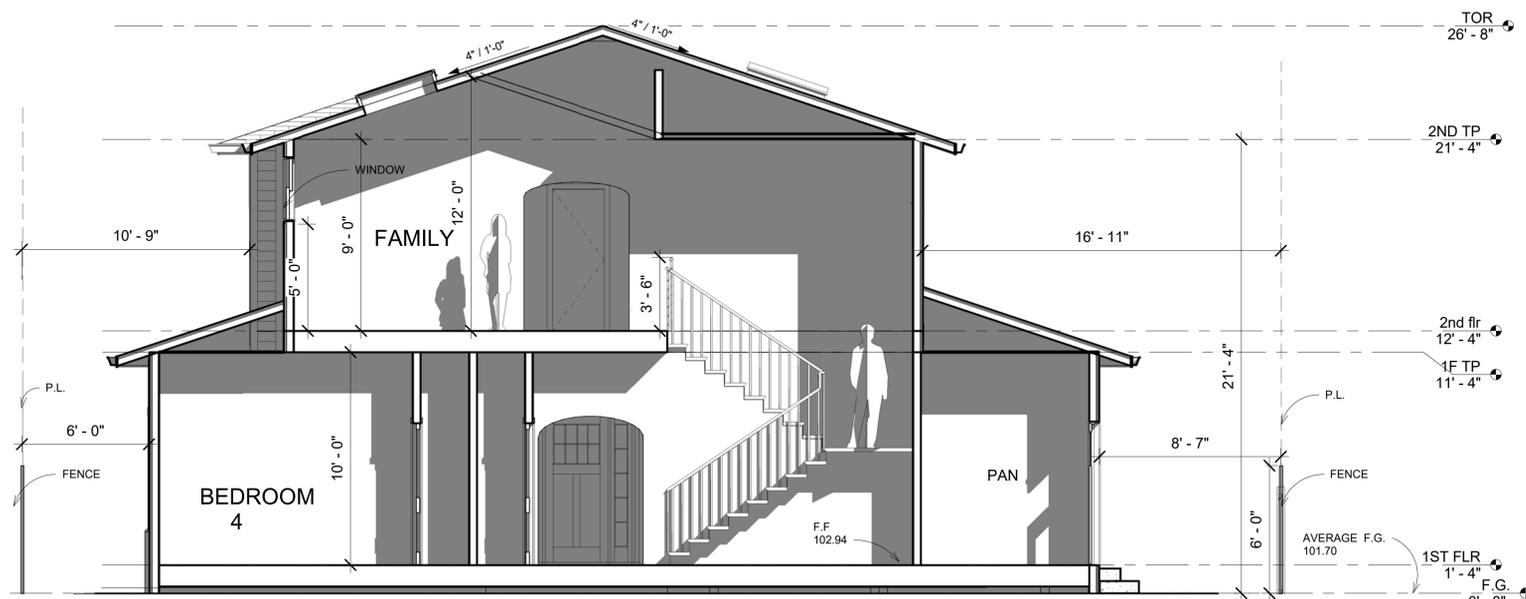
Assoc. AIA

2 STORY ADDITION
1614 HACIENDA AVE
CAMPBELL, CA.

EXTERIOR ELEVATION

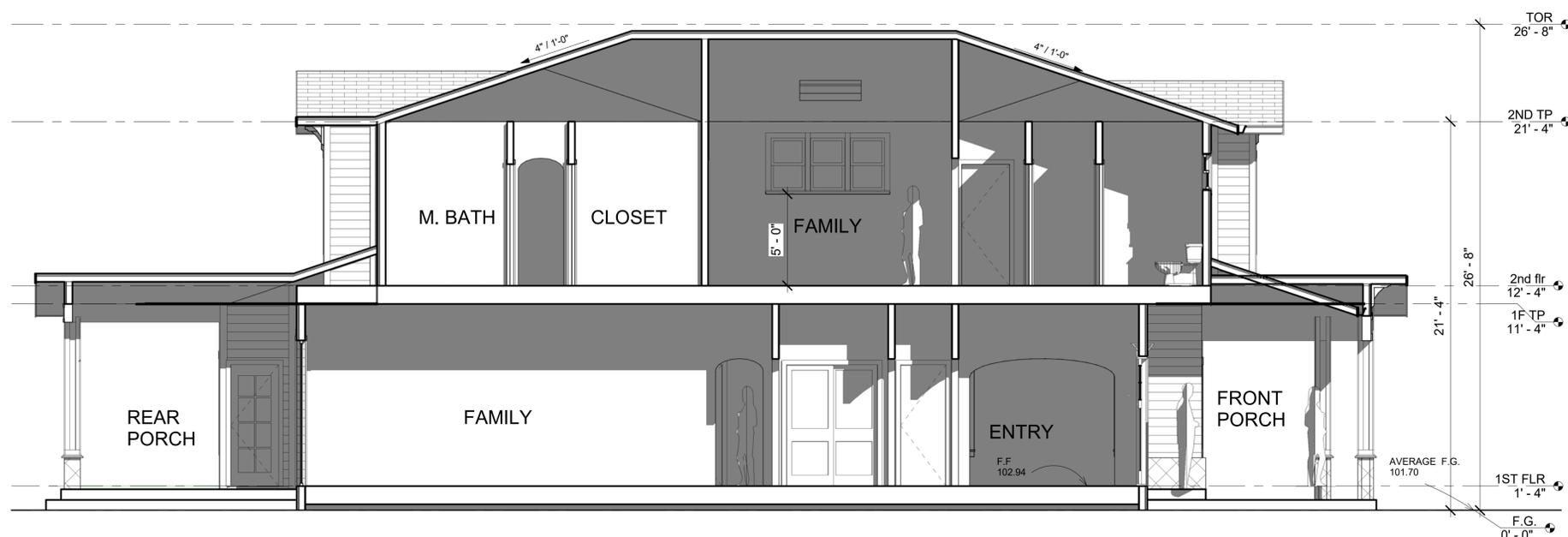
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A2



CROSS SECTION

1/4"



CROSS SECTION

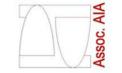
1/4"

2 STORY ADDITION
1614 HACIENDA AVE
CAMPBELL, CA.

CROSS SECTIONS

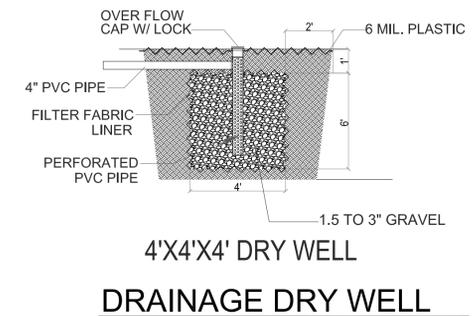
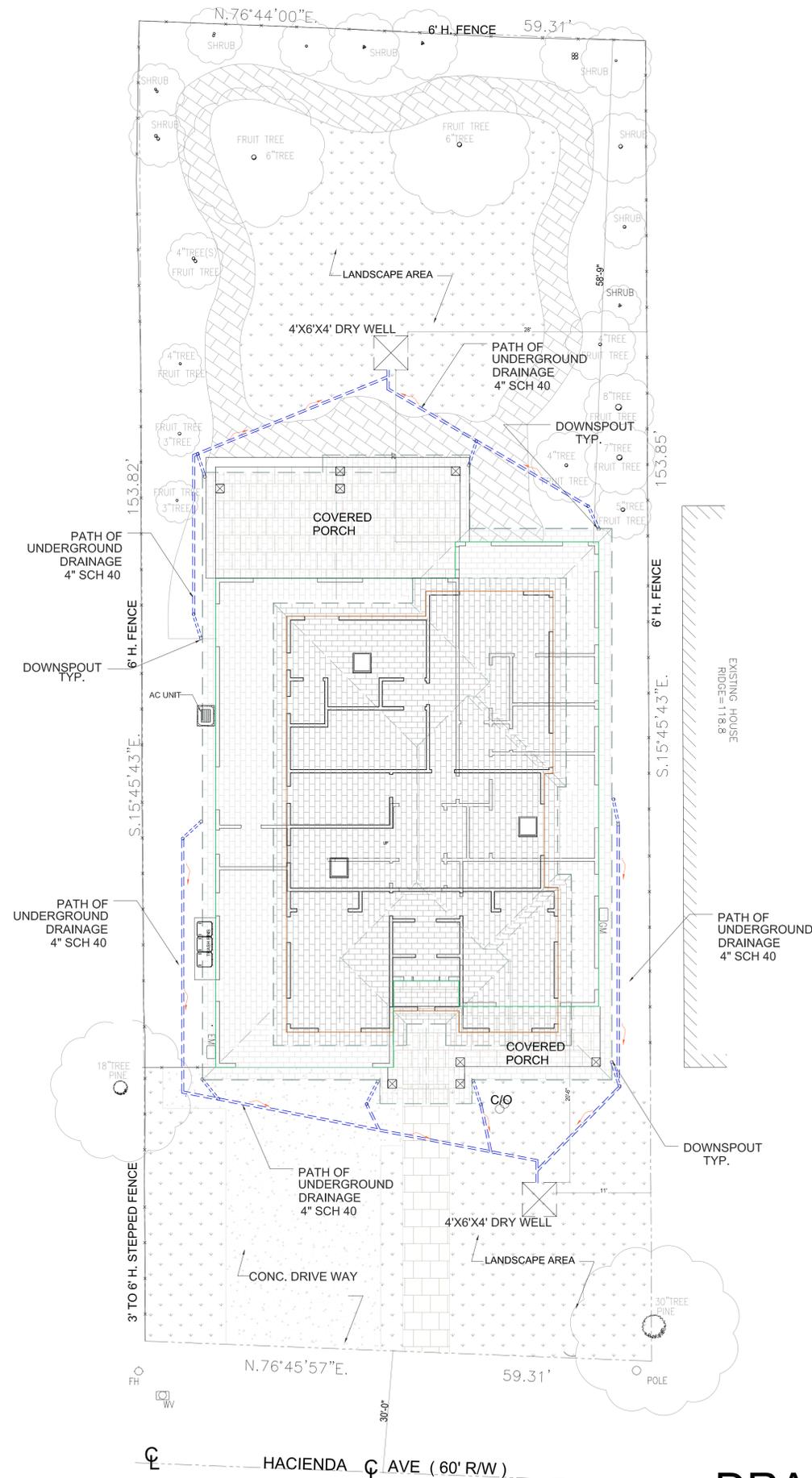
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 DRAWN BY FH
 SHEET NO.

A3



2 STORY ADDITION
1614 HACIENDA AVE
CAMPBELL, CA.

JOB NO. 0222
 SCALE AS NOTED
 DRAWN BY FH
 SHEET NO.



**4'X4'X4' DRY WELL
DRAINAGE DRY WELL**

DRAINAGE PLAN

1/8" = 1'-0"

NEW DWELLING USING PORTIONS
OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008

NO.	DATE	ISSUE

DRAINAGE PLAN

JOB NO. 0222
SCALE AS NOTED
DRAWN BY FH
SHEET NO.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filed out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 45.3 (SAN JOSE)

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	
Regular Landscape Areas								
LOW WATER USE	0.3	DRIP	0.81	0.37	475	175.93	4941.06	
MEDIUM WATER	0.6	DRIP	0.81	0.74	414	306.67	8613.04	
					Totals	(A) 889	(B) 48259	
Special Landscape Areas								
					Totals	(C)	(D)	
							ETWU Total	13554.10
							Maximum Allowed Water Allowance (MAWA) ^e	13732.65

^aHydrozone #/Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

^bIrrigation Method
overhead spray
or drip

^cIrrigation Efficiency
0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	(B) 482.59
Total Area	(A) 889
Average ETAF	B ÷ A 0.54

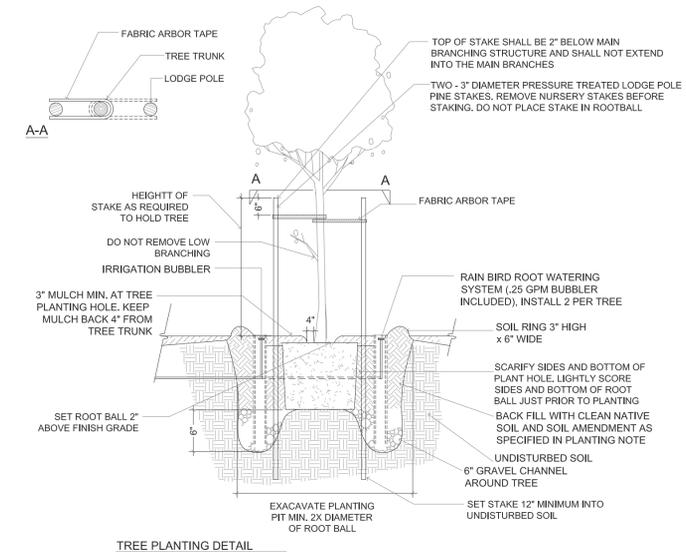
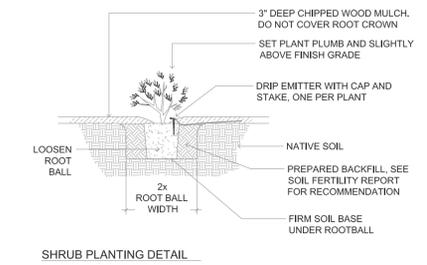
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETAF x Area	(B+D) 482.59
Total Area	(A+C) 889
Sitewide ETAF	(B+D) ÷ (A+C) 0.54



PLANTING LIST

SYMBOL	BOTANICAL NAME - COMMON NAME	SIZE	WUCOLS	Mature Size (HxW)
TREE				
T1	Lagerstroemia 'Muskogee' - Crape Myrtle (Multi-Form)	15 gal	L	25' x 20'
SHRUBS				
Ac	Acacia 'Cousin Itt' - Cousin Itt Acacia	5 gal	L	2'x4'
a	Agapanthus 'Peter Pan' - Dwarf Lily-of-the-Nile	1 gal	M	2'x2'
b	Buxus japonica 'Green Beauty' - Boxwood	1 gal	M	2'x2'
Bt	Berberis thunbergia 'Cherry Bomb' - Berberis	5 gal	M	3'x3'
Ce	Ceanothus 'Anchor Bay' - Wild Lilac	5 gal	L	2'x6'
Ga	Gardenia augusta 'Veitchii' - Gardenia	5 gal	M	3'x3'
Do	Daphne odora 'Marginata' - Winter Daphne	5 gal	L	4'x4'
E	Euonymus j. 'Chollipo' - Chollipo Euonymus	5 gal	L	8'x3'
Hi	Hibiscus syriacus 'Pink Chiffon' - Rose of Sharon	5 gal	M	4'x4'
Hq	Hydrangea quercifolia - Oakleaf Hydrangea	5 gal	M	5'x5'
Na	Nandina domestica 'Gulf Stream' - Nandina	5 gal	L	3'x3'
Pi	Pittosporum tobira 'Cream de Mint' - Tobira	5 gal	L	2'x2'
PG	Pittosporum tenuifolium 'Golf Ball' - Golf Ball Pittosporum	5 gal	M	4'x4'
R	Rose Bush by owner	5 gal	M	3'x3'
Rs	Rosmarinus officinalis 'Arp' - Rosemary	1 gal	L	3'x4'
Sr	Solanum rantonnetii - Blue Potato Vine	5 gal	M	6'x6'



Vision Landscaping, Inc.
 17745 Laurel Rd.
 Morgan Hill, CA 95037

NEW DWELLING USING PORTIONS
 OF THE ORIGINAL STRUCTURE
 2 STORY ADDITION
 1614 W HACIENDA AVE.
 CAMPBELL, CA. 95008

NO.	DATE	ISSUE

LANDSCAPE PLAN

 SCALE AS NOTED
 SHEET NO. **L1**
 1/8" = 1'-0"



CLASS A 40 YEARS ASPHALT SINGLES
COLOR: NIGHT SKY
BY: OWENS CORNING



VERTICAL SIDING
COLOR: ARCTIC WHITE
BY: JAMES HARDIE



HORIZONTAL SIDING
COLOR : BOOTHBAY BLU
BY: JAMES HARDIE



GARAGE DOOR
STYLE: CRAFTSMAN
BY: CLOPAYDOOR



CULTURED STONE



FRONT DOOR
STYLE: CRAFTSMAN
BY: JELD-WEN



WINDOWS
STYLE: CRAFTSMAN
BY: PELLA WINDOWS



1X WOOD TRIM WHITE COLOR

NEW DWELLING USING PORTIONS
OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008

NO.	DATE	ISSUE

**PROJECT
COLOR & MATERIALS**

JOB NO.	0222
SCALE	AS NOTED
DRAWN BY	FH
SHEET NO.	



FRONT



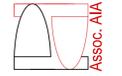
RIGHT SIDE



REAR



LEFT SIDE



FAHED HABAYEB
 MAY 20 2012

NEW DWELLING USING PORTIONS
 OF THE ORIGINAL STRUCTURE
 2 STORY ADDITION
 1614 W HACIENDA AVE.
 CAMPBELL, CA. 95008

NO.	DATE	ISSUE

EXIST 4 SIDE BUILDING PHOTOS

JOB NO. 0222
 SCALE AS NOTED
 DRAWN BY FH
 SHEET NO.

BP