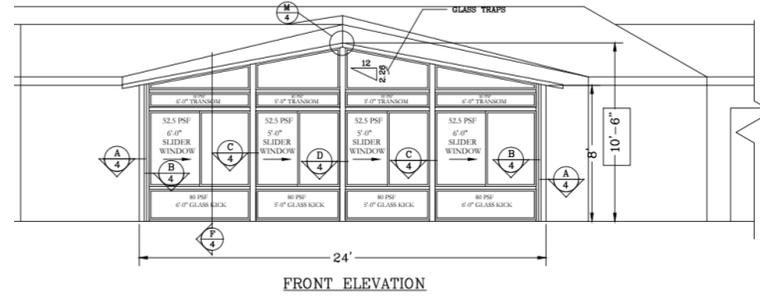


Location of Proposed Project



Project Image



City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Notice of Decision on Proposed Project

Dear Campbell Resident,

August 31, 2022

The Community Development Director will be rendering a decision on the following project.

Project Address: 502 Sobrato Drive

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): San Tomas Area Community Coalition (STACC)

File No.: PLN-2022-89

APN: 406-25-070

Applicant: Vincent Muccilli

Property Owner: Pham-Tien Trust

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow the construction of a 192 square-foot attached enclosed patio to an existing single-family dwelling.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision

The ten-day comment period for this application begins on **September 2, 2022**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before **5:00 p.m. on September 11, 2022**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, CA 95008, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell Ca 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



GENERAL NOTES

- A. WOOD:**
 ALL LUMBER ON OR BELOW GRADE, WITHIN 18" OF FINISHED GRADE SHALL, OR DIRECTLY BEARING ON CONCRETE OR MASONRY SHALL BE ACQ PRESSURE TREATED DOUGLAS FIR #2 GRADE PER SECTION R323
 ALL LUMBER ABOVE GRADE (NON-DECKING) SHALL BE DOUGLAS FIR #2 GRADE
 ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 GRADE OR EQUIVALENT
 WOOD STRUCTURAL PANELS SHALL BE 1/2" MIN. THICKNESS, EXPOSURE 1 STRUCTURAL SHEATHING
 ROOF SHEATHING SHALL BE A MINIMUM OF 1/2" EXTERIOR PLYWOOD OR BETTER
 PROVIDE DIELECTRIC SEPARATION FOR ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH PRESSURE TREATED WOOD
 SOIL BEARING PRESSURE SHALL BE ASSUMED TO BE A MINIMUM OF 1500 PSF
- WARNING:** DRILLING, SAWING, SANDING OR MACHINING WOOD PRODUCTS GENERATES WOOD DUST, A SUBSTANCE KNOWN TO CAUSE CANCER. AVOID INHALING WOOD DUST, OR USE A DUST MASK OR OTHER SAFEGUARDS FOR PERSONAL PROTECTION.
- B. CONCRETE:**
 ALL CONCRETE GRADE BEAMS AND FOOTING SHALL BE 2500 PSI MIN, 12"x12" DIMENSIONS
 ALL CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MIN., 4" MIN. THICKNESS
 ALL SLABS ON GRADE SHALL BE 4" THICK WITH 6 MIL VAPOR BARRIER
 REBAR MAT TO BE #3 AT 18" O.C. EACH WAY AND SHALL BE 2" BELOW SLAB GRADE SURFACE
 ALL REINFORCING SHALL BE GRADE 50 (50 KSI MIN.) DEFORMED BARS, #3 BARS MAY BE GRADE 40
 ALL OVER POUR CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MIN., 2" MIN. THICKNESS
 SOIL BEARING PRESSURE SHALL BE ASSUMED TO BE A MINIMUM OF 1500 PSF
- C. ALUMINUM**
 ALL STRUCTURAL ALUMINUM CONFORMS TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY AND TEMPER EXCEPT AS NOTED BELOW:
 ALL CLIPS ARE 6063-T5
 12 RIDGE BEAM IS 6063-T6
 CORNER COLUMN IS 6063-T6
 H-COLUMN IS 6105-T5
 ALL STRUCTURAL ALUMINUM WORK CONFORMS TO "PART I-A - SPECIFICATIONS FOR ALUMINUM STRUCTURES - ALLOWABLE STRESS DESIGN" OF THE ALUMINUM ASSOCIATION, INC. SEVENTH EDITION, EFFECTIVE JANUARY 2000
 IN ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH STEEL, OR PRESSURE TREATED LUMBER PROVIDE DIELECTRIC SEPARATION
 ALL ALUMINUM MUST NOT HAVE DIRECT CONTACT WITH CONCRETE.
 ALL FLASHING SHALL BE CORROSION RESISTANT IN ALL AREAS IN ACCORDANCE WITH SECTION R905.2.8
- D. GLASS**
 GLASS UNITS CONSISTS OF TWO PANES OF 1/8" THICK TEMPERED GLASS WITH A 5/8" STAINLESS STEEL SPACER BETWEEN PANES WITH AN ARGON FILL PER SECTION 308
 GLASS CONFORMS TO ASTM E1300.
 ALL CLEAR ARGON ROOF GLASS HAS THE FOLLOWING MINIMUM PROPERTIES: *
 ASHRAE WINTER U VALUE = .25
 ASHRAE WINTER R VALUE = 4.0
 *AS PER FOUR SEASONS SUNROOMS GLASS SPECIFICATIONS
- E. ROOF AND SOLID WALL PANELS**
 ALUMINUM PANEL SKIN IS ALLOY 3105-H14/H25 AND IS 0.024" THICK MIN..
 OSB PANEL SKIN IS 7/16" THICK MIN..
 PANEL CORE FOAM IS PREFORMED EXPANDED POLYSTYRENE BOARD (EPS), WITH A NOMINAL DENSITY OF 1.0 POUNDS PER CUBIC FOOT UNLESS OTHERWISE NOTED
 PANEL COMPONENTS ARE BONDED TOGETHER BY MORAD M-640 SERIES
 THE 4" THICK, 0.024" ALUMINUM SKIN, 1.5PCF FOAM DENSITY PANELS MEET THE CONDITIONS OF ACCEPTANCE COMPLYING WITH UL1715
 PANELS HAVE THE FOLLOWING MINIMUM PROPERTIES:
 3" ALUMINUM SKIN (1.0 PCF FOAM DENSITY): U-VALUE = 0.080; R-VALUE = 12.51
 4" (1.0 PCF FOAM DENSITY)- OSB TOP: U-VALUE = 0.06; R-VALUE = 16.7
- F. SEALANT**
 ALL SEALANT CONFORMS TO TT-S-001543-A, TT-S-002306, ASTM C-920 TYPE S, GRADE NS, CLASS 25.
- G. GASKETS**
 ALL GASKETS ARE CO-EXTRUDED AND ARE NON-MIGRATORY.
- H. FASTENERS**
 LAG BOLTS SHALL CONFORM TO STAINLESS STEEL TYPE 300 18-8, WITH STANDARD FLAT WASHER UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFICS FOR USE WITH ACQ PRESSURE TREATED WOOD
 LAG BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 8x BOLT DIAMETER INTO STRUCTURAL FRAMING (G-42 MIN.)
 LAG BOLTS AND SCREWS INTO WOOD FRAMING SHALL BE PROVIDED WITH PILOT HOLES HAVING A DIAMETER NOT GREATER THAN 70 PERCENT OF THE THREAD DIAMETER OF THE BOLT OR SCREW.
 LAG BOLTS AND SCREWS SHALL BE INSERTED IN PILOT HOLES BY TURNING AND UNDER NO CIRCUMSTANCES BY DRIVING WITH A HAMMER.
 HEX BOLTS HAS BE ASTM A325, PLATED WITH STANDARD FLAT WASHERS AND NUTS
 METAL TIES AND ASSOCIATED ACCESSORIES SHALL BE HOT DIPPED GALVANIZED
 FASTENERS CONNECTING ALUMINUM COMPONENTS OR PRESSURE TREATED LUMBER ARE STAINLESS STEEL TYPE 300 18-8 UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFICS FOR USE WITH ACQ PRESSURE TREATED WOOD
 FASTENERS SHALL COMPLY WITH ASTM A153
 CONNECTORS SHALL COMPLY WITH ASTM A653 CLASS G-185
- I. SITE PREPARATION**
 ALL FOUNDATION SYSTEMS MUST BE IN PLACED ON CLEAN, COMPACTED, TERMITES-TREATED FILL/SOIL WITH VAPOR BARRIER
 IF EXISTING FOUNDATION IS TO REMAIN, FOOTING AND SLAB MUST BE VERIFIED AS ADEQUATE PER ENGINEERING DOCUMENTATION
 IF EXISTING FOUNDATION HAS ADEQUATE FOOTING AND SLAB, DRILL (12" O.C.) AND TRENCH WITHOUT UNDERCUTTING FOOTING TO PROVIDE TERMITES-TREATMENT AS REQUIRED. EPOXY PATCH ALL OPENINGS.
- J. REFERENCE STANDARDS:**
 ASTM E 119; ASTM E 1300; ASCE 7
- K. DESIGN LOADS**
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF THE 2019 C.R.C., 2019 C.B.C., 2019 C.P.C., 2019 C.E.C., 2019 C.M.C., 2019 C.F.C., 2019 CALIFORNIA ENERGY CODE, 2018 I.B.C., 2018 I.R.C., AND ASCE 7-16 ALONG WITH ANY OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS
- | | |
|---|---|
| DEAD LOAD:
NEW ENCLOSURE WALLS: 5 PSF
NEW ENCLOSURE ROOF: 5 PSF
FLOOR: 10 PSF | LIVE LOAD:
ROOF: 10 PSF
EXTERIOR DECK, LANDING, STAIRS: 60 PSF
FLOOR: 40 PSF |
| WIND LOAD:
BASIC WIND SPEED: 91 MPH
WIND EXPOSURE CATEGORY: B
VELOCITY PRESSURE EXPOSURE COEFFICIENT: 0.7
DESIGN WIND PRESSURE:
WALL: 16 PSF (MIN.)
ROOF (UPLIFT): 16 PSF (MIN.) | SEISMIC LOAD:
SEISMIC RESPONSE SPECTRAL ACC: S1 = 0.696g; Ss=1.953g
SITE CLASS: D
DESIGN SPECTRAL ACCELERATION PARAMETERS, SDS = 1.2
LATERAL RESISTING SYSTEM: UNIDENTIFIED SPACE FRAME
RESPONSE MODIFICATION COEFFICIENT, R = 1.0 (WORST CASE)
SEISMIC RESPONSE COEFFICIENT, Cs = 1.582 |
- L. RESPONSIBILITY**
 ALUMINUM ENCLOSURES ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME, TRAILER HOME, OR PRE-FAB HOME. IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPARATE SUPPORT SYSTEM MUST BE ENGINEERED SO THAT NO ADDITIONAL LOADING IS PLACED ON THE STRUCTURE.
 ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDINANCES, ETC.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS, NOTIFYING ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS, FABRICATED ITEMS, OR ACTUAL FIELD CONDITIONS.
 THESE DRAWINGS REPRESENT THE ACCEPTABILITY OF THE ENCLOSURE ELEMENTS AS PROVIDED BY THE CONTRACTOR
 ALL DETAILS ON THESE DRAWINGS ARE ENGINEERED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR
 ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY. THESE PLANS REPRESENT THE DESIGN INTENT FOR ITEM LOCATIONS.
 ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR
 ANY DETAILS NOT SHOWN ARE TO BE ENGINEERED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES
 REFER TO FOUR SEASONS SHOP DRAWINGS FOR FURTHER DETAILS

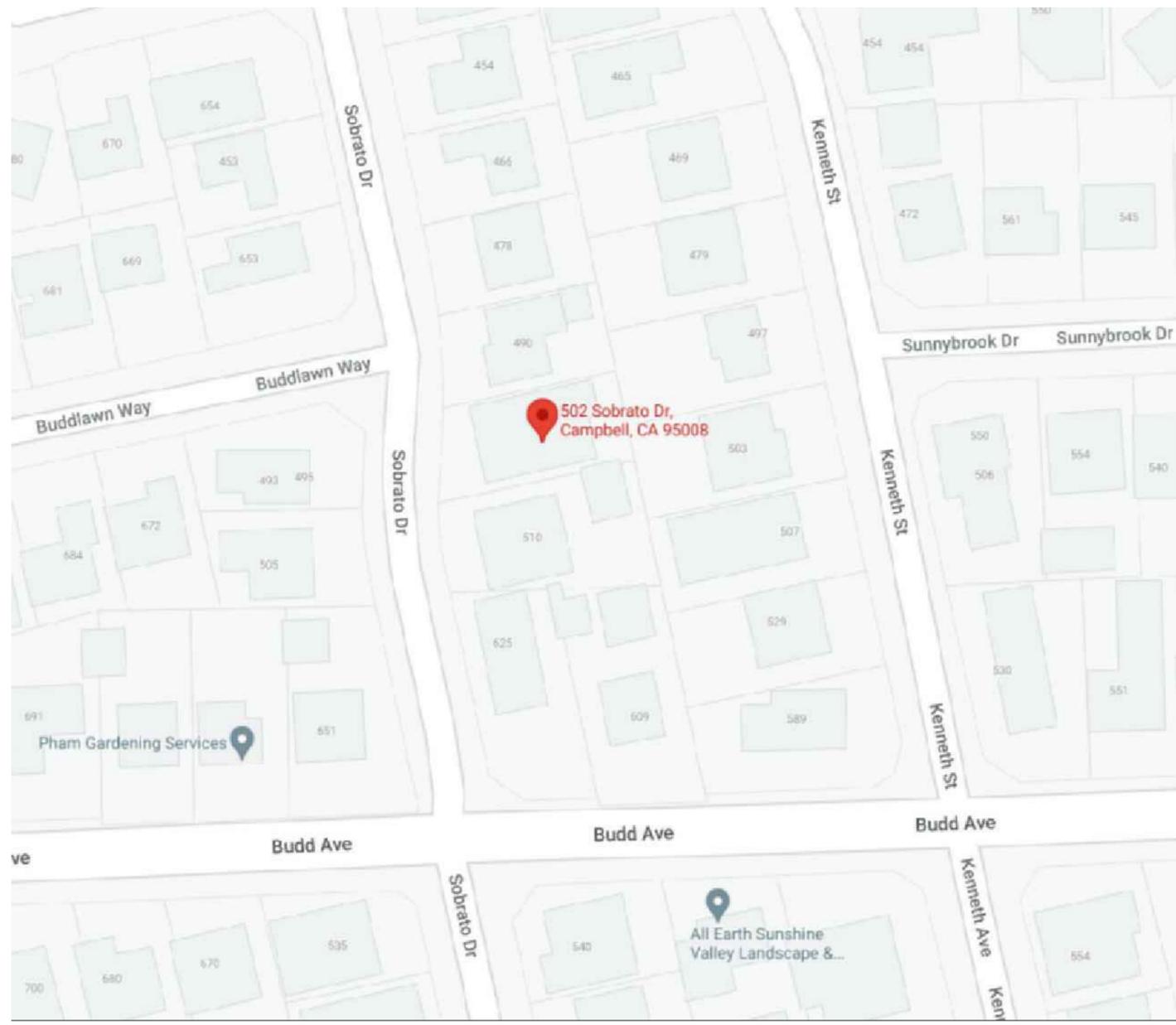
NEW FOUR SEASONS CATEGORY III UNCONDITIONED, UNHABITABLE PATIO ENCLOSURE 230 SERIES CATHEDRAL UNIT CONSTRUCTION TYPE: VB OCCUPANCY GROUP: R-3/U NO FIRE SPRINKLERS EXISTING		
SCOPE OF WORK:		
EXISTING CONCRETE SLAB TO REMAIN INSTALL NEW PATIO ENCLOSURE INSTALL ELECTRICAL OUTLETS, SWITCHES AND LIGHTS		
PROJECT SUMMARY TABLE:		
NET LOT AREA:	7468 SQFT	
	EXISTING	PROPOSED
FLOOR AREA:	2034 SQFT	2226 SQFT (192 NEW)
MISC.:	25 SQFT	25 SQFT
GARAGE:	396 SQFT	396 SQFT
TOTAL FLOOR AREA:	2034 SQFT (27.24%)	2226 SQFT (29.81%)
LOT COVERAGE:	2455 SQFT (32.87%)	2647 SQFT (35.44%)
SETBACKS:		
FRONT 1ST STORY	23 FT 8 IN	23 FT 8 IN
REAR 1ST STORY	13 FT 7 IN	13 FT 7 IN
RIGHT SIDE 1ST STORY	6 FT 0 IN	6 FT 0 IN
LEFT SIDE 1ST STORY	6 FT 3 IN	6 FT 3 IN
SPECIFIC EXTERIOR MATERIALS (COLORS):		
SIDING:	STUCCO (BLUE)	ALUMINUM (BRONZE), GLASS
TRIM:	WOOD (WHITE)	ALUMINUM (BRONZE)
ROOF:	COMP SHINGLES (BROWN)	ALUMINUM PANEL (BRONZE)

APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE AN APPROVAL TO VIOLATE ANY BUILDING CODES, CITY ORDINANCES OR OTHER PERTINENT LAWS. THESE APPROVED PLANS MUST BE MADE AVAILABLE TO THE CHIEF BUILDING OFFICIAL OR ANY OF HIS AUTHORIZED REPRESENTATIVES DURING THE WORK APPROVED BY HIS APPROVAL.

UPON ISSUANCE OF A PERMIT THE PERMITEE AGREES THAT ALL WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE CALIFORNIA CODES AS AMENDED AND ADOPTED BY THE CITY.

SMOKE DETECTOR AND CARBON MONOXIDE ALARMS ARE REQUIRED PER CBC 907.2; CRC 314, CRC 315

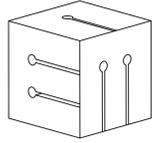
CIVIL CODE SECTION 1101 PLUMBING REQUIREMENTS FOR HOMES CONSTRUCTED PRIOR TO JAN 1 1994 STATES THAT PRIOR TO FINAL INSPECTION, IT IS THE APPLICANT'S RESPONSIBILITY TO REPLACE ALL NON-COMFORMING PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES. NON-COMPLIANT PLUMBING IS: ANY TOILET WHICH USES MORE THAN 1.6GAL PER FLUSH ANY SHOWER WITH A FLOW CAPACITY MORE THAN 2.5GAL PER MINUTE ANY INTERIOR FAUCET WHICH EMITS 2.2GAL PER MINUTE



VICINITY MAP

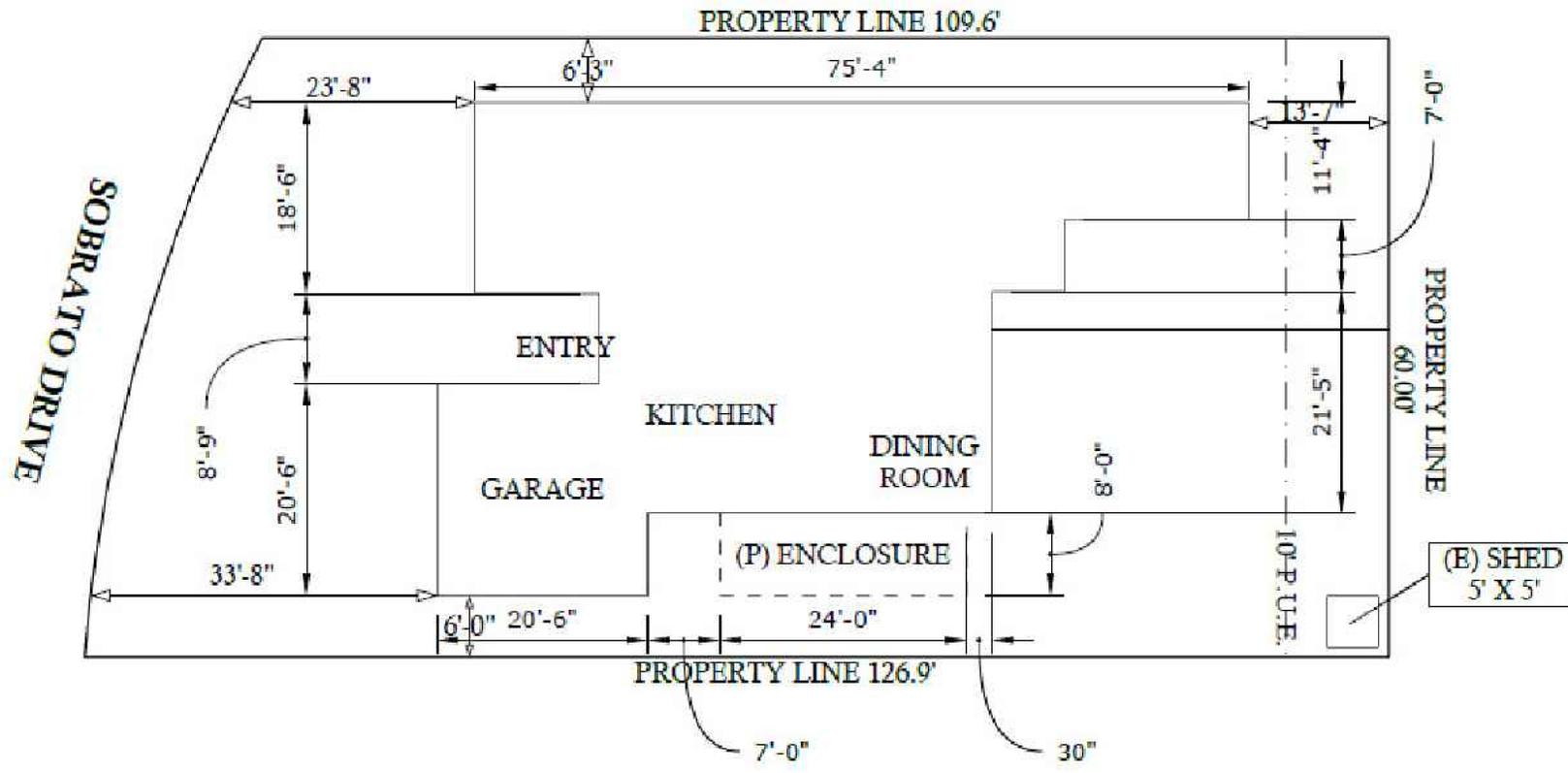
DRAWING INDEX:

- PAGE 1: GENERAL NOTES, JOB SUMMARY, VICINITY MAP
- PAGE 1A: SITE PLAN
- PAGE 1B: FLOOR PLAN
- PAGE 2: FOUNDATION PLAN, FOUNDATION DETAILS, FLOOR PLAN, ELECTRICAL LAYOUT
- PAGE 3: ROOF PLAN, ELEVATIONS
- PAGE 4: ENCLOSURE DETAILS



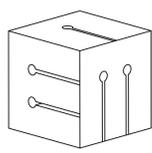
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PHAM RESIDENCE	502 SOBRATO DR. CAMPBELL, CA. 95008 APN NO.: 404-25-070	PHU PHAM	ZEYN UZMAN 116 EAST KING ST. MALVERN, PA. 19355 217.652.6737	LAWRENCE DUFFY EMC2 STRUCTURAL DESIGN 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	DESIGNED BY: ROBERT SHIPSTEAD SIGNATURE:	05-11-22
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						A 07-07-22	





PROPOSED PLOT PLAN

SCALE: 1/8" = 1'

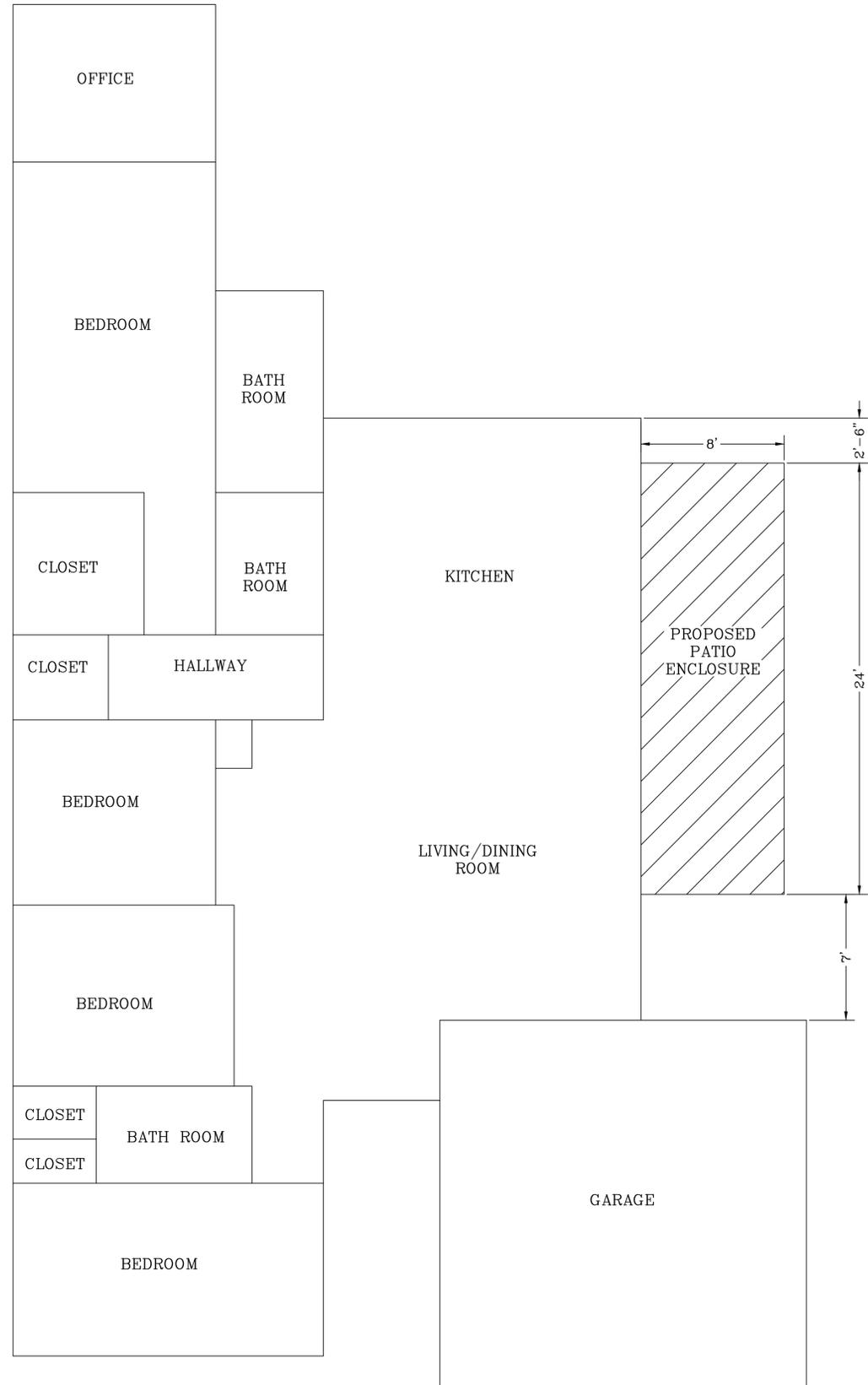


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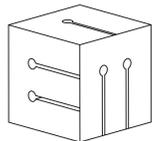
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ALL SCALES SHOWN ARE ACCURATE WHEN PRINTED ON 24" X 36" PAPER SIZE



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'



PROJECT NAME:	PROJECT ADDRESS:	HOMEOWNER:	PROFESSIONAL ENGINEER	DESIGN FIRM	CONTRACTOR:	DESIGN DATE:	PAGE
PHAM RESIDENCE	502 SOBRATO DR. CAMPBELL, CA. 95008 APN NO.: 404-25-070	PHU PHAM	ZEYN UZMAN 116 EAST KING ST. MALVERN, PA. 19355 217.652.6737	LAWRENCE DUFFY EMC2 STRUCTURAL DESIGN 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	DESIGNED BY: ROBERT SHIPSTEAD SIGNATURE:	05-11-22
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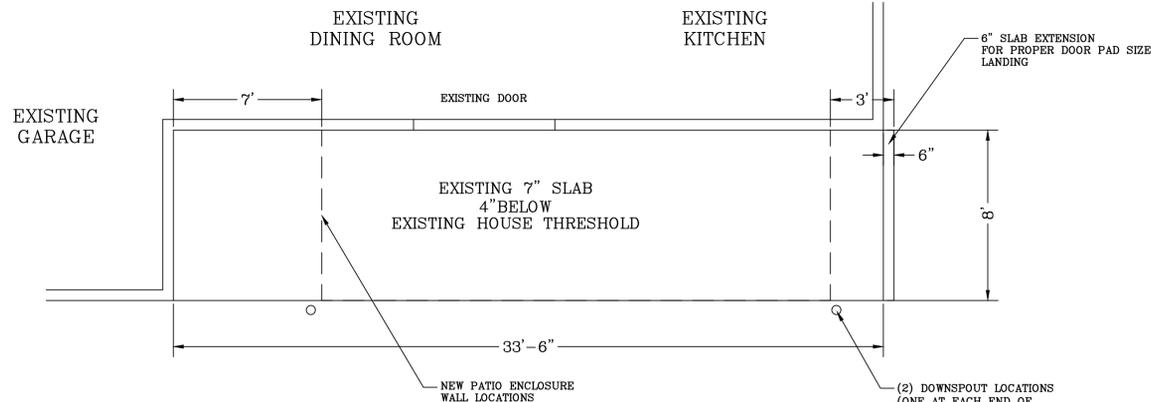
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NEW FOUR SEASONS CATEGORY III
 UNCONDITIONED, UNHABITABLE PATIO ENCLOSURE
 230 SERIES CATHEDRAL UNIT
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: R-3/U
 NO FIRE SPRINKLERS EXISTING

EXISTING HOUSE AND
 OPENINGS TO REMAIN



SCALE:
 1/4" = 1'

ALL CONDITIONS/DIMENSIONS
 TO BE VERIFIED IN THE FIELD

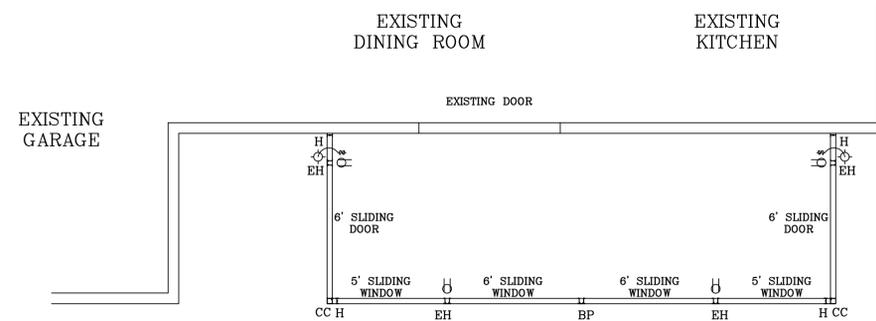
FOUNDATION
 PLAN

DECK SHALL BE BUILT AT 1" BELOW THRESHOLD
 APPROXIMATELY 12" ABOVE GRADE

(2) DOWNSPOUT LOCATIONS
 (ONE AT EACH END OF
 ENCLOSURE FRONT WALL)
 WITH SPLASH BLOCKS BELOW
 SLOPE DRAINAGE OF 5% FOR
 A DISTANCE OF 10' FROM THE
 ENCLOSURE.
 NO PHYSICAL OBSTRUCTIONS
 ARE IN THE WAY
 DRAINAGE TO FOLLOW
 EXISTING DRAINAGE

NEW RAINWATER DOWNSPOUTS
 SHALL BE DISCONNECTED AND
 RUNOFF DIRECTED TO A
 LANDSCAPED AREA.
 DOWNSPOUTS MAY BE
 CONNECTED TO A POP-UP
 DRAINAGE EMITTER IN THE
 LANDSCAPED AREA OR MAY
 DRAIN TO SPLASH BLOCKS OR
 COBBLESTONES THAT DIRECT
 WATER AWAY FROM THE
 BUILDING. "THRU-CURB"
 DRAINS ARE NOT ALLOWED.

EXISTING HOUSE AND
 OPENINGS TO REMAIN



ALL CONDITIONS/DIMENSIONS
 TO BE VERIFIED IN THE FIELD

SCALE:
 1/4" = 1'

FLOOR PLAN
 AND
 ELECTRICAL PLAN

NOTES:

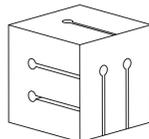
- 1.- THIS ELECTRICAL LAYOUT HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF THE 2019 CALIFORNIA ELECTRICAL CODE AND 2017/2020 NEC
- 2.- ALL ELECTRICAL CONDUCTOR MATERIAL SHALL BE COPPER PER DCMC15.24.100
- 3.- ALL CIRCUITS AND RECEPTACLES MUST BE GFCI RATED
- 4.- ALL OUTLETS MUST BE TAMPER RESISTANT, WATERPROOF, AFCI AND GFCI
- 5.- ALL EXTERIOR RECEPTACLES MUST ALSO HAVE A WEATHERPROOF COVER
- 6.- ALL LIGHTING MUST BE FLORESCENT HIGH-EFFICACY LUMINARIES OR NEW STYLE LEDS
- 7.- OUTDOOR LIGHTING MUST BE PERMANENTLY MOUNTED TO THE SUNROOM
8. ALL EXTERIOR LIGHTING TO BE WEATHER PROTECTED
9. INSPECTOR TO VERIFY NEW OR EXISTING SMOKE DETECTORS ARE PROVIDED IN EACH SLEEPING AREA, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND HARD-WIRED WITH BATTERY BACKUP WHERE THERE IS ACCESS FOR WIRING
10. INSPECTOR TO VERIFY NEW OR EXISTING CARBON MONOXIDE ALARMS OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF EACH BEDROOM, AND ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS AND HARD-WIRED WITH BATTERY BACKUP WHERE THERE IS ACCESS FOR WIRING
11. ALL BRANCH CIRCUITS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION
12. ANY FIXTURE THAT WEIGHS MORE THAN 6 POUNDS OR EXCEEDS 16" IN ANY DIMENSION SHALL NOT BE SUPPORTED BY THE SCREW SHELF OF A LAMP HOLDER. OUTLET BOXES SHALL NOT BE USED AS THE SOLE SUPPORT FOR CEILING (PADDLE) FANS
13. PLUMBING FIXTURES IN THE RESIDENCE WHICH ARE NON-COMPLIANT WITH THE CURRENT FLOW RATES ARE TO BE REPLACED WITH NEW FIXTURES

ELECTRICAL LEGEND

- 110 VOLT FLOOR OUTLET
- LIGHT FIXTURE
- ⌘ SWITCH

MEMBER LEGEND

- H - STANDARD H COLUMN
- EH - ELECTRIC H COLUMN
- CC - CORNER COLUMN
- BP - ELECTRIC H COLUMN WITH POST INSERT



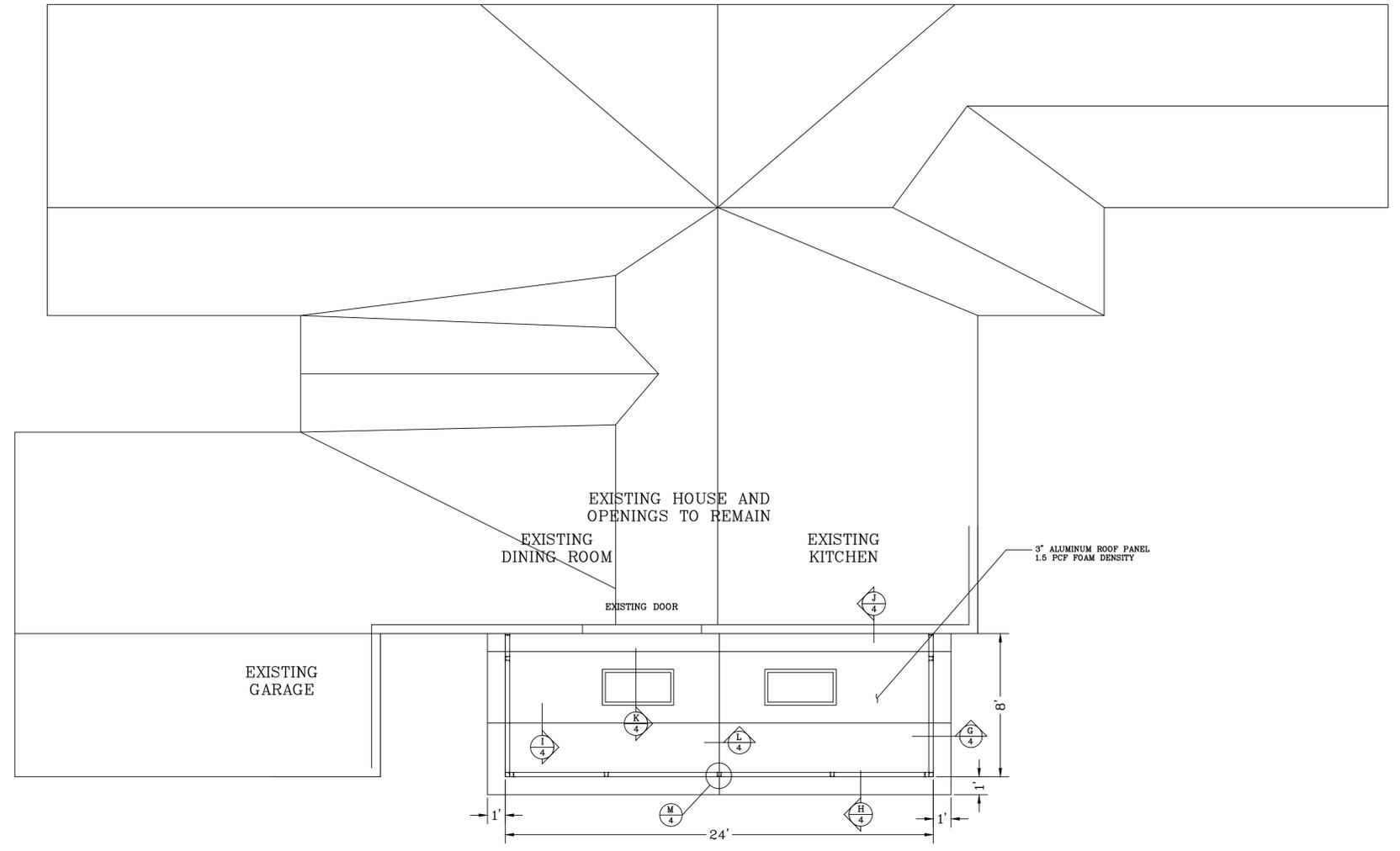
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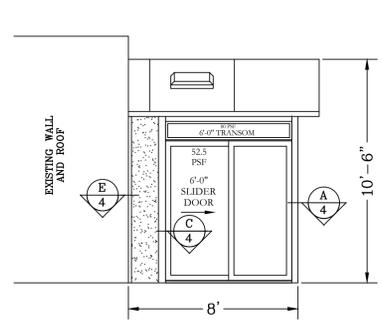
NEW FOUR SEASONS CATEGORY III
 UNCONDITIONED, UNHABITABLE PATIO ENCLOSURE
 230 SERIES CATHEDRAL UNIT
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: R-3/U
 NO FIRE SPRINKLERS EXISTING

- NOTES:**
- 1.-ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD.
 - 2.-ACTUAL FILL MAY DIFFER FROM AMOUNT SHOWN.
 - 3.-ROOM IS TO BE UNHEATED, UNCONDITIONED SPACE
 4. ALL GLAZING TO BE TEMPERED PER GENERAL NOTES ON PAGE 1
 5. PATIO ENCLOSURE SHALL NOT BE USED FOR HABITABLE PURPOSES

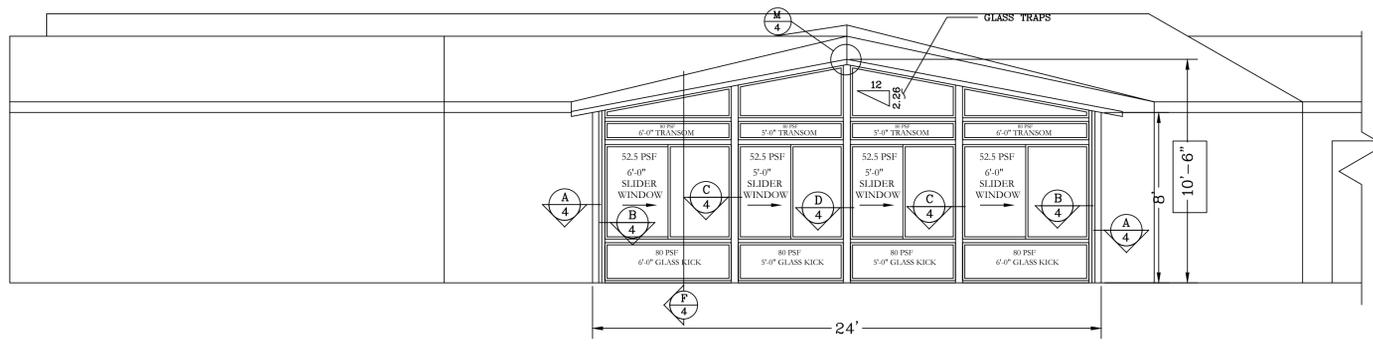
SCALE:
 1/4" = 1'



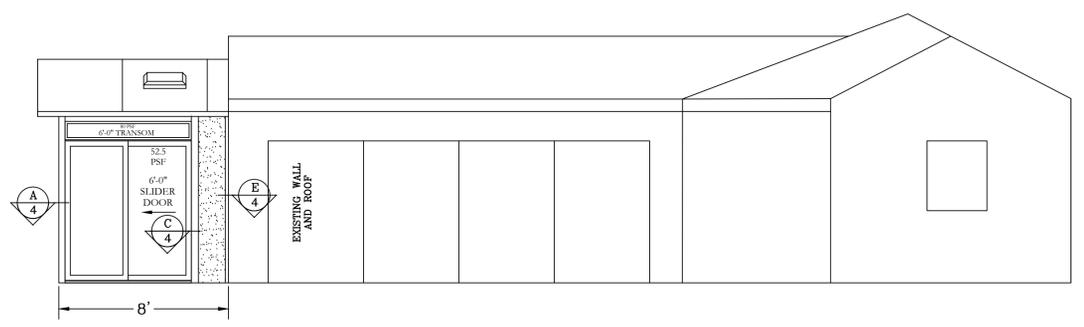
ROOF PLAN VIEW



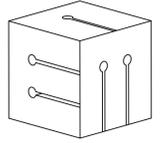
LEFT ELEVATION
 (BEYOND THE GARAGE)



FRONT ELEVATION



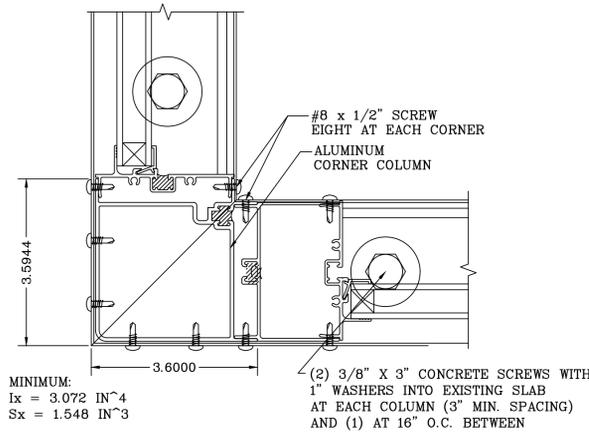
RIGHT ELEVATION



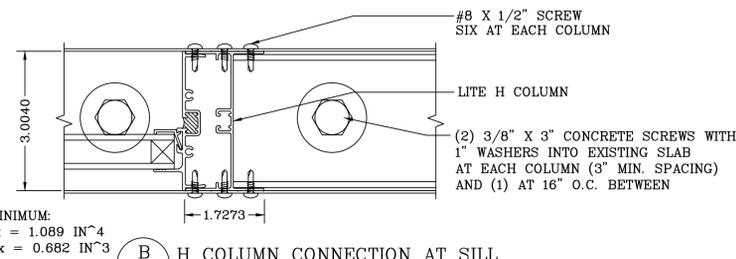
PROJECT NAME:	PROJECT ADDRESS:	HOMEOWNER:	PROFESSIONAL ENGINEER:	DESIGN FIRM:	CONTRACTOR:	DESIGN DATE:	PAGE
PHAM RESIDENCE	502 SOBRATO DR. CAMPBELL, CA. 95008 APN NO.: 404-25-070	PHU PHAM	ZEYN UZMAN 116 EAST KING ST. MALVERN, PA. 19355 217.652.6737	LAWRENCE DUFFY EMC2 STRUCTURAL DESIGN 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	DESIGNED BY: ROBERT SHIPSTEAD SIGNATURE:	05-11-22
						REV. DATE:	3 4
						A 07-07-22	



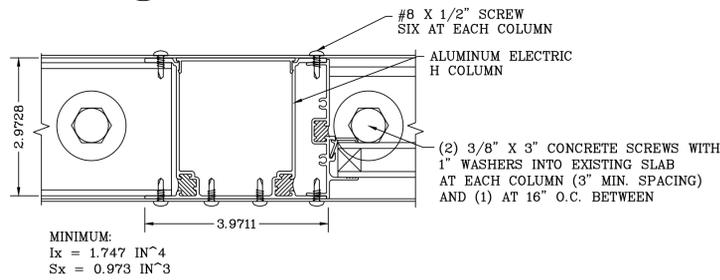
NEW FOUR SEASONS CATEGORY III
UNCONDITIONED, UNHABITABLE PATIO ENCLOSURE
230 SERIES CATHEDRAL UNIT
CONSTRUCTION TYPE: VB
OCCUPANCY GROUP: R-3/U
NO FIRE SPRINKLERS EXISTING



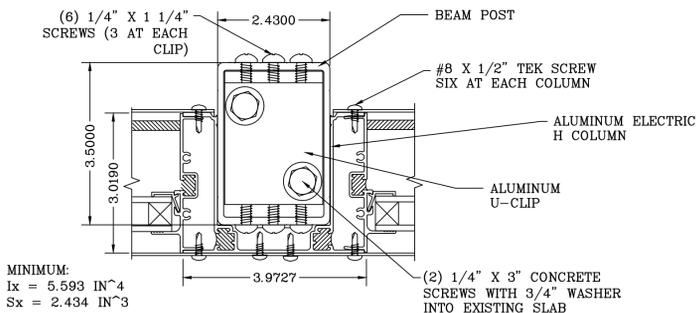
A CORNER POST CONNECTION AT SILL
4 NOT TO SCALE



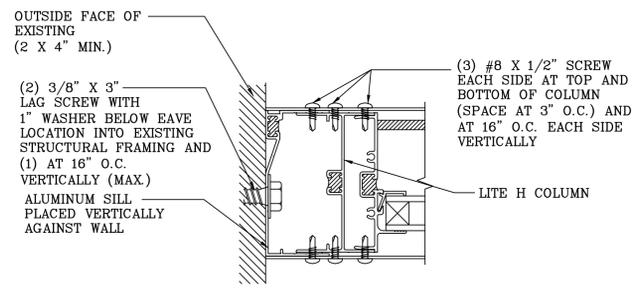
B H COLUMN CONNECTION AT SILL
4 NOT TO SCALE



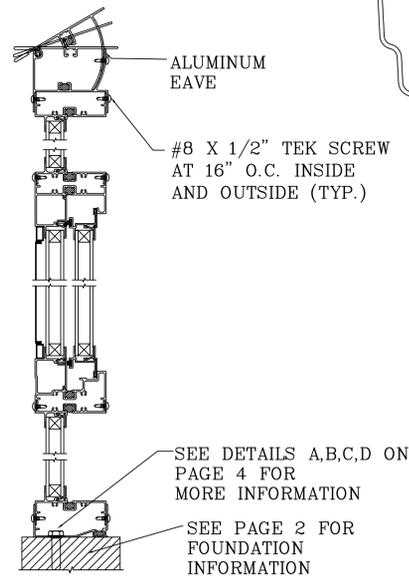
C ELECTRIC/UTILITY H COLUMN CONNECTION AT SILL
4 NOT TO SCALE



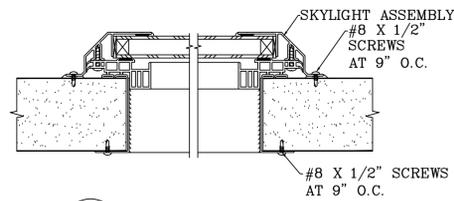
D ELECTRIC/UTILITY H COLUMN WITH POST CONNECTION AT SILL
4 NOT TO SCALE



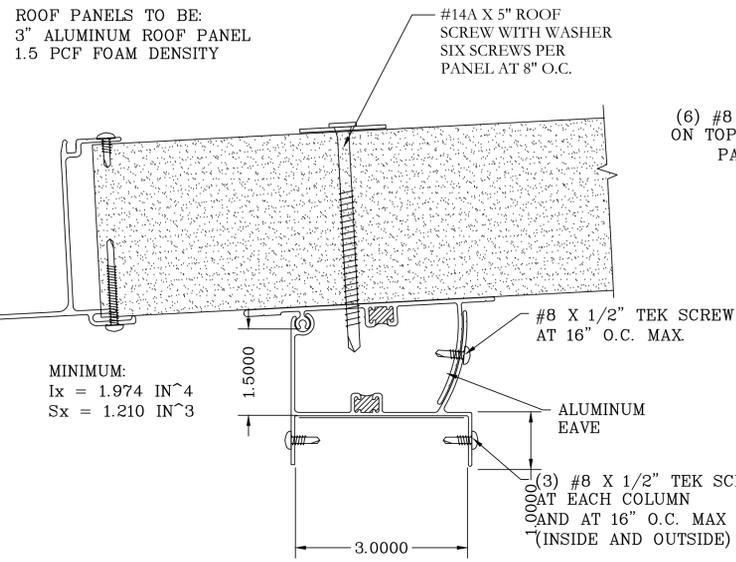
E COLUMN ATTACHMENT TO EXISTING STRUCTURE
4 NOT TO SCALE



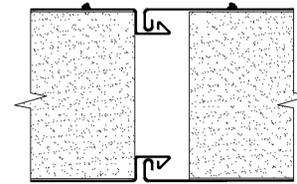
F GLASS KICKS - WINDOW SECTION - GLASS TRANSOMS
4



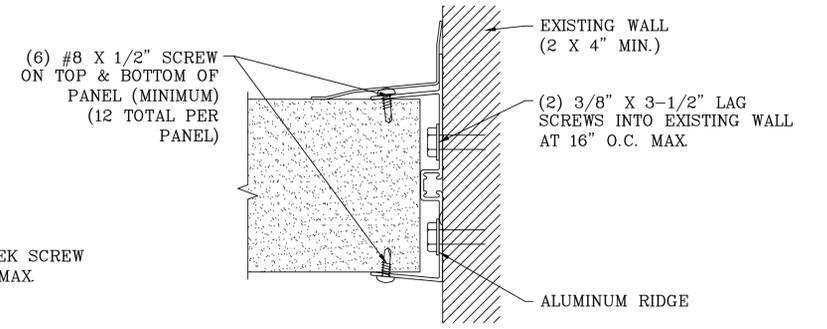
K SKYLIGHT DETAIL
4 NOT TO SCALE



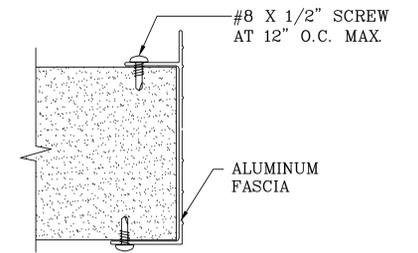
G EAVE & ROOF CONNECTION
4 NOT TO SCALE



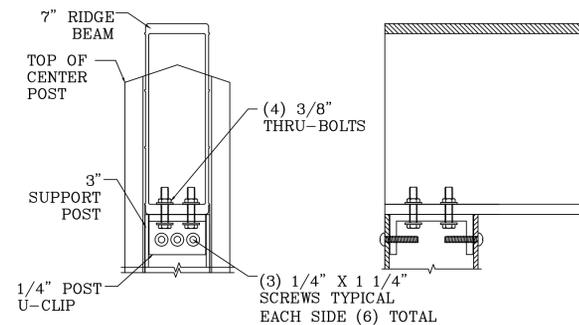
I ROOF PANEL TO ROOF BEAM
4 NOT TO SCALE



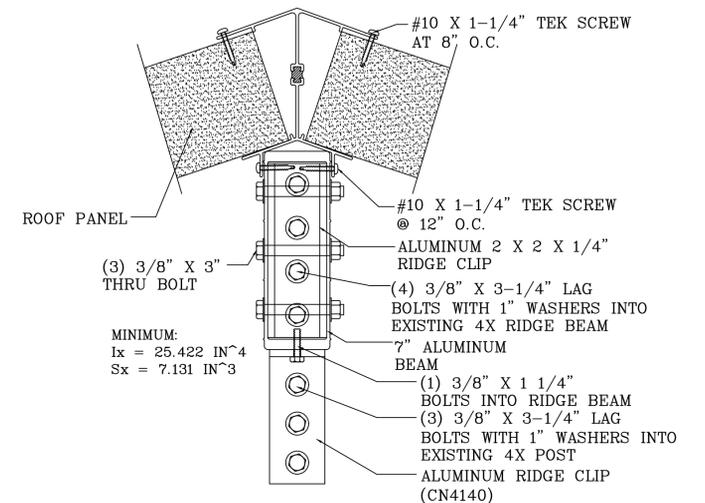
J RIDGE DETAIL
4 NOT TO SCALE



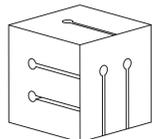
H EAVE FASCIA
4 NOT TO SCALE



M POST TO 7\"/>



L PANEL TO 7\"/>



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