

Location of Proposed Project




 City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Courtesy Notice

Dear Campbell Resident,

October 18, 2022

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 881 Kenneth Ave

Zoning | Area Plan: R-1-10 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2022-133

APN: 404-30-047

Applicant: Augustine Designs

Property Owner: Ravi Vallamdas

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow a 743 square-foot addition to an existing single-family residence.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

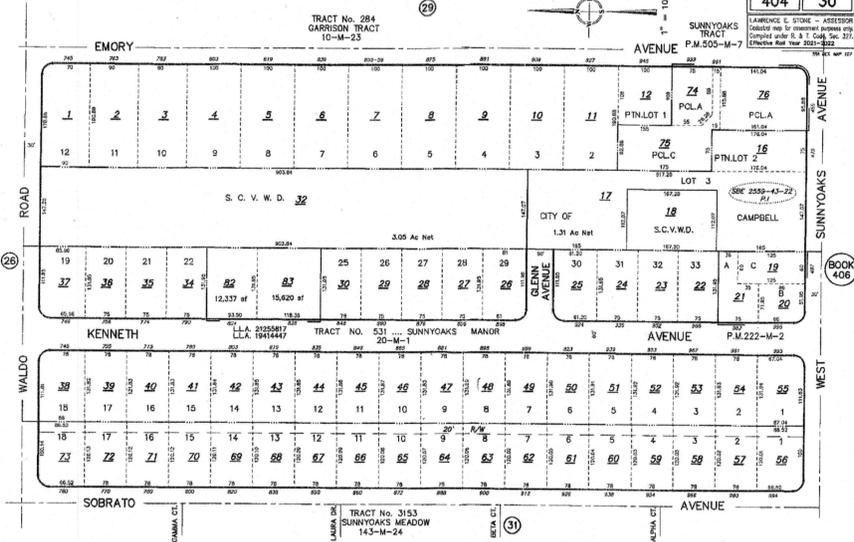


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

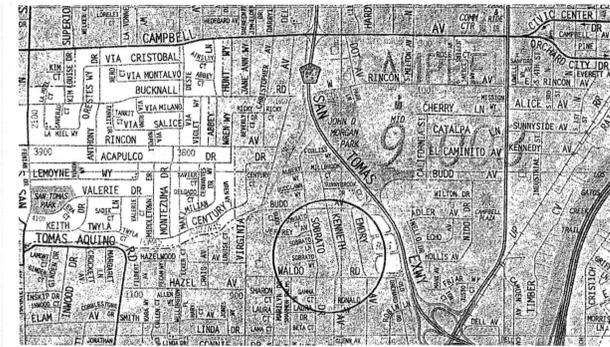
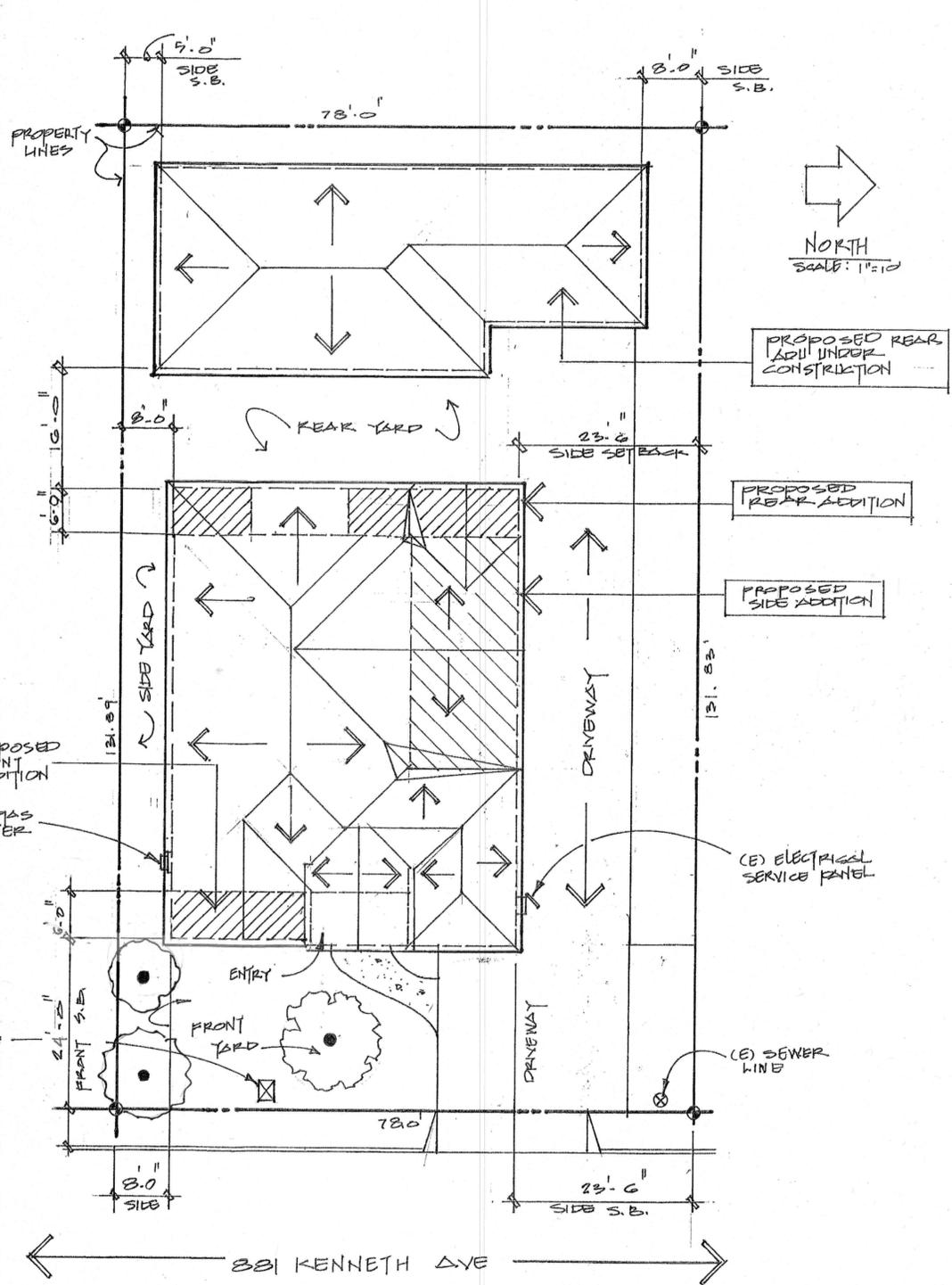
**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español





GENERAL NOTES

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES,
 - 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA RESIDENTIAL CODE
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA ENERGY CODE
 - 2019 CALIFORNIA HISTORICAL BUILDING CODE
 - 2019 CALIFORNIA EXISTING BUILDING CODE
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 (AND ALL STATE OF CALIFORNIA CITY, COUNTY AND MUNICIPAL CODES)
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORKING OR SPECIFICATIONS AND LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS OR SPECIFICATIONS BECAME APPARENT, THE CONTRACTOR SHALL REFER THEM TO THE DRAFTSMAN DESIGNER FOR CORRECTION BEFORE PROCEEDING WITH THE WORK. (CONTRACTOR IS NOT TO SCALE DRAWINGS). DRAWINGS DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACUTE ERRORS OR OMISSIONS MAY EXIST ON THE PLAN, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER/DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY COMMENCEMENT OF WORK. FAILURE TO DO SUCH WILL RELIEVE DESIGNER OF RESPONSIBILITY.



VACINITY MAP

PROJECT INFORMATION	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDINGS CODES	
2019 CALIFORNIA BUILDING STANDARDS CODE	
DESCRIPTION	
2019 CA. BUILDING CODE	2019 CA. HISTORICAL BUILDING CODE
2019 CA. RESIDENTIAL CODE	2019 CA. EXISTING BUILDING CODE
2019 CA. ELECTRICAL CODE	2019 CA. BUILDING ENERGY EFFICIENCY STANDARDS
2019 CA. MECHANICAL CODE	2019 CA. GREEN BUILDING STANDARDS CODE
2019 CA. PLUMBING CODE	
(AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)	
PROJECT PROPOSAL	
1. PROPOSED FRONT KITCHEN AND POOJA ROOM RELOCATION & ADDITION	4. INTERIOR REMODEL (SEE SCOPE OF WORK)
2. PROPOSED RIGHT SIDE 2 BEDROOMS AND BATH ADDITION	5. CONVERT (E) GARAGE INTO A NEW BEDROOM & BATHROOM AREA
3. PROPOSED REAR 2 BEDROOMS & WALK-IN CLOSED ADDITION	6. NEW ENTRY PORCH AREA
PROJ. LOC/OWNER	PROPERTY INFORMATION
MR. RAVI K. VALLAMDAS 881 KENNETH AVENUE CAMPBELL CA. 95008 PHONE: (408) 807 - 3229	A) PARCEL NUMBER 404- 30 - 047 B) ZONING DISTRICT R-1 - 10 C) CURRENT LOT SIZE 10,299 S.F. D) GENERAL PLAN: LOW DENSITY RESIDENTIAL
PARKING	
(E) 2 MINIMUM PROVIDED	
CBC 2019 / CONSTRUCTION INFORMATION	
A) CONSTRUCTION TYPE: VB	D) OCCUPANCY GROUP: R-3/U
B) NUMBERS OF STORIES: 1	E) SPRINKLERS: NO REQ'D
C) YEAR BUILT: 1949	
BUILDING SQ. FTG/LOT COVERAGE/FLOOR AREA RATIO (FAR)	
1) (E) RESIDENCE: 1,512 S.F.	
2) (E) ATTACHED ONE CAR GARAGE: (TO BE CONVERTED INTO HABITABLE AREA): 275 S.F.	
3) (E) REAR DETACHED ADU: 676 S.F.	
4) (E) ATTACHED JADU TO THE (E) ADU: 468 S.F.	
5) (E) ATTACHED 2 CAR GARAGE TO ADU: 420 S.F.	
6) (N) FRONT ADDITION: 120 S.F.	
7) (N) RIGHT SIDE ADDITION: 426 S.F.	
8) (N) REAR ADDITION: 197 S.F.	
9) (E) GARAGE CONVERSION: 275 S.F.	
A) MAX. FAR: 0.45% OR 4,635 S.F.	A) MAX. LOT COVERAGE: .40% OR 4,120 S.F.
B) ACT. FAR: 0.25% OR 2,530 S.F.	B) ACT. LOT COVERAGE: .25% OR 2,530 S.F.

SHEET INDEX		
NO.	DATE	DESCRIPTION
1.	1/25/2022	SITE PLAN
2.	1/25/2022	ELEVATIONS
3.	1/25/2022	EXISTING FLOOR PLAN
4.	1/25/2022	DEMO PLAN
5.	1/25/2022	PROPOSED FLOOR PLAN
6.	1/25/2022	ELECTRICAL FLOOR PLAN
7.	1/25/2022	FOUNDATION PLAN
8.	1/25/2022	ROOF PLAN
9.	1/25/2022	AREA SHEET "A"
10.	1/25/2022	PHOTO SHEET "B"
11.	1/25/2022	(E) ELEVATIONS
TITLE - 24		
EN.1	TITLE - 24	
EN.2	TITLE - 24	
GB.1	MANDATORY CALGREEN	
STRUCTURAL		
S1.	STRUCTURAL	
S2.	STRUCTURAL	
S3.	STRUCTURAL	
S4.	STRUCTURAL	
S5.	STRUCTURAL	

SCOPE OF WORK	
A)	PROPOSED FRONT KITCHEN AND POOJA ROOM RELOCATION AND ADDITION
B)	PROPOSED RIGHTS SIDE 2 BEDROOMS AND BATH ADDITION
C)	PROPOSED REAR 2 BEDROOMS AND WALK-IN CLOSED ADDITION
D)	INTERIOR REMODEL CONSISTING IN THE FOLLOWING: <ol style="list-style-type: none"> 1. MASTER BEDROOM AND BATH REVISION 2. INTERIOR LAUNDRY ROOM 3. REMOVING INTERIOR WALLS & OPENING UP LIVING AREA 4. NEW ELECTRICAL THROUGHOUT 5. REPLACE (E) WINDOWS WITH ENERGY EFFICIENT WINDOWS 6. UPGRADE (E) ELECTRICAL PANEL TO 200 AMP
E)	CONVERT (E) GARAGE INTO A NEW BEDROOM & BATHROOM AREA
F)	NEW ENTRY PORCH AREA

SITE GRADING NOTE
PROVIDE A MINIMUM 5% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1:20)

SITE PLAN
SCALE: 1" = 10'-0"

REVISIONS
DATE:

Professional Design Consultants
3033 Moorpark Ave. #1 San Jose, CA 95128
(408) 294-7060

AUGUSTINE DESIGNS

OWNER
RAVI K VALLAMDAS
881 KENNETH AVENUE
CAMPBELL CA. 95008
PHONE: (408) 807-3229

PROPOSED FRONT, REAR ADDITIONS AND A INTERIOR REMODEL AND GARAGE CONVERSION TO LIVING SPACE

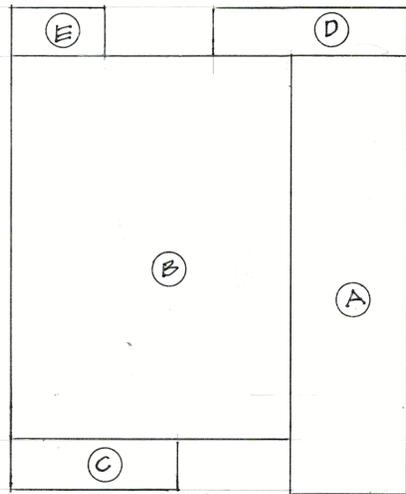
DATE: 1-14-2022
SCALE: 1" = 10'-0"
DRAWN: BRA
JOB:

1 OF SHEETS

BUILDING AREA	EXISTING	PROPOSED	TOTAL S.F.	%
1 ST FLOOR	1512 S.F.	743 S.F.	2,255 S.F.	
2 ND FLOOR	N/A	N/A	N/A	
GARAGE	275 S.F.	CONVERT	N/A	
ACCESSORY DWELLING	1,144 S.F.	✓	1,144 S.F.	
COVERED PATIO(S)	NONE	NONE	NONE	
OTHER (E.G., SHED)	NONE	NONE	NONE	
TOTAL	2,931 S.F.	763 S.F.	3,694 S.F.	

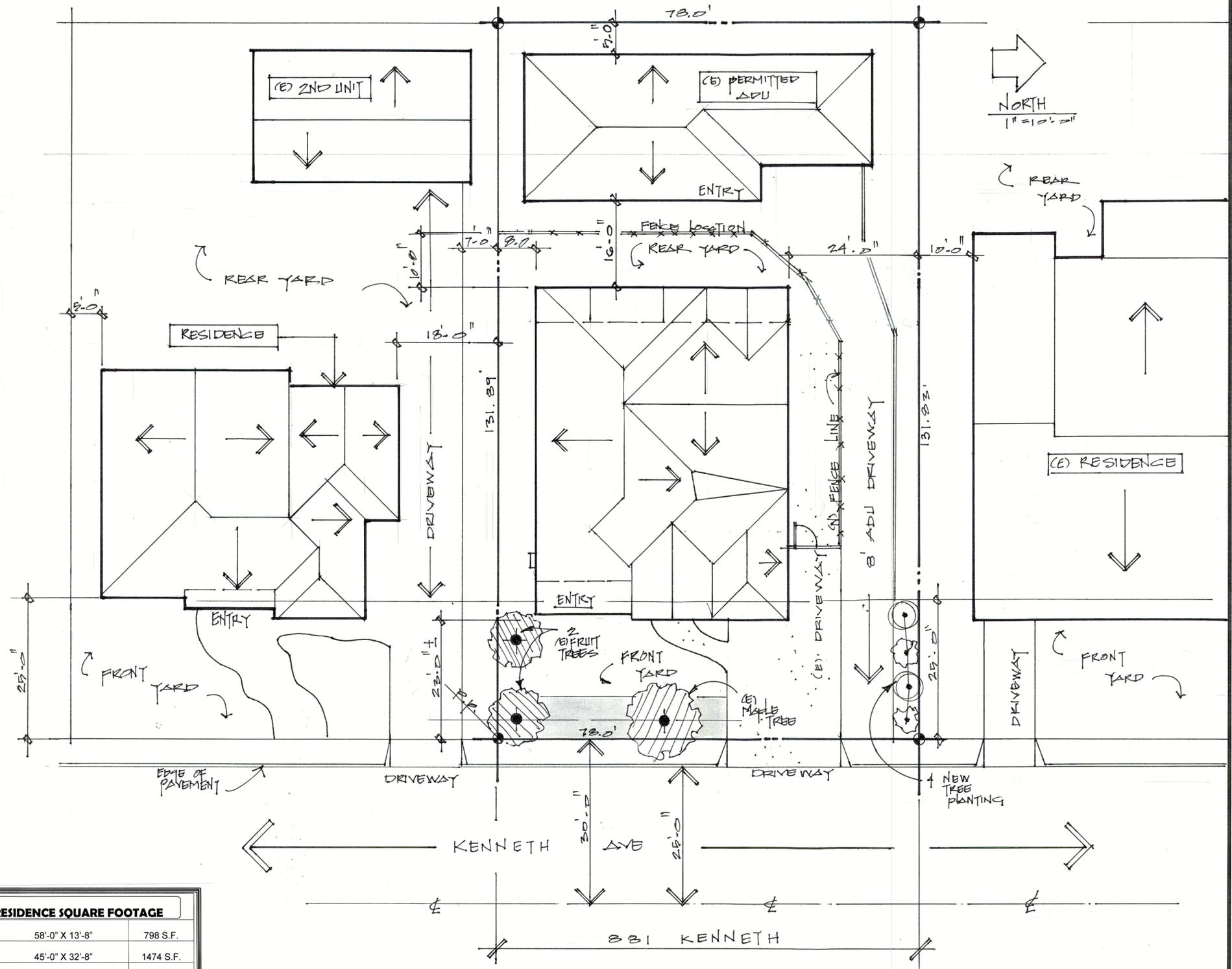
PAVING / LANDSCAPE AREA	EXISTING	PROPOSED	TOTAL S.F.
FRONT YARD PAVING	506 S.F.	300 S.F.	806 S.F.
WATER FEATURES (E.G., POOL, FOUNTAIN)	N/A	N/A	N/A
LIVE LANDSCAPING (E.G., TURF, PLANS, TREES)	102 S.F.	160 S.F.	262 S.F.
OTHER LANDSCAPING (E.G., ROCKS, BARK)	N/A	N/A	N/A
TOTAL	506 S.F.	460 S.F.	1068 S.F.

SETBACKS	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK
FRONT OF STRUCTURE / DWELLING	8'-0"	23'-0"	23'-0"
FRONT OF GARAGE / CARPORT	8'-0"	23'-0"	23'-0"
LEFT SIDE FIRST FLOOR	8'-0"	5'-0"	8'-0"
LEFT SIDE SECOND FLOOR	✓	✓	✓
RIGHT SIDE FIRST FLOOR	8'-0"	5'-0"	✓
RIGHT SIDE SECOND FLOOR	✓	✓	✓
REAR FIRST FLOOR			
REAR SECOND FLOOR	✓	✓	✓



BUILDING FOOTPRINT
SCALE: 1" = 12'-0"

RESIDENCE SQUARE FOOTAGE		
A)	58'-0" X 13'-8"	798 S.F.
B)	45'-0" X 32'-8"	1474 S.F.
C)	20'-0" X 6'-0"	120 S.F.
D)	23'-0" X 6'-0"	138 S.F.
E)	6'-0" X 9'-8"	59 S.F.
TOTAL SQUARE FOOTAGE		2,589 S.F.



LANDSCAPE / AREA SITE PLAN
SCALE 1" = 10'-0"

REVISIONS

Professional Design Consultants
3033 Moorpark Ave., #1, San Jose, CA 95128
(408) 294-7060



OWNER
RAVI K VALLAMDAS
881 KENNETH AVENUE
CAMPBELL CA. 95008
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PROPOSED FRONT, REAR
ADDITIONS AND A
INTERIOR REMODEL
AND GARAGE CONVERSION
TO LIVING SPACE

DATE: 8/20/2022
SCALE: 1" = 10'-0"
DRAWN: BRA
JOB:
FILE:

1A



SIDE VIEW OF VALLAMDAS RESIDENCE "D"



FRONT VIEW OF VALLAMDAS RESIDENCE "C"



FRONT VIEW OF VALLAMDAS RESIDENCE SHOWING FRONT LANDSCAPING



PHOTO OF NEIGHBOR'S HOUSE ACROSS THE STREET



COLOR PHOTO OF NEIGHBOR'S RESIDENCE TO THE LEFT



FRONT VIEW OF VALLAMDAS RESIDENCE "A"

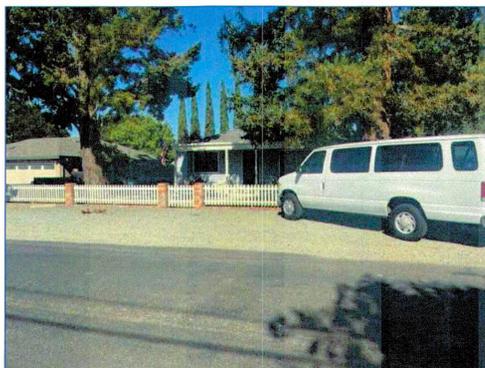
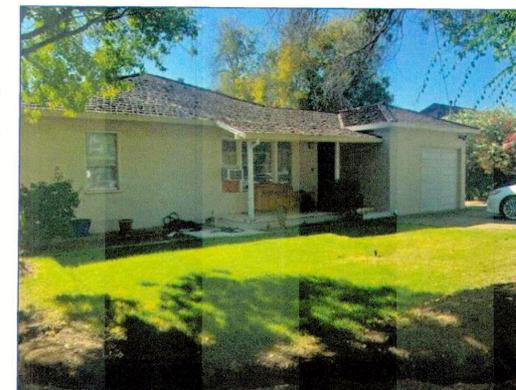


PHOTO OF NEIGHBOR'S HOUSE ACROSS THE STREET



SIDE VIEW OF VALLAMDAS RESIDENCE "C"



FRONT VIEW OF VALLAMDAS RESIDENCE "B"

COLOR PHOTOS OF NEIGHBORHOOD
SCALE: N.T.S.

REVISIONS

DATE:

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**PROPOSED FRONT, REAR
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AND GARAGE CONVERSION
TO LIVING SPACE**

DATE: 8-27-2022

SCALE: 1" = 10'-0"

DRAWN: BRA

JOB:

1B

OF SHEETS

GENERAL EXTERIOR NOTES

- ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 15 POUND FELT ON ROOFS WITH A MIN SLOPE OF 1:12. ASPHALT SHINGLES MAY BE INSTALLED ON ROOFS WITH A MIN SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED SELF SEALING OR ARE HAND SEALED AND THE UNDER LAYMENT SHALL CONSIST OF 2 LAYERS OF 15 POUND FELT INSTALLED SHINGLE FASHION. MAX LAYERS ON A SHINGLE ROOF SHALL NOT EXCEED 3.
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
- SITE ADDRESS NUMBERS, BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2" INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

EXTERIOR WEATHER PROTECTION NOTES

- STUDS OR SHEATHING OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH 15 POUND ASPHALT SATURATED FELT OR OTHER APPROVED WATERPROOF PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 6" AT VERTICAL JOINTS.
- WHERE STUCCO IS APPLIED OVER EXTERIOR SHEATHING THERE SHALL BE TWO LAYERS OF GRADE 'D' BUILDING PAPER. BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING :
 - A) ...WHERE THERE IS NO HUMAN OCCUPANCY
 - B) ...WHERE EXTERIOR COVERING IS OF APPROVED W.P. MATERIAL OVER WATER REPELLENT SHEATHING
 - C) ...WHERE EXTERIOR COVERING IS F APPROVED W.P. PANELS
- STUCCO SHALL BE 7/8" THICK AND THREE COATS APPLIED OVER APPROVED WIRE LATH AND TWO LAYERS OF GRADE D BUILDING PAPER. PROVIDE WEEP CREED
- SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY

GENERAL NOTES

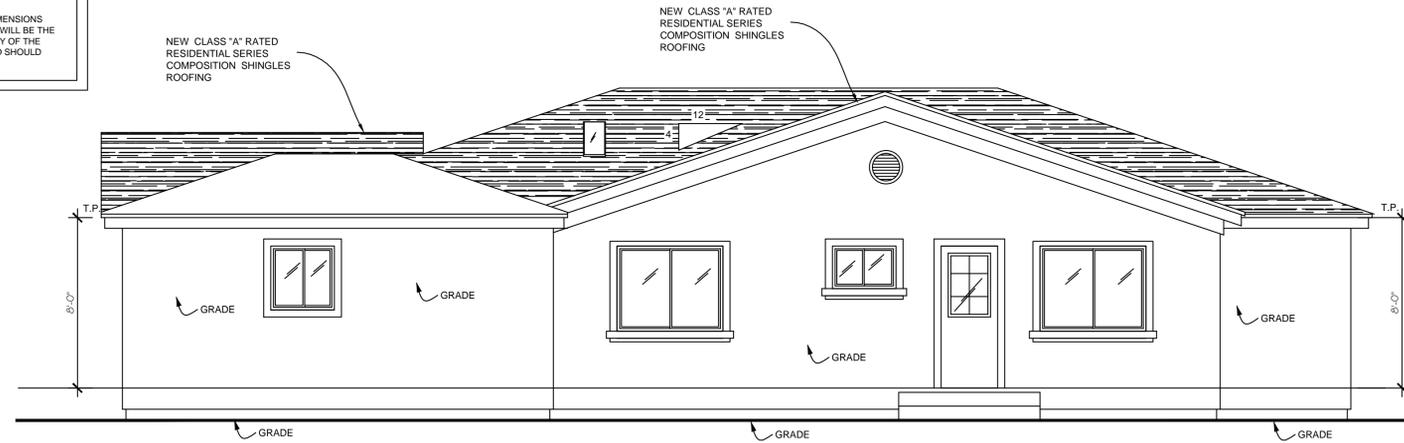
- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E.)
- INTERPRETATION OF DRAWINGS** FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS. THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).
- ERRORS AND OMISSIONS** IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SITE PLAN LAYOUT** IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE ACTUAL DIMENSIONS OF THE LOT AND IT'S SETBACKS, IT WILL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LAYOUT. ALL SITE PLANS, AS DRAWN ARE FOR REFERENCE AND SHOULD NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT

EXTERIOR BUILDING NOTES

- CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHEATHING, AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6" OR LESS THAN 2" MEASURED VERTICALLY FROM
- WHERE ROOF GUTTERS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPLASH BLOCK AND SHALL CARRY WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE, ORDINANCE. CLARIFY IF THERE ARE NEW GUTTERS AT NEW ADDITION

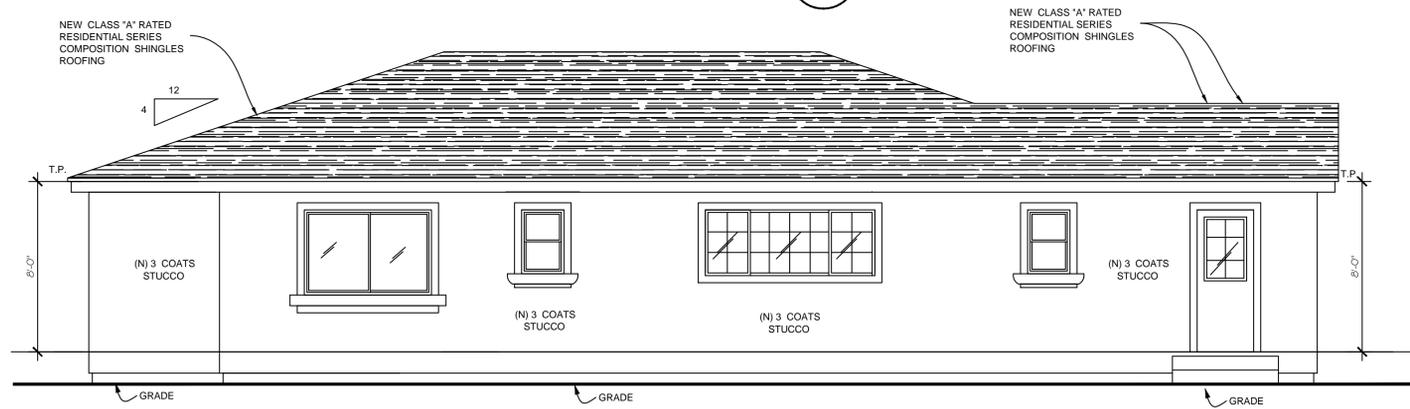
SITE GRADING NOTE

PROVIDE A MINIMUM 5% GRADE SLOPE AWAY FROM THE FOUNDATION FOR A MINIMUM DISTANCE OF 10'-0" (1:20)



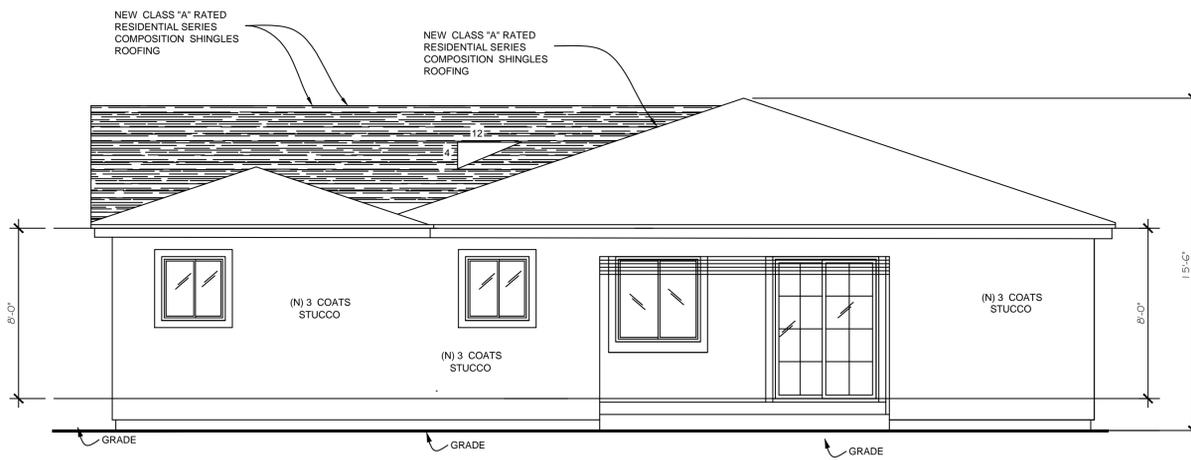
RIGHT SIDE ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



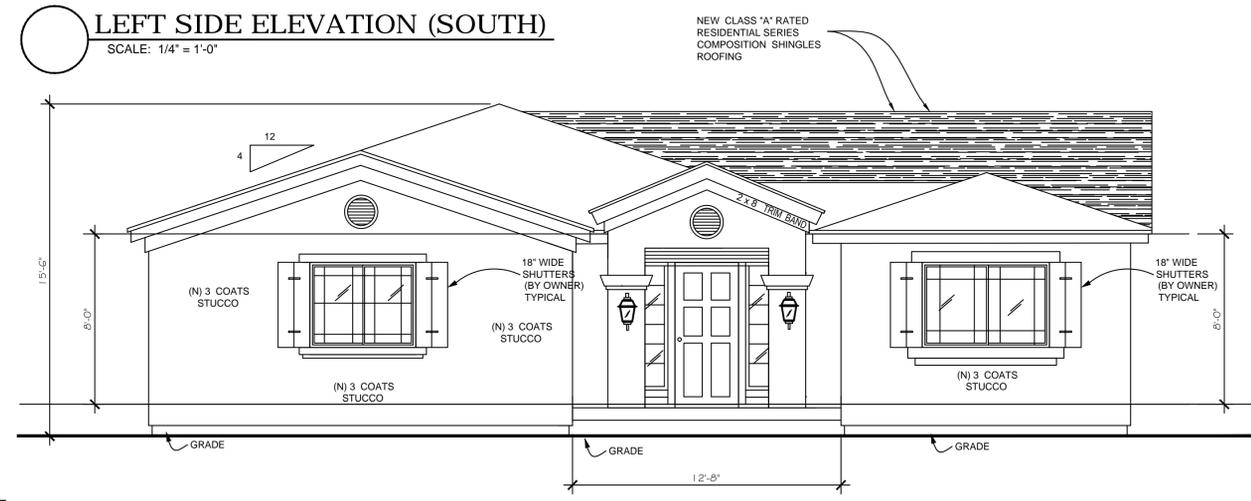
LEFT SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



REAR ELEVATION (WEST)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

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REVISIONS

DATE:

Professional Design Consultants
3033 Mariposa Ave., #100, San Jose, CA 95128
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PROPOSED FRONT, REAR
ADDITIONS AND A
INTERIOR REMODEL
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DATE: 1-20-2022

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

2

OF SHEETS

ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES

PLUMBING

- ALL SINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1101 & KITCHEN FAUCETS SHALL NOT EXCEED 1.8 MAX PER FLUSH (...). LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS... SHOWER HEADS SHALL NOT EXCEED 2.0 GALLONS... AND URINALS SHALL NOT EXCEED 5 GALLONS PER FLUSH
 - PER CPC SECTION 402.2.2, SINGLE FLUSH WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.26 GALLONS.
 - INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASELINE WATER PER SECTION 4.303.1
 - ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES
- NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CGBC SECTION 301.1.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF ACERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT

ELECTRICAL

- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15-AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, PARLORS, BEDROOMS, LIBRARIES, DEN, HALLWAYS, RECREATION ROOM, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC ARTICLE 210.12
- ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE. 2019 CEC ART 406.12
- AT LEAST TWO 20-AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (CEC 210.52)
- ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED, 4'-0" O.C.
- ALL EXHAUST FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM
- ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR
- ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE IC (INSULATION COVER JAND AT AIR TIGHT) RATED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE GYP WITH A GASKET OR CALK

EXHAUST FAN NOTES

- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH A MINIMUM 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION.
- EXHAUST AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS NOTE: WINDOW OPERATION IS NOT PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL. (2019 CRC R303.3.1)
- FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE TO THE OUTSIDE UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. FANS MUST BE CONTROLLED BY HUMIDITY CONTROL
- HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE RATE OF $\pm 50\%$ TO A MAXIMUM OF 80% BY MANUAL OR AUTOMATIC MEANS HUMIDITY CONTROLS MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE BUILT-IN. (2019 CGBS 405.6.1)

SPECIAL DOMESTIC DRYER NOTES

- THE AIR DUCTS SHALL EXHAUST 3'-0" FROM PROPERTY LINE AND 3'-0" FROM OPENING INTO THE BUILDING. CMC 502.2.1
- THE LOCATION OF THE DRYER EXHAUST VENT TERMINATION TO CONFIRM THE VENT IS LOCATED PER THE FOLLOWING: CMC 502.2.
 - A) 3 FEET FROM A PROPERTY LINE.
 - B) 10 FEET FROM A FORCED AIR INLET, AND
 - C) 3 FEET FROM OPENING INTO THE BUILDING.
- DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN FEET, INCLUDING TWO 90-DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. CMC 504.4.2
- CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND EQUIPPED WITH A BACK-DRAFT DAMPER. CMC 504.4

ELECTRICAL/ MECHANICAL LEGEND

	EXISTING WALLS		CHIME
	NEW WALLS		DOORBELL PUSHBUTTON
	WALLS TO BE REMOVED		COMB. EXHAUST & LIGHT FIXT
	CLOSE WALLS		ELECT. FAN
	DUPLEX RECEPTABLE OUTLET		HEAT LAMP
	GFCI		HEATER REGIST.
	W.P. DUP. REC. OUTLET W/ GROUND		CEILING AIR REGISTER
	FOUR PLEX RECEPTABLE		WATER HEATER
	220 V RECEPTABLE OUTLET		FURNACE
	RECESSED CEILING LIGHT		HOSE BIBB
	HIGH EFFICACY LIGHT		CARBON MONOXIDE ALARMS
	WALL LIGHT		INTERCOM
	WATERPROOF WALL LIGHT FIXTURE		ELECT. METER & MAIN PANEL
	FLUORESCENT LIGHT		ELECTRICAL SUB-PANEL
	SMALL FLUORESCENT FIXTURE		RECESSED LIGHT
	SPOTLIGHT		DISPOSAL
	WALL SWITCH		CONCRETE
	THREE-WAY SWITCH		STUCCO
	FOUR-WAY SWITCH	(E)	EXISTING
	SMOKE DETECTOR	(H.S.)	HORIZONTAL SLIDER
	TELEPHONE OUTLET	(S.H.)	SINGLE HUNG
	TV CABLE OUTLET	(FIX.)	FIXED GLASS

GENERAL NOTES

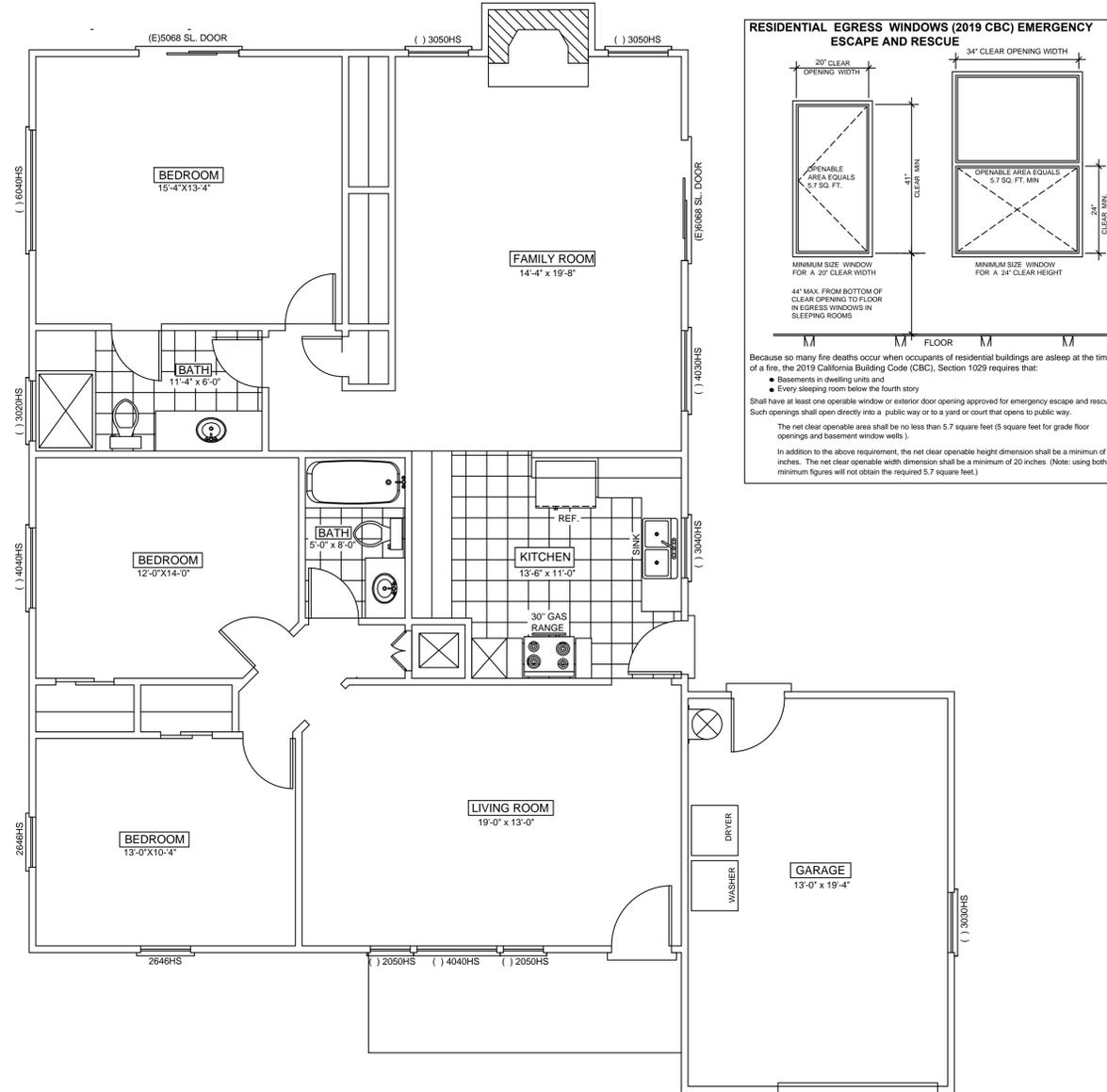
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 WINDOW APPROVED DOUBLE GLAZED
- NOTE: ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED.
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ROOM FINISH SCHEDULE

No.	NAME	FLOOR	LEVEL				REMARKS
			1	2	3	4	
1.	ENTRY	ENTRY	WOOD	VINYL FLOORING	CERAMIC TILE	WOOD	APPROVED BY COUNTY HEALTH DEPT.
2.	HALL						
3.	GUEST BEDROOM						
4.	LIVING ROOM						
5.	DINING ROOM						
6.	NOOK						
7.	KITCHEN						
8.	PANTRY						
9.	BAR						
10.	FAMILY ROOM						
11.	BEDROOMS						
12.	BATHS						

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EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS

DATE:

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 PHONE: (408) 807-3229

PROPOSED FRONT, REAR
 ADDITIONS AND A
 INTERIOR REMODEL
 AND GARAGE CONVERSION
 TO LIVING SPACE

DATE: 1-20-2022

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DRAWN: BRA

JOB:

3

OF SHEETS

ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES

PLUMBING

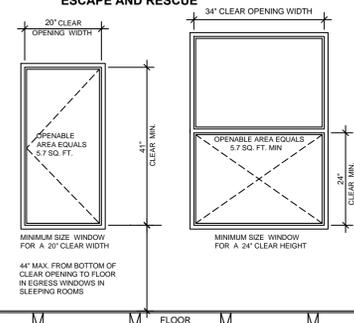
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NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CBC SECTION 301.1.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT

ELECTRICAL

- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15- AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT (LIVING, DINING AND FAMILY ROOMS, PARLORS, BEDROOMS, LIBRARIES, DEN, HALLWAYS, RECREATION ROOM, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC ARTICLE 210.12
- ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE. 2019 CEC ART 406.12
- AT LEAST TWO 20-AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (CEC 210.52)
- ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED 4'-0" O.C.
- ALL EXHAUSTS FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM
- ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR
- ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE COVERED WITH INSULATION COVERS AND ALL AIR TIGHT FITTINGS SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE GYP WITH A GASKET OR CAULK

RESIDENTIAL EGRESS WINDOWS (2019 CBC) EMERGENCY ESCAPE AND RESCUE



Because so many fire deaths occur when occupants of residential buildings are asleep at the time of a fire, the 2019 California Building Code (CBC), Section 1029 requires that:

- Basements in dwelling units and
- Every sleeping room below the fourth story

Shall have at least one operable window or exterior door opening approved for emergency escape and rescue. Such openings shall open directly into a public way or to a yard or court that opens to a public way.

The net clear opening area shall be no less than 5.7 square feet (5 square feet for grade floor openings and basement window wells).

In addition to the above requirement, the net clear opening height dimension shall be a minimum of 24 inches. The net clear opening width dimension shall be a minimum of 20 inches. (Note: using both minimum figures will not obtain the required 5.7 square feet.)

SMOKE DETECTOR NOTES

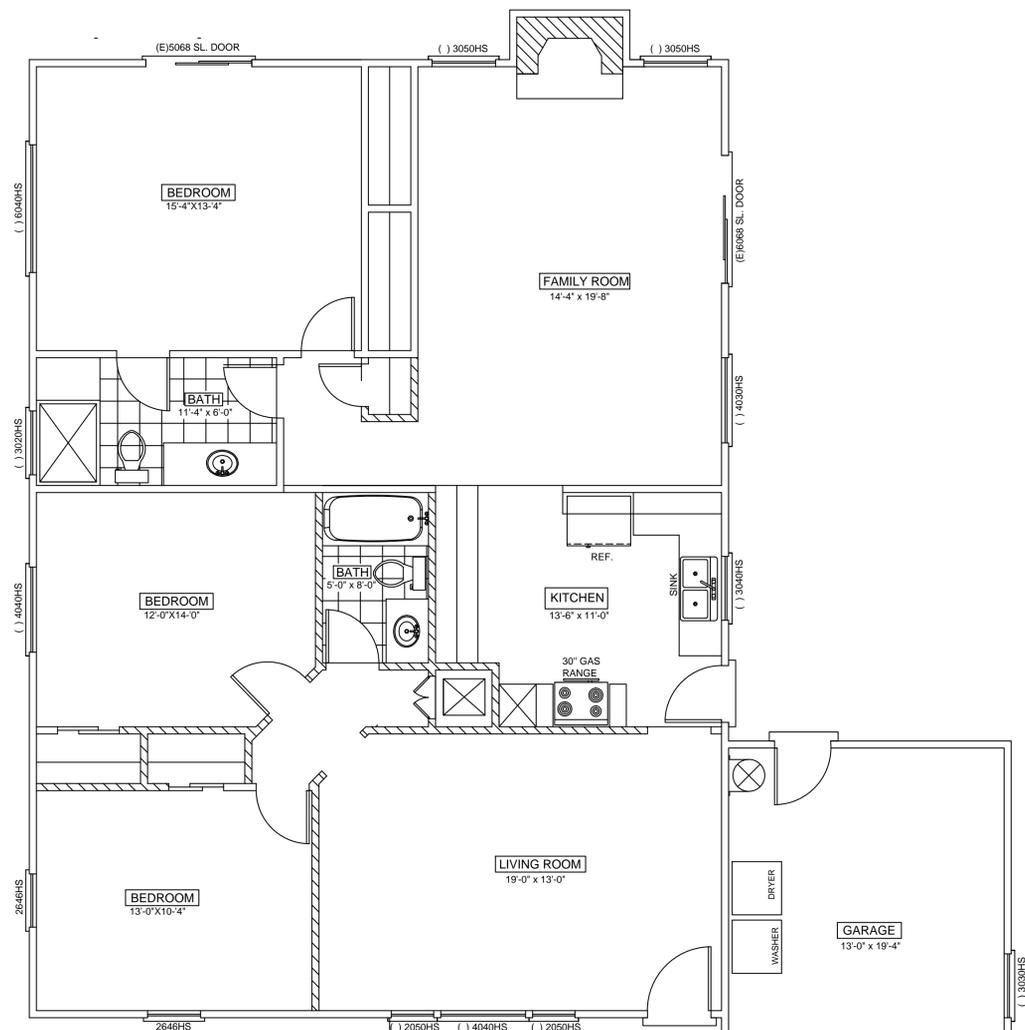
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EXHAUST FAN NOTES

- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH A MINIMUM 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION.
- EXHAUST AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. NOTE: WINDOW OPERATION IS NOT PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL. (2019 CRC 303.3.1)
- FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE TO THE OUTSIDE UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. FANS MUST BE CONTROLLED BY HUMIDITY CONTROL.
- HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE RATE OF < OR = 50% TO A MAXIMUM OF 80% BY MANUAL OR AUTOMATIC MEANS. HUMIDITY CONTROLS MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE BUILT-IN. (2019 CGBS 405.6.1)

SPECIAL DOMESTIC DRYER NOTES

- THE AIR DUCTS SHALL EXHAUST 3'-0" FROM PROPERTY LINE AND 3'-0" FROM OPENING INTO THE BUILDING. CMC 502.2.1
- THE LOCATION OF THE DRYER EXHAUST VENT TERMINATION TO CONFIRM THE VENT IS LOCATED PER THE FOLLOWING: CMC 502.2:
 - 3 FEET FROM A PROPERTY LINE.
 - 10 FEET FROM A FORCED AIR INLET, AND
 - 3 FEET FROM OPENING INTO THE BUILDING.
- DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN FEET, INCLUDING TWO 90-DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. CMC 504.4.2
- CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND EQUIPPED WITH A BACK-DRAFT DAMPER. CMC 504.4



DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



ELECTRICAL/ MECHANICAL LEGEND

[Symbol]	EXISTING WALLS	[Symbol]	CHIME
[Symbol]	NEW WALLS	[Symbol]	DOORBELL PUSHBUTTON
[Symbol]	WALLS TO BE REMOVED	[Symbol]	COMB. EXHAUST & LIGHT FIXT
[Symbol]	CLOSE WALLS	[Symbol]	ELECT. FAN
[Symbol]	DUPLEX RECEPTABLE OUTLET	[Symbol]	HEAT LAMP
[Symbol]	GROUND FAULT INTERRUPT CIRCUIT	[Symbol]	HEATER REGIST.
[Symbol]	DUP. REC. OUTLET W/GROUND	[Symbol]	CEILING AIR REGISTER
[Symbol]	FOUR PLEX RECEPTICLE	[Symbol]	WATER HEATER
[Symbol]	220 V RECEPTABLE OUTLET	[Symbol]	FURNACE
[Symbol]	RECESSED CEILING LIGHT	[Symbol]	HOSE BIBB
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[Symbol]	WALL LIGHT	[Symbol]	INTERCOM
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REVISIONS

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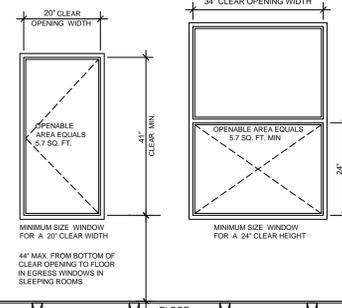
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- INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASELINE WATER PER SECTION 4.303.1
- ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES

NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CBC SECTION 301.1.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF ACERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT

ELECTRICAL

- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15- AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, PARLORS, BEDROOMS, LIBRARIES, DEN, HALLWAYS, RECREATION ROOM, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC ARTICLE 210.12
- ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT * RECEPTACLE. 2019 CEC ART 406.12
- AT LEAST TWO 20-AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (CEC 210.52)
- ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED .4" O.C.
- ALL EXHAUST FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM
- ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR
- ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE IC (INSULATION COVER) AND AT (AIR TIGHT) RATED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE GYP WITH A GASKET OR CAULK

RESIDENTIAL EGRESS WINDOWS (2019 CBC) EMERGENCY ESCAPE AND RESCUE



Because so many fire deaths occur when occupants of residential buildings are asleep at the time of a fire, the 2019 California Building Code (CBC), Section 1029 requires that:

- Basements in dwelling units and
- Every sleeping room below the fourth story

Shall have at least one operable window or exterior door opening approved for emergency escape and rescue. Such openings shall open directly into a public way or to a yard or court that opens to public way.

The net clear operable area shall be not less than 5.7 square feet (5 square feet for grade floor openings and basement window wells).

In addition to the above requirement, the net clear operable height dimension shall be a minimum of 24 inches. The net clear operable width dimension shall be a minimum of 20 inches. (Note: using both minimum figures will not obtain the required 5.7 square feet.)

EXISTING GAS METER NOTE

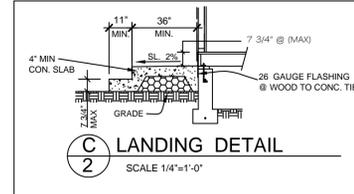
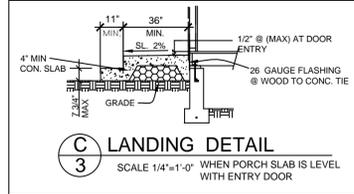
A...AN EARTHQUAKE -ACTUATED GAS SHUT OFF VALVE SHALL BE INSTALLED AT THE EXISTING GAS METER

SMOKE DETECTOR NOTES

- SMOKE DETECTORS.**
PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS
- POWER SOURCE:**
IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDING WHICH UNDER GO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2019
- LOCATION WITHIN DWELLING UNITS:**
IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS.
THE SMOKE DETECTOR SHALL BE INSTALLED IN THE UPPER LEVEL EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA A DETECTOR SHALL BE INSTALLED ON EACH LEVEL WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OR A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610 MM) OR MORE. SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.

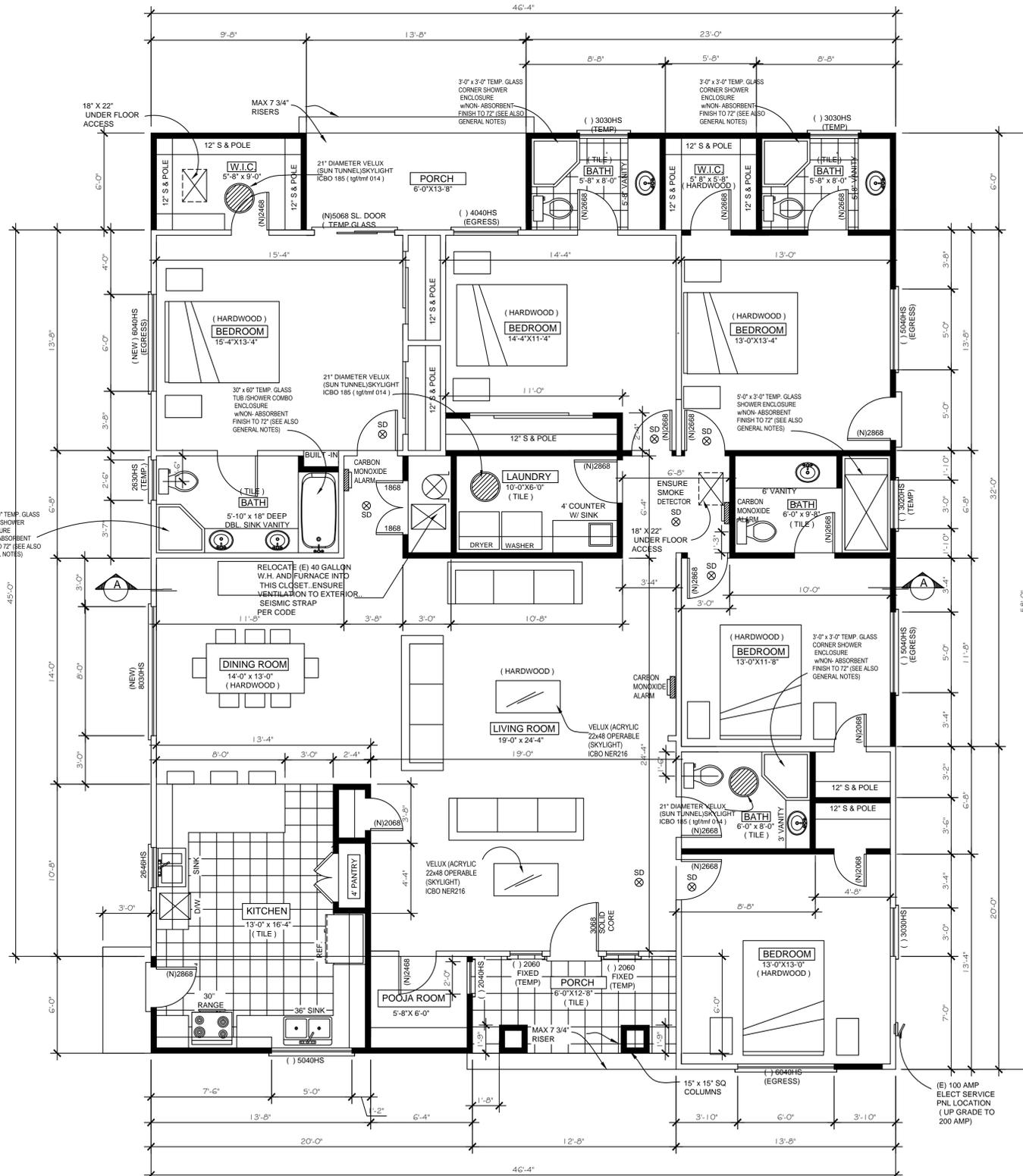
SMOKE AND CARBON MONOXIDE NOTE

SMOKE AND CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT UNLESS REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES



SPECIAL SHOWER NOTE

A)... SHOWER PAN DIMENSIONS SHALL BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30 INCHES IN ANY DIRECTIONS.
SHOWER DOORS SHALL OPEN TO MAINTAIN NOT LESS THAN A 22" UN OBSTRUCTED OPENING FOR EGRESS.
TILE SHOWER ENCLOSURE TO BE FURNISHED w/ NON-ABSORBENT FINISH TO 72" ABOVE DRAIN INLET (SEE ALSO GENERAL NOTES)



ELECTRICAL/ MECHANICAL LEGEND			
[Symbol]	EXISTING WALLS	[Symbol]	CHIME
[Symbol]	NEW WALLS	[Symbol]	DOORBELL PUSHBUTTON
[Symbol]	WALLS TO BE REMOVED	[Symbol]	COMB. EXHAUST & LIGHT FIXT
[Symbol]	CLOSE WALLS	[Symbol]	ELECT. FAN
[Symbol]	DUPLEX RECEPTABLE OUTLET	[Symbol]	HEAT LAMP
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[Symbol]	DUP. REC. OUTLET W/GROUND	[Symbol]	CEILING AIR REGISTER
[Symbol]	FOUR PLEX RECEPTICLE	[Symbol]	WATER HEATER
[Symbol]	220 V RECEPTABLE OUTLET	[Symbol]	FURNACE
[Symbol]	RECESSED CEILING LIGHT	[Symbol]	HOSE BIBB
[Symbol]	HIGH EFFICACY LIGHT	[Symbol]	CARBON MONOXIDE ALARMS
[Symbol]	WALL LIGHT	[Symbol]	INTERCOM
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[Symbol]	FLUORESCENT LIGHT	[Symbol]	ELECTRICAL SUB-PANEL
[Symbol]	SMALL FLUORESCENT FIXTURE	[Symbol]	RECESSED LIGHT
[Symbol]	SPOTLIGHT	[Symbol]	DISPOSAL
[Symbol]	WALL SWITCH	[Symbol]	CONCRETE
[Symbol]	THREE-WAY SWITCH	[Symbol]	STUCCO
[Symbol]	FOUR-WAY SWITCH	[Symbol]	(E) EXISTING
[Symbol]	SMOKE DETECTOR	[Symbol]	H.S. HORIZONTAL SLIDER
[Symbol]	TELEPHONE OUTLET	[Symbol]	S.H. SINGLE HUNG
[Symbol]	TV/CABLE OUTLET	[Symbol]	FIX. FIXED GLASS

GENERAL NOTES

- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS ADOPTED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E.)
- INTERPRETATION OF DRAWINGS** FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN/DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS)
- ERRORS AND OMISSIONS.** IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SMOKE DETECTORS.**
PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
A) **POWER SOURCE:** IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDING WHICH UNDER GO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2019
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INSULATION: CEILING R-30 BATT INSULATION (NEW CONST. ONLY)
WALLS R-15 BATT INSULATION (NEW CONST. ONLY)
FLOORS R-18 FLOOR INSULATION
ACCESS: UNDERFLOOR 18" x 24" MIN. SQ. (IF WOOD FLOOR)
CEILING 22" x 30" MIN. W/30" CLEAR HEIGHT.
WINDOW APPROVED DOUBLE GLAZED.
- NOTE:** ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED.
- SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.**
 - ROOF SHEATHING WITH RADIANT BARRIER ON UNDERSIDE OF SHEATH SHALL BE INSTALLED.
 - ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENT OF .40 OR BETTER.
 - WALL SHEATHING & GABLE ENDS (ABOVE CEILING) SHALL HAVE RADIANT BARRIER PER MFG. INSTALLATION INSTRUCTIONS
 - ALL SEALING TAPE ON HEAT/AC DUCTS SHALL BE UL181 (LISTED AND LABELED). THE WRAPS (FOR DUCTS) MUST BE UV RESISTANT AND HAVE 150 LBS. OF BURST STRENGTH.
- WINDOWS / BATHROOM NOTES**
 - ALL NEW WINDOW TO BE APPROVED DOUBLE GLAZED (WITH BEDROOM WINDOWS HAVING A MIN. 24" x 24" SQ. OPENING), REFER TO EGRESS WINDOW DIAGRAM
 - ALL HEADERS USED OVER DOORS, WINDOW AND ANY NECESSARY OPENINGS TO BE 4 x 12 DF# 1 OR BETTER, UNLESS OTHERWISE SPECIFIED.
 - ALL GLAZING IN WITHIN 36" OF DOORS, OVER 8 SQUARE FEET AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHTUBS TO BE SAFETY GLASS.
 - BATHROOM FINISH ... ENSURE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET FOR SHOWER PER CBC 1213.3
 - WATER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.28 GALLONS PER FLUSH.

REVISIONS

DATE:

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PROPOSED FRONT, REAR
ADDITIONS AND A
INTERIOR REMODEL
AND GARAGE CONVERSION
TO LIVING SPACE

DATE: 01 - 8 - 2022

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

5

OF SHEETS

DATE:

Professional Design Consultants
3023 Moorpark Ave., #1 San Jose, CA 95128
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ELECTRICAL/ MECHANICAL LEGEND			
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SPECIAL ELECTRICAL NOTES

1. ALL KITCHEN EXHAUST FANS TO BE A MINIMUM 100 CFM PER 2019 CALIFORNIA ENERGY CODE 150 AND ASHRAE 62.2

2. AT ALL BATHROOMS VERIFY THAT THE BATHROOM EXHAUST FANS ARE SEPARATELY FROM THE LIGHTING

3. EV CHARGER PER CALGREEN SECTION 4106.4.1 AND FOR ALL NEW CONSTRUCTION PROVIDE A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT AND A DEDICATED 40 AMP BRANCH CIRCUIT FOR THE EV CHARGER

4. ALL BEDROOMS ON THE LOWER AND UPPER FLOORS VERIFY RECEPTACLE OUTLETS SPACED A MAXIMUM OF 6' FROM BOTH SIDES OF THE DOOR OPENINGS (CEC 210.52 (A))

5. IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS, SHOW AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES TO BE CONTROLLED BY A VACANCY SENSOR PER CA ENERGY CODE 150(K)(2)

6. ALL OUTDOOR OUTLETS TO BE WEATHERPROOF AND GFCI-PROTECTED

7. A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTABLES OUTLETS PER CEC 210.11 (C)(3)

8. A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTABLES OUTLETS PER CEC 210.11(C)(2)

9. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY (CEC 150(K)(1))

A. ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY MOTION SENSORS AND PHOTOCONTROL OR OTHER APPROVED PER CEC 150(K)(3)

11. BATHROOMS SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND MUST BE CONTROLLED BY A HUMIDITY CONTROL (CALGREEN 4.506.1)

12. THE EXHAUST FAN PROVIDING WHOLE HOUSE VENTILATION PER THE WHOLE-HOUSE VENTILATION NOTE

13. THE LIGHTING AT THE INTERIOR STAIRWAY TO BE CONTROLLED BY A 3-WAY SWITCH TO CONTROL THE LIGHTING AT THE UPPER AND LOWER FLOORS

ELECTRICAL NOTES

1. ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARE-FAULT CIRCUIT INTERRUPTER. (CEC 210.12)

2. ALL RECEPTACLES IN BATHROOM, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREA, CIRCUIT INTERRUPTER (GFCI) PROTECTION. (CEC210.8)

3. IN ALL AREAS SPECIFIED IN 210.52, ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC406.12)

GENERAL INTERIOR NOTES

1. ALL LANDING AT MAIN ENTRY DOOR TO BE NOT MORE THAN 1/2" BELOW THE DOOR'S THRESHOLD PER CRC 311.3.1

2. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CRC 906.2

3. ALL BATHTUB AND SHOWER FLOORS AND WALLS TO BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6 FEET (72") ABOVE FLOOR PER CRC 307.2

4. PROVIDE EXHAUST FAN KITCHEN AREA FOR LOCAL VENTILATION INDOOR AIR QUALITY REQUIREMENTS PER 2019 CALIFORNIA ENERGY CODE SECTION 150 (I) AND ASHRAE 62.2. OTHERWISE SPECIFY KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.

5. PROVIDE CARBON MONOXIDE ALARMS OUTSIDE EACH BEDROOM PER CRC 315.2.

6. ENSURE AFCI PROTECTED RECEPTACLES IN LIVING ROOM PER CEC 210.12

7. ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED.

8. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.

9. PROVIDE SEPARATE SWITCHES FOR ALL EXHAUST FANS IN BATHROOMS PER CALIFORNIA ENERGY CODE 150(K)(6)

10. ALL NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30

GENERAL NOTES

1. PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEPARATE DESIGN CATEGORY E.)

2. INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).

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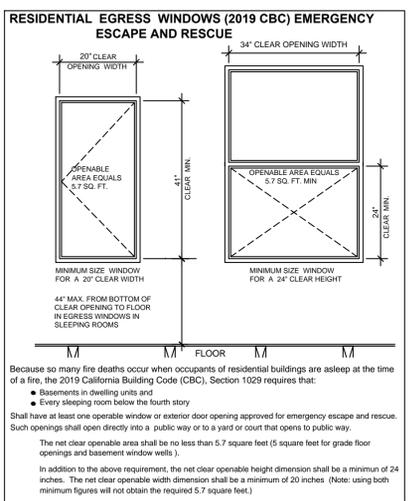
4. SMOKE DETECTORS
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WALLS.....R-15 BATT INSULATION (NEW CONST. ONLY)
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ACCESS: UNDERFLOOR18" x 24" MIN. SQ. (IF WOOD FLOOR)
CEILING22" x 30" MIN. W/30" CLEAR HEIGHT.
WINDOW.....APPROVED DOUBLE GLAZED

NOTE: ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED.

5. SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.
1. ROOF SHEATHING WITH RADIANT BARRIER ON UNDERSIDE OF SHEATG SHALL BE INSTALLED.
2. ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENT OF .40 OR BETTER.
3. WALL SHEATHING @ GABLE ENDS (ABOVE CEILING) SHALL HAVE RADIANT BARRIER PER MFGR. INSTALLATION INSTRUCTIONS.
4. ALL SEALING TAPE ON HEAT/ AC DUCTS SHALL BE UL181 (LISTED AND LABELED).
5. THE WRAPS (FOR DUCTS) MUST BE UV RESISTANT AND HAVE 150 LBS. OF BURST STRENGTH.

6. WINDOWS / BATHROOM NOTES
1. ALL NEW WINDOW TO BE APPROVED DOUBLE GLAZED (WITH BEDROOM WINDOWS HAVING A MIN. 24" x 24" SQ. OPENING). REFER TO EGRESS WINDOW DIAGRAM
2. ALL HEADERS USED OVER DOORS, WINDOW AND ANY NECESSARY OPENINGS TO BE 4 x 12 DF# 1 OR BETTER, UNLESS OTHERWISE SPECIFIED.
3. ALL GLAZING IN OR WITHIN 36" OF DOORS, OVER 9 SQUARE FEET AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHTUBS TO BE SAFETY GLASS.
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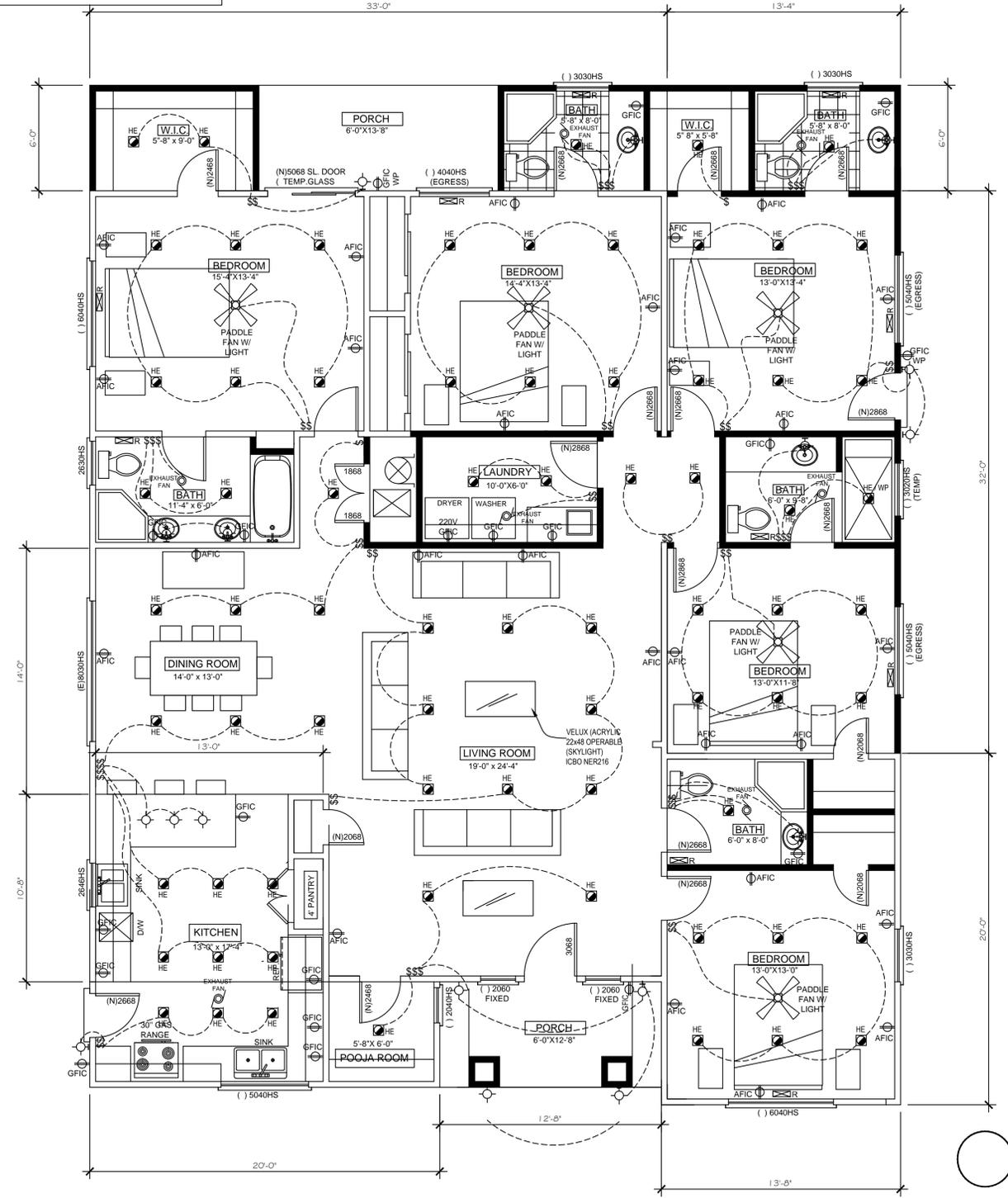
SPECIAL TITLE - 24 NOTES

1. ALL LIGHTING TO BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0(K) AND JOINT APPENDIX JA.8.

2. ALL LUMINAIRES THAT ARE INSTALLED WITH JA8-CERTIFIED LIGHT SOURCES NEED TO BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. THIS IS NOT REQUIRED FOR LIGHTING IN CLOSETS LESS THAN 70 SQ FT OR IN HALLWAYS.

3. ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY ONE OF THE FOLLOWING COMBINATIONS:
A. PHOTOCELL AND MOTION SENSOR
B. PHOTOCELL AND TIME SWITCH
C. ASTRONOMICAL TIME CLOCK
D. EMCS WITH FEATURES OF ASTRONOMICAL TIME CLOCK.

4. LUMINAIRES RECESSED IN INSULATED CEILINGS SHALL COMPLY WITH THE FOLLOWING:
A. SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED AIR TIGHT.
B. BE SEALED WITH GASKET OR CALK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL AIR LEAK
C. SHALL NOT CONTAIN SCREW BASE SOCKETS



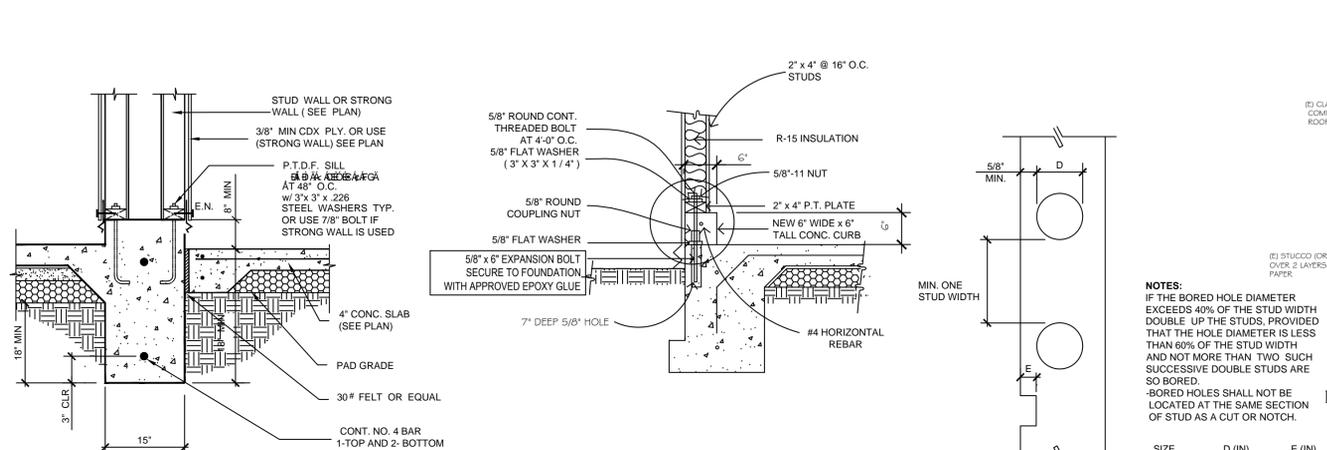
ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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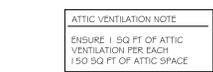
PROPOSED FRONT, REAR
ADDITIONS AND A
INTERIOR REMODEL
AND GARAGE CONVERSION
TO LIVING SPACE



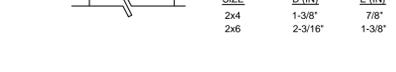
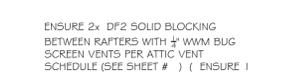
R COLUMN FOOTING DETAIL

- 1. VENTS ARE NOT TO INTERFERE WITH ANY BRACED WALL / SHEARWALLS
- 2. A WEEP SCREED SHALL BE PROVIDED AT THE FOUNDATION PLATE LINE IN ALL WALLS COVERED WITH EXTERIOR PLASTER. THE SCREED SHALL BE PLACED A MINIMUM OF 6 INCHES ABOVE EARTH OR 5 INCHES ABOVE PAVED AREAS.

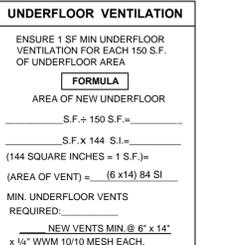
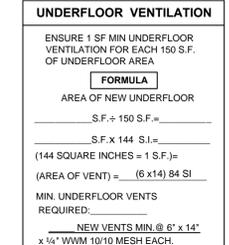
SPECIAL HOLDOWN INSTALLATION NOTE



K CURB TO EXISTING FOOTING DETAIL

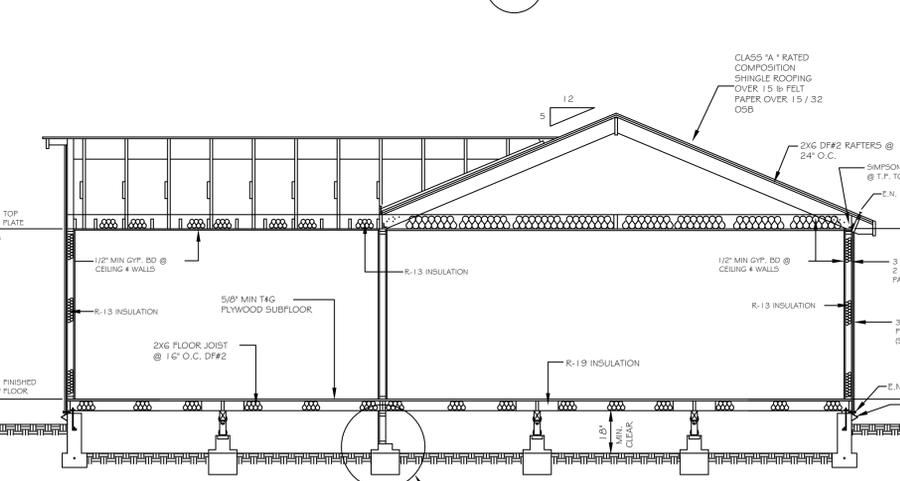
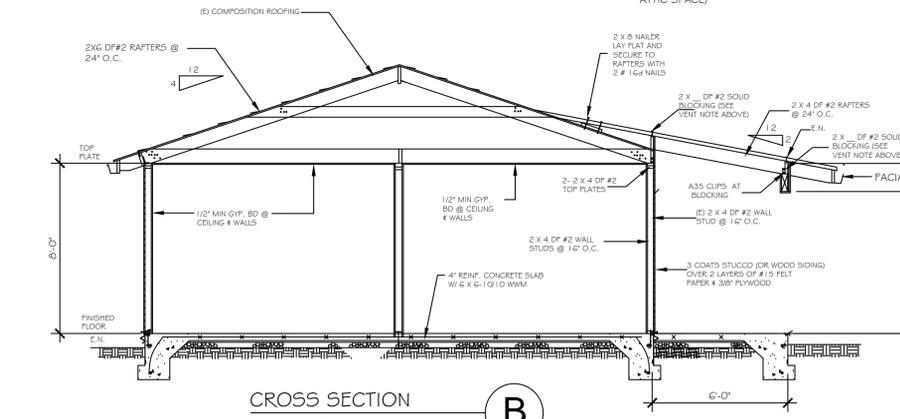


D ALLOWABLE HOLES & NOTCHES IN LOAD-BEARING STUDS

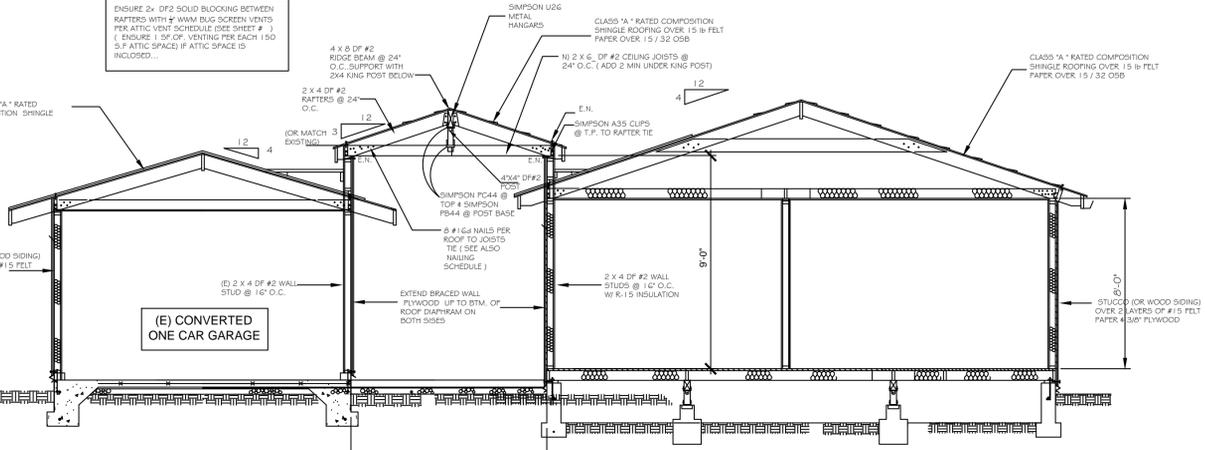


- SPECIAL FOUNDATION NOTES**
1. ALL NEW FOOTINGS AND PIERS TO BE A MIN OF 18" DEEP BELOW UNDISTURBED SOIL
 2. REPLACE ALL DRY ROT LUMBER WITH NEW PRESSURE TREATED WOOD
 3. ALL NEW NAILS TO BE GALVANIZED
 4. ALL UNPERMITTED TRENCHES AND EXCAVATED SOIL NEAR PERIMETER OF NEW FOUNDATION TO BE FILLED AS PER CODE
 5. ALL NEW PIERS TO BE A MIN OF TWO FEET FROM ANY EXCAVATED SOIL AREAS

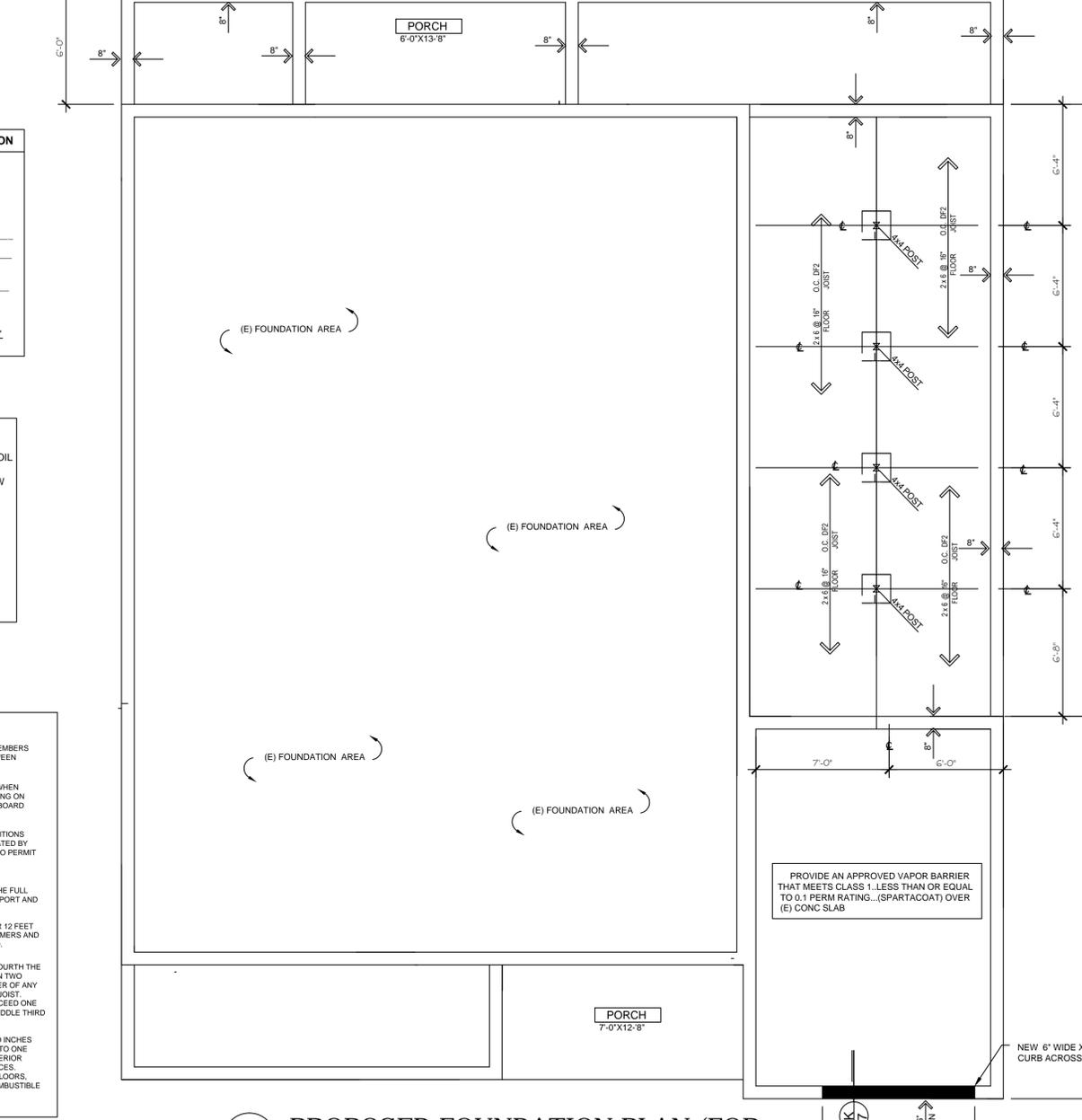
- FLOOR JOIST NOTES**
1. THE ALLOWABLE SPANS FOR HORIZONTAL LOAD BEARING MEMBERS SHALL BE TAKEN AS THE CLEAR HORIZONTAL DISTANCE BETWEEN SUPPORTS.
 2. ALL JOIST SHALL HAVE MINIMUM BEARING OF 1 1/2" INCHES WHEN SUPPORTED ON WOOD OR METAL AND THREE INCHES BEARING ON MASONRY WALLS EXCEPT WHEN SUPPORTED ON A RIBBON BOARD AND NAILED SECURELY TO THE ADJOINING STUD
 3. ALL FLOOR JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS SHALL BE DOUBLED, SPIKED TOGETHER OR MAY BE SEPARATED BY SOLID BLOCKING NO MORE THAN FOUR FEET ON CENTER TOO PERMIT THE PASSAGE OF PIPES.
 4. SOLID BLOCKING NOT LESS THAN TWO INCHES THICK AND THE FULL DEPTH OF THE JOISTS SHALL BE PROVIDED OVER EACH SUPPORT AND THE ENDS OF EACH JOIST.
 5. HEADER JOISTS OVER SIX FEET LONG AND TAIL JOISTS OVER 12 FEET LONG SHALL BE HUNG IN APPROVED JOISTS HANGERS. TRIMMERS AND HEADERS MORE THAN FOUR FEET LONG SHALL BE DOUBLED.
 6. NOTICES ON THE END OF JOISTS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE JOIST AND DIAMETER OF ANY SUCH HOLES SHALL NOT EXCEED ONE-THIRD THE DEPTH OF JOIST. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.
 7. ALL JOISTS AND BEAMS SHALL BE KEPT NOT LESS THAN TWO INCHES FROM ALL FLUES AND CHIMNEYS EXCEPT THAT REDUCTION TO ONE INCH IS PERMITTED FOR FIREPLACES AND CHIMNEYS IN EXTERIOR WALLS, AND AT LEAST TWO INCHES FROM BACK OF FIREPLACES. ALL SPACES BETWEEN CHIMNEYS AND WOOD FRAMING AT FLOORS, CEILING AND ROOF SHALL BE FIRE STOPPED WITH NONCOMBUSTIBLE MATERIAL.



A CROSS SECTION



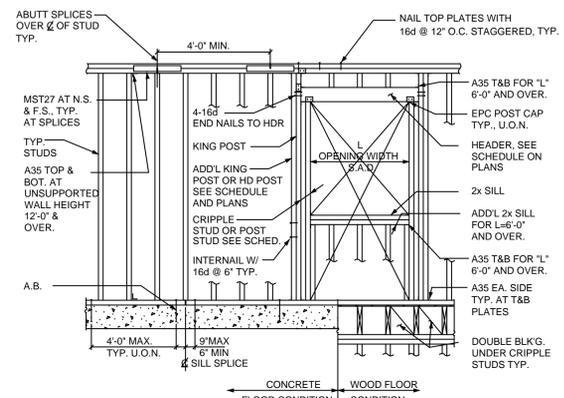
C CROSS SECTION



PROPOSED FOUNDATION PLAN (FOR REFERENCE ONLY - SEE ALSO STRUCTURAL)

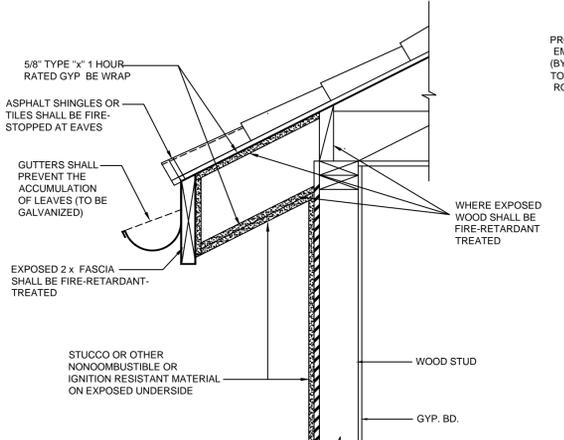
ROOF FRAMING NOTES

- ROOF FRAMING AND TRUSSES SHALL BE EFFECTIVELY ANGLE-BRACED ROOF RAFTERS, WHEN SUPPORTED ON A RIBSON, SHALL BE WELL NAILED TO THE STUDS. TRUSSES SHALL NOT BE NAILED TO INTERIOR WALLS.
- THE ALLOWABLE SPAN OF ROOF RAFTERS SHALL BE MEASURED ALONG THE RAFTER FROM PLATE TO RIDGE EXCEPT THAT WHERE RAFTERS ARE BRACED WITH PURLINS AND STRUTS TO BEARING PARTITIONS, THE SPAN SHALL BE CONSIDERED BETWEEN PURLINS.
- THE MAXIMUM SPAN FOR 2 x 4 PURLINS IS FOUR FEET. THE MAXIMUM SPAN FOR 2 x 6 PURLINS IS SIX FEET. THE MINIMUM SIZE FOR PURLING SUPPORTS (KICKERS) IS 2 x 4. SHALL BE INSTALLED VERTICAL OR MAY BE INSTALLED AT ANGLE UP TO 45% MEASURED FROM VERTICAL. ALL PURLING SUPPORTS (KICKERS) SHALL BE CONNECTED TO THE TOP PLATE OF A BEARING WALL. IN NO CASE SHALL A PURLIN BE LESS IN SIZE THAN THE RAFTERS IT SUPPORTS.
- A RIDGE SHALL BE INSTALLED AT ALL RIDGES AT LEAST TWO INCHES THICK NOT LESS IN DEPTH THAN THE END CUT OF THE RAFTER. WHERE THE SLOPE OF THE ROOF IS LESS THAN 3:12 THE RIDGE MEMBER SHALL BE DESIGNATED AS A LOAD-BEARING MEMBER.
- ALL VALLEY AND HIP RAFTERS SHALL BE NOT LESS THAN 2 INCHES THICK AND NOT LESS IN DEPTH THAN THE END CUT OF THE RAFTER.
- WHERE CEILING JOISTS RUN OPPOSITE TO RAFTERS, RAFTERS SHALL BE PROVIDED WITH CROSS TIES AT 48 INCHES ON CENTER PLACED NEAR THE PLATE. THE MINIMUM SIZE FOR THE CROSS TIES SHALL BE 1" INCH BY 4" INCH.
- THE USE OF ROOF TRUSSES SHALL REQUIRE BUILDING SAFETY DIVISION APPROVAL OF ENGINEERING DESIGN, DETAILS AND CALCULATIONS. TRUSSES SHALL NOT BE CUT WITHOUT REVIEW AND APPROVAL FROM THE BUILDING SAFETY DIVISION.



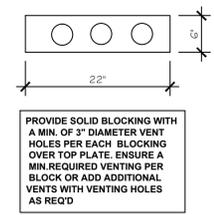
1'- OPENING WIDTH (MAX.)	ALL WALLS			EXTERIOR WALL			INTERIOR WALL		
	KING POST LEVEL	CRIFPLE STUDS/POSTS LEVEL	CRIFPLE STUDS/POSTS LEVEL	KING POST LEVEL	CRIFPLE STUDS/POSTS LEVEL	CRIFPLE STUDS/POSTS LEVEL	KING POST LEVEL	CRIFPLE STUDS/POSTS LEVEL	CRIFPLE STUDS/POSTS LEVEL
3'-6"	3RD	2ND	1ST	3RD	2ND	1ST	3RD	2ND	1ST
5'-0"	(1)2x	(2)2x	(2)2x	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4
7'-0"	(2)2x	(2)2x	(2)2x	(2)2x4	4x4	(3)2x4	4x4	(3)2x4	4x4
8'-6"	(3)2x	(3)2x	(3)2x	4x4	4x6	(3)2x4	4x4	(3)2x4	4x6

W TYPICAL WALL FRAMING ELEVATION
NOT TO SCALE



F 1 HR RATED EAVE DETAIL
NOT TO SCALE

NO OPENINGS OR VENT HOLES TO BE PERMITTED WITHIN 4'-0" OF PROPERTY LINE
ANY VENTILATION TO BE PROVIDED WITH EYEBROW OR RIDGE VENTING



REAR ROOF AND PORCH AREA

ATTIC VENTILATION NOTE

ENSURE 1 SF MIN ATTIC VENTILATION FOR EACH 150 S.F. OF ATTIC AREA

FORMULA

AREA OF NEW ATTIC
 $282 \text{ S.F.} + 150 \text{ S.F.} = 1.88$
 $1.88 \text{ S.F.} \times 144 \text{ S.I.} = 270$
 (144 SQUARE INCHES = 1 S.F.)

(AREA OF VENT) = $4" \times 22"$ OR 88 S.I.

TOTAL ATTIC VENTS REQUIRED: 4

6 NEW VENTS MIN. @ 4" x 22" x 1/4" WWM 10/10 MESH EACH.

NOTE: ENSURE 50% OF TOTAL VENTILATION AT UPPER ROOF PORTION. VENTILATION CAN BE ACCOMPLISHED BY USE OF: 1) LOUVERED GABLE VENTS 2) EYEBROW VENTS AND 3) EVE VENTS. IF SO, CONTRACTOR TO RADIAN BARRIER AT BACK OF GABLE VENTS AND APPROVED WWM BUG SCREEN.

RIGHT SIDE ADDITION

ATTIC VENTILATION NOTE

ENSURE 1 SF MIN ATTIC VENTILATION FOR EACH 150 S.F. OF ATTIC AREA

FORMULA

AREA OF NEW ATTIC
 $432 \text{ S.F.} + 150 \text{ S.F.} = 2.88$
 $2.88 \text{ S.F.} \times 144 \text{ S.I.} = 414$
 (144 SQUARE INCHES = 1 S.F.)

(AREA OF VENT) = $6" \times 22"$ OR 132 S.I.

TOTAL ATTIC VENTS REQUIRED: 4

6 NEW VENTS MIN. @ 6" x 22" x 1/4" WWM 10/10 MESH EACH.

NOTE: ENSURE 50% OF TOTAL VENTILATION AT UPPER ROOF PORTION. VENTILATION CAN BE ACCOMPLISHED BY USE OF: 1) LOUVERED GABLE VENTS 2) EYEBROW VENTS AND 3) EVE VENTS. IF SO, CONTRACTOR TO RADIAN BARRIER AT BACK OF GABLE VENTS AND APPROVED WWM BUG SCREEN.

FRONT ADDITION AREA

ATTIC VENTILATION NOTE

ENSURE 1 SF MIN ATTIC VENTILATION FOR EACH 150 S.F. OF ATTIC AREA

FORMULA

AREA OF NEW ATTIC
 $140 \text{ S.F.} + 150 \text{ S.F.} = .933$
 $.933 \text{ S.F.} \times 144 \text{ S.I.} = 135$
 (144 SQUARE INCHES = 1 S.F.)

(AREA OF VENT) = $6" \times 22"$ OR 132 S.I.

TOTAL ATTIC VENTS REQUIRED: 2

4 NEW VENTS MIN. @ 6" x 22" x 1/4" WWM 10/10 MESH EACH.

NOTE: ENSURE 50% OF TOTAL VENTILATION AT UPPER ROOF PORTION. VENTILATION CAN BE ACCOMPLISHED BY USE OF: 1) LOUVERED GABLE VENTS 2) EYEBROW VENTS AND 3) EVE VENTS. IF SO, CONTRACTOR TO RADIAN BARRIER AT BACK OF GABLE VENTS AND APPROVED WWM BUG SCREEN.

NEW ENTRY PORCH AREA

ATTIC VENTILATION NOTE

ENSURE 1 SF MIN ATTIC VENTILATION FOR EACH 150 S.F. OF ATTIC AREA

FORMULA

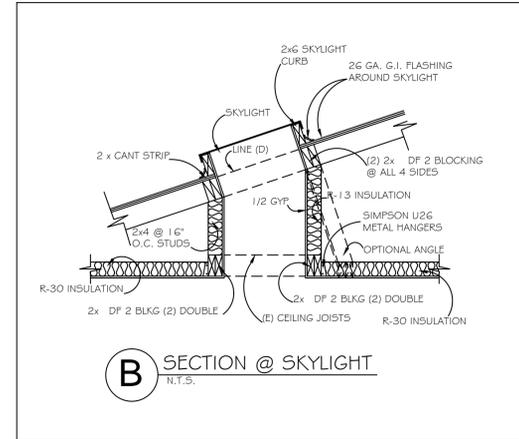
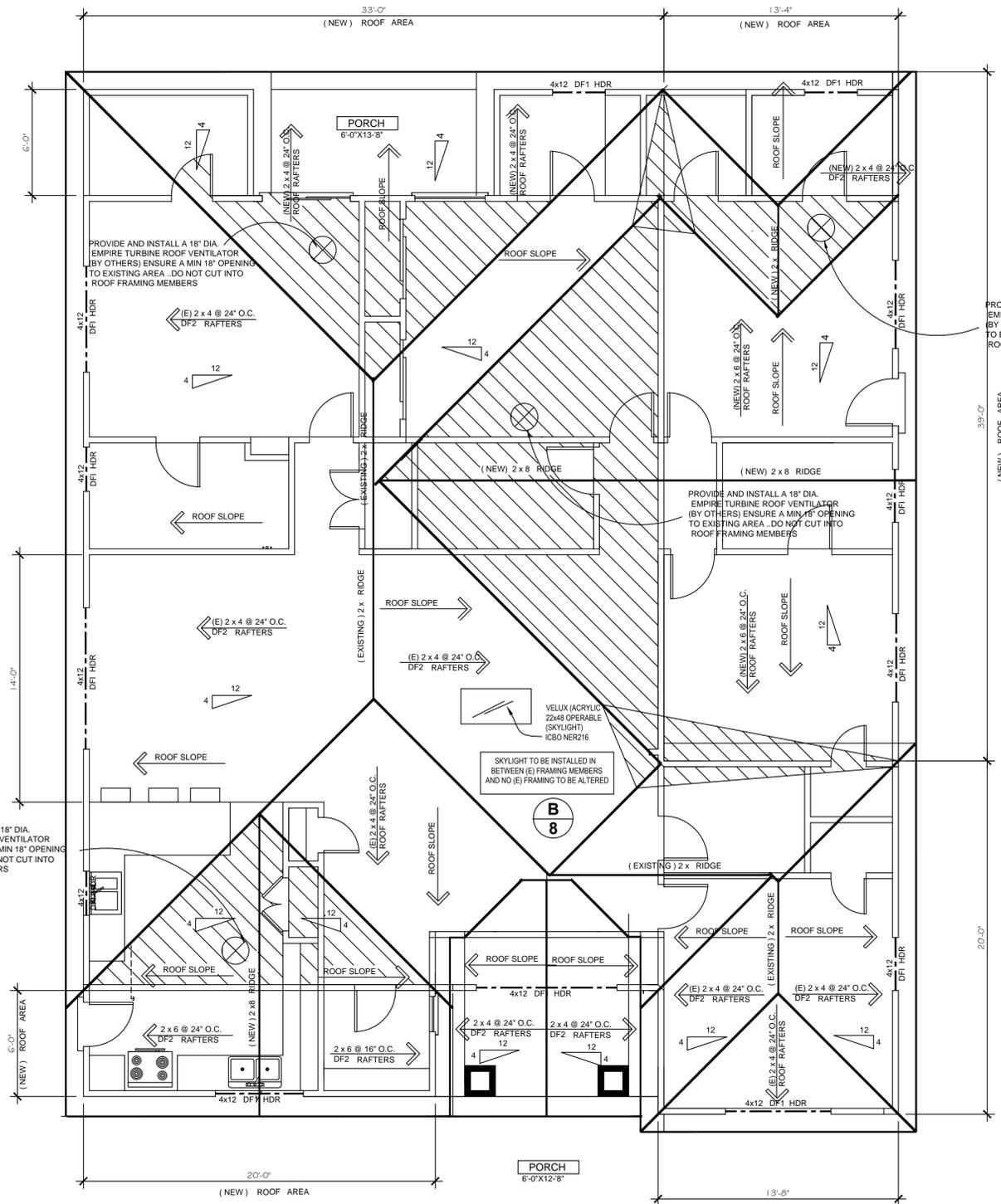
AREA OF NEW ATTIC
 $90 \text{ S.F.} + 150 \text{ S.F.} = .60$
 $.60 \text{ S.F.} \times 144 \text{ S.I.} = 86.4$
 (144 SQUARE INCHES = 1 S.F.)

(AREA OF VENT) = $4" \times 22"$ OR 88 S.I.

TOTAL ATTIC VENTS REQUIRED: 2

2 NEW VENTS MIN. @ 4" x 22" x 1/4" WWM 10/10 MESH EACH.

NOTE: ENSURE 50% OF TOTAL VENTILATION AT UPPER ROOF PORTION. VENTILATION CAN BE ACCOMPLISHED BY USE OF: 1) LOUVERED GABLE VENTS 2) EYEBROW VENTS AND 3) EVE VENTS. IF SO, CONTRACTOR TO RADIAN BARRIER AT BACK OF GABLE VENTS AND APPROVED WWM BUG SCREEN.



PROPOSED ROOF PLAN (FOR REFERENCE ONLY)
SCALE: 1/4" = 1'-0"
- SEE ALSO STRUCTURAL

REVISIONS

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PROPOSED FRONT, REAR
ADDITIONS AND A
INTERIOR REMODEL
AND GARAGE CONVERSION
TO LIVING SPACE

DATE: 01-8-2022

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:



GENERAL EXTERIOR NOTES

- ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 15 POUND FELT ON ROOFS WITH A MIN SLOPE OF 3:12. ASPHALT SHINGLES MAY BE INSTALLED ON ROOFS WITH A MIN SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED SELF SEALING OR ARE HAND SEALED AND THE UNDER LAYMENT SHALL CONSIST OF 2 LAYERS OF 15 POUND FELT INSTALLED SINGLE FASHION. MAX LAYERS ON A SHINGLE ROOF SHALL NOT EXCEED 3
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
- SITE ADDRESS NUMBERS... BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2" INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

EXTERIOR WEATHER PROTECTION NOTES

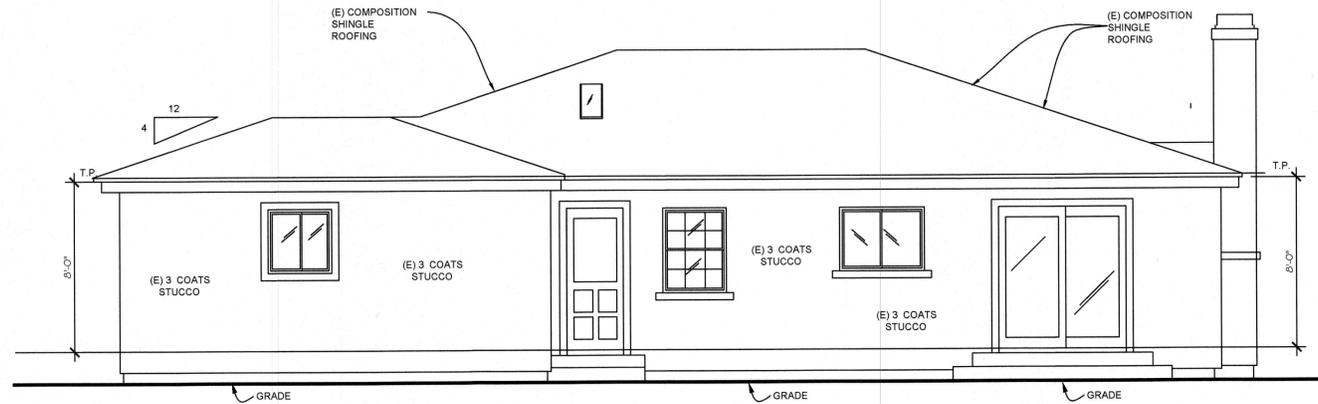
- STUCCO OR SHEATING OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH 15 POUND ASPHALT SATURATED FELT OR OTHER APPROVED WATERPROOF PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 6" AT VERTICAL JOINTS.
- WHERE STUCCO IS APPLIED OVER EXTERIOR SHEATING THERE SHALL BE TWO LAYERS OF GRADE D BUILDING PAPER. BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING: ...
 - A)... WHERE THERE IS NO HUMAN OCCUPANCY
 - B)... WHERE EXTERIOR COVERING IS OF APPROVED W.P. MATERIAL OVER WATER REPELLENT SHEATING
 - C)... WHERE EXTERIOR COVERING IS APPROVED W.P. PANELS
- STUCCO SHALL BE 7/8" THICK AND THREE COATS APPLIED OVER APPROVED WIRE LATH AND TWO LAYERS OF GRADE D BUILDING PAPER. PROVIDE WEEP CREED
- SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY

GENERAL NOTES

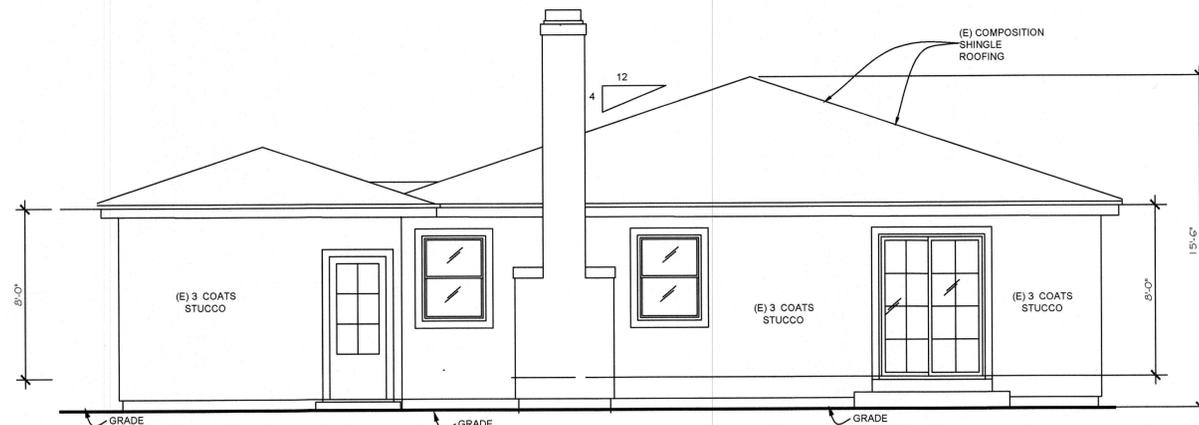
- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2019 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E.)
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH, AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).
- ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SITE PLAN LAYOUT: IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE ACTUAL DIMENSIONS OF THE LOT AND ITS SETBACKS, IT WILL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LAYOUT. ALL SITE PLANS, AS DRAWN ARE FOR REFERENCE AND SHOULD NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT

EXTERIOR BUILDING NOTES

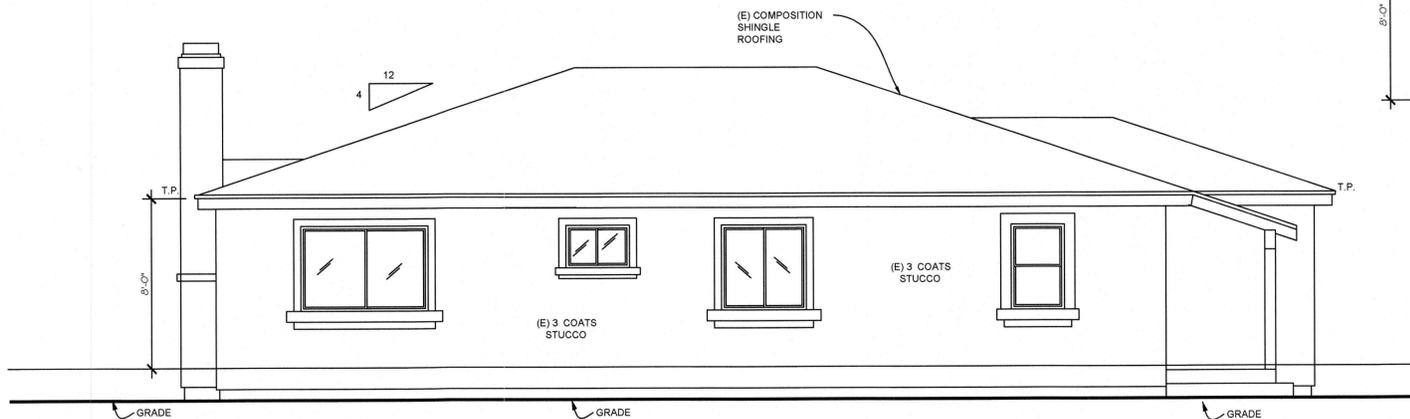
- CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHEATHING, AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6" OR LESS THAN 2" MEASURED VERTICALLY FROM
- WHERE ROOF GUTTERS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPLASH BLOCK AND SHALL CARRY WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE. CLARIFY IF THERE ARE NEW GUTTERS AT NEW ADDITION



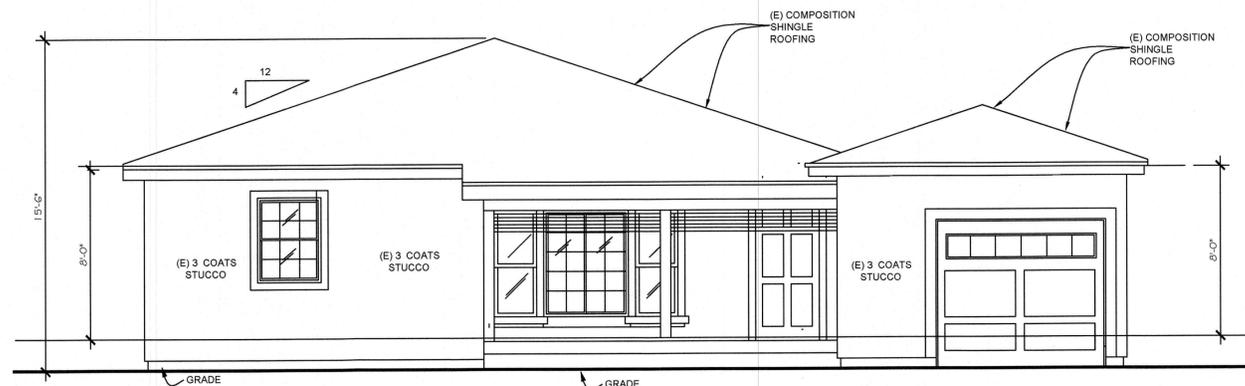
RIGHT SIDE ELEVATION (NORTH)
(EXISTING)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (WEST)
(EXISTING)
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (SOUTH)
(EXISTING)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (EAST)
(EXISTING)
SCALE: 1/4" = 1'-0"

REVISIONS

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**PROPOSED FRONT, REAR
ADDITIONS AND A
INTERIOR REMODEL
AND GARAGE CONVERSION
TO LIVING SPACE**

DATE: 1-20-2022

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

11

OF SHEETS