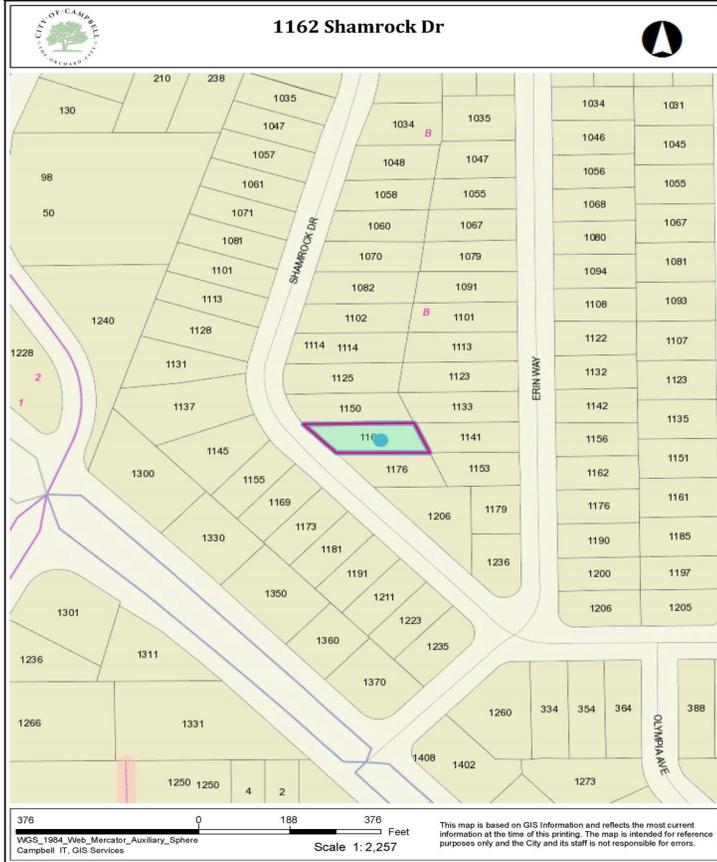


## Location of Proposed Project



City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423

## Project Image



# Notice of Decision on Proposed Project

Dear Campbell Resident,

November 3, 2022

The Community Development Director will be rendering a decision on the following project.

**Project Address:** 1162 Shamrock Dr  
**Zoning | Area Plan:** R-1-8 | Campbell Village Neighborhood Plan  
**Neighborhood Association(s):** CVNA  
**File No:** PLN-2022-95  
**APN:** 414-01-055  
**Applicant:** Casper Liu  
**Property Owner:** SF21A LLC  
**Application Type:** Administrative Site and Architectural Review Permit  
  
**Project Planner:** Larissa Lomen, Assistant Planner  
**Email Contact:** larissal@campbellca.gov  
**Phone Contact:** (408) 866-2144

## Project Description:

An Administrative Site and Architectural Review Permit to allow the construction of a new 3,162 SF single-family dwelling.

## Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **November 4, 2022**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 14, 2022**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal.  
To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español





**PROJECT TEAM INFO:**

**Developer**  
**Thomas James Homes**  
 255 Shoreline Dr Suite 428  
 Redwood City, CA 94065  
 Tel: (408) 402-3024

**Architect**  
**Dahlin Group**  
 5865 Owens Drive  
 Pleasanton, CA 94588  
 Tel: (925) 251-7200  
 Contact: Jaime Matheron  
 jaime.matheron@dahlingroup.com

**Landscape**  
**Ripley Design Group, Inc.**  
 1615 Bonanza Street, Suite 314  
 Walnut Creek, CA 94596  
 Tel: (925) 938 7377  
 Contact: Annika Carpenter  
 ACarpenter@RipleyDesign.com

**SHEET INDEX:**

- ARCHITECTURAL:**  
 A.0 COVER SHEET  
 A.1 SITE AERIAL & PHOTOS  
 A.2 SITE PLAN  
 A.3 FLOOR PLAN  
 A.4 FLOOR AREA DIAGRAM  
 A.5 ROOF PLAN  
 A.6 ELEVATIONS  
 A.7 ELEVATIONS  
 A.8 COLORED FRONT ELEVATION  
 A.9 SECTIONS  
 A.10 STREETSCAPE  
 A.11 COLORS & MATERIALS

**CIVIL:**

- C1 EXISTING CONDITIONS- TOPOGRAPHIC SURVEY  
 GP1 ONSITE IMPROVEMENTS- GRADING & DRAINAGE PLAN  
 GP2 ONSITE IMPROVEMENTS- UTILITY PLAN

**LANDSCAPE:**

- L1.1 LAYOUT & MATERIALS PLAN  
 L1.2 CONSTRUCTION DETAILS  
 L3.1 PLANTING PLAN  
 L3.2 TREE PROTECTION PLAN

**DEVELOPMENT SUMMARY**

LOCATION 1162 SHAMROCK DRIVE  
 ASSESSOR'S PARCEL NUMBER 414-01-055  
 PARCEL AREA - GROSS 9,052.7 SQ. FT. 0.21 AC  
 ZONING DESIGNATION R-1-8  
 OCCUPANCY GROUP R-3  
 CONSTRUCTION TYPE V-B

MAX. FLOOR AREA RATIO 4,083.0 SQ. FT. PROPOSED FLOOR AREA RATIO 3,097.4 SQ.FT.  
 MAX. LOT COVERAGE 3,621.08 SQ. FT. (40%) PROPOSED LOT COVERAGE 3,386.7 SQ. FT. (38.13%)  
 MAX. BUILDING HEIGHT 35' PROPOSED BUILDING HEIGHT 19'-9"

ALLOWABLE SETBACKS:  
 FRONT - STREET (FT) 20'  
 FRONT TO GARAGE (FT) 25'  
 SIDE & REAR (FT) 1/2 THE HEIGHT OF THE ADJACENT WALL (NO LESS THAN 5')  
 PROPOSED SETBACKS:  
 FRONT - STREET (FT) 25'- 6 1/4"  
 FRONT TO GARAGE (FT) 48'- 2 3/4"  
 SIDE - LEFT (FT) 6'-4"  
 SIDE - RIGHT (FT) 7'-8"  
 REAR (FT) 20'-1 3/4"

PARKING REQUIRED:  
 2 TOTAL SPACES  
 MIN. GARAGE DIMENSIONS: 9' X 20' PER SPACE  
 PROPOSED PARKING:  
 1 ENCLOSED GARAGE SPACE  
 GARAGE DIMENSIONS: 10'-1" X 20'-1"  
 1 UNCOVERED PARKING STALL  
 DIMENSIONS: 9' X 20'

**EXISTING USE:** ONE SINGLE FAMILY DETACHED RESIDENCE OF APPROX. 851 SQ. FT. TO BE DEMOLISHED.

**PROPOSED USE:** ONE NEW SINGLE FAMILY DETACHED RESIDENCE OF 3,097.4 SQ. FT.

**CODES AND REGULATIONS GOVERNING THE PROJECT:** CURRENT 2019 CALIFORNIA CODES

**FLOOD ZONE:** D (UNDETERMINED FLOOD AREA)

**LANDSCAPE INFORMATION (REFER TO LANDSCAPE SET FOR DETAILS):**  
 TOTAL PERVIOUS AREA: 621 SQ.FT.  
 TOTAL IMPERVIOUS AREA: 1,551 SQ.FT.  
 TOTAL IRRIGATED LANDSCAPE AREA: 3,933 SQ.FT.  
 TOTAL NON-IRRIGATED MULCH AREA: 877 SQ.FT.

**UTILITIES:** ALL ELECTRIC

**ELECTRICAL VEHICLE READINESS:**  
 A COMPLETE CIRCUIT AND RECEPTACLE OUTLET FOR EV CHARGING SHALL BE PROVIDED.

**SOLAR ZONE REQUIREMENT:**  
 PHOTOVOLTAIC SYSTEM SHALL BE INSTALLED ADHERING TO CODE REQUIREMENTS.  
 (DEFERRED SUBMITTAL: A separate permit for PV system shall be obtained and equipment installation shall be after building department's approval of design/ documents)

**FIRE SAFETY COMPLIANCE:**  
 13D FIRE SPRINKLER SYSTEM SHALL BE PROVIDED.  
 (DEFERRED SUBMITTAL: A separate fire permit shall be obtained and equipment installation shall be after building department's approval of design/ documents. Design shall be in accordance to NFPA13d, 2019 CBC Section 107.3.4.1 and shall adhere to City's residential fire sprinkler system requirements)

**FRONTAGE IMPROVEMENTS**

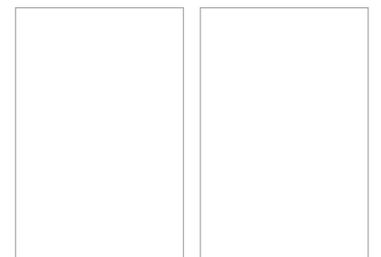
ALL EXISTING CRACKED OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ADDITIONALLY, ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.

ANY ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.

4 BEDROOMS / 3.5 BATH

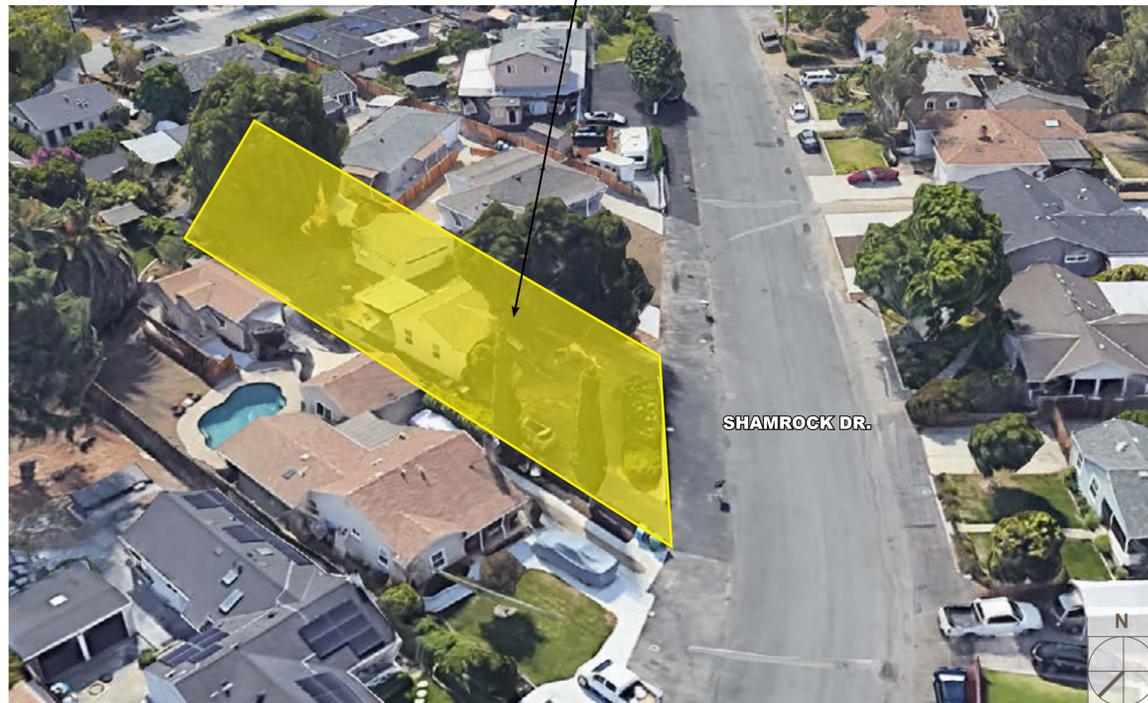
FLOOR AREA	
FIRST FLOOR	2859.6 SQ. FT.
TOTAL LIVING	2859.6 SQ. FT.
GARAGE	237.8 SQ. FT.
FAR: (LIVING + GARAGE)	3097.4 SQ. FT.
MAX. FAR	4083.0 SQ. FT.
THOMAS JAMES HOMES STANDARD S.F. (LIVING)	2859.6 SQ. FT.

LOT COVERAGE	
FIRST FLOOR	2859.6 SQ. FT.
GARAGE	237.8 SQ. FT.
PORCH	97.5 SQ. FT.
COURTYARD	191.8 SQ. FT.
LOT COVERAGE	3386.7 SQ. FT.
MAX. COVERAGE	3621 SQ. FT.



CITY APPROVAL STAMPS

**VICINITY MAP:**



PROJECT LOCATION

SHAMROCK DR.

NOT TO SCALE

COVER SHEET

1162 SHAMROCK DR., CAMPBELL  
 D26V2P200A CRAFTSMAN

THOMAS JAMES HOMES



DATE 09-22-2022  
 JOB NO. 1641.038

5865 Owens Drive  
 Pleasanton, CA 94588  
 925-251-7200

A.0



# SITE AERIAL & PHOTOS

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

THOMAS JAMES HOMES

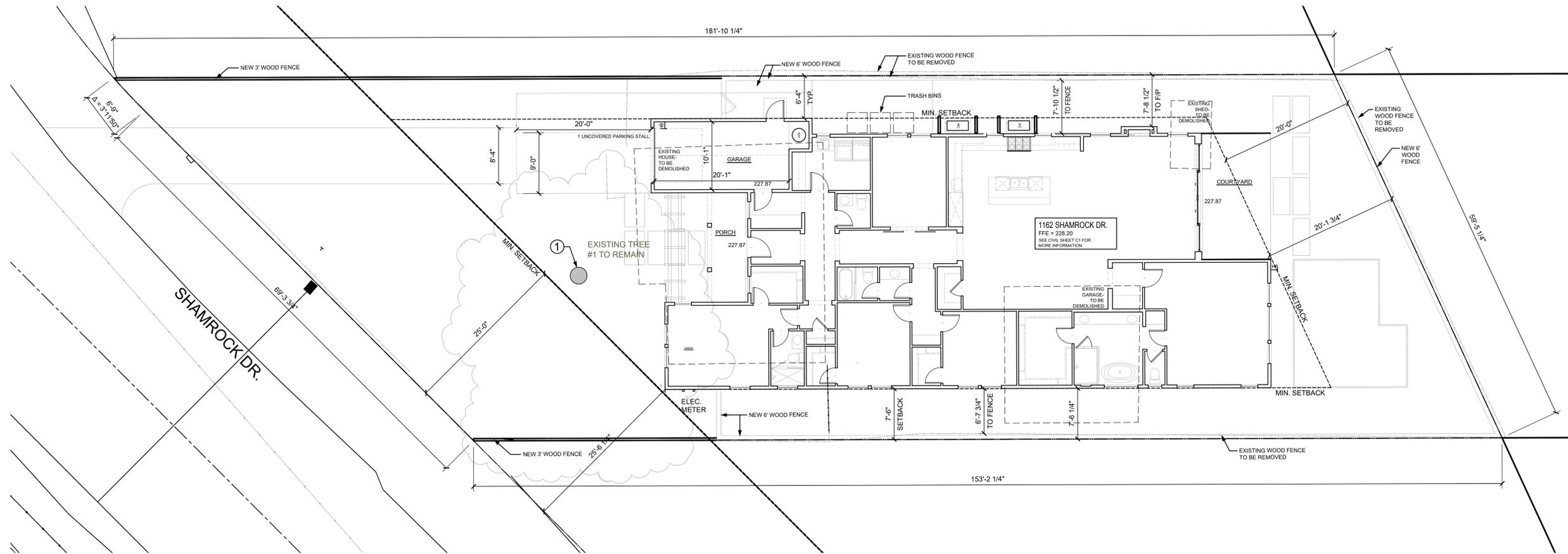


DATE 09-22-2022  
JOB NO. 1641.038



5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

A.1



1162 SHAMROCK DR.  
FFE = 228.20  
SEE CIVIL SHEET C1 FOR  
MORE INFORMATION

FOR ALL MATERIALS (HARDSCAPE & SOFTSCAPE) RELATED  
INFORMATION REFER TO LANDSCAPE SET.

### TREE PROTECTION CHART

TAG#	ON-SITE	ORDINANCE TREE	DBH(INCHES)	BOTANICAL NAME	COMMON NAME	STATUS
I	YES	YES	27.7	QUERCUS AGRIFOLIA	COAST LIVE OAK	RETAIN AND PROTECT

Refer to Tree Protection Plan in Landscape Set for additional information

This Site Plan contains information beyond the scope of work of the Architect. Information provided by Civil Engineer, Landscape Architect, and Arborist shall be verified in their respective documents.

4 BEDROOMS / 3.5 BATH

FLOOR AREA	
FIRST FLOOR	2859.6 SQ. FT.
TOTAL LIVING	2859.6 SQ. FT.
GARAGE	237.8 SQ. FT.
FAR: (LIVING + GARAGE)	3097.4 SQ. FT.
MAX. FAR	4083.0 SQ. FT.
THOMAS JAMES HOMES STANDARD S.F. (LIVING)	2859.6 SQ. FT.

LOT COVERAGE	
FIRST FLOOR	2859.6 SQ. FT.
GARAGE	237.8 SQ. FT.
PORCH	97.5 SQ. FT.
COURTYARD	191.8 SQ. FT.
LOT COVERAGE	3386.7 SQ. FT.
MAX. COVERAGE	3621 SQ. FT.

## SITE PLAN

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

THOMAS JAMES HOMES



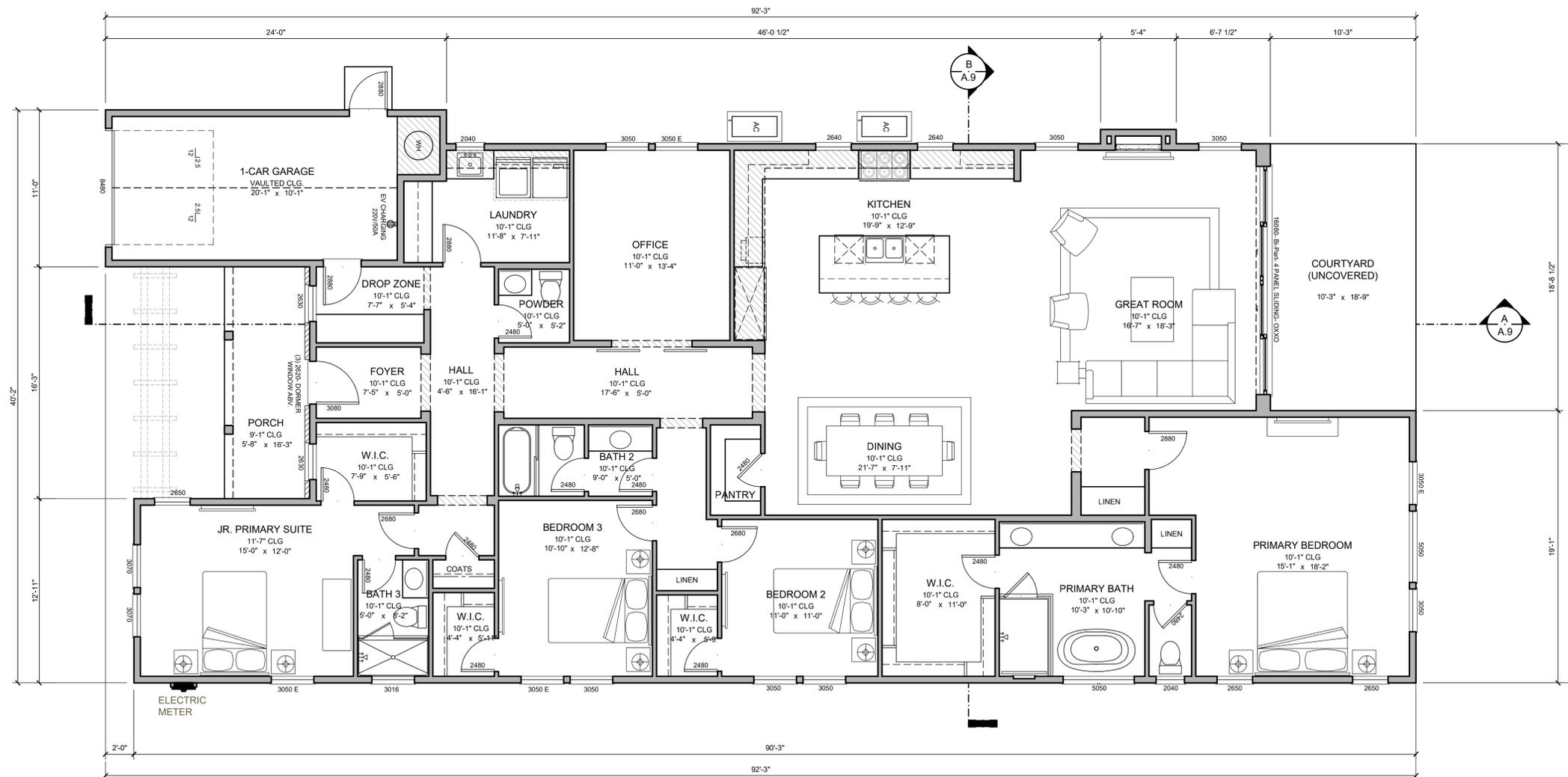
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DATE 09-22-2022  
JOB NO. 1641.038

8565 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

NORTH

A.2



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

4 BEDROOMS / 3.5 BATH

FLOOR AREA	
FIRST FLOOR	2859.6 SQ. FT.
TOTAL LIVING	2859.6 SQ. FT.
GARAGE	237.8 SQ. FT.
FAR: (LIVING + GARAGE)	3097.4 SQ. FT.
MAX. FAR	4083.0 SQ. FT.
THOMAS JAMES HOMES STANDARD S.F. (LIVING)	2859.6 SQ. FT.

LOT COVERAGE	
FIRST FLOOR	2859.6 SQ. FT.
GARAGE	237.8 SQ. FT.
PORCH	97.5 SQ. FT.
COURTYARD	191.8 SQ. FT.
LOT COVERAGE	3386.7 SQ. FT.
MAX. COVERAGE	3621 SQ. FT.

# FLOOR PLAN

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

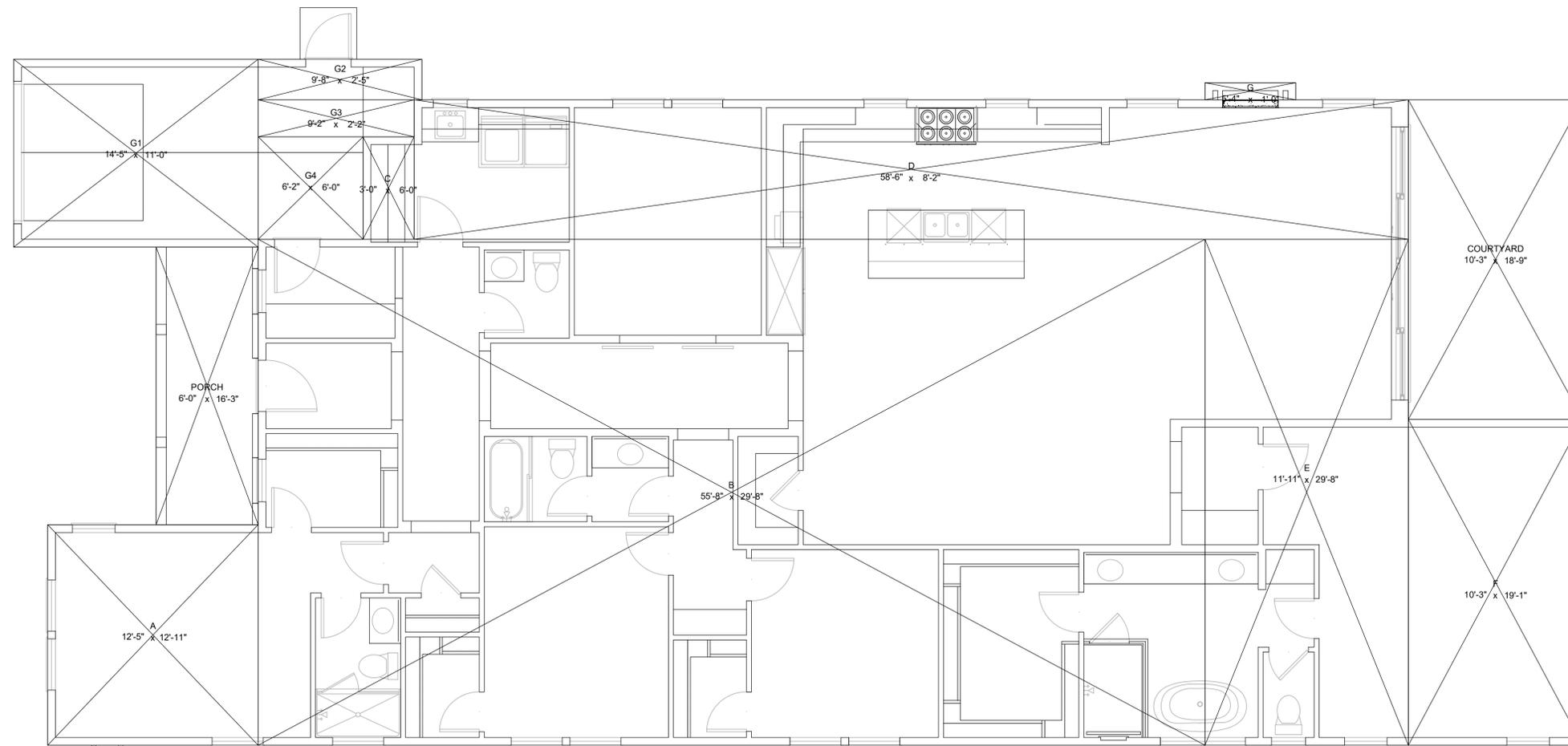
THOMAS JAMES HOMES



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DATE 09-22-2022  
JOB NO. 1641.038

5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

A.3

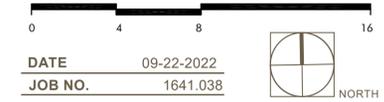


FLOOR AREA	
A	159.8 SQ. FT.
B	1649.2 SQ. FT.
C	18.0 SQ. FT.
D	477.4 SQ. FT.
E	354.1 SQ. FT.
F	195.6 SQ. FT.
G	5.3 SQ. FT.
TOTAL	2859.6 SQ. FT.
GARAGE	
G1	158.1 SQ. FT.
G2	22.9 SQ. FT.
G3	19.9 SQ. FT.
G4	37.0 SQ. FT.
TOTAL	237.8 SQ. FT.
FLOOR AREA RATIO	
FIRST FLOOR	2859.6 SQ. FT.
GARAGE	237.8 SQ. FT.
TOTAL	3097.4 SQ. FT.
MAX. F.A.R.	4083 SQ. FT.
LOT COVERAGE	
FIRST FLOOR	2859.6 SQ. FT.
GARAGE	237.8 SQ. FT.
PORCH	97.5 SQ. FT.
COURTYARD	191.8 SQ. FT.
TOTAL	3386.7 SQ. FT.
MAX. COVERAGE	3621 SQ. FT.

## FLOOR AREA DIAGRAMS

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

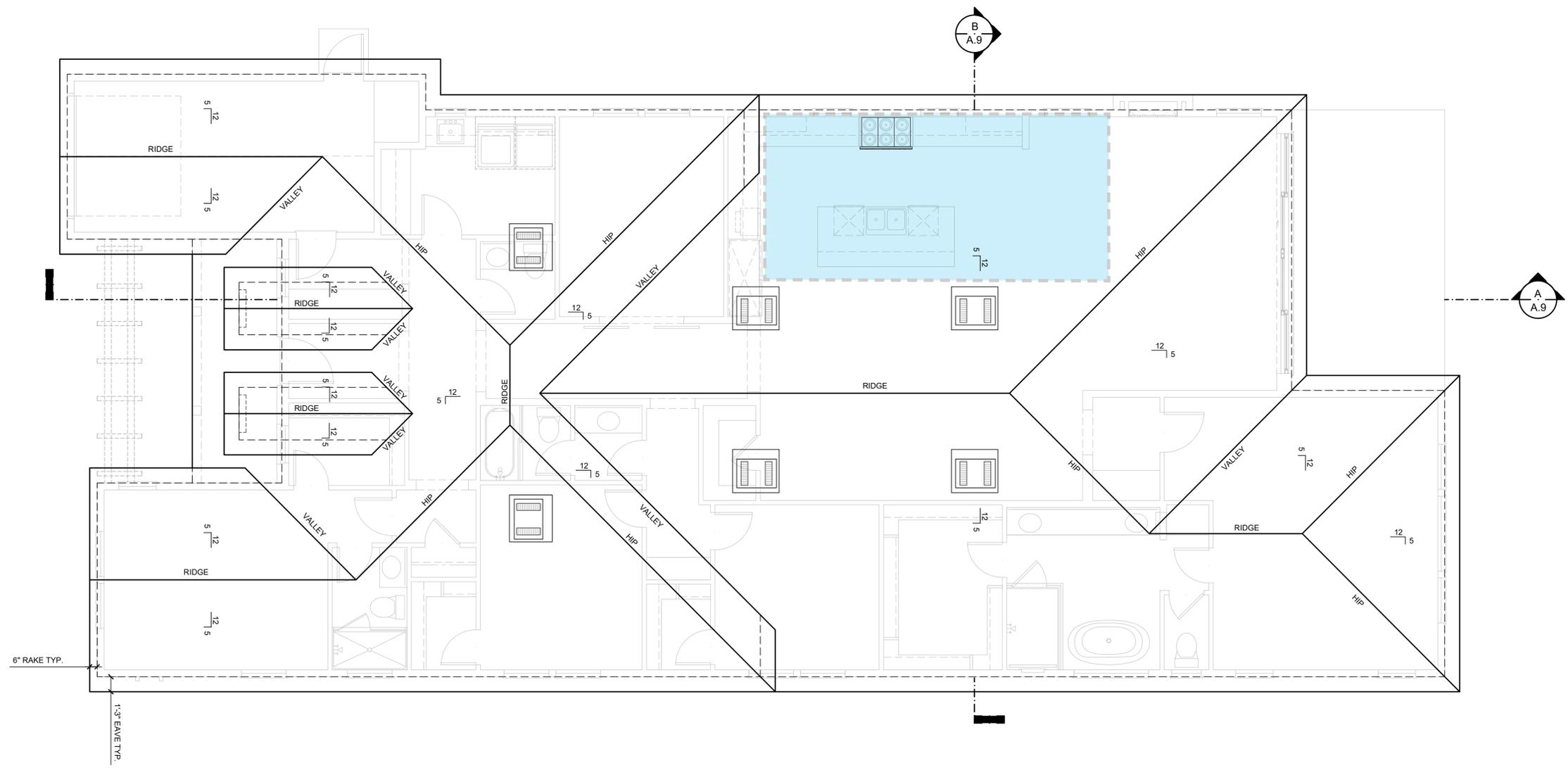
THOMAS JAMES HOMES



DATE 09-22-2022  
JOB NO. 1641.038

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Pleasanton, CA 94588  
925-251-7200

A.4



 **POTENTIAL SOLAR ZONE**  
 ANTICIPATED PHOTOVOLTAIC  
 SYSTEM SIZE= 2.92 kW\*

(\* FOR INITIAL PLANNING PURPOSES ONLY.  
 FINAL DETAILS TO BE OBTAINED FROM  
 ENERGY CONSULTANTS AT THE TIME OF  
 BUILDING DEPARTMENT SUBMITTAL)

NOTE:  
 ROOFING MATERIAL IS COMPOSITION  
 SHINGLE UNLESS OTHERWISE NOTED.  
 REFER TO ELEVATIONS FOR MATERIALS.

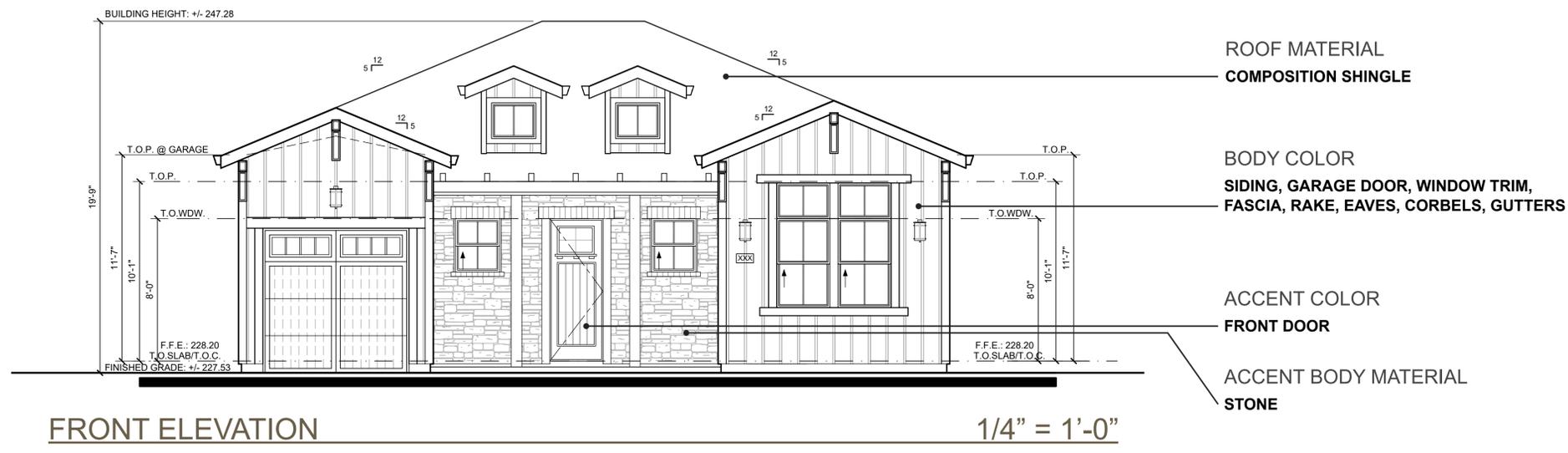
# ROOF PLAN

1162 SHAMROCK DR., CAMPBELL  
 D26V2P200A CRAFTSMAN

THOMAS JAMES HOMES



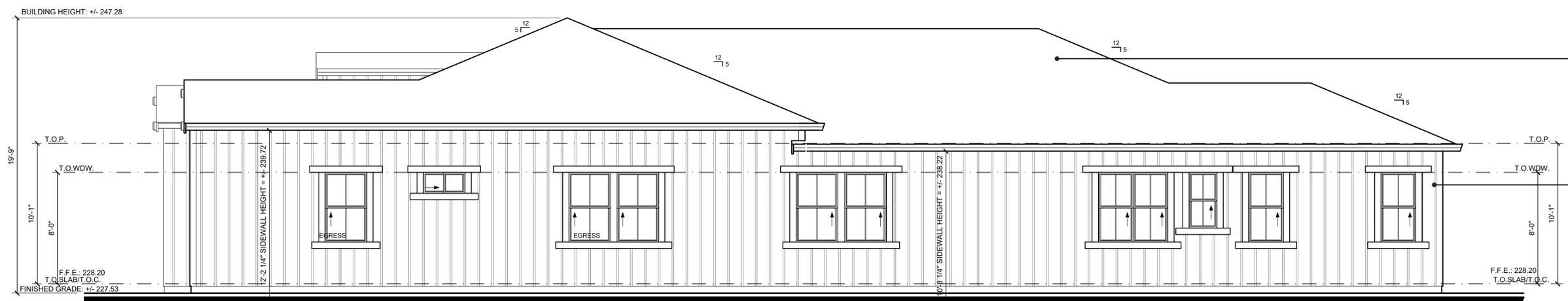
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 DATE 09-22-2022  
 JOB NO. 1641.038  
 5865 Owens Drive  
 Pleasanton, CA 94588  
 925-251-7200  
 NORTH  
**A.5**



FRONT ELEVATION

1/4" = 1'-0"

- ROOF MATERIAL  
COMPOSITION SHINGLE
- BODY COLOR  
SIDING, GARAGE DOOR, WINDOW TRIM,  
FASCIA, RAKE, EAVES, CORBELS, GUTTERS
- ACCENT COLOR  
FRONT DOOR
- ACCENT BODY MATERIAL  
STONE



RIGHT ELEVATION

1/4" = 1'-0"

- ROOF MATERIAL  
COMPOSITION SHINGLE
- BODY COLOR  
SIDING, GARAGE DOOR, WINDOW TRIM,  
FASCIA, RAKE, EAVES, CORBELS,  
GUTTERS

WINDOWS  
MARVIN ESSENTIAL ALL ULTREX  
WINDOWS TYP. WITH SIMULATED  
DIVIDED LITE WHERE SHOWN-  
NO GRIDS OR SPACE BARS

ELEVATIONS

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

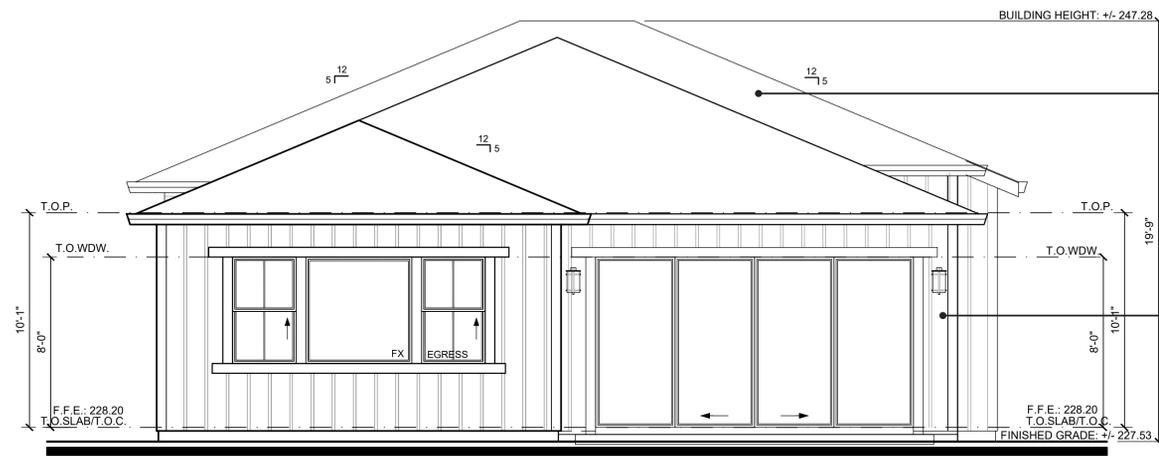
THOMAS JAMES HOMES



DATE 09-22-2022  
JOB NO. 1641.038

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Pleasanton, CA 94588  
925-251-7200

A.6

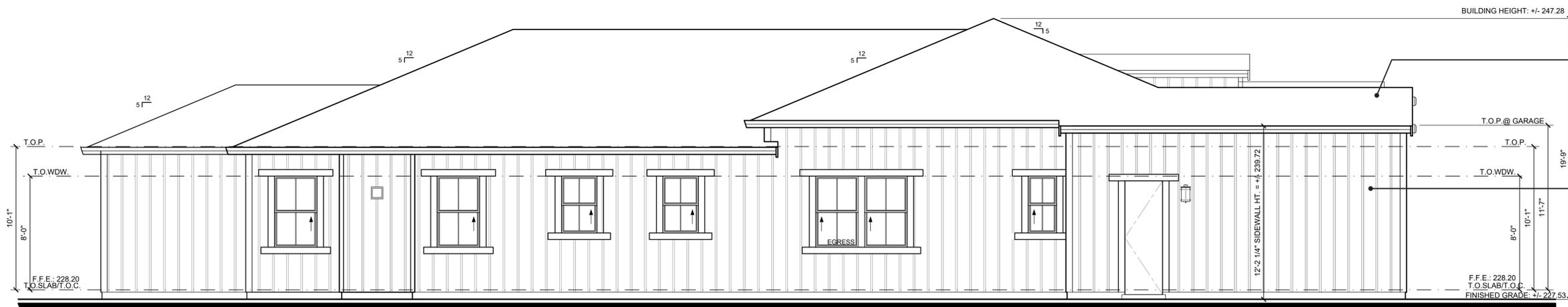


ROOF MATERIAL  
COMPOSITION SHINGLE

BODY COLOR  
SIDING, GARAGE DOOR, WINDOW TRIM,  
FASCIA, RAKE, EAVES, CORBELS, GUTTERS

REAR ELEVATION

1/4" = 1'-0"



ROOF MATERIAL  
COMPOSITION SHINGLE

BODY COLOR  
SIDING, GARAGE DOOR, WINDOW TRIM,  
FASCIA, RAKE, EAVES, CORBELS,  
GUTTERS

LEFT ELEVATION

1/4" = 1'-0"

WINDOWS  
MARVIN ESSENTIAL ALL ULTREX  
WINDOWS TYP. WITH SIMULATED  
DIVIDED LITE WHERE SHOWN-  
NO GRIDS OR SPACE BARS

ELEVATIONS

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

THOMAS JAMES HOMES



DATE 09-22-2022  
JOB NO. 1641.038

5865 Owens Drive  
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925-251-7200

A.7



COLORED FRONT ELEVATION

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

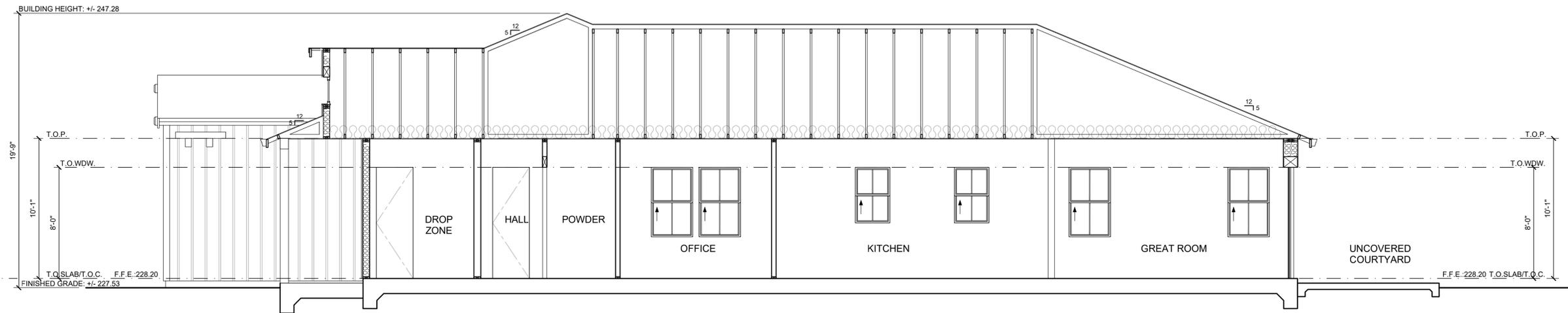
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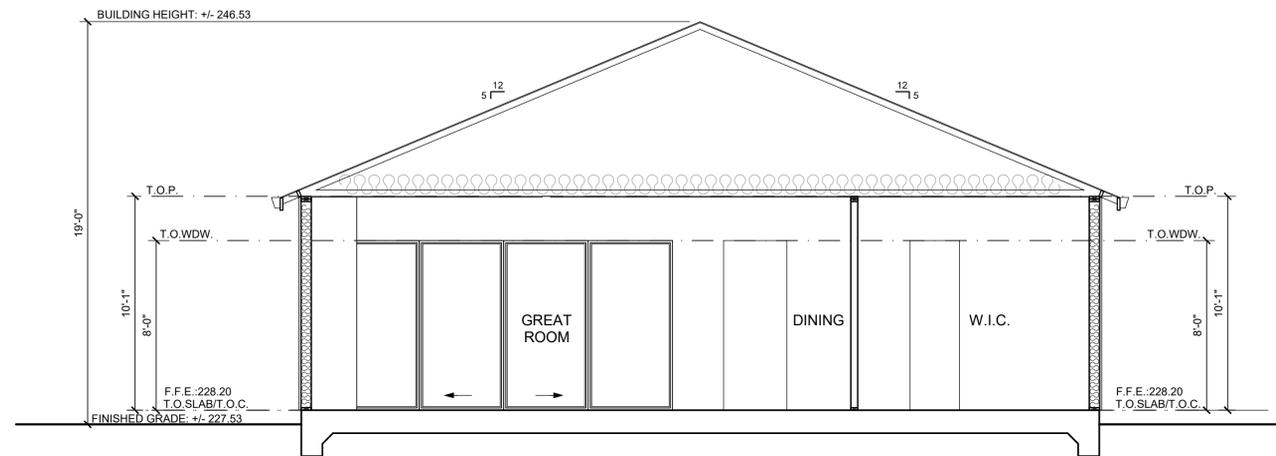
DATE 09-22-2022  
JOB NO. 1641.038

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Pleasanton, CA 94588  
925-251-7200

A.8



SECTION - A 1/4" = 1'-0"



SECTION - B 1/4" = 1'-0"

## SECTIONS

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

THOMAS JAMES HOMES



DATE 09-22-2022  
JOB NO. 1641.038

5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

A.9



1150  
ADJACENT PROPERTY

1162  
SITE PROPERTY

1176  
ADJACENT PROPERTY

STREETSCAPE - SHAMROCK DR.

SCALE: 1/8" : 1'

NOTE:  
BUILDING HEIGHTS AND HORIZONTAL  
DISTANCES BETWEEN BUILDINGS MAY  
VARY. THE INTENT IS TO SHOW THE  
NEIGHBORHOOD CONTEXT.

STREETSCAPE

1162 SHAMROCK DR., CAMPBELL  
D26V2P200A CRAFTSMAN

THOMAS JAMES HOMES



DATE 09-22-2022  
JOB NO. 1641.038

5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

A.10



**EXTERIOR LIGHTING**

Progress Lighting  
 Collection: Boxwood  
 Model: P560112-020  
 7.63"W X 14.13"H



**BODY COLOR**  
 SW 7069- IRON ORE- SHERWIN WILLIAMS  
 SIDING, GARAGE DOOR, WINDOW TRIM,  
 FASCIA, RAKE, EAVES, CORBELS,  
 GUTTERS



**ACCENT BODY MATERIAL**  
 ELDORADO STONE  
 LIMESTONE- GRAND BANKS



**ACCENT COLOR**  
 SW 6198- SENSIBLE HUE- SHERWIN WILLIAMS  
 FRONT DOOR-  
 MASONITE- HERITAGE- WINSLOW  
 FIBERGLASS 4 LITE SDL WITH 2 PANEL  
 DOOR AND FULL SIDELITE



**ROOF MATERIAL**  
 COMPOSITION SHINGLE (GAF SHINGLES)  
 CHARCOAL- TIMBERLINE HD SHINGLES



GARAGE DOOR

**CLOPAY GRAND HARBOR**  
 DESIGN 13, INSULATED  
 WINDOW- REC 14

ADDRESS SIGN

**COLORS & MATERIALS**

1162 SHAMROCK DR., CAMPBELL  
 D26V2P200A CRAFTSMAN

THOMAS JAMES HOMES



DATE 09-22-2022  
 JOB NO. 1641.038

5865 Owens Drive  
 Pleasanton, CA 94588  
 925-251-7200

**A.11**

**ABBREVIATIONS**

APN	ASSESSOR'S PARCEL NUMBER
AC	AIR CONDITIONING
BSL	BUILDING SETBACK LINE
CB	CATCH BASIN
CO	CLEAN OUT
CONC	CONCRETE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
FL	FLOW LINE
GM	GAS METER
HB	HOSE BIB
MH	MANHOLE
PL	PROPERTY LINE
PP	POWER POLE
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
SS	SANITARY SEWER
SD	STORM DRAIN
WM	WATER METER
WT	WATER
WV	WATER VALVE
WF	WOOD FENCE

**LEGEND**

	BOUNDARY LINE
	RIGHT-OF-WAY
	LOT LINE
	CENTER LINE
	SANITARY SEWER
	STORM DRAIN
	WATER LINE
	FIRE HYDRANT
	GAS OR WATER VALVE
	OVERHEAD LINE
	WOOD FENCE
	TREE

**NOTES**

- TITLE REPORT: FIDELITY NATIONAL TITLE COMPANY  
FILE NUMBER: FSBC-1022000156-HR  
DATED: FEBRUARY 10, 2022
- PROPERTY ADDRESS: 1162 SHAMROCK DRIVE  
CAMPBELL, CALIFORNIA
- ASSESSOR'S PARCEL NO.: 414-01-055
- AREA: 9,053± SF

**BASIS OF BEARINGS**

THE BEARING NORTH 00°09'45" WEST AS FOUND MONUMENTED ON OLYMPIA AVENUE, AS SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT NO. 640 BEING A RESUBDIVISION OF TRACT NO. 457 OLYMPIA TRACT UNIT NO. 1" FILED FOR RECORD IN BOOK 26 OF MAPS AT PAGES 15, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.

**BENCHMARK**

CITY OF CAMPBELL BENCHMARK 75. 2 1/2" BRASS DISK IN TOP OF CURB LOCATED AT NORTHEAST CORNER OF MCGLINCEY LANE AND CURTNER AVENUE NORTH END CORNER RETURN. ELEVATION: 221.683

**FLOOD ZONE**

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 06085C0239H, DATED MAY 18, 2009. AS BEING LOCATED IN FLOOD ZONE "D".

ZONE D AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

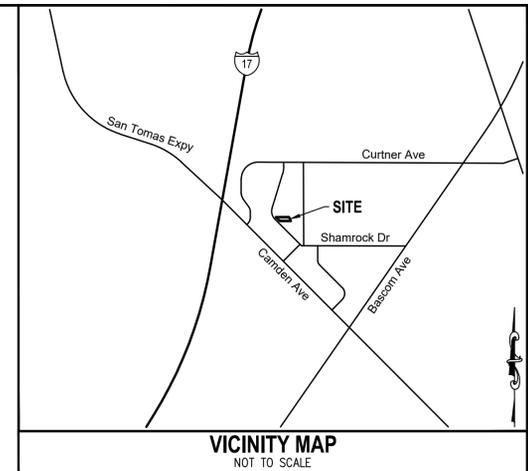
**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CAMPBELL, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

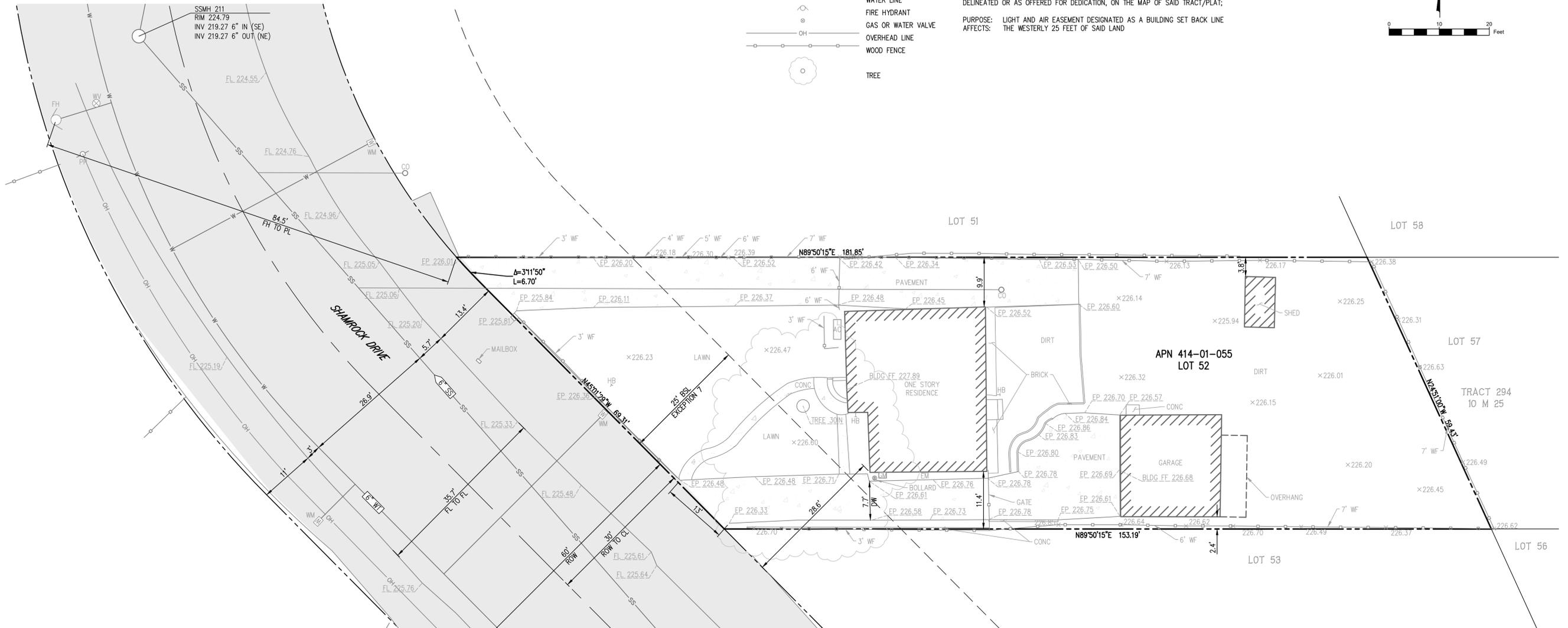
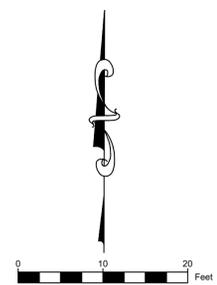
LOT 52, "TRACT NO. 294 ED YATES TRACT", FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, ON MAY 13, 1946 IN BOOK 10 OF MAPS, PAGE 25.

**EXCEPTIONS**

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT;  
PURPOSE: LIGHT AND AIR EASEMENT DESIGNATED AS A BUILDING SET BACK LINE  
AFFECTS: THE WESTERLY 25 FEET OF SAID LAND



VICINITY MAP  
NOT TO SCALE



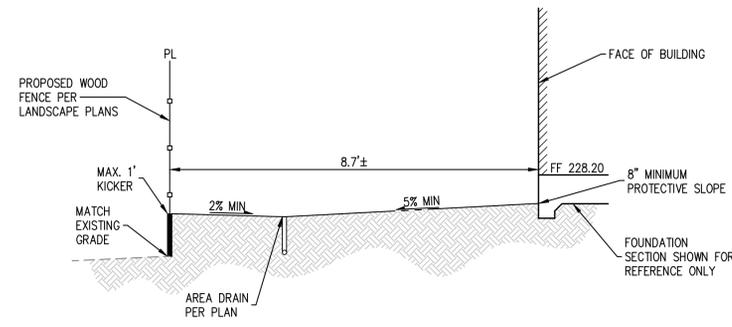
NO.	DATE	REVISIONS	BY

2055 Colony Place  
Suite 550  
San Jose, CA 95110  
T: (408) 453-1066

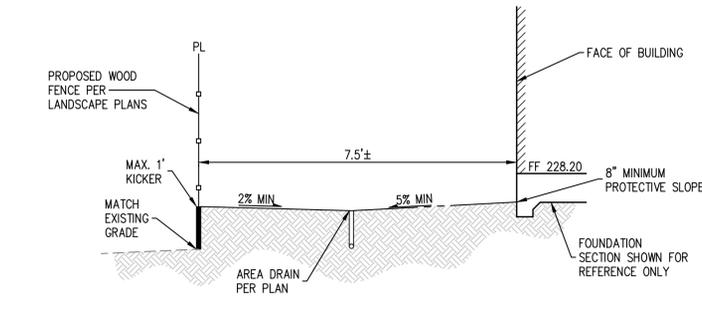
**Civil Engineering Associates**  
Civil Engineers • Planners • Surveyors

PREPARED FOR:  
**THOMAS JAMES HOMES**  
255 SHORELINE DRIVE, SUITE 428  
REDWOOD CITY, CA 94065  
877-381-4092

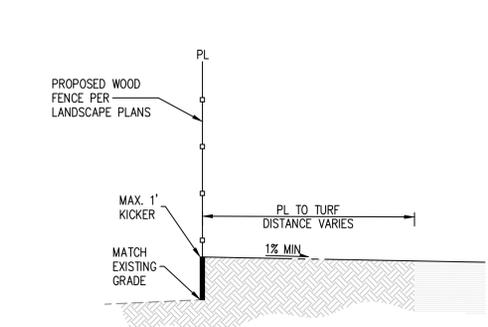
1162 SHAMROCK DRIVE	CALIFORNIA
EXISTING CONDITIONS TOPOGRAPHIC SURVEY	
DATE	3/10/2022
SCALE	SEE PLAN
DESIGNED	N/A
DRAWN	RS
JOB NO.	22-128
SHEET	C1
1 OF 1 SHEETS	



**SECTION A-A  
SIDE YARD**  
NOT TO SCALE



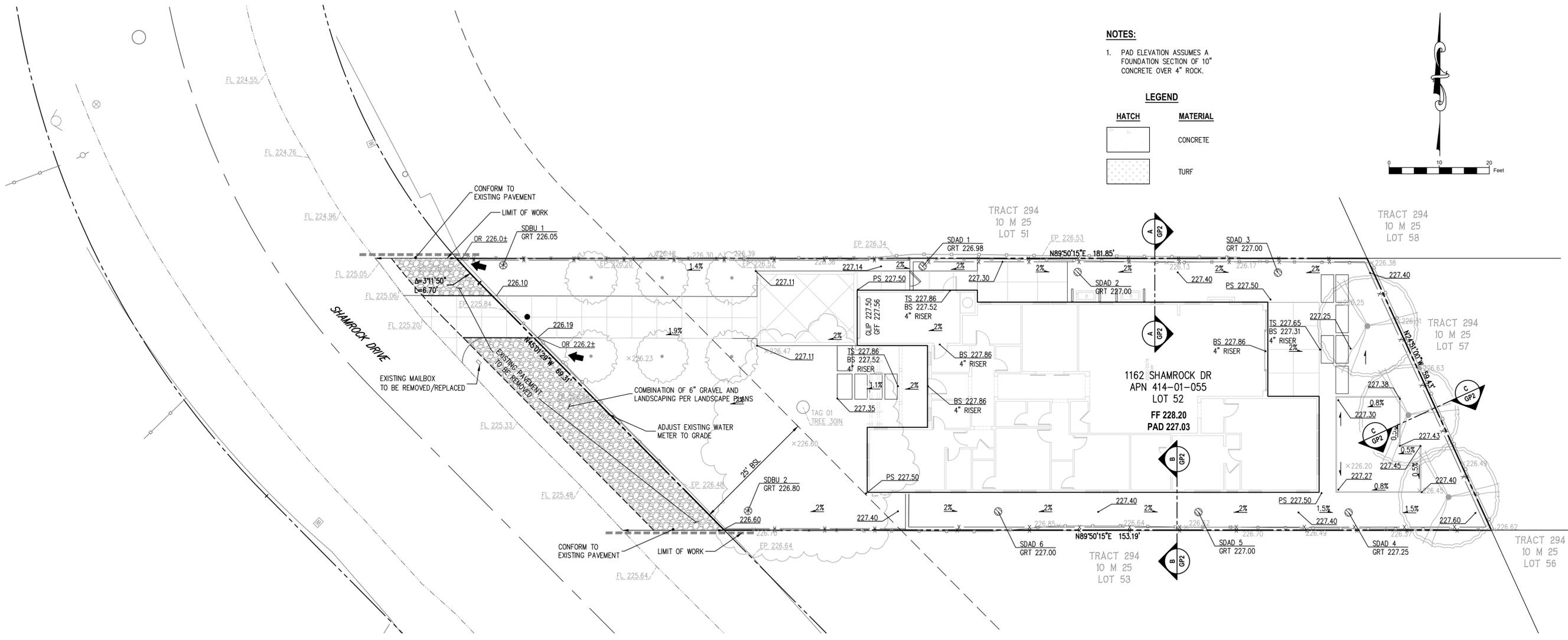
**SECTION B-B  
SIDE YARD**  
NOT TO SCALE



**SECTION C-C  
BACK YARD**  
NOT TO SCALE

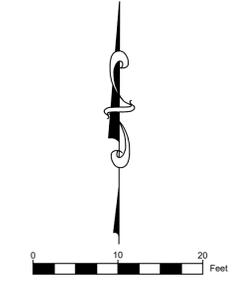
EARTHWORK SUMMARY			
OVERALL GRADING EARTHWORK			
	CUT (CY)	FILL (CY)	NET (CY)
BUILDING	152	266	114
TOTAL GRADING EARTHWORK			114
			IMPORT

IMPERVIOUS AREA SUMMARY	
PRE-PROJECT	3,636 ± SF
POST-PROJECT	4,455 ± SF
NET CHANGE	819 ± SF
TOTAL SITE AREA	0.208 ± AC



**NOTES:**  
1. PAD ELEVATION ASSUMES A FOUNDATION SECTION OF 10" CONCRETE OVER 4" ROCK.

LEGEND	
HATCH	MATERIAL
[Concrete Hatch]	CONCRETE
[Turf Hatch]	TURF



BY	
REVISIONS	
NO.	DATE
1	
2	
3	
4	
5	

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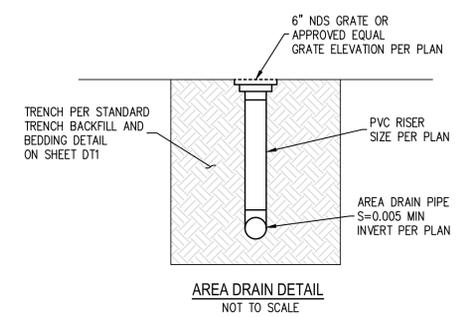
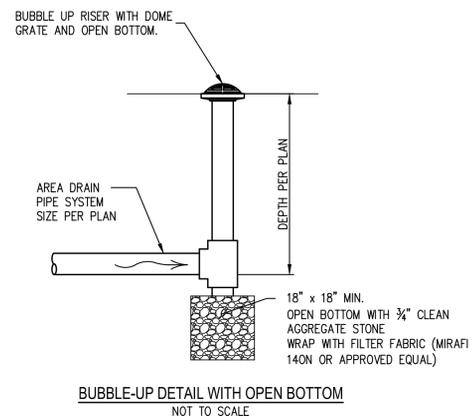
PREPARED FOR: THOMAS JAMES HOMES

1162 SHAMROCK DR CIVIL IMPROVEMENT PLANS CALIFORNIA

**ONSITE IMPROVEMENTS GRADING AND DRAINAGE PLAN**

MENLO PARK

DATE	09/22/2022
SCALE	SEE PLAN
DESIGNED	ENG
DRAWN	CAD
JOB NO.	22-128
SHEET	<b>GP1</b>
	1 OF 2 SHEETS



**UTILITY NOTES:**  
 FOR REFERENCE ONLY, NOT REVIEWED BY PUBLIC WORKS.

SEE COVER SHEET FOR ADDITIONAL NOTES

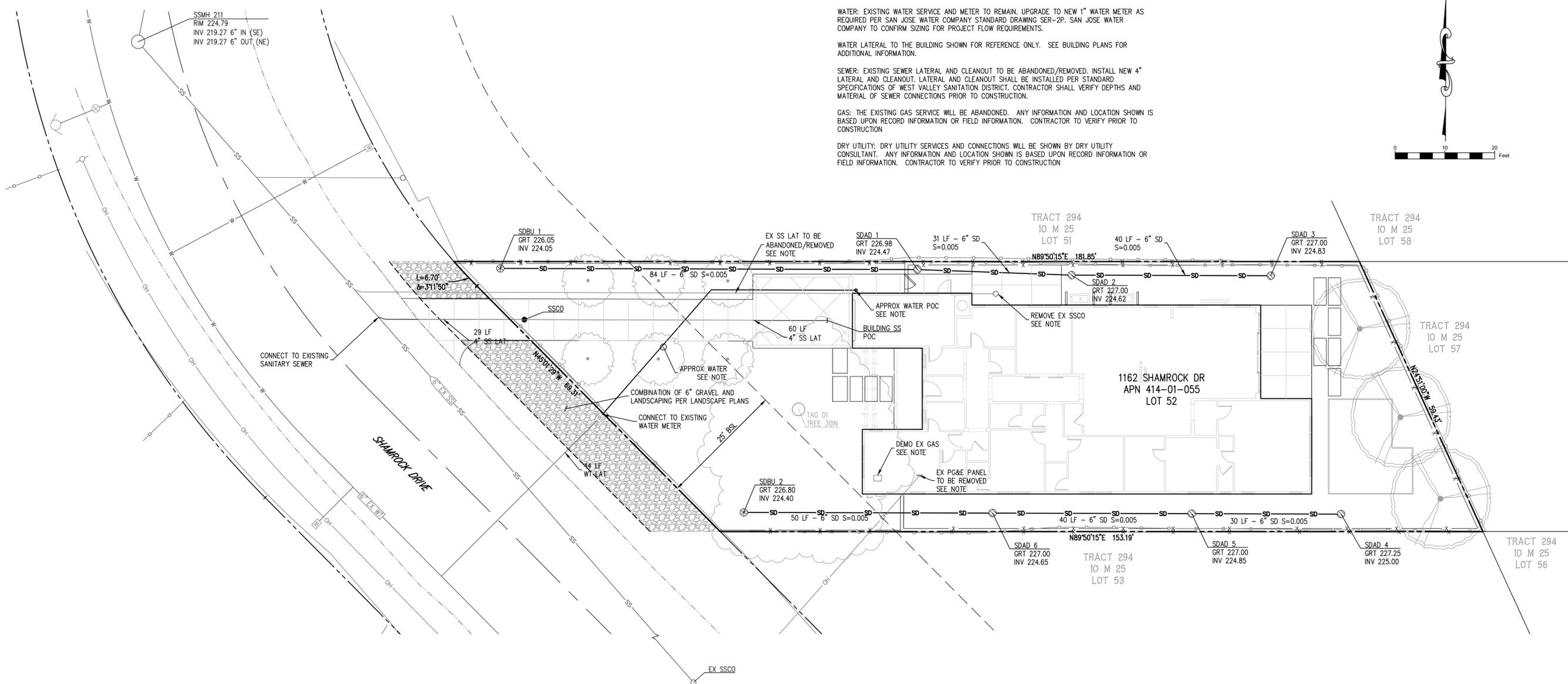
WATER: EXISTING WATER SERVICE AND METER TO REMAIN. UPGRADE TO NEW 1" WATER METER AS REQUIRED PER SAN JOSE WATER COMPANY STANDARD DRAWING SER-2P. SAN JOSE WATER COMPANY TO CONFIRM SIZING FOR PROJECT FLOW REQUIREMENTS.

WATER LATERAL TO THE BUILDING SHOWN FOR REFERENCE ONLY. SEE BUILDING PLANS FOR ADDITIONAL INFORMATION.

SEWER: EXISTING SEWER LATERAL AND CLEANOUT TO BE ABANDONED/REMOVED. INSTALL NEW 4" LATERAL AND CLEANOUT. LATERAL AND CLEANOUT SHALL BE INSTALLED PER STANDARD SPECIFICATIONS OF WEST VALLEY SANITATION DISTRICT. CONTRACTOR SHALL VERIFY DEPTHS AND MATERIAL OF SEWER CONNECTIONS PRIOR TO CONSTRUCTION.

GAS: THE EXISTING GAS SERVICE WILL BE ABANDONED. ANY INFORMATION AND LOCATION SHOWN IS BASED UPON RECORD INFORMATION OR FIELD INFORMATION. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION

DRY UTILITY: DRY UTILITY SERVICES AND CONNECTIONS WILL BE SHOWN BY DRY UTILITY CONSULTANT. ANY INFORMATION AND LOCATION SHOWN IS BASED UPON RECORD INFORMATION OR FIELD INFORMATION. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION



NO.	DATE	REVISIONS	BY
1			
2			
3			
4			
5			

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 Suite 550  
 San Jose, CA 95110  
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**THOMAS JAMES HOMES**  
 255 SHORELINE DRIVE, SUITE 428  
 REDWOOD CITY, CA 94065  
 877-381-4092

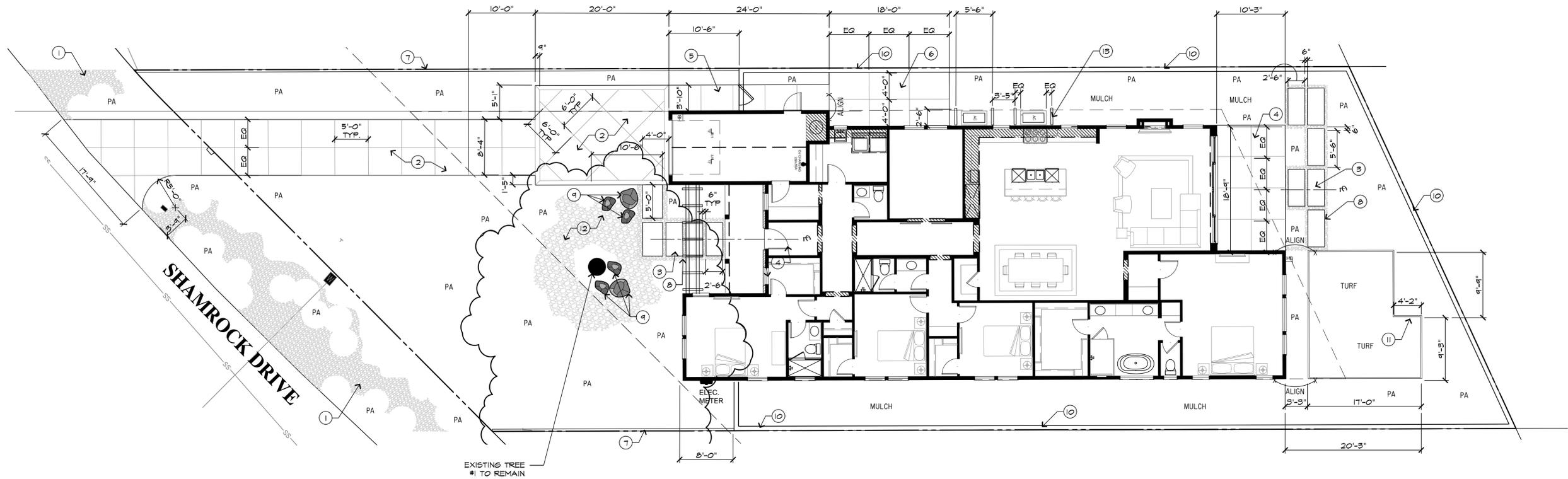
1162 SHAMROCK DR  
 CIVIL IMPROVEMENT PLANS  
 ONSITE IMPROVEMENTS  
 UTILITY PLAN  
 CALIFORNIA  
 CAMPBELL

DATE	09/22/2022
SCALE	SEE PLAN
DESIGNED	ASA
DRAWN	RS
JOB NO.	22-128
SHEET	<b>GP2</b>
	2 OF 2 SHEETS

# TREE PROTECTION CHART

TAG#	ON-SITE	ORDINANCE TREE	DBH(INCHES)	BOTANICAL NAME	COMMON NAME	STATUS
I	YES	YES	29.7	QUERCUS AGRIFOLIA	COAST LIVE OAK	RETAIN AND PROTECT

NOTE: REFER TO TREE PROTECTION PLAN FOR ADDITIONAL INFORMATION



## CONSTRUCTION LEGEND

- 6" THICK 3/4" CRUSHED AGGREGATE OR EQUAL.
- CONCRETE DRIVEWAY: STANDARD CONCRETE WITH "SAND BLAST" FINISH WITH TOP CAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. INSTALL TOOLED SCORE JOINTS AS SHOWN ON PLANS.
- CONCRETE PAVERS: STANDARD CONCRETE WITH "ACID ETCH" FINISH WITH TOP CAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. INSTALL TOOLED SCORE JOINTS AS SHOWN ON PLANS.
- CONCRETE PORCH TO BE POURED WITH ARCHITECTURE. REFER TO STRUCTURAL ENGINEER'S DRAWINGS.
- CONCRETE WALK: STANDARD CONCRETE WITH "SAND BLAST" FINISH WITH TOP CAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. INSTALL TOOLED SCORE JOINTS AS SHOWN ON PLANS.
- CONCRETE UTILITY PATIO: STANDARD CONCRETE WITH "SAND BLAST" FINISH WITH TOP CAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. INSTALL TOOLED SCORE JOINTS AS SHOWN ON PLANS.
- 3" WOOD FENCE INSTALL PER DETAIL A SHEET LI.2, 131 L.F. (CONTRACTOR TO VERIFY).
- DECORATIVE AGGREGATE: AGGREGATE TO BE 3/8" CRUSHED ANGULAR, COLOR: YOSEMITE TAN OR DESERT GOLD BY LYNOSO.
- LANDSCAPE BOULDER: BOULDERS TO BE "NAPA BASALT", SIZE: FOUR 2' DIAMETER, TWO 3' DIAMETER.
- WOOD PRODUCTION FENCE W/ GATE, 196 L.F. (CONTRACTOR TO VERIFY): INSTALL PER DETAIL B, SHEET LI.2.
- METAL HEADER AT TURF PERIMETER.
- 3" RIVER COBBLE: TO BE 2"-4" DIAM. "LIN CREEK" COBBLE, MIN. 3" DEPTH OVER SUBGRADE. AVAILABLE FROM LYNOSO GARDEN MATERIALS.
- WOOD SCREEN AT AC UNITS: INSTALL PER DETAIL C, SHEET LI.2. (NO GATE REQUIRED FOR THIS CONFIGURATION).

PA = PLANTING AREA  
CL = CENTERLINE  
EQ = EQUAL

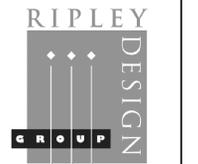
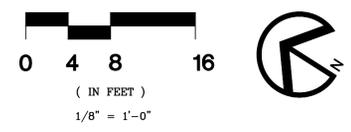
## CONSTRUCTION NOTES

- LOCAL CODES AND ORDINANCES: WORK SHALL CONFORM TO ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS, INCLUDING FEDERAL ACCESSIBILITY GUIDELINES. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS AN EXEMPTION TO APPLICABLE CODES OR OTHER JURISDICTIONAL REQUIREMENTS.
- UTILITIES: CONTACT COMMON GROUND ALLIANCE (C.G.A.) AT 811, AT LEAST TWO WORKING DAYS IN ADVANCE OF WORK (PER CA GOV. CODE 4216). THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, AND SHALL PAY FOR ANY REPAIRS REQUIRED DUE TO THE CONTRACTOR'S OPERATIONS, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DISCREPANCIES: NOTIFY DISTRICT'S REPRESENTATIVE OF ANY VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. DO NOT PROCEED WHERE DIFFERENCES EXIST THAT WOULD AFFECT THE WORK. ALL ADJUSTMENTS DUE TO FIELD CONDITIONS MUST BE APPROVED BY THE DISTRICT'S REPRESENTATIVE PRIOR TO CONTINUING.
- LAYOUT NOTES: THE WRITTEN DIMENSION SUPERCEDES SCALED OR GRAPHIC DENOTATION. DIMENSIONS ARE BETWEEN PARALLEL OR PERPENDICULAR POINTS UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO CENTERLINE OR FACE OF MASONRY, CONCRETE OR FRAMING SUBSTRATE FINISH SURFACES, UNLESS NOTED OTHERWISE.
- COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN TRADES. ALL REQUIRED SLEEVING SHALL BE COORDINATED WITH SITE WORK, INCLUDING OTHER UNDERGROUND UTILITIES, CURBS, AND CONCRETE.
- VERTICAL WORK: ALL VERTICAL CONSTRUCTION SHALL BE INSTALLED TRUE AND PLUMB. ALL UNIT COURSING AND TOPS OF WALLS, FENCES, ETC., SHALL BE LEVEL UNLESS NOTED OTHERWISE. ALL CURVES SHALL BE CONTINUOUS AND EVEN, WITH NO BREAKS OR ANGLES AT POINTS OF TANGENCY OR FORMWORK JOINTING.
- LEAD TIME: SPECIFIED MATERIALS MAY REQUIRE A SIGNIFICANT LEAD TIME. CONTRACTOR IS SOLELY RESPONSIBLE TO LEAD TIMES AND TO PROVIDE SUBMITTALS, ORDER MATERIAL, AND ENSURE DELIVERY TO THE JOB SITE TO ALLOW TIMELY PROGRESSION OF WORK.
- EXISTING WORK: WHERE NEW CONSTRUCTION ABUTS EXISTING WORK, ALL EXISTING WORK SHALL BE PROTECTED. CONTRACTOR SHALL REPLACE ANY DAMAGED EXISTING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL NEW WORK WILL CONFORM TO EXISTING WORK, INCLUDING FLATWORK JOINTS, ELEVATIONS, COLOR, AND FINISH.
- FENCING: FENCE LOCATIONS SHOWN ARE DIAGRAMMATIC. FINAL LOCATIONS ARE TO BE COORDINATED IN THE FIELD BY THE LANDSCAPE CONTRACTOR.

NOTES:  
WATER SUPPLY IS DOMESTIC, PROVIDER IS SAN JOSE WATER SERVICE.  
SEE SHEET LI.2 FOR CONSTRUCTION DETAILS.

NOTE:  
AC UNIT SCREEN, LANDSCAPE CONTRACTOR, SEE MEP DRAWINGS FOR CONDENSATE DISCHARGE METHOD. ADD DRYWELL PER MEP PLANS IF REQUIRED. CONFIRM DRYWELL LOCATION WITH TJH PRIOR TO INSTALLATION.

THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN  
*Annika M. Carpenter*  
ANNIKA M. CARPENTER CALIF. LANDSCAPE ARCH.#3684



RIPLEY DESIGN GROUP, INC.  
Landscape Architecture  
Land Planning  
1615 Bonanza St., Suite 314  
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DEVELOPER:  
**THOMAS JAMES HOMES**  
255 SHORELINE SUITE 428  
REDWOOD CITY, CA 94065  
TEL. (916) 869-6639

PROJECT:  
**1162 SHAMROCK DRIVE**  
CAMPBELL, CALIFORNIA

## LAYOUT & MATERIALS PLAN



PROJECT #:  
DATE: SEP. 22, 2022  
SCALE: 1/8" = 1'-0"  
DRAWN BY: RRC  
CHECKED BY: AMC

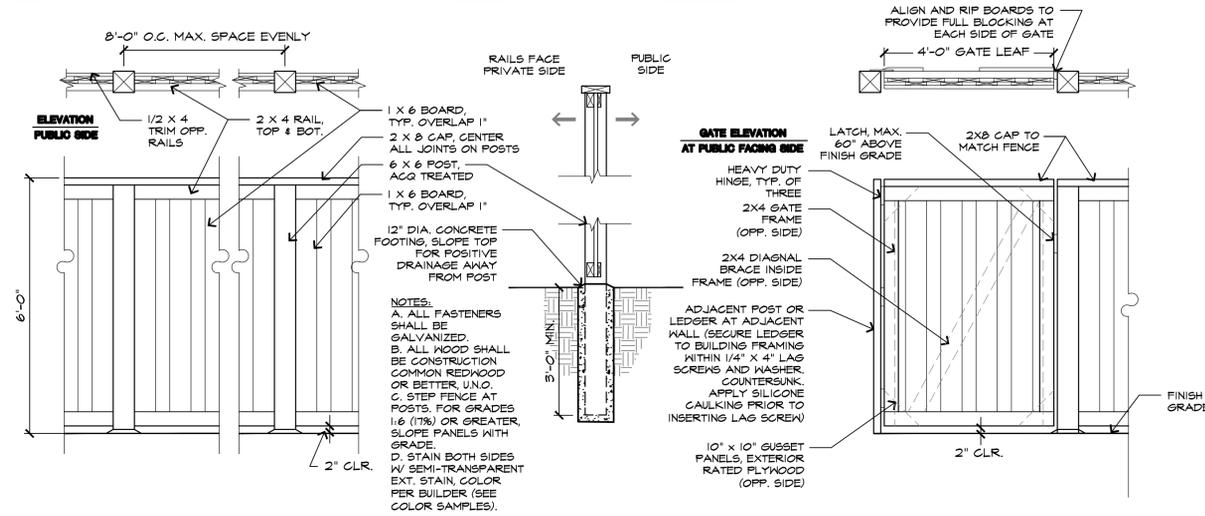
REVISIONS:


SHEET  
**LI.1**  
1 OF 9 SHEETS

PLAN (CAP OMITTED FOR CLARITY)

SECTION

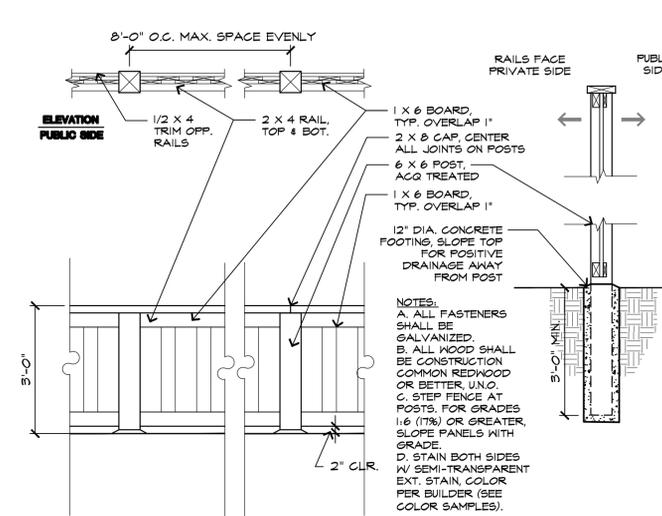
PLAN AT GATE (CAP OMITTED FOR CLARITY)



**A SIDEYARD FENCE WITH GATE** SCALE: 1/2" = 1'-0" 024 - ProRur

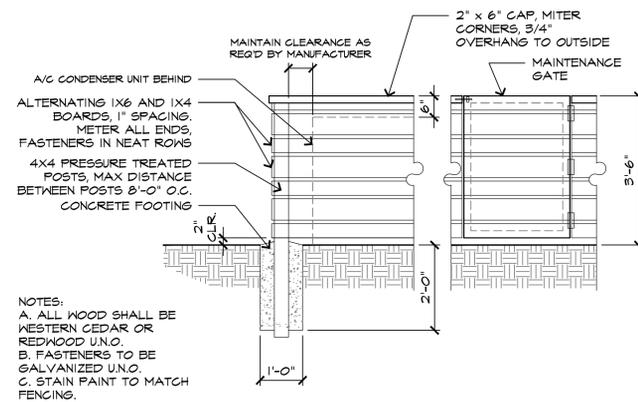
PLAN (CAP OMITTED FOR CLARITY)

SECTION



**B 3' SIDEYARD FENCE** SCALE: 1/2" = 1'-0" 024 - ProRur

SECTION



**C AC SCREEN W/ MAINTENANCE GATE** SCALE: 1/2" = 1'-0" 024 -



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DEVELOPER:

**THOMAS JAMES HOMES**

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SUITE 428  
REDWOOD CITY, CA  
94065

TEL. (916) 869-6639

PROJECT:

**1162 SHAMROCK DRIVE**

CAMPBELL, CALIFORNIA

**CONSTRUCTION DETAILS**



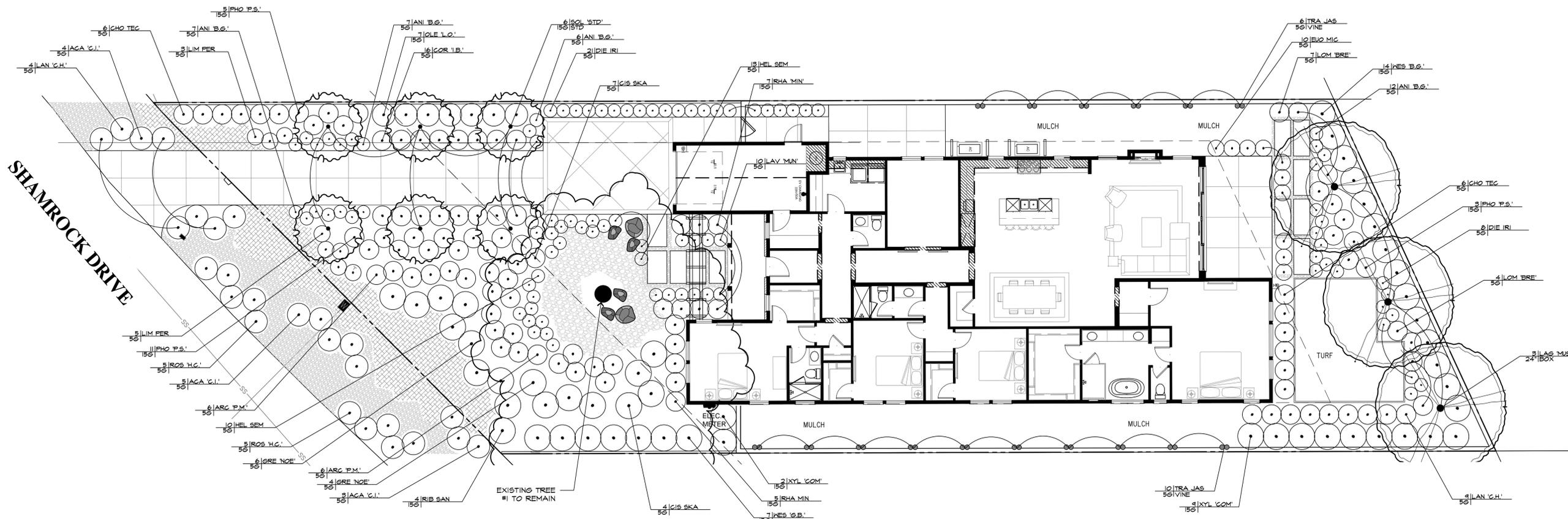
PROJECT #:  
DATE: SEP. 22, 2022  
SCALE: AS SHOWN  
DRAWN BY: RRC  
CHECKED BY: AMC

REVISIONS:

SHEET

**LI.2**

2 OF 9 SHEETS



**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	DEPTH	QUANTITY
<b>TREES</b>						
LAG 'MUS'	LAGERSTROEMIA 'MUSKAGEE'	CREPE MYRTLE	LOW	12'-15" X 15'-20"	3 / 24"	
SOL 'STD'	SOLANUM RANTONNETII 'STANDARD'	BLUE POTATO BUSH	LOW	6'-10" X 8'-12"	6 / 15G	
<b>SHRUBS &amp; VINES</b>						
ANI 'B.G.'	ANIGOZANTHOS 'BUSH GOLD'	KANGAROO PAW	LOW	1'-2" X 1'-2"	32 / 5G	
ARC 'P.M.'	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	LOW	6'-8" X 1'-2"	18 / 5G	
CHO TEC	CHONDRPETALUM TECTORUM	CARP RUSH	LOW	2'-3" X 2'-3"	12 / 5G	
CIS SKA	CISTUS SKANBERGII	PINK ROCKROSE	LOW	3'-5" X 3'-5"	11 / 5G	
COR 'L.B.'	CORREA PULCHELLA 'IVORY BELLS'	AUSTRALIAN FUSCHIA	LOW	3'-5" X 3'-4"	16 / 5G	
LAV 'MUN'	LAVANDULA A. 'MUNSTEAD'	MUNSTEAD LAVENDER	LOW	2' X 2'	10 / 5G	
DIE IRI	DIETES IRIDIODES	FORTNIGHT LILY	LOW	2'-3" X 3'-4"	29 / 5G	
EUD MIC	EUONYMUS MICROPHYLLUS	BOXLEAF EUONYMUS	LOW	1'-2" X 1'-2"	10 / 5G	
GRE 'NOE'	GREVILLEA 'NOELII'	WOOLY GREVILLEA	LOW	4'-5" X 4'	10 / 5G	
HEL SEM	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	LOW	2'-3" X 2'-3"	23 / 5G	
LAN 'C.H.'	LANTANA 'CHAPEL HILL YELLOW'	CHAPEL HILL LANTANA	LOW	2'-3" X 2'-3"	13 / 5G	
LIM PER	LIMONIUM PEREZII	STATTICE	LOW	2' X 2'-3"	6 / 5G	
LOM BRE'	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	LOW	3'-4" X 2'-3"	11 / 5G	
OLE 'L.O.'	OLEA E. 'LITTLE OLLIE'	DWARF OLIVE	LOW	5'-6" X 5'-6"	7 / 15G	
PHO 'P.S.'	PHORMIUM TENAX 'PINK STRIPE'	NEW ZEALAND FLAX	LOW	4'-5" X 5'-6"	19 / 15G	
RHA 'MIN'	RHAPHIOLEPIS UMBELLATA 'MINOR'	YEDDO HAWTHORN	LOW	5'-6" X 6'-8"	7 / 15G	
RIB SAN	RIBES SANGUINEUM	RED FLOWERING CURRRANT	LOW	5'-8" X 5'-8"	4 / 15G	
ROS 'H.C.'	ROSMARINUS O. HUNTINGTON CARPET	ROSEMARY	LOW	5'-8" X 1'-2"	10 / 5G	
TRA JAS	TRACHELOSPERMUM JASMINOIDES(VINE)	STAR JASMINE	MEDIUM	(VINE)	16 / 15G	
WES 'B.G.'	WESTRINGEA FRUTICOSA 'BLUE GEM'	BLUE GEM WESTRINGEA	LOW	3'-4" X 3'-4"	14 / 15G	
XYL 'COM'	XYLOSMA C. 'COMPACTA'	COMPACT XYLOSMA	LOW	4'-5" X 4'-5"	11 / 15G	

SYMBOL	DESCRIPTION	HEIGHT
	MYOPORUM PARVIFOLIUM 1 GALLON @ 48" O.C.	LOW
	BOLERO - SODDED TURF AVAILABLE FROM DELTA BLUE GRASS	HIGH
	DECORATIVE PEBBLE - REFER TO CONSTRUCTION PLAN SHEET L1.1	

**TREE PROTECTION CHART**

TAG#	ON-SITE	ORDNANCE TREE	DBH(INCHES)	BOTANICAL NAME	COMMON NAME	STATUS
I	YES	YES	29.7	QUERCUS AGRIFOLIA	COAST LIVE OAK	RETAIN AND PROTECT

NOTE: REFER TO TREE PROTECTION PLAN FOR ADDITIONAL INFORMATION

**PLANTING NOTES**

- SITE ACCEPTANCE:** THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. ANY PREVIOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE OWNER'S OR LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- SITE PREPARATION:** ALL EXISTING VEGETATION SHALL BE REMOVED (CLEAR AND GRUB). PRIOR TO ROUGH GRADING OPERATIONS, PRESERVE ALL TOPSOIL BY STOCKPILING ON SITE. TOPSOIL SHALL BE REPLACED IN PLANTING AREAS TO ACHIEVE FINAL FINISH GRADES. FOR PLANTERS IN LIME-TREATED AREAS, REMOVE AND DISPOSE OF EXISTING SOIL TO A DEPTH OF 24 INCHES THROUGHOUT THE ENTIRE PLANTER, AND REPLACE WITH CLEAN TOPSOIL.
- POSITIVE DRAINAGE:** ENSURE POSITIVE DRAINAGE IN ALL LANDSCAPE AREAS, AND ADJUST ELEVATIONS AS REQUIRED. MINIMUM SLOPE IN TURF AREAS SHALL BE 0.5% TO OUTLET. MINIMUM SLOPE IN PLANTED AREAS SHALL BE 1%.
- EXPLANATION OF DRAWINGS:** PLANTING INTENT IS TO COMPLETELY FILL ALL PLANTING AREAS, UNLESS SPECIFICALLY NOTED OTHERWISE. QUANTITIES, (IF SHOWN) ARE FOR CONTRACTOR'S CONVENIENCE ONLY, AND SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL PLANTS TO MEET THIS INTENT. PLANTING DETAILS ARE CONSIDERED TYPICAL AND ALL WORK SHALL CONFORM TO THESE DETAILS.
- SUBSTITUTIONS:** IN THE EVENT ANY PLANT MATERIAL SPECIFIED IS NOT AVAILABLE, CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTION IMMEDIATELY TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DETERMINE THE SUITABILITY OF ANY PROPOSED SUBSTITUTION. SUBSTITUTION SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING PIT DRAINAGE:** EXCAVATED PLANTING PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS FULLY FLOODED WITH WATER SHALL DRAIN WITHIN 2 HOURS OF FILLING. IF PLANTING TIPS DO NOT DRAIN, OTHER MEASURES, INCLUDING A 1" DIAMETER X 8" DEEP AUGURED HOLE BACK FILLED WITH CRUSHED DRAIN ROCK, WILL BE REQUIRED.
- PLANT MATERIAL:** ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 "STANDARD FOR NURSERY STOCK". NOTES AND DETAILS ON THE DRAWINGS, UNLESS OTHERWISE NOTED, MINIMUM PLANT SIZES SHALL BE AS FOLLOWS: EVERGREEN SHRUBS (EXCEPT DWARF VARIETIES): 9" H. X 8" W. FOR 1-GALLON (#1); 15" H. X 12" W. FOR 5-GALLON (#5); AND 30" H. X 24" W. FOR 15-GALLON (#15). SINGLE TRUNKED TREES: 5" H. W/ 1" CALIPER FOR 15-GALLON (#15); 8" H. W/ 2" CALIPER FOR 24" BOX (#25). CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES 36" AND ABOVE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PURCHASE OR DELIVERY. APPROVAL OF PHOTOS DOES NOT PRECLUDE ON-SITE REJECTION OF UNSUITABLE PLANT MATERIAL.
- SITE CLEANLINESS:** THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN, FOR SOIL EROSION CONTROL MEASURES, AND FOR ANY OTHER GENERAL REQUIREMENTS. SHOULD EXISTING CONDITIONS REQUIRE MITIGATION, THE CONTRACTOR SHALL ALERT THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO PERFORMING WORK.
- UNDERGROUND UTILITIES:** THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES, TO THE SATISFACTION OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- BARK MULCH:** A 3" LAYER OF "WALK-ON" BARK MULCH SHALL BE INSTALLED IN ALL PLANTING BEDS. CONTRACTOR SHALL SUBMIT A MULCH SAMPLE PRIOR TO ORDER. APPLY PRE-EMERGENT PRIOR TO PLACING MULCH. IF MAINTENANCE PERIOD EXTENDS PAST 60 CALENDAR DAYS FROM APPLICATION, APPLY AGAIN PER MANUFACTURER'S INSTRUCTIONS.
- SOIL FERTILITY ANALYSIS AND AMENDMENT:** THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL SAMPLE AND LABORATORY SOIL FERTILITY ANALYSIS FOR EACH 10,000 SF OF PLANTED AREA, AND FOR ALL SOURCES OF IMPORT (IF APPLICABLE). SUBMIT ANALYSIS TO LANDSCAPE ARCHITECT FOR REVIEW, AND DOCUMENTATION OF AMENDMENT FOR COMPLIANCE WITH WATER EFFICIENT LANDSCAPE ORDINANCE. ALL PLANTING AREAS, INCLUDING PLANTING PITS, SHALL BE AMENDED PER THE SOILS REPORT, AND PER LOCAL ORDINANCE, INCLUDING INCORPORATING COMPOST AT THE RATE OF A MINIMUM OF 4 CU. YD PER 1,000 SF OF LANDSCAPE AREA TO A DEPTH OF SIX INCHES. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP SIX INCHES OF SOIL ARE EXEMPT FOR ADDING COMPOST AND TILLING. BACKFILL FOR ALL SUCCEULENTS SHALL BE 50% CLEAN, WASHED SAND.
- CERTIFICATE OF COMPLETION:** A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT AT THE COMPLETION OF THE PROJECT AND SUBMITTED WITH THE SOIL ANALYSIS REPORT TO THE AUTHORITY HAVING JURISDICTION.
- MAINTENANCE PERIOD:** SHALL BE A MINIMUM OF 60 CALENDAR DAYS. ANY PLANT THAT HAS BEEN REPLACED DURING THE MAINTENANCE PERIOD SHALL BE SUBJECT TO AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT. ANY DAY OF IMPROPER MAINTENANCE, AS DETERMINED BY THE LANDSCAPE ARCHITECT OR LOCAL JURISDICTION, SHALL NOT COUNT TOWARD THE MAINTENANCE PERIOD.
- ROOT CONTROL BARRIERS:** WHERE STREET TREES ARE WITHIN 3 FEET OF THE SIDEWALK OR CURB, PROVIDE A ROOT CONTROL BARRIER PANEL ALONG THE FACE OF SIDEWALK/CURB. PANELS SHALL BE 12" DEEP ALONG SIDEWALKS, AND 18" DEEP ALONG CURBS. CENTER PANELS AT EACH TREE AND EXTEND 10' IN EACH DIRECTION.
- UTILITY CLEARANCE:** NO TREES SHALL BE PLANTED WITHIN 5' OF WATER AND SANITARY SEWER LINES. NO TREES SHALL BE PLANTED UNDER EXISTING OR FUTURE OVERHEAD POWERLINES, AND ALL REQUIRED CLEARANCES SHALL BE MAINTAINED. ALL PLANTING, EXCEPT LOW-GROWING GROUNDCOVER, SHALL BE 3' CLEAR OF ALL FIRE APPURTENANCES PER NFPA 18.5.7.
- WORK IN RIGHT-OF-WAY:** ALL WORK WITHIN THE RIGHT-OF-WAY, OR TO BE MAINTAINED BY THE LOCAL AGENCY, SHALL BE INSTALLED PER THE LATEST EDITION OF THE AGENCY CONSTRUCTION STANDARDS, AND ALL OTHER AGENCY REQUIREMENTS.
- TURF INSTALLATION:** CONTRACTOR SHALL PLACE AND ESTABLISH SOD IN ALL AREAS AS DELINEATED ON THE PLANS AS FOLLOWS:
  - REMOVE ALL ROCKS AND OTHER DELETERIOUS MATERIAL GREATER THAN 1/4" IN DIAMETER. ESTABLISH SMOOTH GRADES, WITH NO PONDING. ENSURE ADEQUATE SOIL COMPACTION TO AVOID SETTLEMENT, WITHOUT EXCEEDING 85% RELATIVE DENSITY. SUBSEQUENT SETTLEMENT SHALL BE CLEAR EVIDENCE OF INADEQUATE COMPACTION.
  - WITHIN 24 TO 48 HOURS OF SODDING, DO NOT ALLOW SOIL TO BECOME SATURATED.
  - APPLY A STARTER FERTILIZER PRIOR TO LAYING SOD.
  - INSTALL SOD WITHIN 12 HOURS OF DELIVERY. DO NOT ALLOW SOD TO SIT IN DIRECT SUNLIGHT OR TO DRY OUT.
  - STARTING AT A STRAIGHT EDGE, LAY SOD IN STAGGERED ROWS, OFFSETTING JOINTS A MINIMUM OF 2 FEET.
  - AFTER LAYING, ROLL SOD WITH A LIGHT-WEIGHT, WATER-DRUM ROLLER (APPROXIMATELY 50 LBS), AND ENSURE FULL CONTACT WITH SOIL. WATER AS SOON AS POSSIBLE, AND IN ALL CASES, WITHIN 1 HOUR AFTER LAYING.

**PLANT CALLOUT SYMBOL KEY**

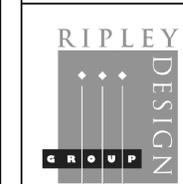
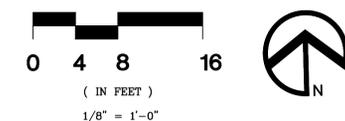
PLANT QTY	PLANT SYMBOL
SIZE	UNITS

NOTE: CONTRACTOR SHALL OBTAIN A SOILS TEST AFTER ROUGH GRADING IS COMPLETE. SEE PLANTING NOTE #11, SHEET L3.1

NOTE: SEE SHEET L3.2 FOR PLANTING DETAILS

THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

*Annika Carpenter*  
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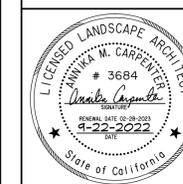
TEL. (916) 869-6639

PROJECT:

**1162 SHAMROCK DRIVE**

CAMPBELL, CALIFORNIA

**PLANTING PLAN**



PROJECT #:

DATE: SEP. 22, 2022

SCALE: 1/8" = 1'-0"

DRAWN BY: RRC

CHECKED BY: AMC

REVISIONS:

SHEET

**L3.1**

3 OF 9 SHEETS

**TREE PROTECTION NOTES:**

1. REFER TO THE ARBORIST REPORT FOR "1162 SHAMROCK DR, CAMPBELL, CA", PREPARED BY H.M.H. DATED JULY 11, 2022, FOR FULL DETAILS AND TREE PROTECTION MEASURES.
2. TREES AND SHRUBS NOT IDENTIFIED WITHIN THE REPORT, BUT AS PART OF THE TOPOGRAPHICAL SURVEY, ARE INCLUDED FOR REFERENCE ONLY.
3. PROTECT ALL EXISTING ITEMS NOTED TO REMAIN OR OTHERWISE UN-LABELED.
4. EXISTING TREES TO REMAIN UNLESS NOTED OTHERWISE. DO NOT STOCKPILE, DRIVE OVER, OR OTHERWISE DISTURB SOIL UNDER DRIPLINES OF EXISTING TREES, EXCEPT AS REQUIRED FOR PLANTING OPERATIONS.
5. USE HAND TOOLS ONLY FOR SOIL CULTIVATION UNDER DRIPLINES OF EXISTING TREES TO REMAIN.
6. TREES NOTED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING STUMP AND ROOT MASS. REFER TO ARBORIST REPORT FOR INSTRUCTIONS ON REMOVING TREE STUMPS WITHIN PROTECTED TREE ROOT ZONES.
7. NO ROOTS OVER 2" IN DIAMETER SHALL BE CUT EXCEPT UNDER THE DIRECTION OF AN ARBORIST. ALL CUT ROOTS SHALL BE COVERED WITH BURLAP OR STRAW AND SHALL REMAIN MOIST UNTIL RE-BURIED IN SOIL.
8. CALL COMMON GROUND ALLIANCE (811) AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE TO PROTECT FOR ALL EXISTING UTILITIES. SEE CONSTRUCTION NOTES, SHEET L1J FOR MORE INFORMATION.

**NOTE:**  
CONTRACTOR TO REFER TO FINAL ARBORIST REPORT FOR VERIFICATION OF TREE PROTECTION FENCING LOCATIONS.

THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

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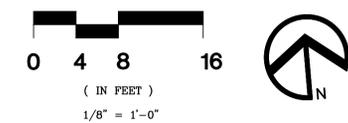
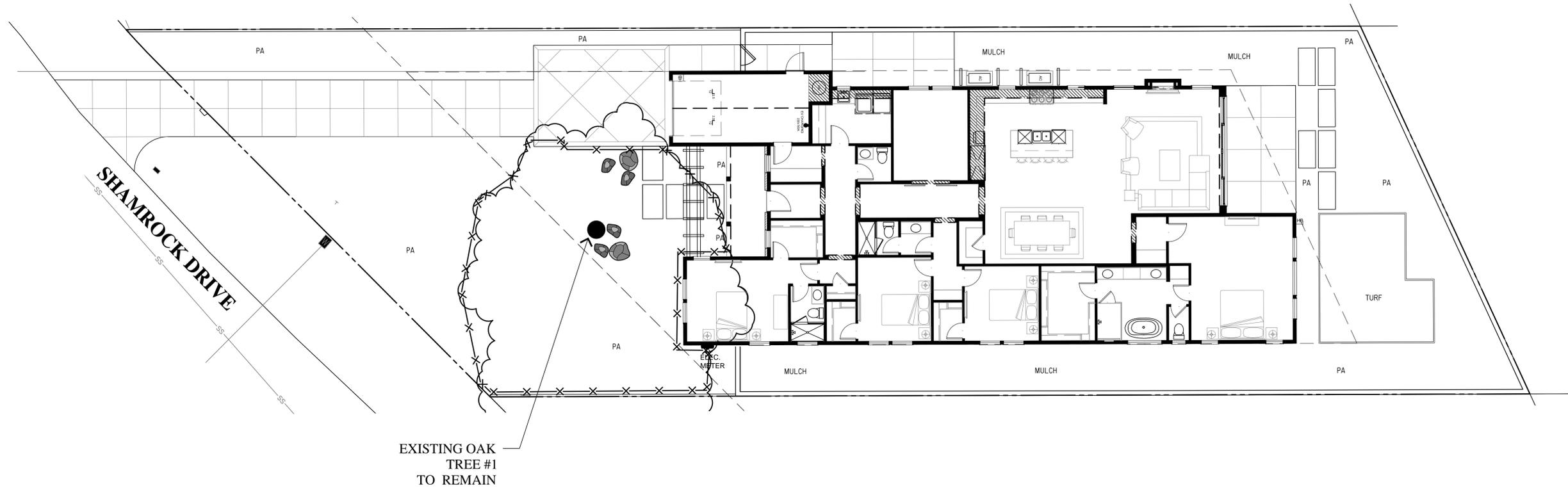
**LEGEND**

-  EXISTING TREE TO REMAIN, TYPICAL.
-  TREES TO BE REMOVED, TYPICAL.
-  TREE PROTECTION FENCING, REFER TO ARBORIST REPORT

**TREE PROTECTION CHART**

TAG#	ON-SITE	ORDINANCE TREE	DBH(INCHES)	BOTANICAL NAME	COMMON NAME	STATUS
1	YES	YES	29.7	QUERCUS AGRIFOLIA	COAST LIVE OAK	RETAIN AND PROTECT

**NOTE:** REFER TO TREE PROTECTION PLAN FOR ADDITIONAL INFORMATION



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**PROJECT:**

**1162 SHAMROCK DRIVE**

CAMPBELL,  
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**TREE PROTECTION PLAN**



**PROJECT #:**  
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**CHECKED BY:** AMC

**REVISIONS:**


**SHEET**

**L3.2**

4 OF 9 SHEETS