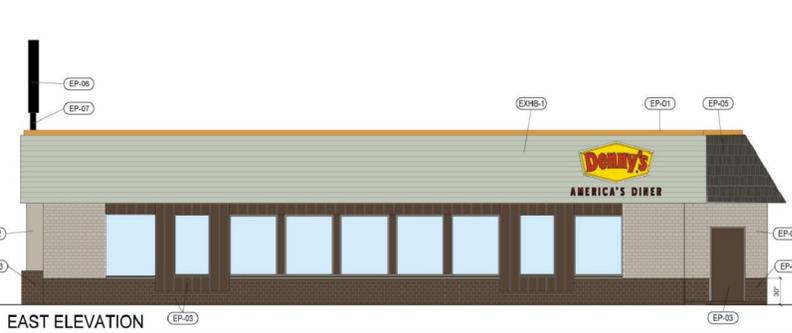


## Location of Proposed Project



**CITY OF CAMPBELL**  
City of Campbell  
70 North First Street  
Campbell, CA 95008 -1423

## Project Image



# Courtesy Notice

Dear Campbell Resident,

November 4, 2022

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

**Project Address:** 2201 S Bascom Ave

**Zoning | Area Plan:** C-2| N/A

**Neighborhood Association(s):** N/A

**File No.:** PLN-2022-140

**APN:** 412-19-020

**Applicant:** William Ross

**Property Owner:** Barry Hertz D.

**Application Type:** Conditional Use Permit

## Project Description:

To establish late night hours (open 24 hours, daily) in conjunction with an existing restaurant (Denny's).

**Project Planner:** Larissa Lomen, Assistant Planner

**Email Contact:** larissal@campbellca.gov

**Phone Contact:** (408) 866-2144

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,

Simplemente marque (408) 866-2140 y pida traduccion en Español



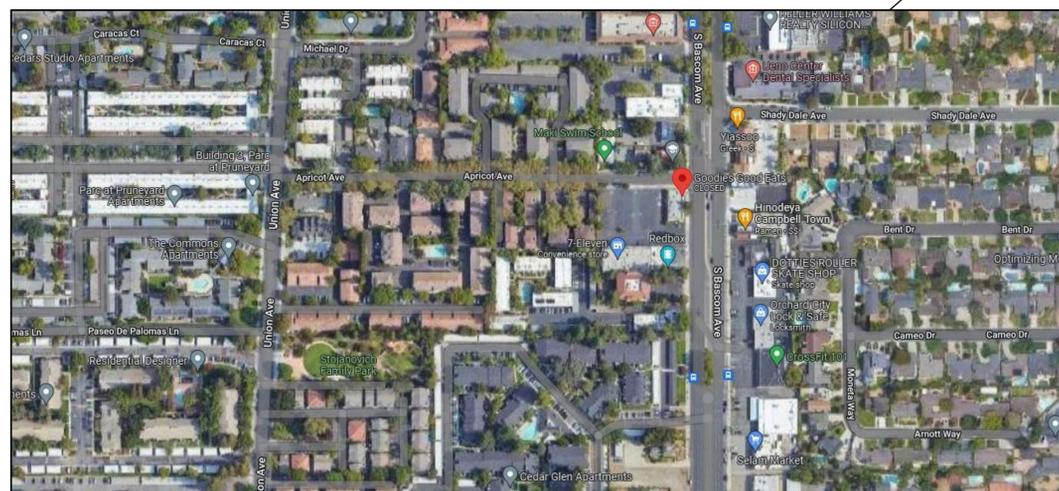
# DENNY'S REMODEL

2201 S. BASCOM AVE.  
CAMPBELL, CALIFORNIA 95008

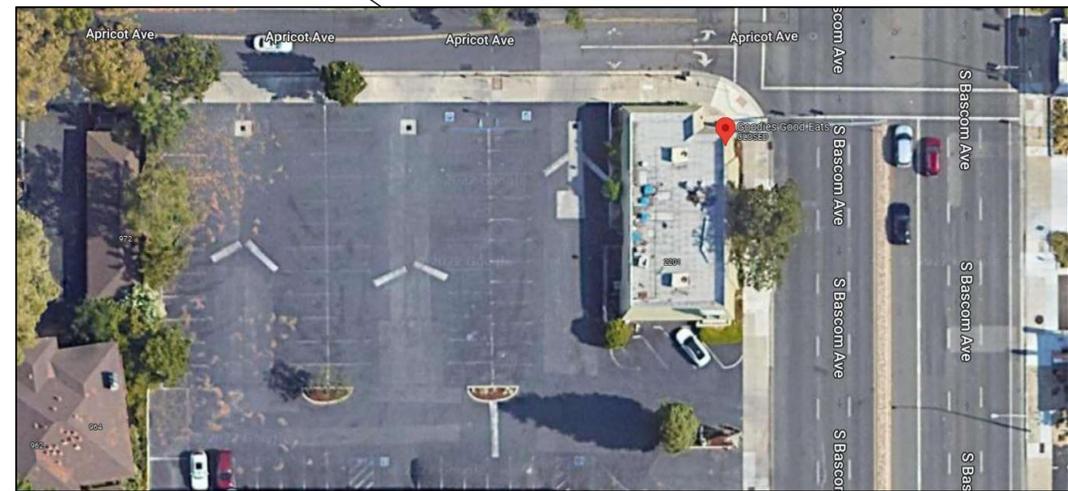
GENERAL NOTES		PROJECT DATA TABLE	
<p>1. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.</p> <p>2. SUB-CONTRACTORS SHALL FIELD INSECT JOB SITE PRIOR TO CONNENCMENT OF WORK AND SHALL ADHERE TO ALL RULES GOVERNING CONSTRUCTION, SAFETY, BUILDING ACCESS AND THE USE OF THE FACILITIES AS SET BY THE BUILDING OWNER, BUILDING DEPARTMENT, FIRE DEPARTMENT AND STATE AUTHORITIES.</p> <p>3. GENERAL AND SUBCONTRACTORS ARE RESPONSIBLE FOR INSPECTING THE PREMISES DURING BIDDING TO ASCERTAIN EXISTING CONDITIONS WHICH MIGHT AFFECT THE COST OF THE CONSTRUCTION.</p> <p>4. CONTRACTOR SHALL NOTIFY OWNER OF ANY DISCREPANCIES, CONFLICTS, ERRORS OMISSIONS ENCOUNTERED ON THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION OR ORDERING MATERIALS. IF THERE ARE ANY QUESTIONS REGARDING THESE DRAWINGS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE OWNER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.</p> <p>5. DIMENSIONS INDICATED IN CONTRACT DOCUMENTS SHALL GOVERN, DO NOT SCALE DRAWINGS.</p> <p>6. DETAILS SHALL TAKE PRECEDENCE OVER GENERAL FLOOR PLAN.</p> <p>7. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE SUBCONTRACTOR'S WORK AND TO REPORT TO THE OWNER ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENTS. COORDINATION SHALL INCLUDE, BUT NOT BE LIMITED TO VERIFYING CLEARANCES AT LGHT FIXTURES, MECHANICAL EQUIPMENT, PLUMBING, FIRE SPRINKLERS AND ELECTRICAL EQUIPMENT ABOVE THE CEILING.</p>	<p>8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE PROJECT SCHEDULE. PRIOR TO START OF THE PROJECT, THE GENERAL CONTRACTOR SHALL VERIFY LEAD TIMES OF FINISH MATERIALS AND SPECIAL ITEMS TO ASSURE AVAILABILITY AS SCHEDULE REQUIRES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE PROGRESS OF THE WORK AND INFORMING THE OWNER IMMEDIATELY OF ANY POTENTIAL DELAYS.</p> <p>9. ALL WORK LISTED, SHOWN, OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH SCHEDULES ARE MET AND THAT ALL WORK DONE IN CONFORMANCE TO THE MANUFACTURER'S REQUIREMENTS.</p> <p>10. THE USE OF THE WORD "PROVIDE" IN CNNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED, WHERE SO REQUIRED, EXCEPT AS NOTED OTHERWISE.</p> <p>11. MATERIAL ARE SPECIFIED BY THIER BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED TO THE OWNER IN WRITING, IN A TIMELY MANNER. REQUESTS WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE OR A LOWER PRICE WITH CREDIT TO THE TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE, AND FUNCTION. UNDER NO COST CIRCUMSTANCE WILL THE OWNER BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED. SUBSTITUTE MATERIALS SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THE OWNER'S WRITTEN APPROVAL.</p>	<p>12. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTION. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND OBTAIN INSTRUCTIONS BEFORE PROCEEDING.</p> <p>13. BY APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES, THE CONTRACTOR REPRESENT THAT HE HAS DETERMINED AND VERIFIED FIELD MEASUREMENTS, FIELD CONDITION CRITERIA, MATERIALS, CATALOG NUMBERS, AND SIMILAR DATA AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND COORDINATED WITH CONTRACTOR REQUIREMENTS. REVIEW OF SHOP DRAWINGS, PROPER FITTINGS, COORDINATION OF WORK, CONSTRUCTION TECHNIQUES, AND MATERIALS AS PER CONTRACT DOCUMENTS.</p> <p>14. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND/OR DEMOLITION.</p> <p>15. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR CONSTRUCTION RESULTING FROM WORK OF CONTRACTOR AND/OR SUBCONTRACTOR AND SHALL REPAIR ALL SUCH DAMAGE TO ORIGINAL CONDITION AT NO ADDITIONAL COST.</p> <p>16. CONTRACTOR SHALL BERESPONSILE FOR THE REMOVAL OF ALL DEMOLITION DEBRIS FROM PREMISES UNLESS OTHERWISE NOTED.</p> <p>17. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AT THE COMPLETION OF THE WORK. CLEANING SHALL INCLUDE INTERIOR WINDOWS, FLOOR COVERING, WALLS, DOORS, FRAMES, HARDWARE, CABINETRY, CEILINGS, LIGHT FIXTURES, LENSES, GRILLS AND SWITCH PLATES.</p>	<p>OCCUPANY LOAD CALCULATION</p> <p>KITCHEN AREA - 1,170 SQ. FT. - 6 (200 SQ. FT. PER PERSON)</p> <p>BOTH REST ROOMS - 460 SQ. FT. - 3 (150 SQ. FT. PER PERSON)</p> <p>SEATING AREA - 1,440 SQ. FT. - 96 (15 SQ. FT. PER PERSON)</p> <p>TOTAL OCCUPANY - 105</p>
		<p>CONSTRUCTION TYPE: 5B</p> <p>OCCUPANCY TYPE: A2 (RESTAURANT)</p> <p>OCCUPANCY LOAD : 105 MAX.</p> <p>ALTERATION FLOOR AREA: 3,070 SQ. FT.</p> <p>STORIES: SINGLE</p> <p>AUTO SPRINKLERS: NO</p>	
		<h3>INDEX OF DRAWINGS</h3>	
		<p>A-0.0 - COVER SHEET</p> <p>A-1.0 - ACCESSIBILITY PLAN</p> <p>A-2.0 - FLOOR PLAN</p> <p>A-3.0 - FURNITURE PLAN</p> <p>A-4.0 - SITE PHOTOGRAPHY PLAN</p> <p>A-5.0 - PROPOSED EXTERIOR ELEVATIONS</p>	
APPLICABLE CODES	SCOPE OF WORK:	DEFERRED SUBMITTALS:	
		-	
		NOTES :	

PROJECT: DENNY'S REMODEL AT 2201 S. BASCOM AVE. CAMPBELL, CALIFORNIA 95008

2201 S. BASCOM AVE.



VICINITY MAP



SITE PLAN



MARK	DATE	DESCRIPTION

ISSUE: 24 OCTOBER 2022

PROJECT NO:

FILE:

DRAWN BY: W.N.R.

CHECKED BY:

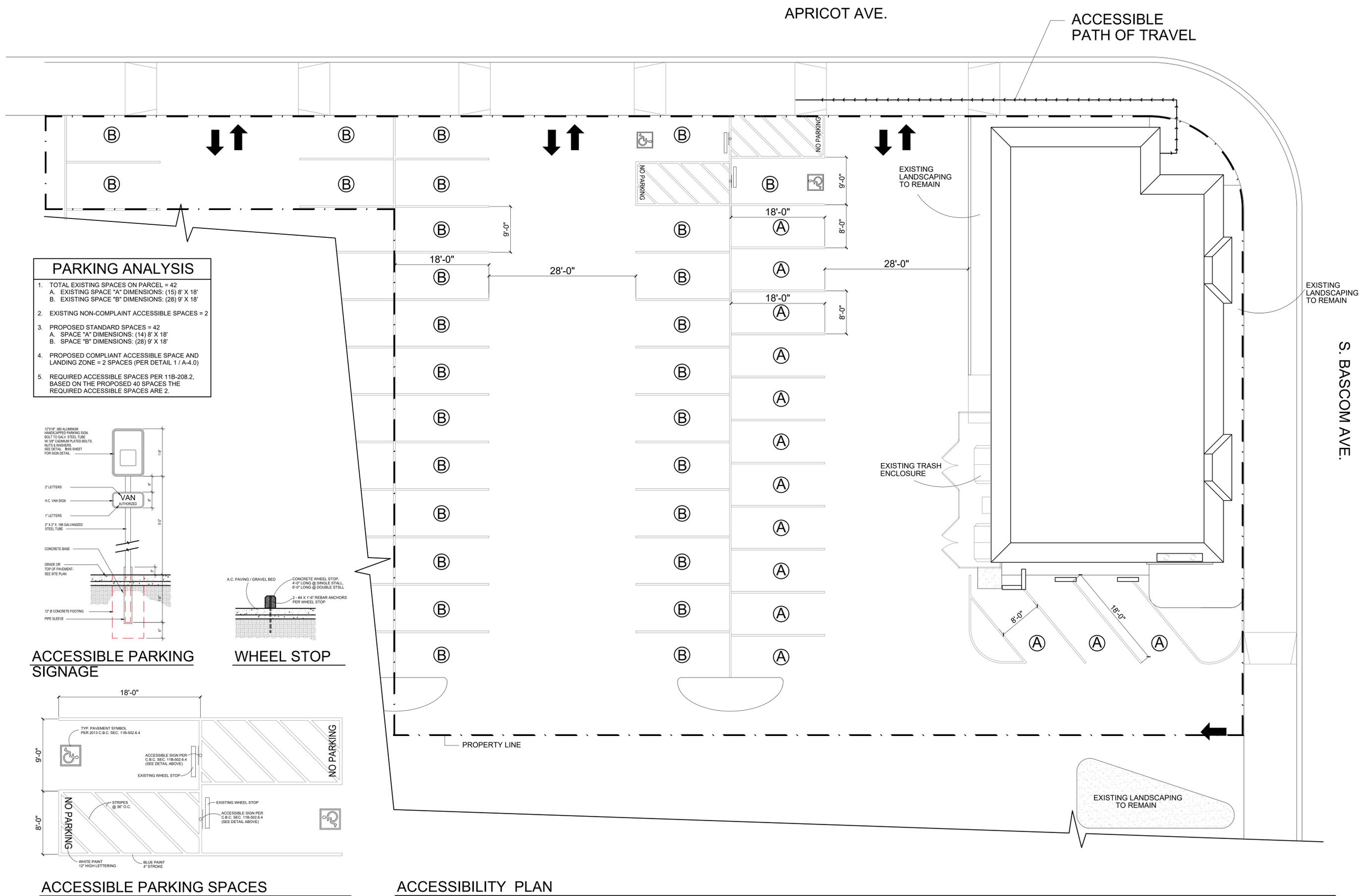
COVER SHEET

A-0.0

MARK	DATE	DESCRIPTION

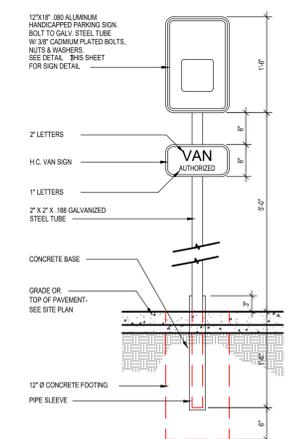
ISSUE: 24 OCTOBER 2022

PROJECT NO: \_\_\_\_\_  
FILE: \_\_\_\_\_  
DRAWN BY: W.N.R.  
CHECKED BY: \_\_\_\_\_

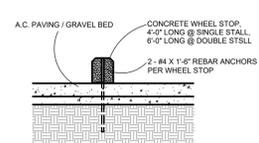


**PARKING ANALYSIS**

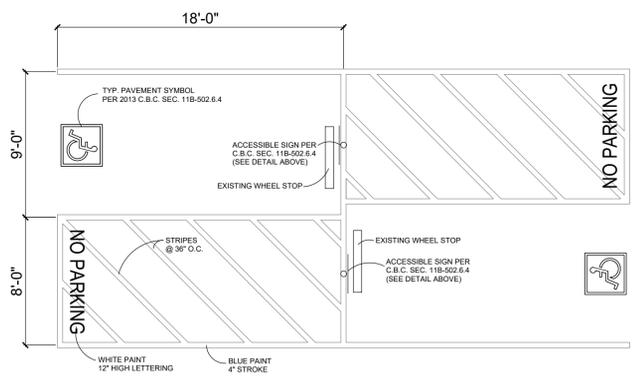
- TOTAL EXISTING SPACES ON PARCEL = 42  
A. EXISTING SPACE "A" DIMENSIONS: (15) 8' X 18'  
B. EXISTING SPACE "B" DIMENSIONS: (28) 9' X 18'
- EXISTING NON-COMPLAINT ACCESSIBLE SPACES = 2
- PROPOSED STANDARD SPACES = 42  
A. SPACE "A" DIMENSIONS: (14) 8' X 18'  
B. SPACE "B" DIMENSIONS: (28) 9' X 18'
- PROPOSED COMPLIANT ACCESSIBLE SPACE AND LANDING ZONE = 2 SPACES (PER DETAIL 1 / A-4.0)
- REQUIRED ACCESSIBLE SPACES PER 11B-208.2, BASED ON THE PROPOSED 40 SPACES THE REQUIRED ACCESSIBLE SPACES ARE 2.



**ACCESSIBLE PARKING SIGNAGE**



**WHEEL STOP**



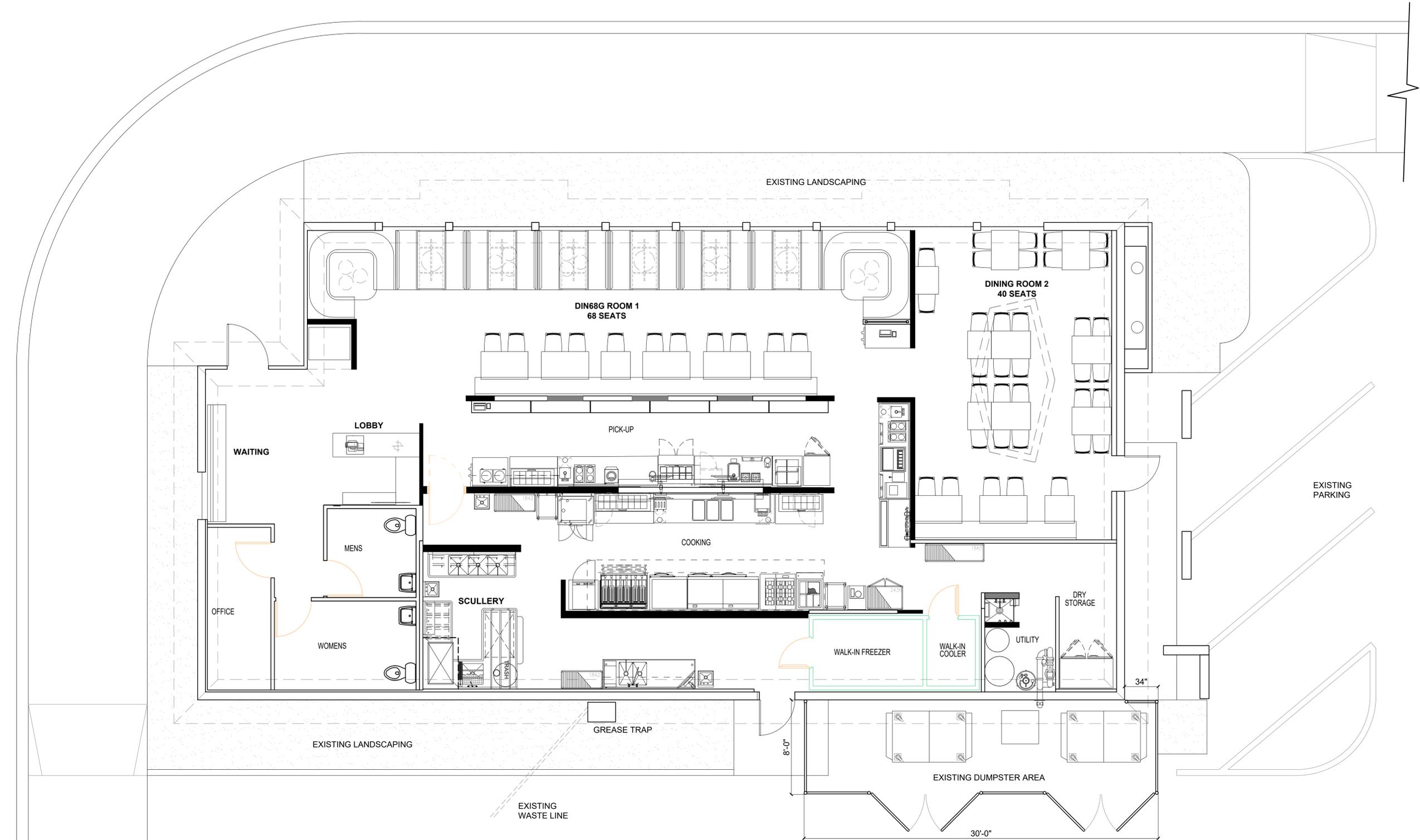
**ACCESSIBLE PARKING SPACES**

**ACCESSIBILITY PLAN**

1/8" = 1'-0"

S. BASCOM AVE.

APRICOT AVE.



FLOOR PLAN

1/4" = 1'-0"

**SPARC**  
DESIGN

24910 LAS BRISAS RD. STE 112 MURRIETA, CA 92562  
WWW.SPARCDSIGNGROUP.COM | 951.293.4528

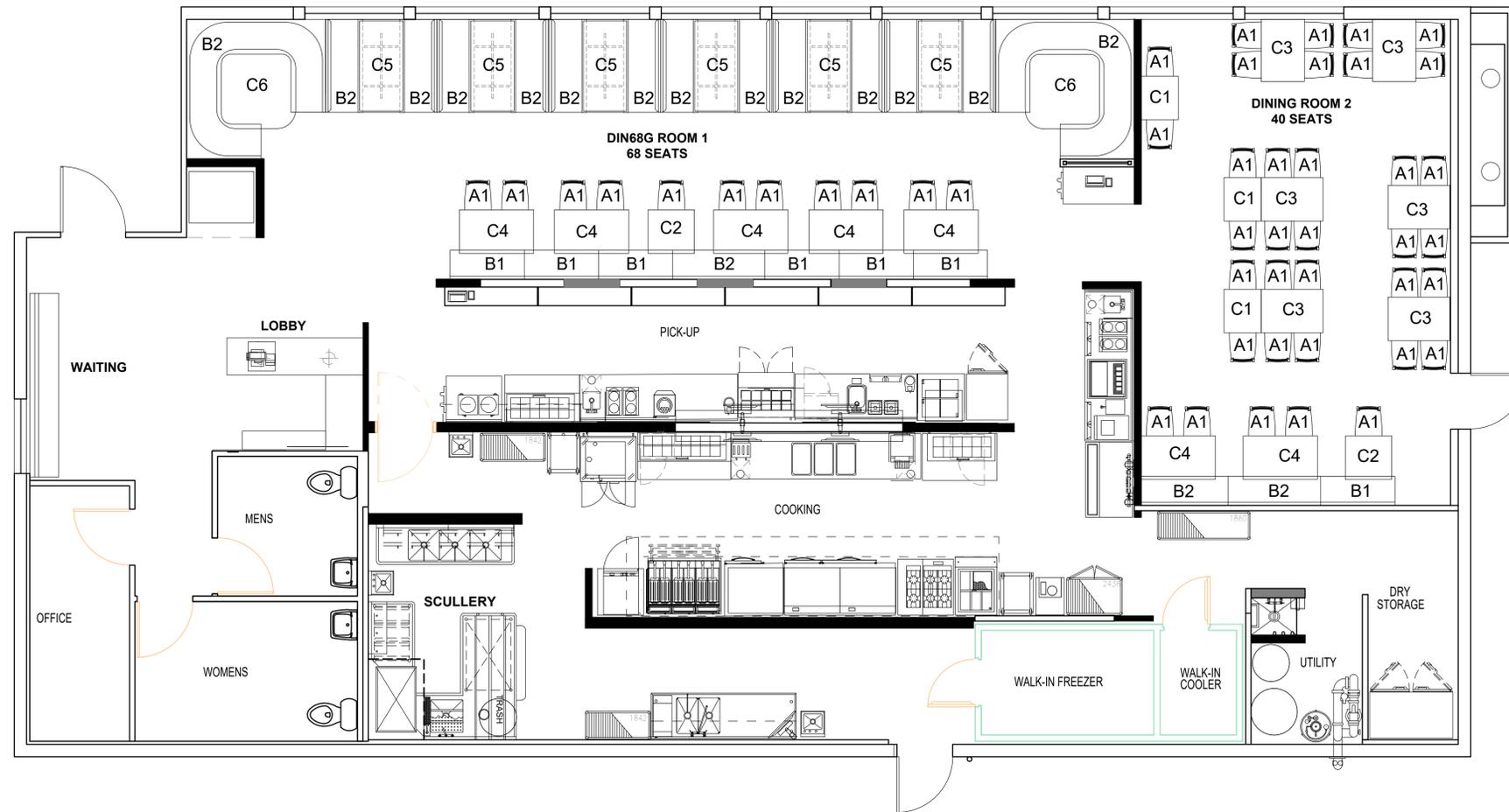
PROJECT: **DENNY'S REMODEL** AT 2201 S. BASCOM AVE. CAMPBELL, CALIFORNIA 95008

MARK	DATE	DESCRIPTION

ISSUE: 30 AUGUST 2022  
PROJECT NO:  
FILE:  
DRAWN BY: W.N.R.  
CHECKED BY:

FLOOR PLAN

A-2.0



# FURNITURE PLAN

1/4" = 1'-0"

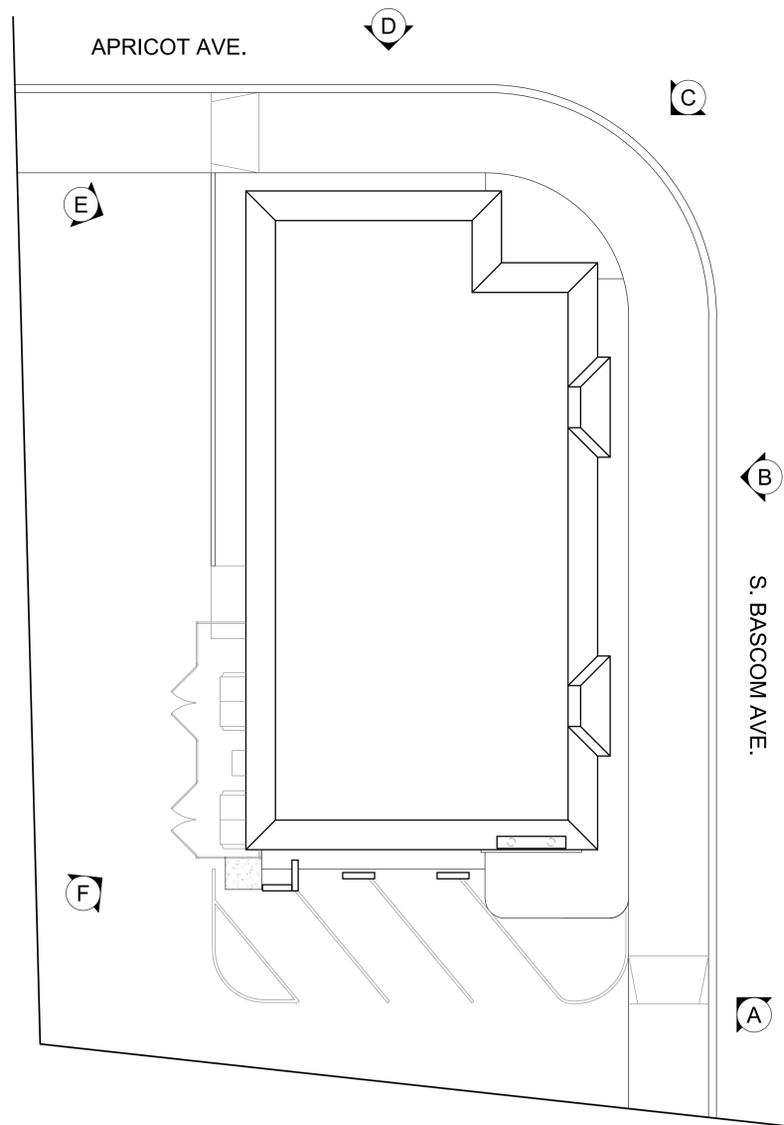
FURNITURE LIST			
ITEM	QTY.	PLAN	DESCRIPTION
A1	61		CHAIR
B1	7		60" BENCH SEAT
B2	15		60" BENCH SEAT
B3	2		CORNER BOOTH
C1	3		24" X 30" TABLE
C2	2		30" X 30" TABLE
C3	6		40" X 30" TABLE
C4	7		48" X 30" TABLE
C5	6		60" X TABLE
C6	2		48" X 48" TABLE

FURNITURE NOTES	
A.	ACCESSIBLE WHEELCHAIR SEATING FOR MIN. 5% OF TOTAL SEATS. AT LEAST (1) PER FUNCTIONAL AREA OF THE RESTAURANT. MIN. 36" W/CLEAR AISLE & SEATS. SHALL PROVIDE A TABLE OR COUNTER HEIGHT OF 28" TO 34" A.F.F. W/ 27" H X 30" W X 19" KNEE SPACE BELOW.
B.	ALL INTERIOR TABLES AND CHAIRS TO BE PROVIDED BY FURNITURE VENDOR. ALL BOOTH BENCHES AND BANQUETTE BENCHES TO BE PROVIDED BY MILLWORK VENDOR.
C.	ALL TABLES AND CHAIRS ARE NOT TO BE FIXED.

PROJECT:	DESCRIPTION:	DATE:	MARK:
ISSUE:	24 OCTOBER 2022		
PROJECT NO.:			
FILE:			
DRAWN BY:	W.N.R.		
CHECKED BY:			

FURNITURE PLAN

A-3.0



SITE PHOTOGRAPHY PLAN



SOUTHEAST CORNER "A"



EAST ELEVATION "B"



NORTHEAST CORNER "C"



NORTH ELEVATION "D"



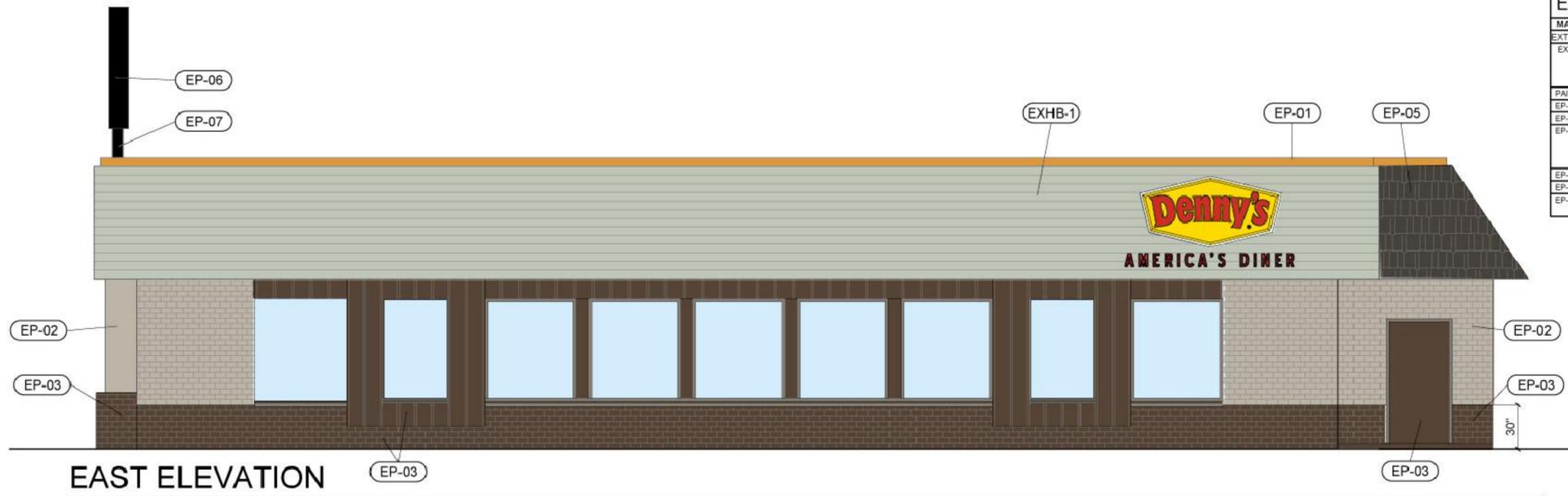
WEST ELEVATION "E"



SOUTHWEST CORNER "F"

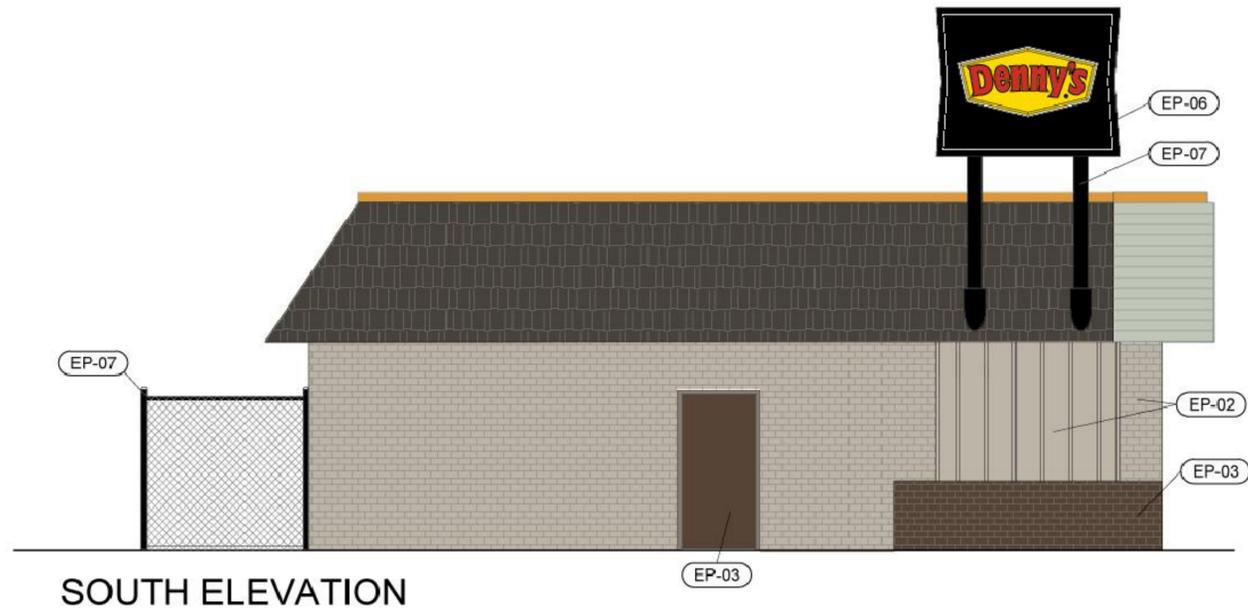
MARK	DATE	DESCRIPTION

ISSUE: 24 OCTOBER 2022  
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DRAWN BY: W.N.R.  
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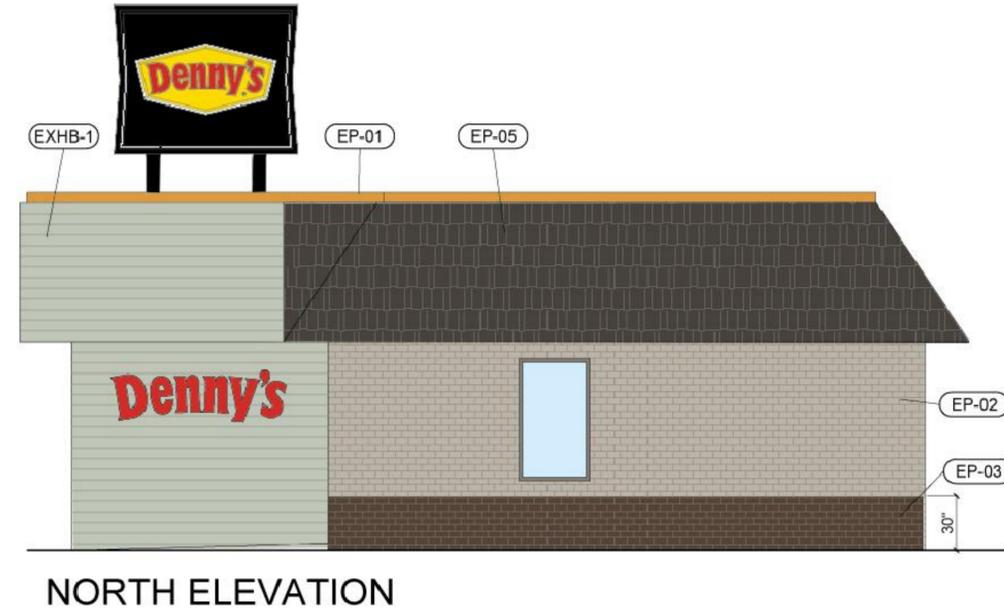


EXTERIOR FINISH SCHEDULE			
MARK	DESCRIPTION	MANUFACTURER	COLOR
EXTERIOR			
EXHB-1	FIBER CEMENT PANELS	JAMES HARDIE: HARDIE PLANK HZ 5 LAP SIDING, 6" TIMBER DARK	CEDARMILL COLOR
PAINT AND STAIN			
EP-01	CROWN MOULDING, ACCENT TRIM	SHERWIN WILLIAMS	SW 6670 GOLD CREST, SATIN
EP-02	MAIN FIELD COLOR	SHERWIN WILLIAMS	SW 7044 AMAZING GRAY, SATIN
EP-03	EXTERIOR WALLS AT WAINSCOT WITHOUT STONE, DOWNSPOUTS, METAL DOORS & FRAMES, LADDERS, TRIM METAL, MIN OF 36" HIGH AND A MAX OF 48" HIGH	SHERWIN WILLIAMS	SW 7041 VAN DYKE BROWN, SATIN
EP-05	ROOF	SHERWIN WILLIAMS	SW 6675 "SEAL SKIN"
EP-06	SIGN CABINET	SHERWIN WILLIAMS	DTM GLOSS, PACKAGED E-W BLACK
EP-07	TRASH ENCLOSURE EXTERIOR, PYLON POLE SIGNS, PARKING LOT LIGHT POLES	SHERWIN WILLIAMS	DTM GLOSS, PACKAGED S-W BLACK

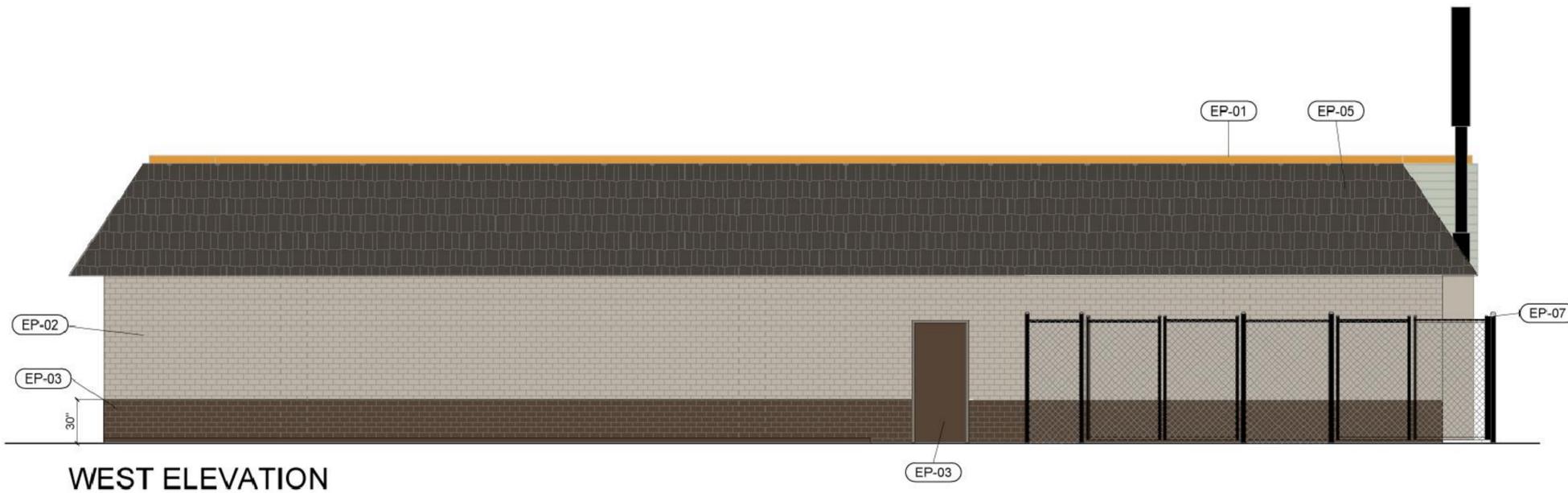
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

1/4" = 1'-0"

MARK	DATE	DESCRIPTION

ISSUE: 30 AUGUST 2022  
 PROJECT NO:  
 FILE:  
 DRAWN BY: W.N.R.  
 CHECKED BY:  

PROPOSED BUILDING EXTERIOR REMODEL PLAN