



CITY OF CAMPBELL
Community Development Department

March 14, 2014

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 25, 2014**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Gonzalez Architects for a Site and Architectural Review Permit (PLN2013-201) and Tree Removal Permit (PLN2013-202) to allow site and architectural improvements to the Pruneyard Shopping Center including the removal and replacement of existing palm trees, re-landscaping, and new exterior building improvements on property located at **1875 S. Bascom Avenue** in C-2 (General Commercial) Zoning District. Staff is recommending that this project be deemed Categorically exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

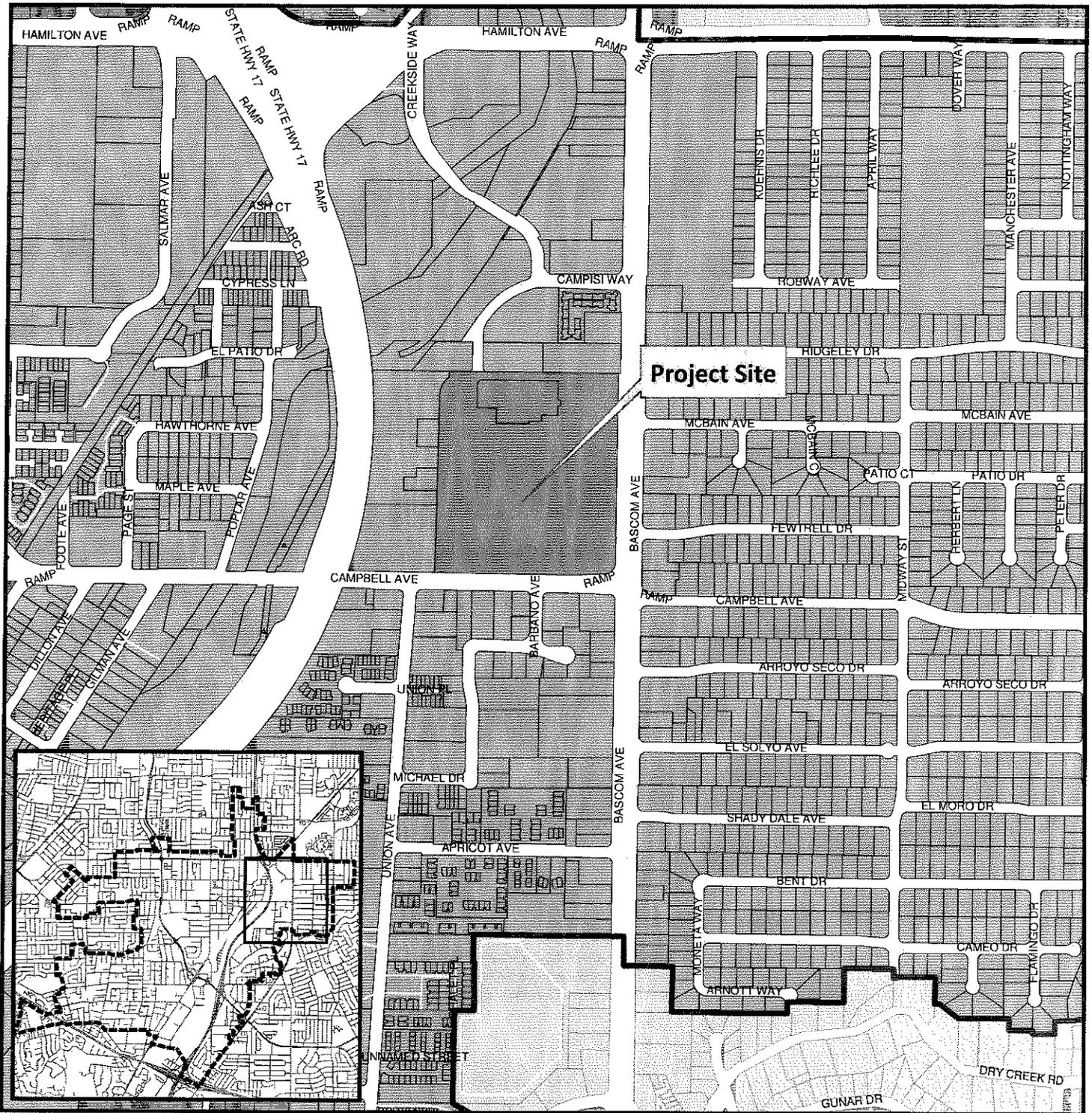
Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1875 S. Bascom Avenue**

Project Location Map

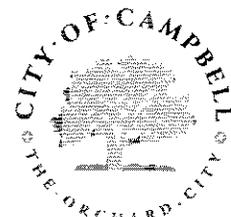
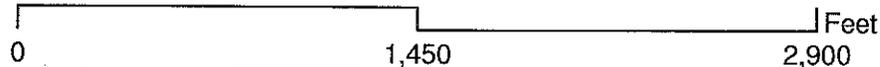


Project Location: 1875 S. Bascom Avenue

Application Type: Site & Arch. Review/ Tree Removal

Planning File No.: PLN2013-201/202

Description: Exterior Color and Material Change, Parking Area Island, Re-Landscape, & Remove 23 Palm Trees



Community Development Department
Planning Division

The Pruneyard Shopping Center | Site Improvements

1875 South Bascom Ave. Campbell, CA 95008 Planning Set 3 June 2013



González Architects
Hospitality

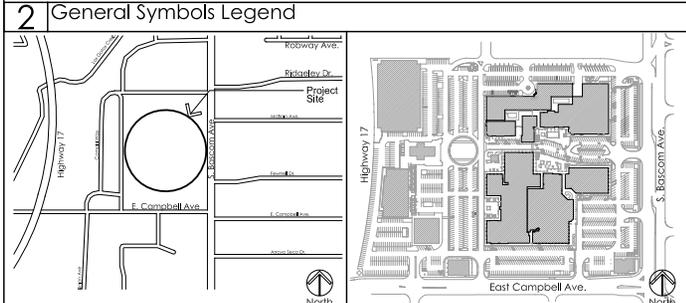
GONZALEZ ARCHITECTS
33 Bull Street, Suite 412
Savannah, GA 31401
1 912 201 9888

Registration Number:
C-32509

ACT	ACOUSTIC CEILING TILE	EWC	ELECTRIC WATER COOLER	IN	INCH	PLMB	PLUMBING
AL	ALUMINUM	LEV	ELEVATION	INSUL	INSULATION	PLYM	PLYWOOD
BSMT	BASEMENT	EQ	EQUIPMENT	INT	INTERIOR	PSI	POUNDS/SQUARE INCH
BLKG	BLOCKING	EXP	EXPANSION	JAN	JANITOR	PL	PROPERTY LINE
BLDG	BUILDING	EXT	EXISTING	JST	JOIST	REF	REQUIRED
CAB	CABINET	FT	FOOT	KP	KICK PLATE	ROOM	ROOM
CPT	CARPET	FT	FOOT	LAV	LAVATORY	SECT	SECTION
CLG	CEILING	LG	LENGTH	LG	LENGTH	SHEET	SHEET
CEM	CEMENT	LOC	LOCATION	LT	LIGHT	SIMIL	SIMILAR
CL	CENTER LINE	POOR	POOR DRAIN	MFR	MANUFACTURER	STC	STANDARD
CT	CERAMIC TILE	FD	FOUNDATION	MACH	MAXIMUM	STD	STANDARD
CLR	CLEAR	FR	FRAME	MCH	MECHANICAL	STRUC	STRUCTURE
COL	COLUMN	GALV	GALVANIZED	MTZ	MEZZANINE	STAIN	STAINLESS STEEL
CONF	CONFERENCE	GC	GENERAL CONTRACTOR	MNL	MINIMUM	SVC	SMOKE VENT
CONC	CONCRETE	GLASS	GLASS	MTD	MOUNTED	TYP	TYPICAL
CONST	CONSTRUCTION	GRD	GROUND GRADE	NOM	NOMINAL	UN	UNLESS OTHERWISE NOTED
CL	CONTROL JOINT	GFI	GROUND FAULT INTERRUPT	NTS	NOT TO SCALE	VERIF	VERIFY IN FIELD
CONT	CONTINUOUS	GYP	GYPSONIUM	OC	ON CENTER	VIB	VIBRATION
CMU	CONCRETE MASONRY UNIT	GWB	GYPSONIUM WALL BOARD	OPD	OVERFLOW DRAIN	VST	VIRY TILE
		HC	HANDICAP	OV	OVER	WC	WATER CLOSET
		HW	HARDWARE	PA	PAINTED	WH	WATER HEATER
		HW	HARDWOOD	PF	PAINTED	W/O	WITHOUT
		HT	HEIGHT	PL	PLASTIC	WB	WOOD BLOCKING
		HTM	HOLLOW METAL	PLAM	PLASTIC LAMINATE	WD	WOOD
		HW	HOT WATER				

1 Abbreviations

ROOM XXX	ROOM NAME		EARTH		ALUMINUM
X.XXXX	ELEVATION TARGET		GRANULAR FILL		STEEL
	PARTITION TYPE TAG		CONCRETE		GENERIC HATCH
	DETAIL TARGET		BRICK		PLYWOOD
X.XXXX	SECTION TARGET		CMU		ACOUSTICAL TILE
	GRID LINE		STONE (CUT OR CAST)		BATT INSULATION
	LOCATION DATUM/ HT. AFF ELEVATION		GRANITE		RIGID INSULATION
	WINDOW NUMBER TAG		WOOD FRAMING		GYPSONIUM BD (LARGE SCALE)
	DOOR NUMBER TAG		FINISH WOOD		SEALANT BACKER ROD
			SHIMS/BLOCKING		FIBROUS FIRE SAFING
					CERAMIC TILE



3 Vicinity Map

Not to Scale

4 Site Map

Not to Scale

GENERAL PROJECT DATA

Applicant: Gonzalez Architects
32 East Bay Street
Savannah, GA 31401
P - 912.201.9888

Address: 1875 South Bascom Avenue
Campbell, CA 95008
P - 408.796.3277

5 Project Data

DISCIPLINE	SHEET	DESCRIPTION	PLANNING SET	PLANNING SET	PLANNING SET
	T1.01	COVER			
	T1.02	INDEX			
CIVIL	CS1	GRADING AND DRAINAGE PLAN			
ARCHITECTURE	A0.01	PAINTING SCOPE			
	A0.02	LANDSCAPE SCOPE			
	A0.10	OVERALL SITE PLAN			
	A1.00	TYPICAL DEMOLITION PLAN			
	A1.01	ENLARGED SITE PLAN			
	A1.02	ENLARGED SITE PLAN			
	A1.03	ENLARGED SITE PLAN			
	A1.04	ENLARGED SITE PLAN			
	A1.05	ENLARGED SITE PLAN			
	A1.06	ENLARGED SITE PLAN			
LANDSCAPING	A1.07	ENLARGED SITE PLAN			
	A1.08	ENLARGED SITE PLAN			
	A2.01	TYPICAL EXISTING ELEVATION			
	A2.02	TYPICAL EXISTING ELEVATION			
	A2.03	TYPICAL EXISTING ELEVATION			
	A2.04	TYPICAL EXISTING ELEVATION			
	A2.05	TYPICAL PROPOSED ELEVATION			
	A2.06	TYPICAL PROPOSED ELEVATION			
	A2.07	TYPICAL PROPOSED ELEVATION			
	A2.08	TYPICAL PROPOSED ELEVATION & FINISH SCHEDULE			
A4.01	SITE DETAILS				
LANDSCAPING	L0.0	TREE REMOVAL PLAN			
	L1.01	PLANTING PLAN			
	L1.02	PLANTING PLAN			
	L1.03	PLANTING PLAN			
	L1.04	PLANTING PLAN			
	L1.05	PLANTING PLAN			
	L1.06	PLANTING PLAN			
	L1.07	PLANTING PLAN			
	L1.08	PLANTING PLAN			
	D1.0	CONSTRUCTION DETAILS			
D2.0	WATER EFFICIENT LANDSCAPE WORKSHEETS				

6 Index of Drawings

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



Project No: 1875 South Bascom Avenue, Campbell, CA 95008
Date: 11/19/02, 03/18/06, 7/11/02, 02/10/04

Rev.	Date	Description
1	02-24-03	Revised
2	03-24-03	Revised

Drawing No:

Scale: 1/8" = 1'-0"

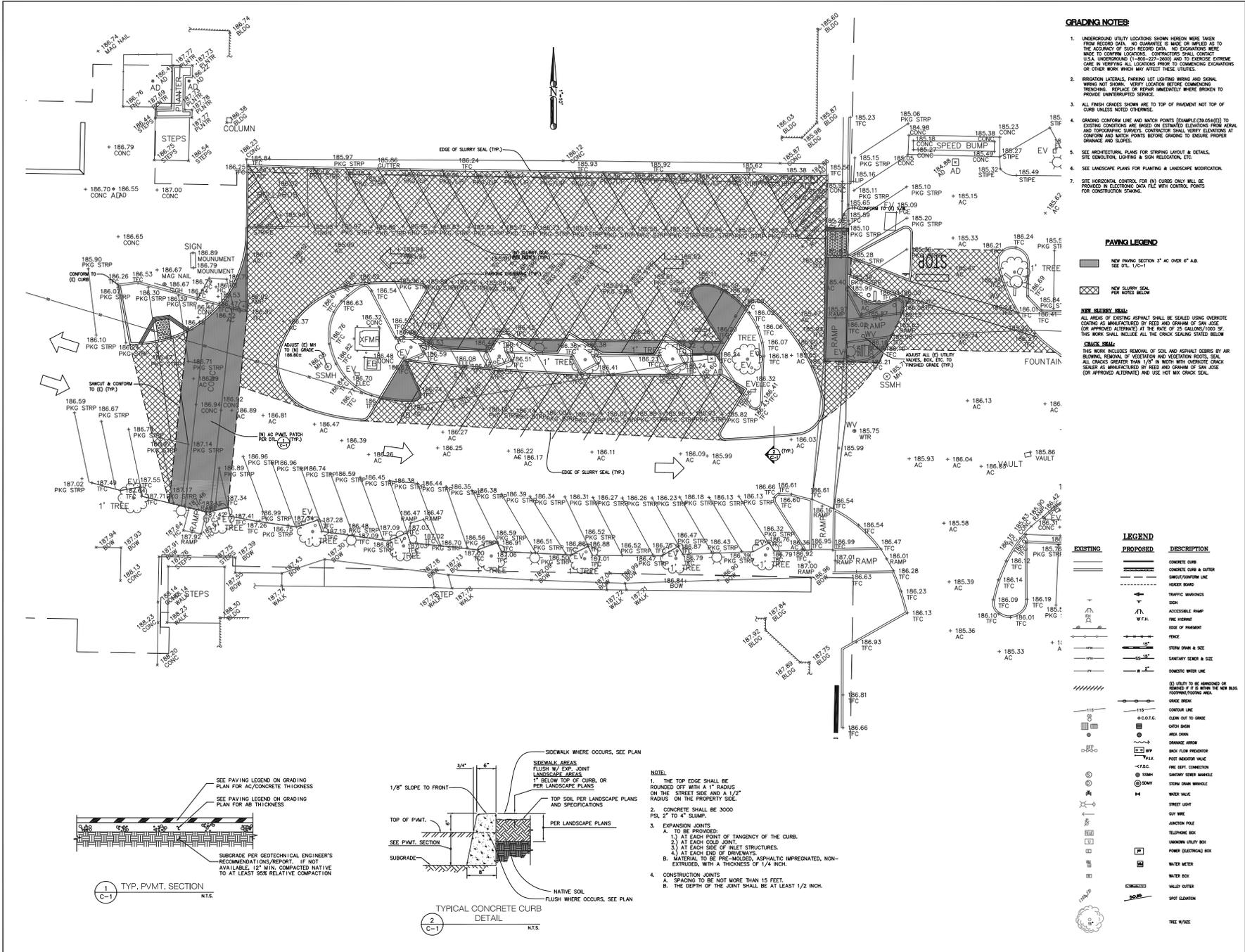
Date: 02/14/11

Drawn by: JSD

Checked by: JSD

Drawing No: T1.01

T1.01



- GRADING NOTES:**
- UNDERGROUND UTILITY LOCATIONS SHOWN HEREIN WERE TAKEN FROM RECORD DATA. NO GUARANTEE IS MADE OR IMPLIED AS TO THE ACCURACY OF SUCH RECORD DATA. NO EXCAVATIONS WERE MADE TO CONFIRM LOCATIONS. CONTRACTOR SHALL CONSULT U.S.A. UNDERGROUND (1-800-227-2800) AND TO EXERCISE EXTREME CARE IN VERIFYING ALL LOCATIONS PRIOR TO COMMENCING EXCAVATIONS OR OTHER WORK WHICH MAY AFFECT THESE UTILITIES.
 - IRRIGATION LATERALS, PARKING LOT LIGHTING WIRING AND SIGNAL WIRING NOT SHOWN. VERIFY LOCATION BEFORE COMMENCING TRENCHING. REPLACE OR REPAIR IMMEDIATELY WHERE BROKEN TO PROVIDE UNINTERRUPTED SERVICE.
 - ALL FINISH GRADES SHOWN ARE TOP OF PAVEMENT NOT TOP OF CURB UNLESS NOTED OTHERWISE.
 - GRADING CONTAIN LINE AND MATCH POINTS (EXAMPLE: 186.23/185.23) TO EXISTING CONDITIONS AND BASED ON ESTIMATED ELEVATIONS FROM NORMAL AND TOPOGRAPHIC SURVEYS. CONTRACTOR SHALL VERIFY ELEVATIONS AT CORNERS AND MATCH POINTS BEFORE GRADING TO ENSURE PROPER DRAINAGE AND SLOPES.
 - SEE ARCHITECTURAL PLANS FOR STRIPING LAYOUT & DETAILS. LANDSCAPE LIGHTING & SIGN RELOCATION, ETC.
 - SEE LANDSCAPE PLANS FOR PLANTING & LANDSCAPE MODIFICATION.
 - SEE HORIZONTAL CONTROL FOR (N) CURBS ONLY WILL BE PROVIDED IN ELECTRONIC DATA FILE WITH CONTROL POINTS FOR CONSTRUCTION STAKING.

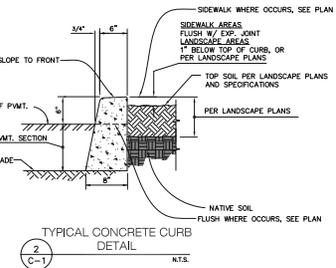
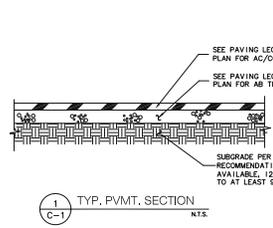
- PAVING LEGEND**
- NEW PAVING SECTION 2" AC OVER 6" AB
SEE DET. 170-C-1
 - NEW SLURRY SEAL
PER NOTES BELOW

NEW SLURRY SEAL
ALL AREAS OF EXISTING ASPHALT SHALL BE SEALED USING OVERNOTE COATING AS MANUFACTURED BY REED AND SHOWN OF SAN JOSE OR APPROVED ALTERNATE AT THE DISCRETION OF THE ENGINEER. THIS WORK SHALL INCLUDE ALL THE CRACK SEALING STATED BELOW.

CRACK SEAL
THIS WORK INCLUDES REMOVAL OF SOIL AND ASPHALT DEBRIS BY AIR BLOWING, REMOVAL OF WEEDS AND VEGETATION ROOTS. SEAL ALL CRACKS GREATER THAN 1/4" IN WIDTH WITH OVERNOTE CRACK SEALER AS MANUFACTURED BY REED AND SHOWN OF SAN JOSE OR APPROVED ALTERNATE AND USE HOT BIT CRACK SEAL.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	CONCRETE CURB
---	---	CONCRETE CURB & OUTER SLOPE/CONCRETE LINE
---	---	HEADER BOARD
---	---	TRAFFIC MARKINGS
---	---	SOIL
---	---	ACCESSIBLE RAMP
---	---	FIRE HOSEBOX
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	STORM DRAIN & SIZE
---	---	SANITARY SEWER & SIZE
---	---	DOMESTIC WATER LINE
---	---	CRACK SEAL
---	---	CONTOUR LINE
---	---	CLEAN OUT TO GRADE
---	---	ORDN BURN
---	---	RED BURN
---	---	DRAINAGE BURN
---	---	BACK FLOW PREVENTOR
---	---	POST AND/OR SIGN
---	---	FIRE STOP CONCRETE
---	---	SANITARY STREET VEHICLE
---	---	STORM DRAIN VEHICLE
---	---	WATER VALVE
---	---	STREET LIGHT
---	---	SOFT WIRE
---	---	JUNCTION POLE
---	---	TELEPHONE BOX
---	---	UNKNOWN UTILITY BOX
---	---	POWER ELECTRICAL BOX
---	---	WATER METER
---	---	WATER BOX
---	---	WALKER VALVE
---	---	SPOT ELEVATION
---	---	TREE WHITE



- NOTE:**
- THE TOP EDGE SHALL BE ROUNDED OFF WITH A 1" RADIUS ON THE STREET SIDE AND A 1/2" RADIUS ON THE PROPERTY SIDE.
 - CONCRETE SHALL BE 3000 PSI, 2" TO 4" SLUMP.
 - EXPANSION JOINTS A. TO BE PROVIDED: 1.) AT EACH POINT OF TANGENCY OF THE CURB. 2.) AT EACH COLD JOINT. 3.) AT EACH SIDE OF INLET STRUCTURES. 4.) AT EACH END OF DRIVEWAYS. B. MATERIAL TO BE PRE-MIXED, ASPHALTIC IMPREGATED, NON-EXTRUDED, WITH A THICKNESS OF 1/4 INCH.
 - CONSTRUCTION JOINTS A. SPACING TO BE NOT MORE THAN 15 FEET. B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1/2 INCH.

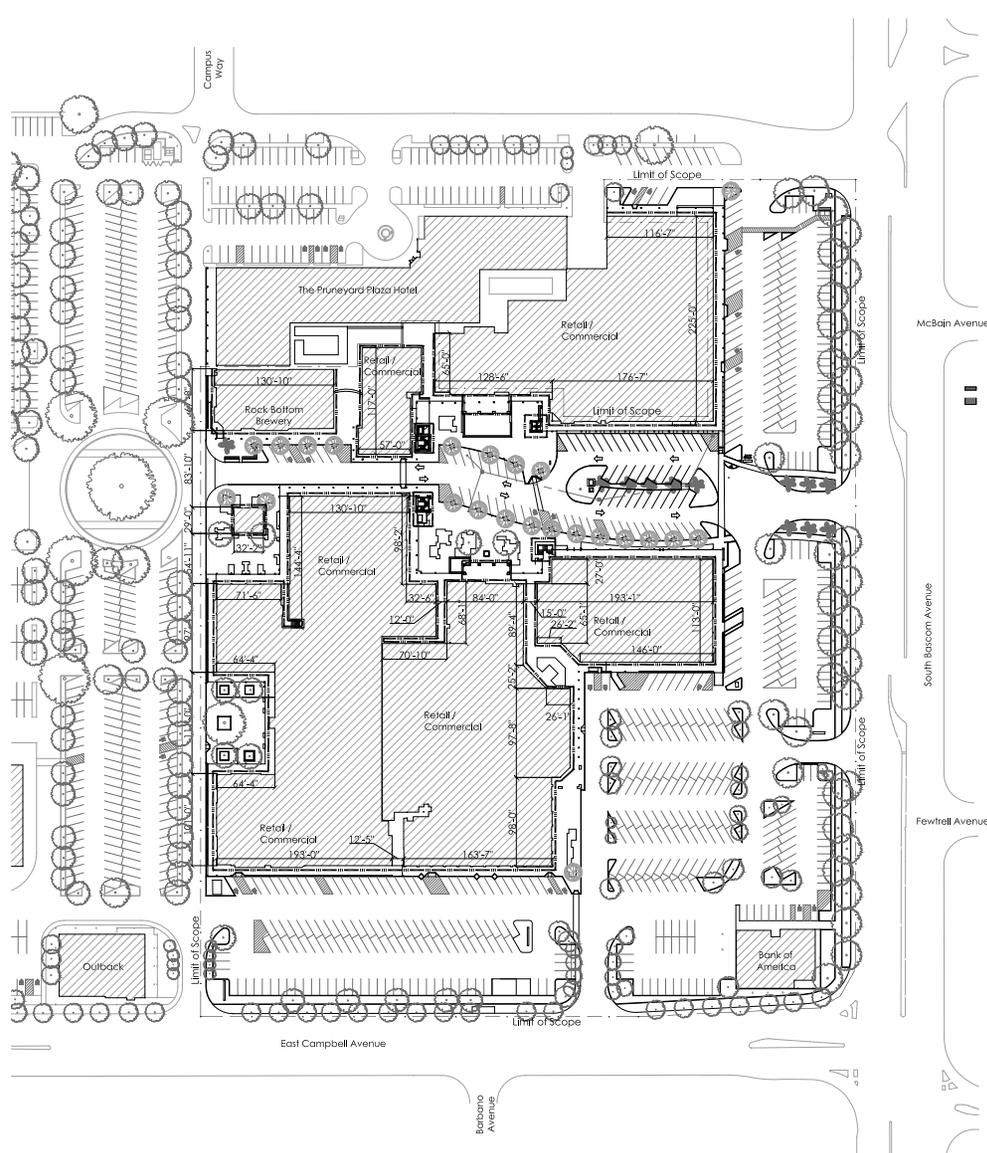
BRIC Engineering
INCORPORATED
8888 The Alameda, Suite 210
San Jose, CA 95128
Tel: (408) 243-5454
Fax: (408) 243-5453

GRADING AND DRAINAGE PLAN

PRUNEYARD PLAZA
CAMPBELL, CA

Date: 05/08/13
Checked: D. VALDEZ
Designer: D. VALDEZ
Drawn By: K. NAGAR
Scale: AS SHOWN
Title: PRUN1301

C-1
Sheet(s)



NOTE: See enlarged plans for further delineation of scope.

1 Painting Scope Plan
1/64"=1'-0"

PAINTING NOTES:

- 1-All painting shall be limited to the areas as graphically designated in these plans and shall be coordinated between Owner, Tenants, GC, and Architect.
- 2- Painting scope shall consist of first and second floor vertical surfaces as well as stair enclosures, canopy columns, and underside of canopies.
- 3-All surfaces to be properly cleaned, sanded, etc prior to painting. All new stucco shall be sand finish and properly prepared to receive paint finish.
- 4- Existing permanent concrete planter beds within limit of scope to receive new paint finishes.
- 5- Painting to occur in the approximate linear footage of building frontage, as measured along the ground level storefronts as designated. This areas must be field verified; 4,640 Feet

----- = Painting Scope

2 Painting Notes

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



Registration No. 13 State of California, CA 13401
002597 11/19/02 507 8886 1-1 (916) 501 1040

Rev.	Date	Description
1	08-24-13	Revised
2	08-24-13	Revised

Drawing Title	
Painting Scope Plan	
Scale	As Shown
Date	08/24/13
Drawn By	SSD
Checked By	SSD
Drawn By (in)	
Checked By (in)	

A0.01

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



Enlarged Site Plan

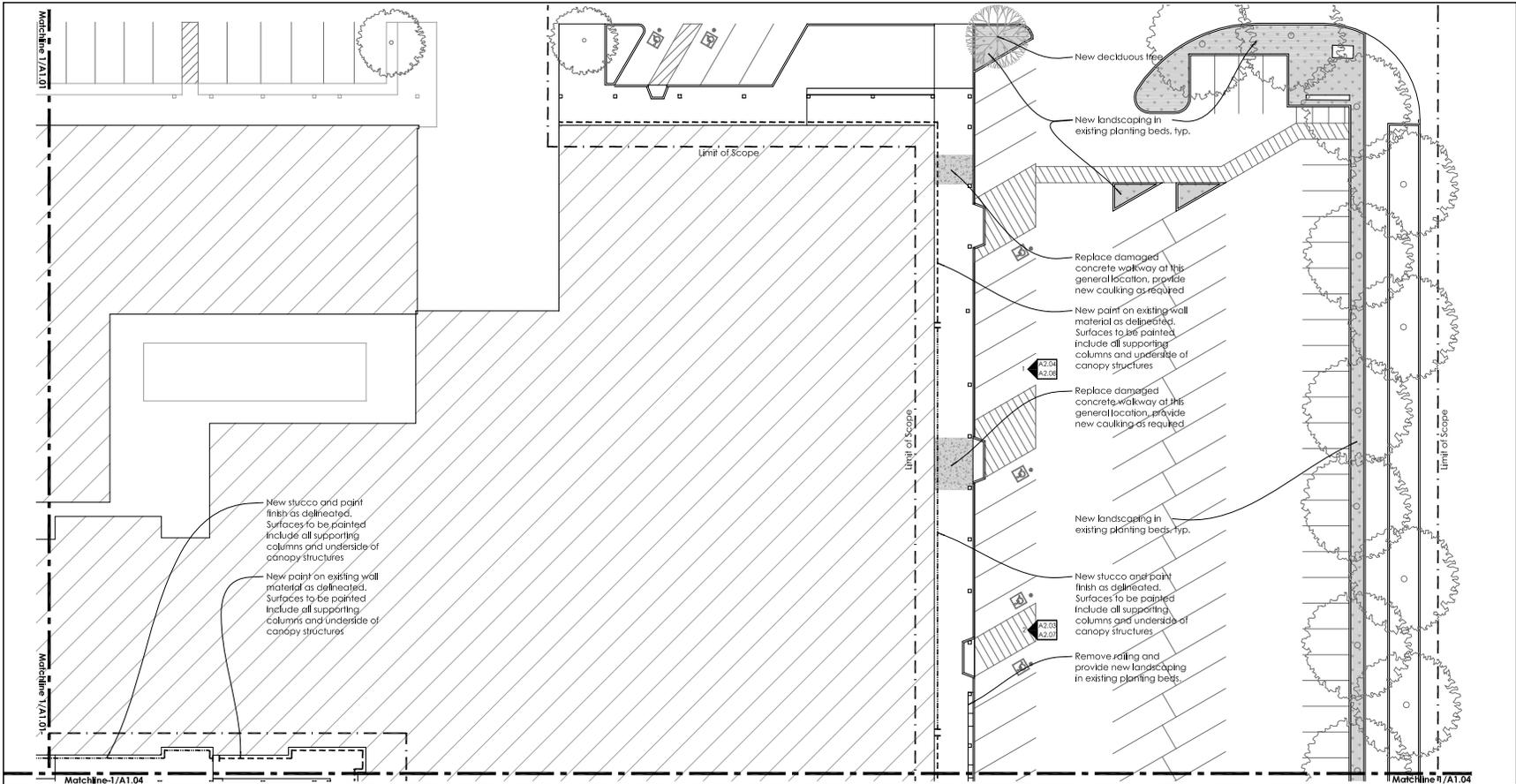
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C00259 11/19/02, 05/18/06, 7/11/02, 05/12/04

Revised/Added	
No.	Description
1	05-24-12 Revising Set
2	05-24-12 Revising Set - Revising Set

Drawing No.

Scale	As Shown
Date	05/24/12
Drawn by	SSD
Reviewed	SSD
Drawn by (in)	

A1.02



1 Enlarged Site Plan - Section A2

- Remove all miscellaneous movable planters, second floor flower boxes and drip lines, fountains, etc. from within the limit of scope.
- Replace damaged concrete sections and caulking, where noted, with new. All new integral color concrete to match existing construction type and color of adjacent concrete. All new concrete to be broom finish.
- Loose flagstones at existing tree bases to be replaced with decomposed granite
- All wrought iron railings on the ground level and within the limit of scope to be removed (U.O.N.) See plans for locations of new low walls to replace
- Remove all rope lighting from existing trees.
- Coordinate with owner on modifying existing signage
- Where a curb ramp exists without truncated domes they shall be installed per minimum requirements of detail I2/A4.01

2 Notes

- New Single Wide Low Wall
- New Double Wide Low Wall
- New Deciduous Tree
- Existing Palm to Remain
- New Asphalt
- New Grass/Landscaping - Maintenance
- New Infill Concrete Walkway - Maintenance
- Existing Deciduous Tree to Remain

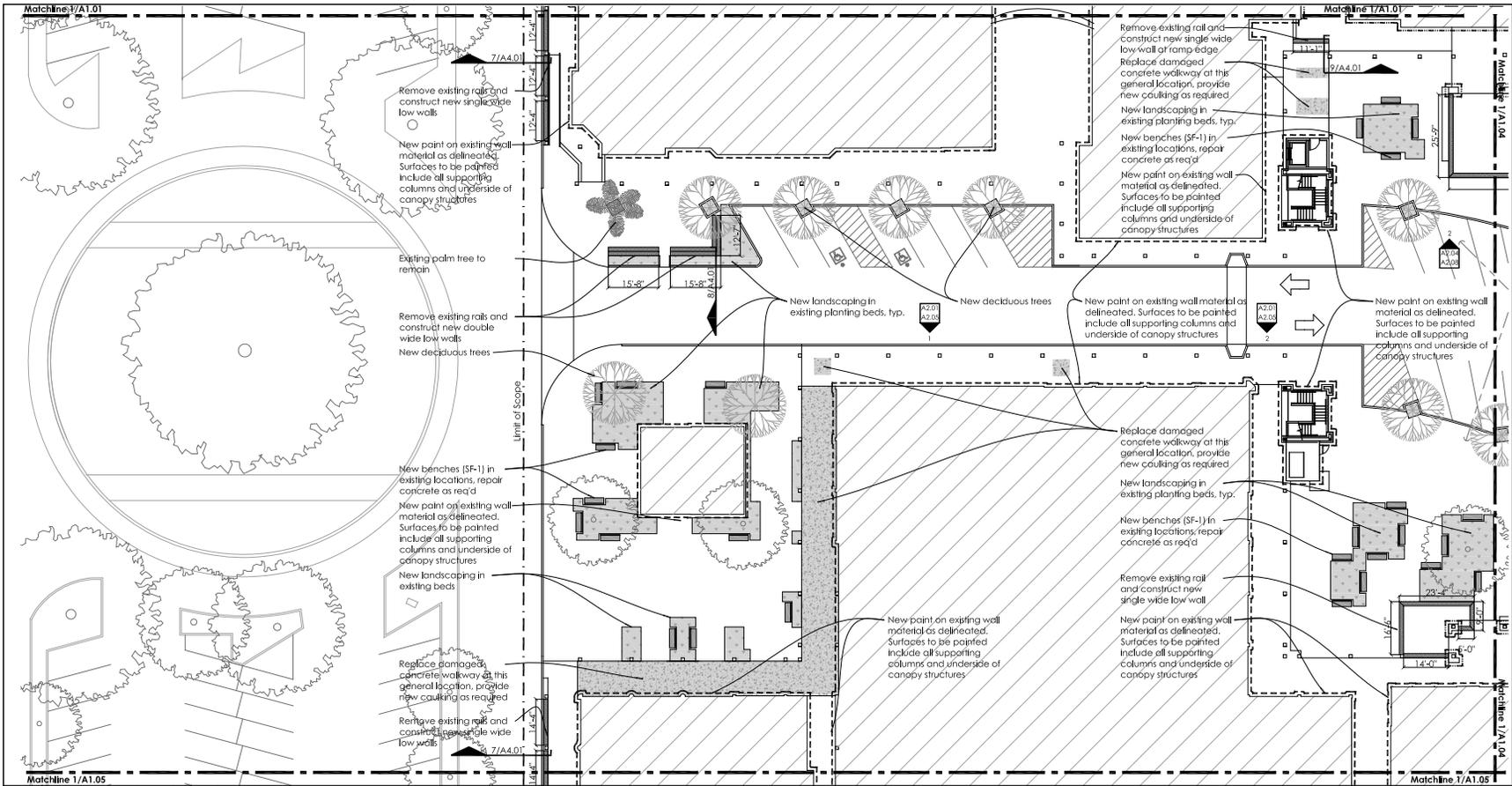
- New Stucco with New Paint Finish
- New Paint on Existing Material

3 Legend

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Enlarged Site Plan - Section B1

- Remove all miscellaneous movable planters, second floor flower boxes and drip lines, fountains, etc. from within the limit of scope.
- Replace damaged concrete sections and caulking, where noted, with new. All new integral color concrete to match existing construction type and color of adjacent concrete. All new concrete to be broom finish.
- Loose flagstones at existing tree bases to be replaced with decomposed granite
- All wrought iron railings on the ground level and within the limit of scope to be removed (U.O.N.) See plans for locations of new low walls to replace
- Remove all rope lighting from existing trees.
- Coordinate with owner on modifying existing signage
- Where a curb ramp exists without truncated domes they shall be installed per minimum requirements of detail 12/A4.01

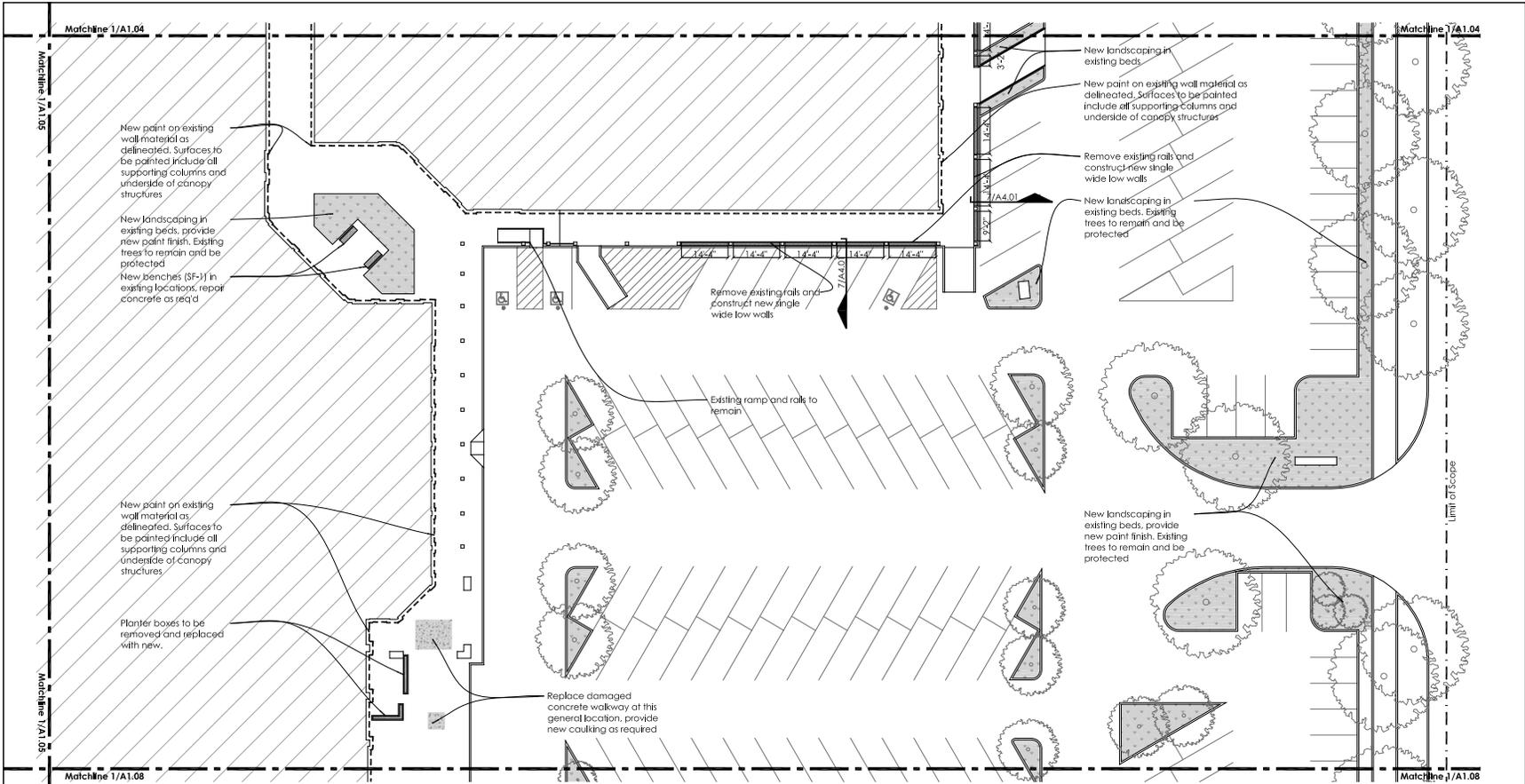
2 Notes

- New Single Wide Low Wall
- New Double Wide Low Wall
- 🌳 New Deciduous Tree
- 🌴 Existing Palm to Remain
- New Asphalt
- New Grass/Landscaping - Maintenance
- New Infill Concrete Walkway - Maintenance
- 🌳 Existing Deciduous Tree to Remain
- New Stucco with New Paint Finish
- New Paint on Existing Material

3 Legend

<p>Registration No. 002597 13 Star City, Street Commercial, CA, Inc. P.O. Box 1000, San Jose, CA 95128-1000</p> <p>Scale: 1/8" = 1'-0"</p> <p>Date: 08/24/10</p> <p>Drawn By: JES</p> <p>Checked By: JES</p> <p>Project No. 0000</p> <p>Drawing No. A1.03</p>	<p>Enlarged Site Plan</p>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------

A1.03



1 Enlarged Site Plan - Section C2
1/16"=1'-0"

- Remove all miscellaneous movable planters, second floor flower boxes and drip lines, fountains, etc. from within the limit of scope.
- Replace damaged concrete sections and caulking, where noted, with new. All new integral color concrete to match existing construction type and color of adjacent concrete. All new concrete to be broom finish.
- Loose flagstones at existing tree bases to be replaced with decomposed granite
- All wrought iron railings on the ground level and within the limit of scope to be removed (U.O.N.) See plans for locations of new low walls to replace
- Remove all rope lighting from existing trees.
- Coordinate with owner on modifying existing signage
- Where a curb ramp exists without truncated domes they shall be installed per minimum requirements of detail 12/A4.01

- New Single Wide Low Wall
- New Double Wide Low Wall
- New Deciduous Tree
- Existing Palm to Remain
- New Asphalt
- New Grass/Landscaping - Maintenance
- New Infill Concrete Walkway - Maintenance
- Existing Deciduous Tree to Remain
- New Stucco with New Paint Finish
- New Paint on Existing Material

2 Notes

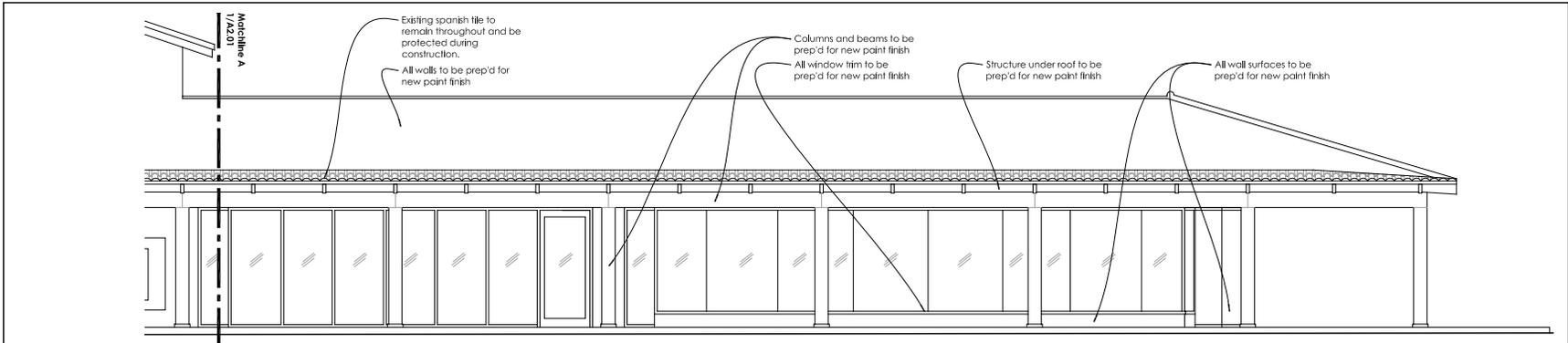
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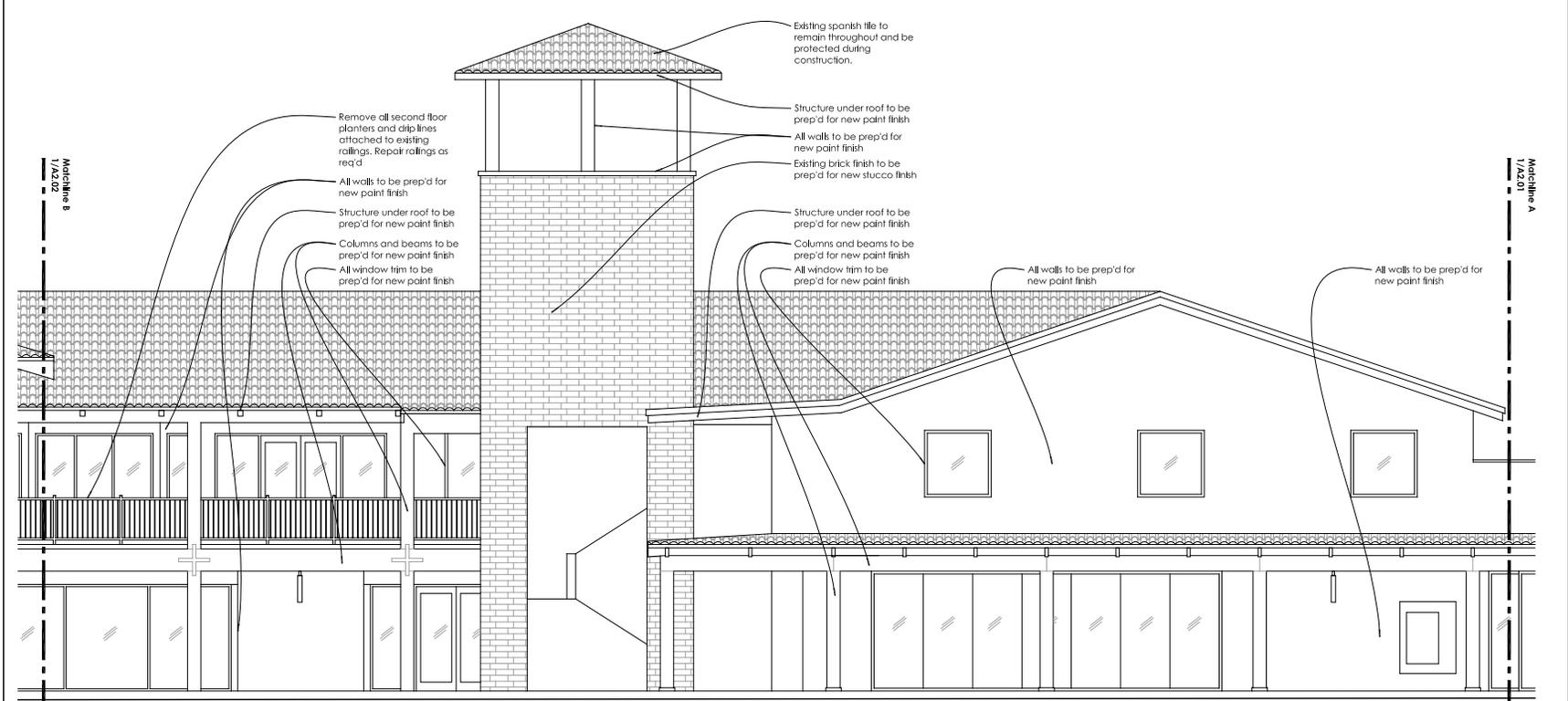
Registration No. 13 State of California, CA 10001
C02359 1/11/02 501 8866 1/11/02 501 1040

Revised	
No.	Date
1	08-24-13
2	08-24-13

Drawing Title	
Enlarged Site Plan	
Scale	As Shown
Date	08/24/13
Drawn By	SSD
Reviewed	SSD
Drawn By (in)	



1 Typical Existing Elevation
1/4"=1'-0"



2 Typical Existing Elevation
1/4"=1'-0"



Registration No. 002597 13 First St., Mendocino, CA 95621
Tel: 707.939.5071 Fax: 707.939.5072

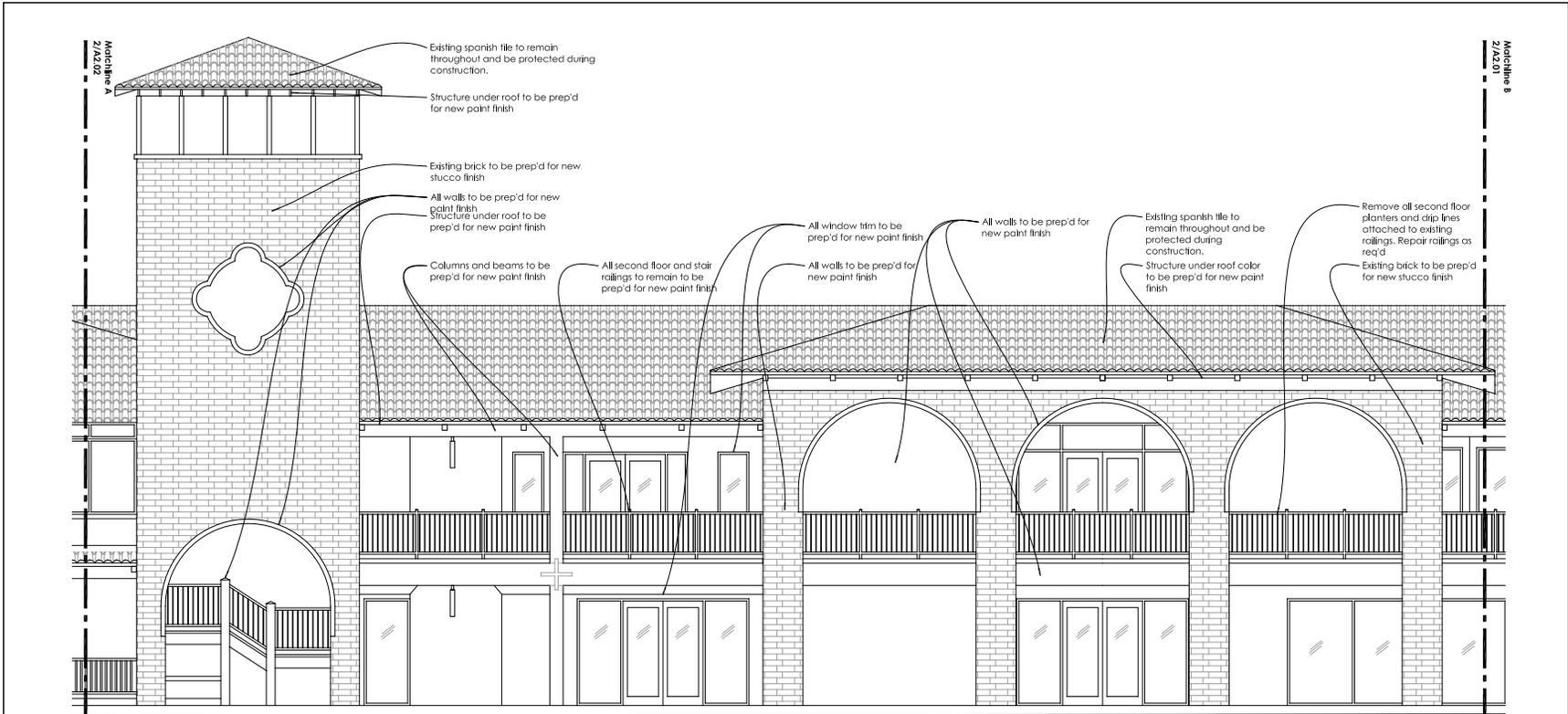
Project/Sheet	
No.	Date
1	02-24-12
2	02-24-12

Drawing Title	
Typical Existing Elevations	
Scale	As Shown
Date	07/24/12
Drawn By	SSD
Checked By	SSD
Drawn By	SSD
Checked By	SSD
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Checked By	SSD

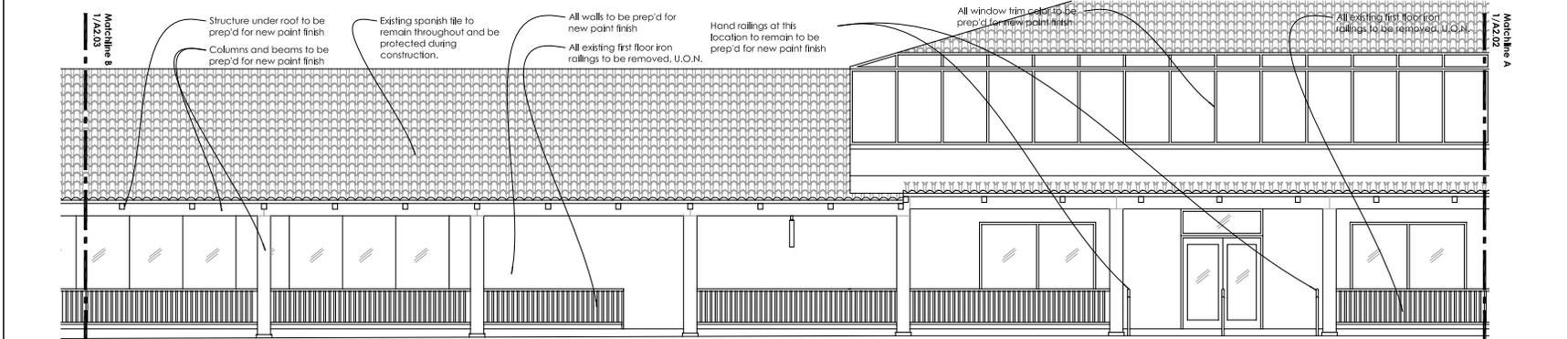
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Typical Existing Elevation
1/4"=1'-0"



2 Typical Existing Elevation
1/4"=1'-0"

Project No. 13
Date: 02/25/20

Rev.	Date	Description
1	02/25/20	Preparation
2	02/25/20	Preparation

Drawing No. _____

Scale: _____

Date: _____

Drawn by: _____

Checked by: _____

Drawing No. _____

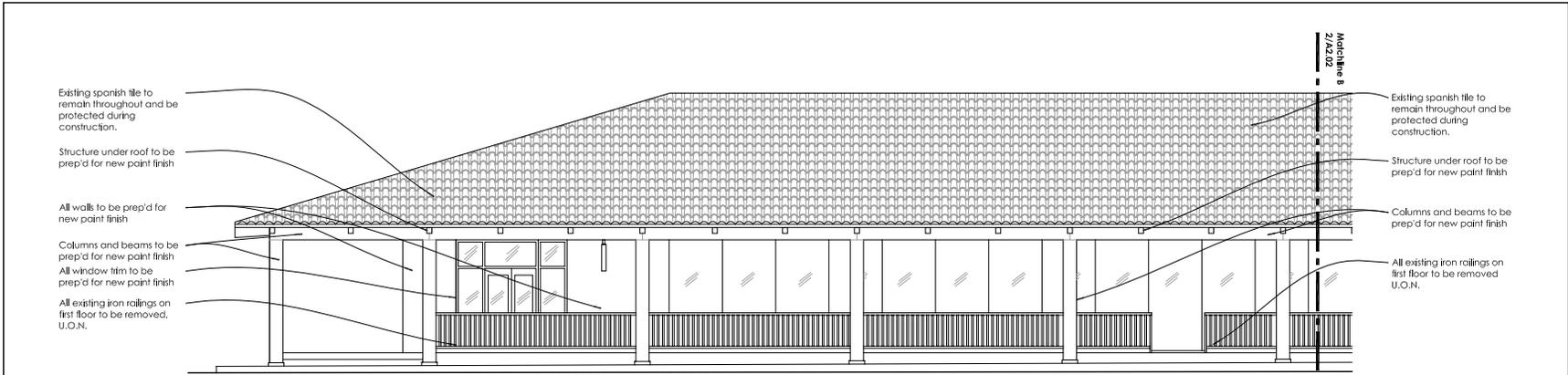
Typical Existing Elevations

A2.02

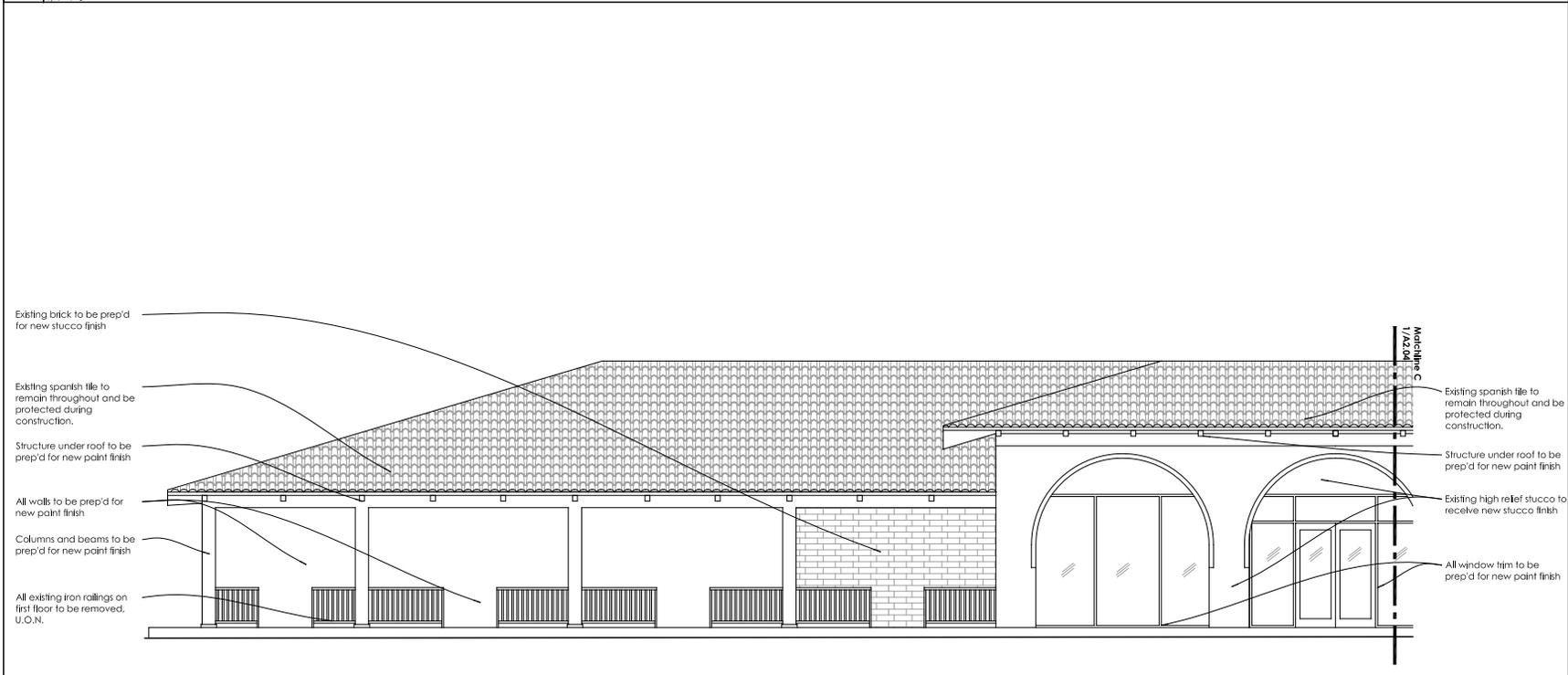
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Typical Existing Elevation
1/4"=1'-0"



2 Typical Existing Elevation
1/4"=1'-0"



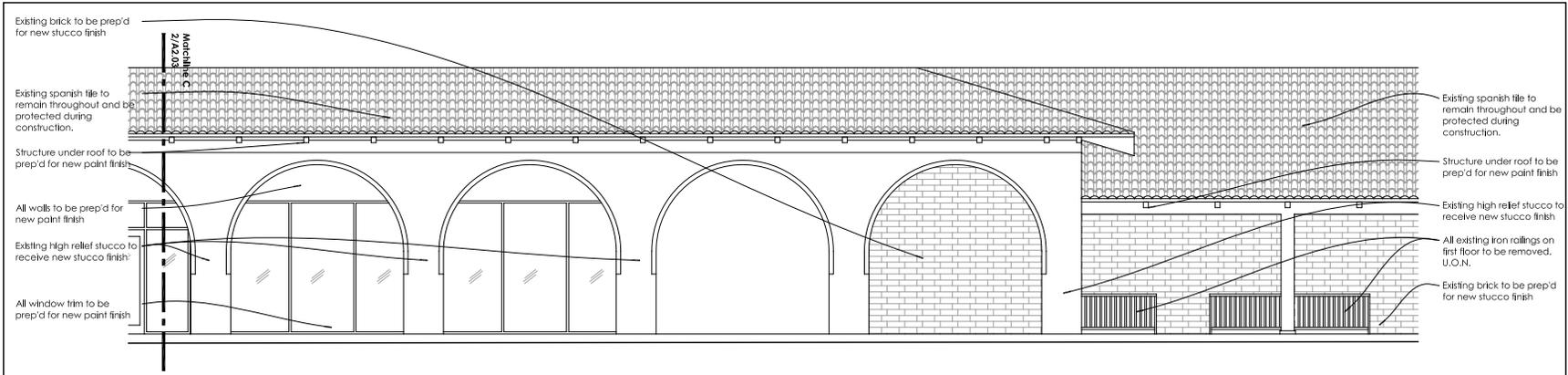
Project No.	1875 Bascom Avenue, Campbell, CA 95008
Client	1875 Bascom Avenue, Campbell, CA 95008
Architect	González Architects Commercial
Date	08-25-13
Revision	08-25-13 Rev. 01 - Final

Drawing Title	
Typical Existing Elevations	
Scale	As Shown
Date	08/25/13
Drawn By	JES
Reviewed By	ESB
Drawing No.	A2.03

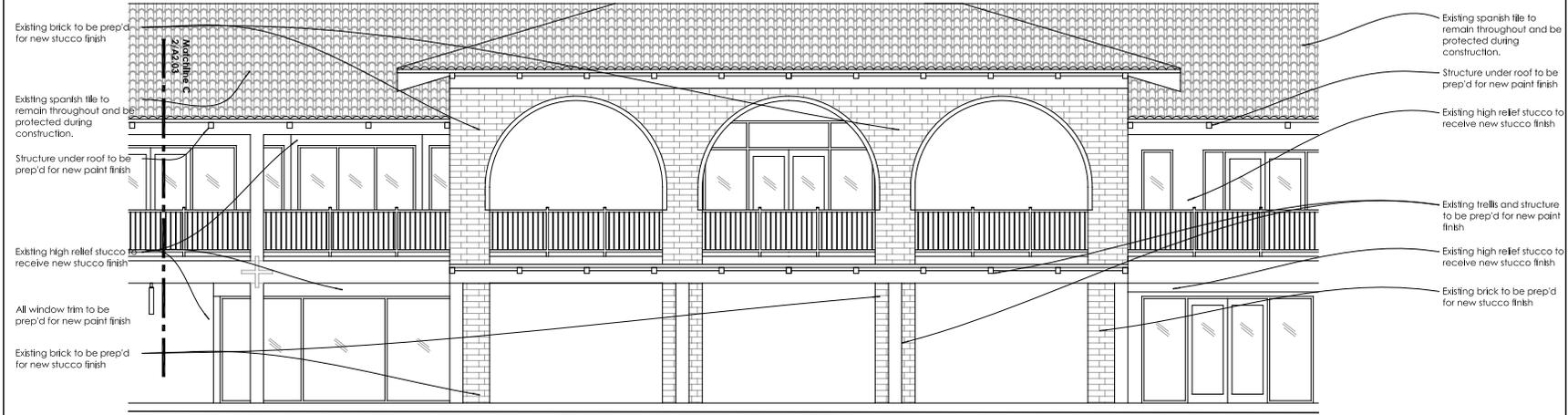
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Typical Existing Elevation
1/4"=1'-0"



2 Typical Existing Elevation
1/4"=1'-0"



Redrawn by: [Name] 10/10/10
Checked by: [Name] 11/11/10

Rev.	Date	Description
1	10/10/10	Revised
2	10/25/10	Revised

Drawing Title: Typical Existing Elevations

Scale: As Shown

Date: 10/10/10

Drawn by: [Name]

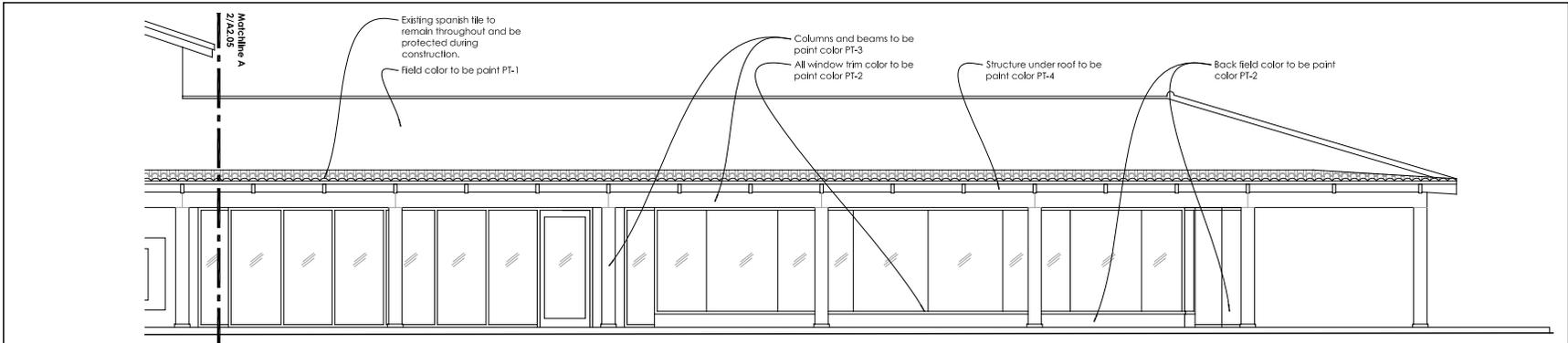
Checked by: [Name]

Drawing No: A2.04

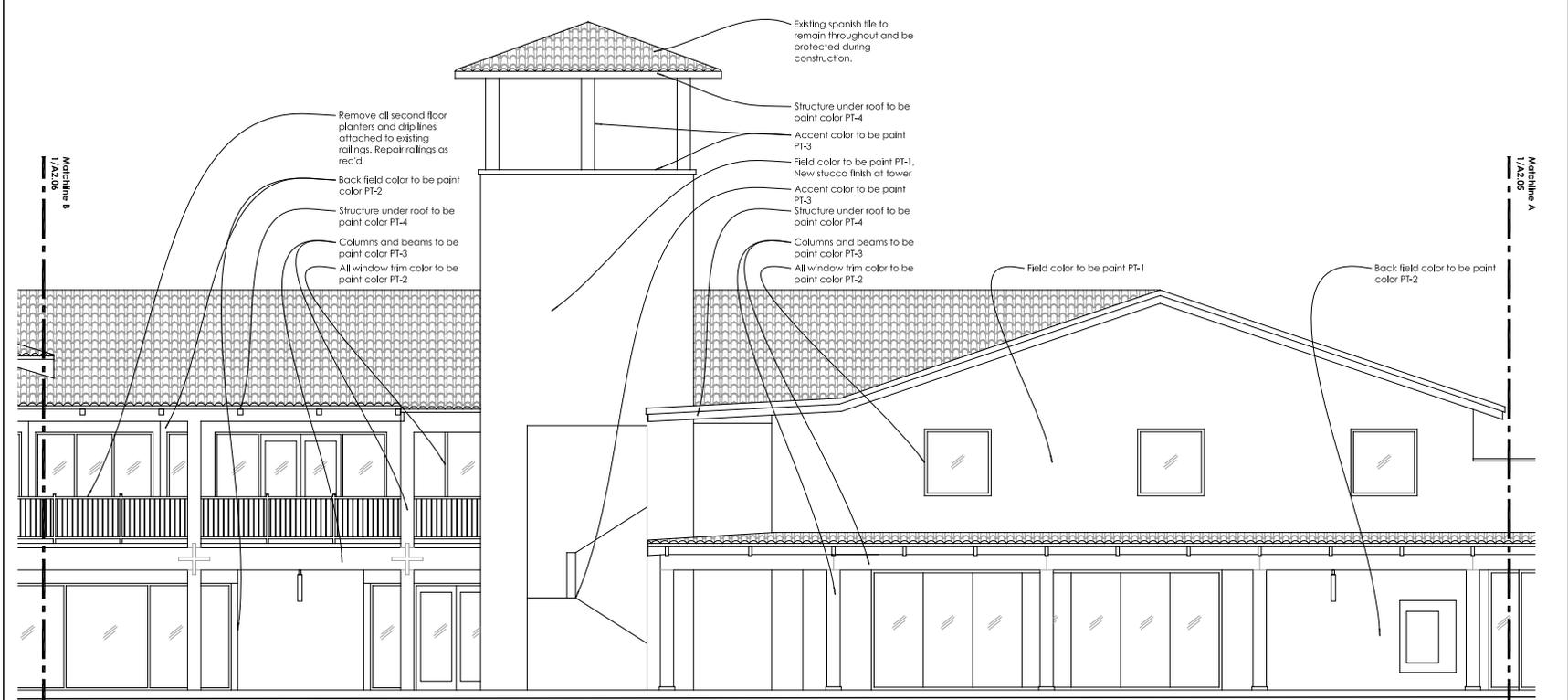
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Partial Typical Elevation
1/4"=1'-0"



2 Partial Typical Elevation
1/4"=1'-0"



Registration No. 00259 13 San Jose, (Central Valley), CA, USA
P.O. Box 2071886, P.O. Box 2071886

Rev.	Date	Description
1	08-24-13	Revised Set
2	08-24-13	Revised Set - Revisions

Drawing No.

Typical Proposed Elevation

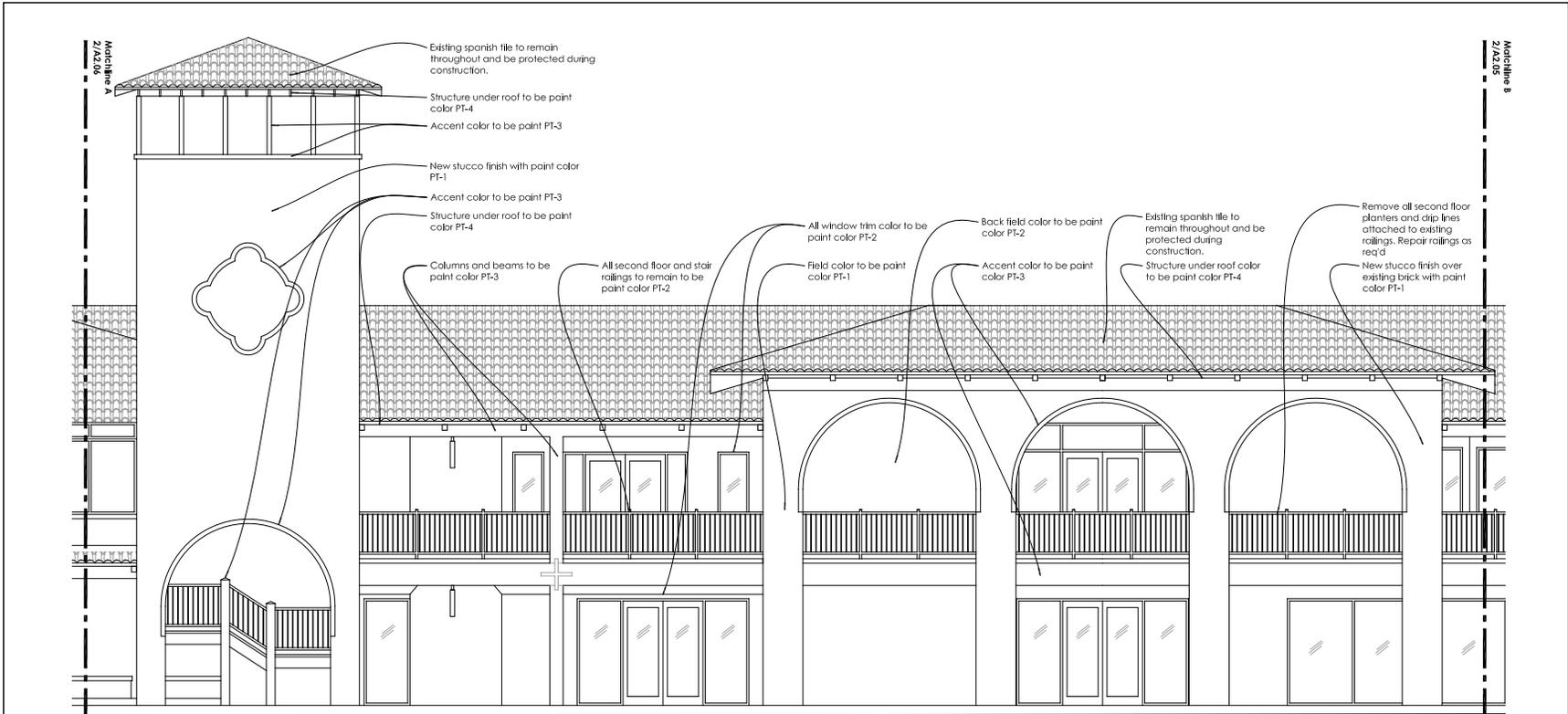
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Drawn By	SSD
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Checked By	SSD
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A2.05

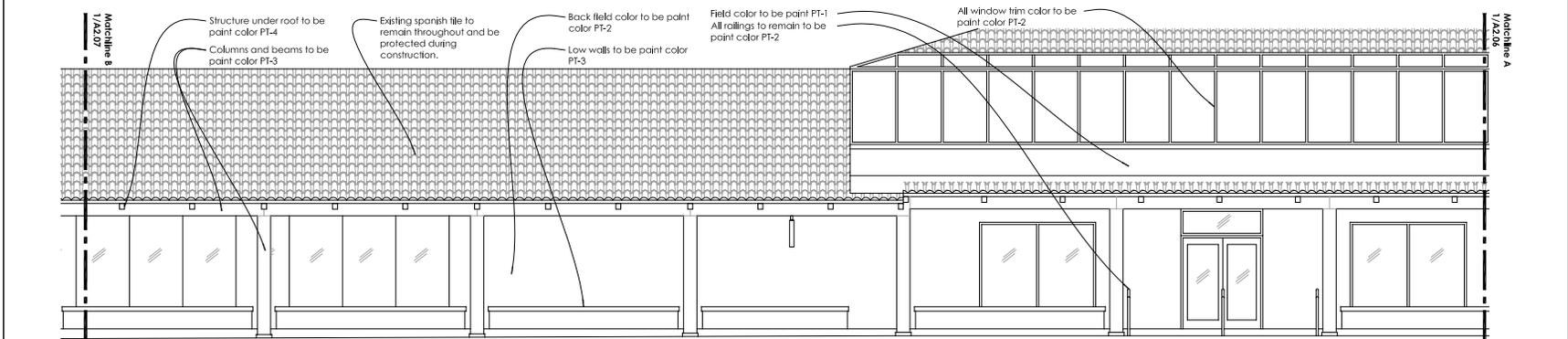
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Partial Typical Elevation
1/4"=1'-0"



2 Partial Typical Elevation
1/4"=1'-0"

Preparation Set
04/2019
13 Star City Street, Campbell, CA 95008
Tel: 408.251.8866 Fax: 408.251.0240

Rev.	Date	Description
1	04-24-19	Preparation Set
2	08-26-19	Working Set - Design #1

Drawing Title
Typical Proposed Elevation

Scale: 1/4"=1'-0"

Date: 08/26/19

Drawn By: JES

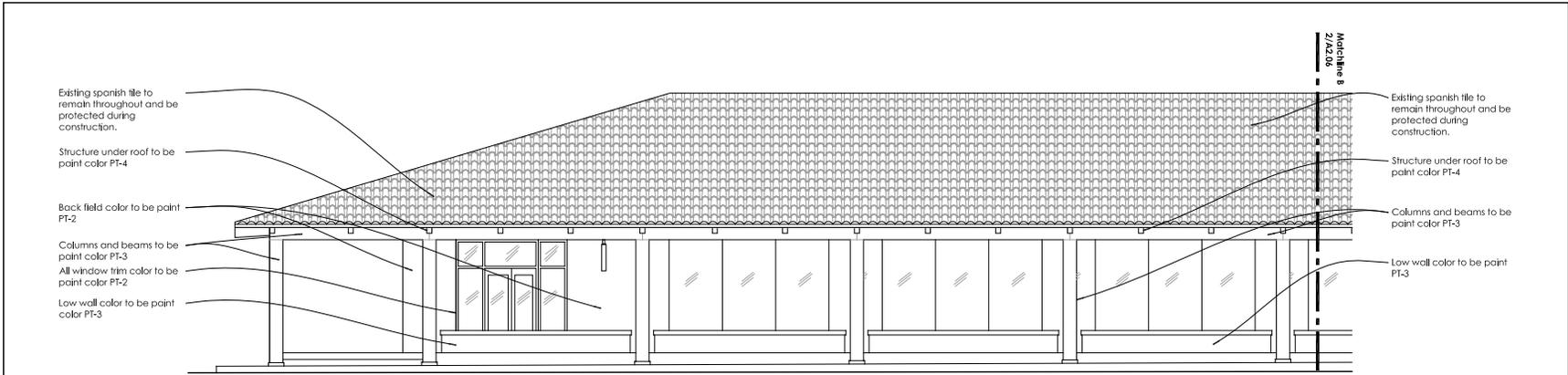
Reviewed: JES

Drawing No. **A2.06**

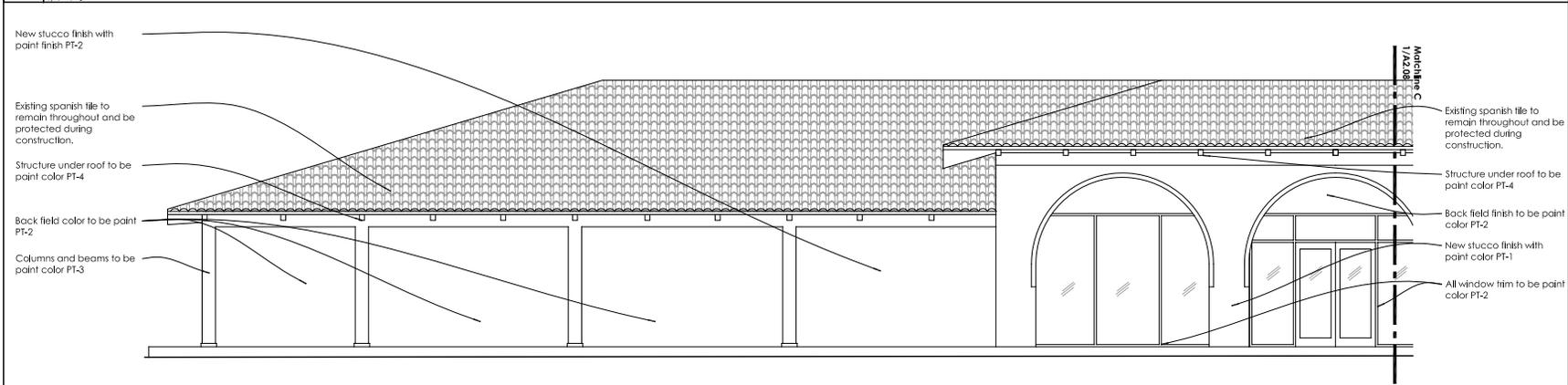
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Partial Typical Elevation
1/4"=1'-0"

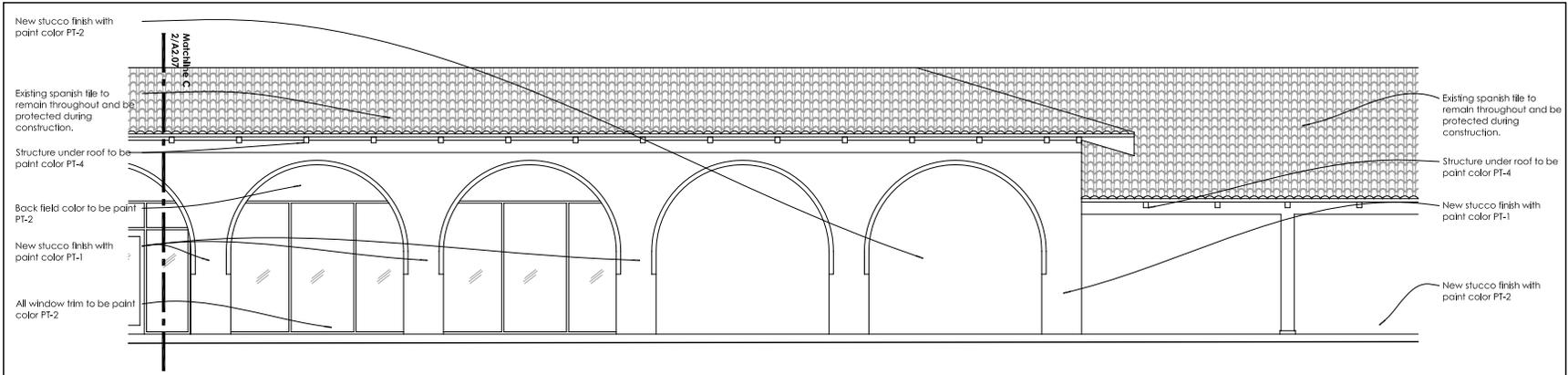


2 Partial Typical Elevation
1/4"=1'-0"

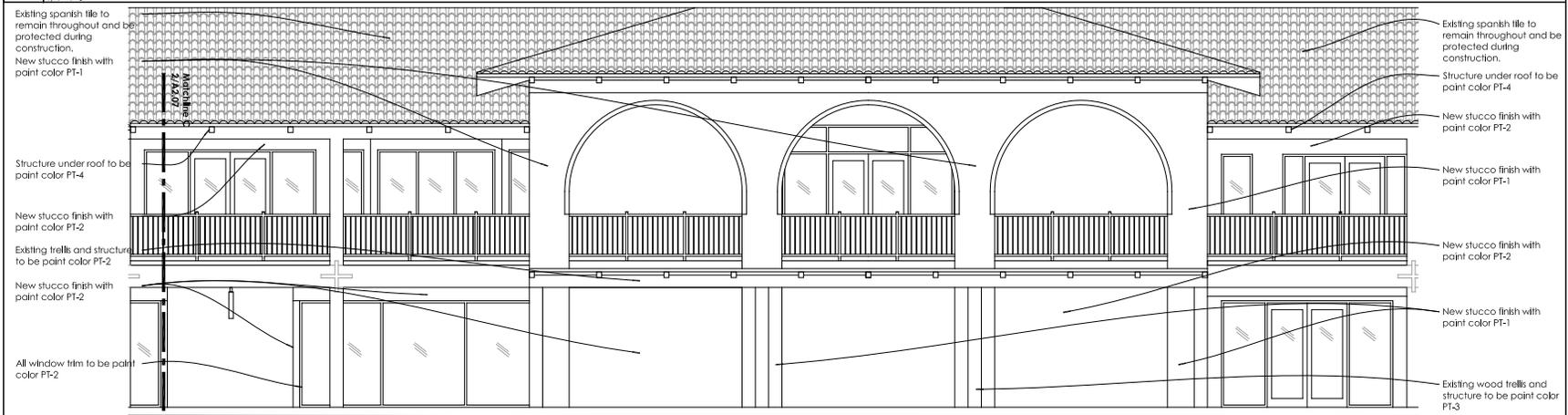


Registration No.	042559	Address	13 Star Key, Menlo Park, CA 94025
Phone	650-321-1100	Fax	650-321-1040
Website	www.gonzalezarchitects.com		
Project No.	04-25-13	Project Name	Pruneyard
Sheet No.	04-25-13	Sheet Title	Typical Proposed Elevation

Drawing Title	
Typical Proposed Elevation	
Scale	As Shown
Date	07/24/13
Drawn By	JES
Checked By	JKR
Drawn By	JES
Checked By	JKR
Drawing No.	A2.07



1 Typical Partial Elevation
1/4"=1'-0"



2 Typical Partial Elevation
1/4"=1'-0"

TAG	ITEM	MANUFACTURER	DESCRIPTION
PT-1	Field Paint	Benjamin Moore	Prime: 023 Fresh Start Acrylic Primer, 2 Coats - Moonlight White 2143-60
PT-2	Trim & Rolling Paint	Benjamin Moore	Prime: 023 Fresh Start Acrylic Primer, 2 Coats - Ashwood OC-47
PT-3	Accent Paint	Benjamin Moore	Prime: 023 Fresh Start Acrylic Primer, 2 Coats - Senora Gray 1530
PT-4	Roof Structure Paint	Benjamin Moore	Prime: 023 Fresh Start Acrylic Primer, 2 Coats - Ice Mist - OC-67
SF-1	Concrete Bench	Wausau	TF5027 6' Bench with Smooth Finish And Buff Color

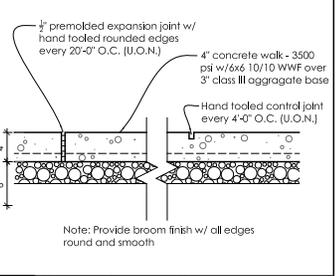
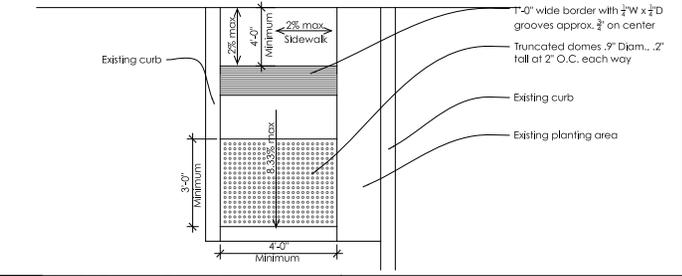
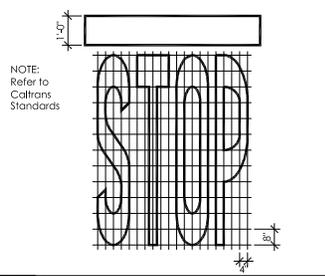
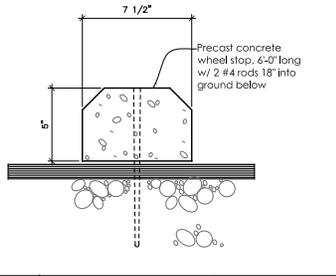
3 Paint And Site Furniture Schedule
NTS



Reduction Set
04/2019
13 Star City Street, Campbell, CA 95008
P: 415.951.5011 FAX: 415.951.5040

Rev.	Date	Description
1	04-24-19	Revised
2	04-24-19	Revised

Drawing Title: Typical Proposed Elevation
Scale: 1/4"=1'-0"
Date: 04/24/19
Drawn By: JSD
Reviewed: JSD
Drawing No: 0202

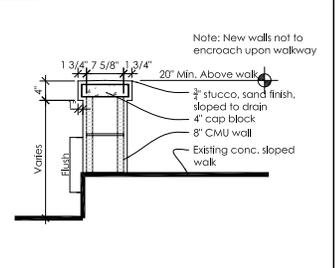
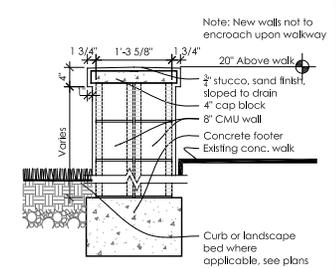
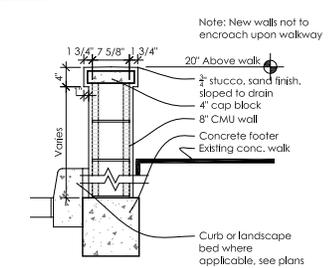
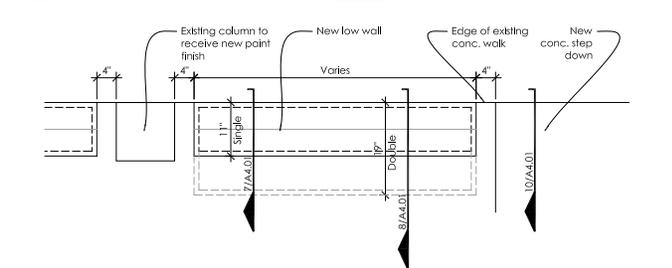


1 Wheel Stop Detail
1 1/2"=1'-0"

2 Stop Pavement Marking
1/2"=1'-0"

3 Curb Ramp Type 'F'
1 1/2"=1'-0"

5 Sidewalk Detail
1 1/2"=1'-0"

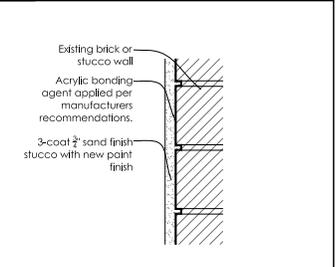
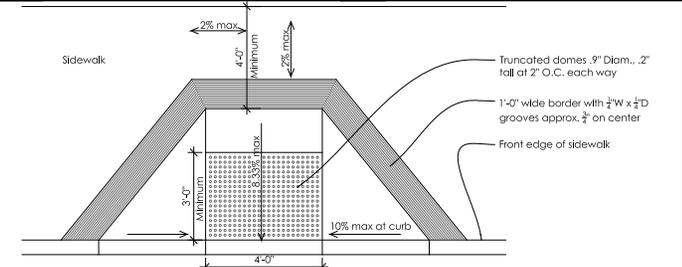
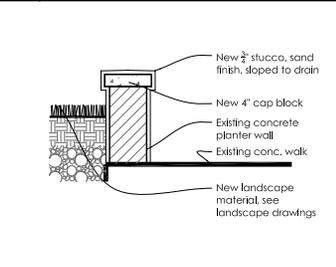


6 Low Wall Plan
1"=1'-0"

7 Single Wide Low Wall
1"=1'-0"

8 Double Wide Low Wall
1"=1'-0"

9 Low Wall at Sloped Edge
1"=1'-0"

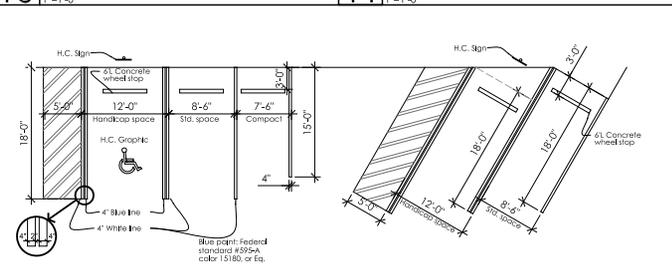


10 Stone Cap @ Planter
1"=1'-0"

11 Not Used
1"=1'-0"

12 Curb Ramp Type 'A'
1 1/2"=1'-0"

13 Stucco Over Existing Wall
3/4"=1'-0"



14 Typical Parking Striping Details
1/8"=1'-0"

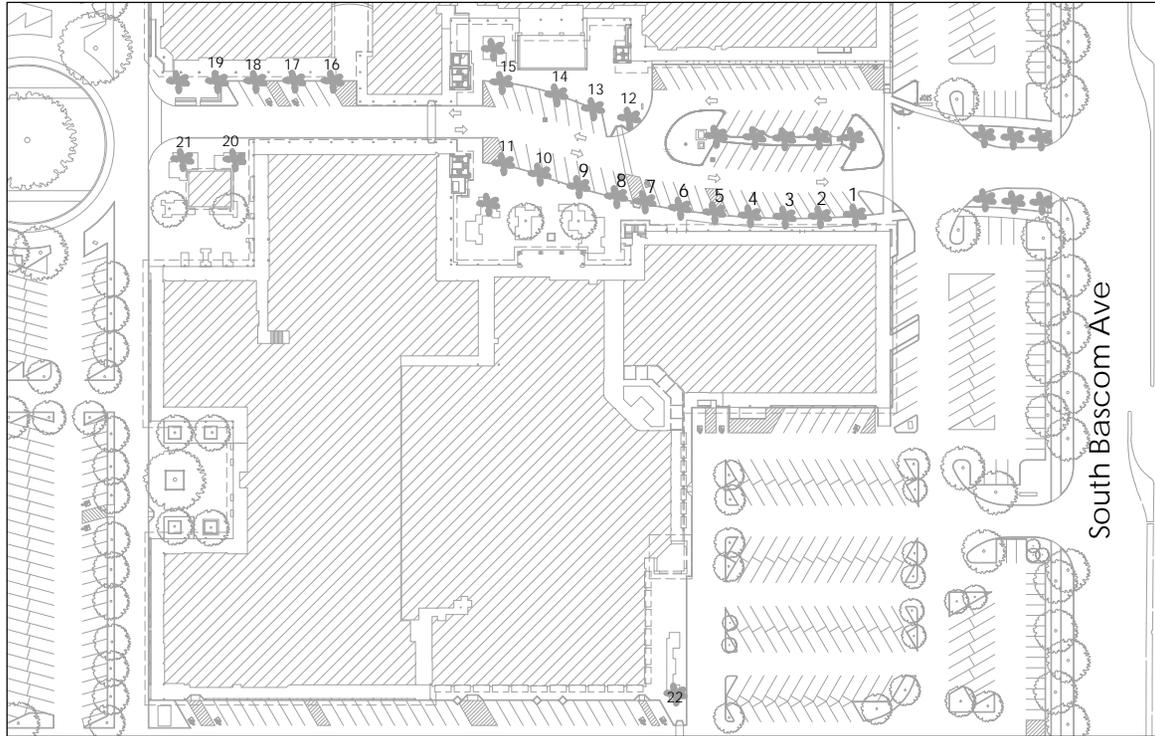
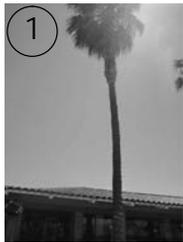


Revised 04/03/09
11/19/02, 05/18/06, 11/19/05, 05/12/04

Rev.	Date	Description
1	05-25-03	Revised
2	08-25-03	Revised - Revisions

Drawing Title	
Scale	
Date	05/24/13
Drawn by	SSD
Checked by	SSD
Drawn by	SSD
Checked by	SSD

Details



YENDE DESIGN
 LANDSCAPE ARCHITECTURE
 3000 N. CALIFORNIA STREET, SUITE 100
 SAN JOSE, CALIFORNIA 95131
 TEL: 408.261.1111
 WWW.YENDEDESIGN.COM

STAMP

 REGISTERED LANDSCAPE ARCHITECT
 No. 4099
 State of California
 EXPIRES ON MAY 31, 2015

CONSULTANT

SHEET TITLE
TREE REMOVAL PLAN

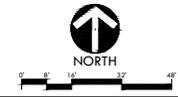
PROJECT NAME
THE PRUNYARD SHOPPING CENTER

PROJECT ADDRESS
**1875 S. BASCOM AVE.
 CAMPBELL, CA
 95008**

SUBMITTAL	DATE
PLANNING SUBMITTAL	07/11/13
PLANNING RESUBMITTAL	08/21/13

NO.	REVISIONS	DATE

DRAWN BY NP	CHECKED BY MB
DATE ISSUED 8/21/13	SCALE NTS
PROJ. NO. 1304900-1286	
SHEET NO. L.O.0	OF SHEETS



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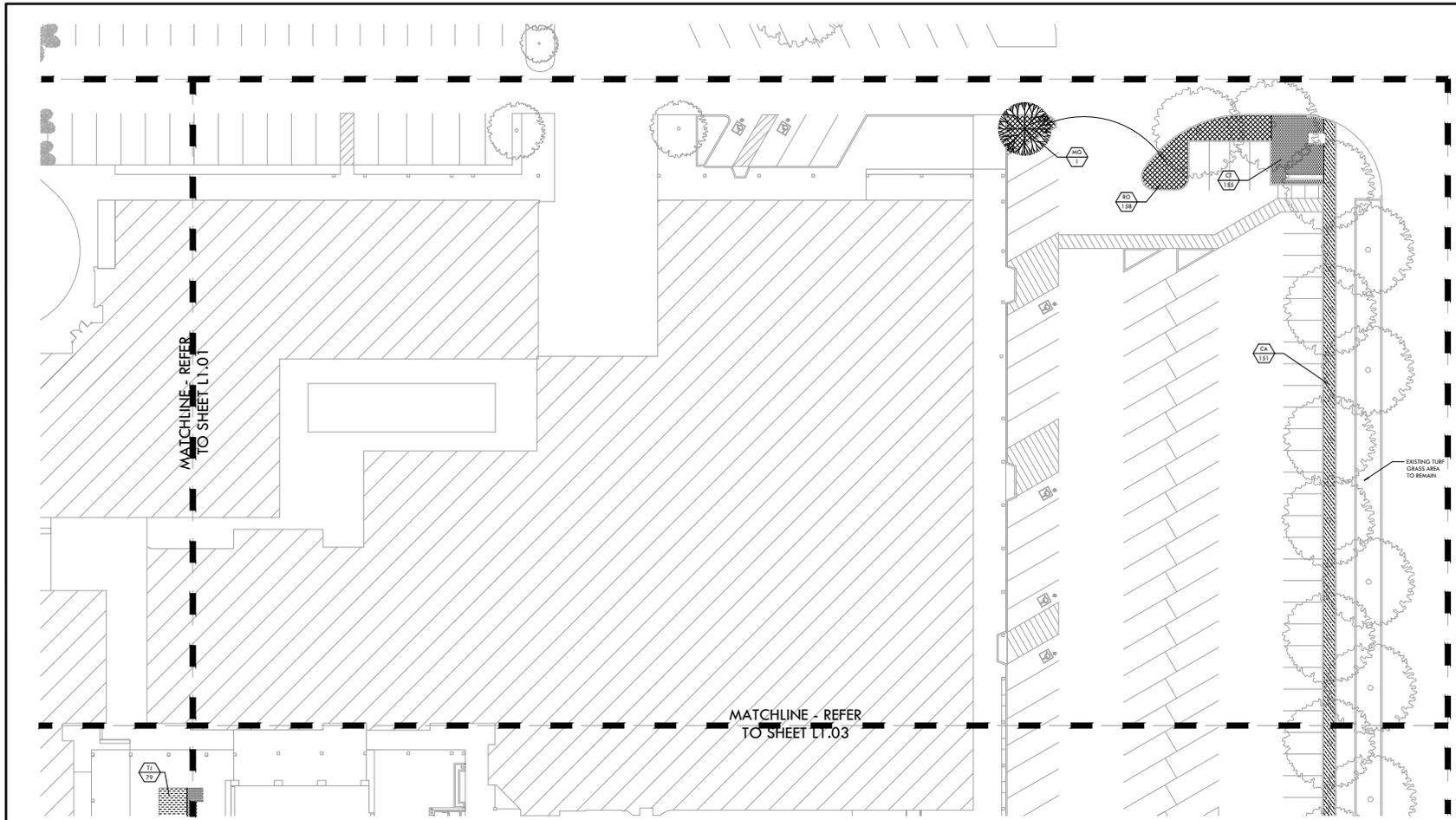
PROJECT NAME
THE PRUNYARD SHOPPING CENTER

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95008**

SUBMITTAL DATE
PLANNING SUBMITTAL 07/11/13
PLANNING RESUBMITTAL 08/21/13

NO.	REVISIONS	DATE

DRAWN BY: NP
CHECKED BY: MB
DATE ISSUED: 8/21/13
SCALE: NTS
PROJ. NO.: 1304900-1286
SHEET NO.: L1.02 OF SHEETS



MATCHLINE - REFER TO SHEET L1.01

MATCHLINE - REFER TO SHEET L1.03

EXISTING TURF GRASS AREA TO REMAIN

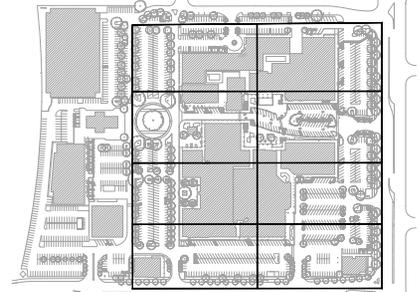
PLANTING NOTES

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- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM TIME OF DELIVERY TO TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
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- WHEN WORKING HAS TO OCCUR UNDER THE CROWN OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES PARALLEL TO THE EXISTING TREES BATHING THAN TRANVERSE. ALL PARTIAL CUTS OF BRANCH THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER OCCURRENCE, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
- ALL TURF, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO IMPLEMENT BMPs FOR SOIL MANAGEMENT AND EROSION CONTROL.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

PLANTING LEGEND

TREES	SYM	QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	DBH REF
TREES	MG	26	24" BOX	MAQUONIA GRANDIFLORA 'ST. MARY' MAQUONIA 'ST. MARY'	PER PLAN	CA 10.0
GROUNDCOVER	AA	511	1 GALLON	ADONISMIUS AFRICANUS 'ALMIST' WHITE LILY OF THE NILE	18" O.C.	CA 10.0
	CA	478	5 GALLON	CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER' KARL FORSTER FEATHER REED GRASS	3' O.C.	CA 10.0
	CT	2571	1 GALLON	CAREX TUMBUKOLA BERKELEY SEDGE	18" O.C.	CA 10.0
	OJ	360	1 GALLON	OPHROROGON JAPONICUS MONDO GRASS	1' O.C.	CA 10.0
	RO	948	1 GALLON	ROSA SP. WHITE CAMPEL ROSE	2' O.C.	CA 10.0
	RJ	203	5 GALLON	RHAPHISCEPIS LIMBELLATA 'MINOR' DWARF YEDOO HAWTHORN	3' O.C.	CA 10.0
	TJ	2424	1 GALLON	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	18" O.C.	CA 10.0

KEY MAP



IRRIGATION NOTES

- CONTRACTOR TO ADAPT EXISTING IRRIGATION SYSTEM IN A DESIGN BUILD MANNER TO OPERATE AS A DRIP IRRIGATION SYSTEM UTILIZING EXISTING MAINLINE AND CONTROL WIRING, NEW TORO DRIP ZONE VALVE KITS TO BE INSTALLED AS NEEDED. REFER TO DETAIL SHEET 02.03 FOR HYDROLOGIES.
- CONTRACTOR TO INSTALL DRIP IRRIGATION. REFER TO DETAIL SHEETS 01.0 AND 02.0.
- ALL SHRUB AREAS SHALL BE TORO OR NETAFIM TECHNIQUE CY UTE WITH 24 GPH AND 12" SPACING FOR EMITTERS. TURNING IS TO BE LAD DOWN PER DETAIL ON SHEET 01.0. INSTALL AS PER MANUFACTURERS RECOMMENDATIONS, DETAILS AND SPECIFICATIONS.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

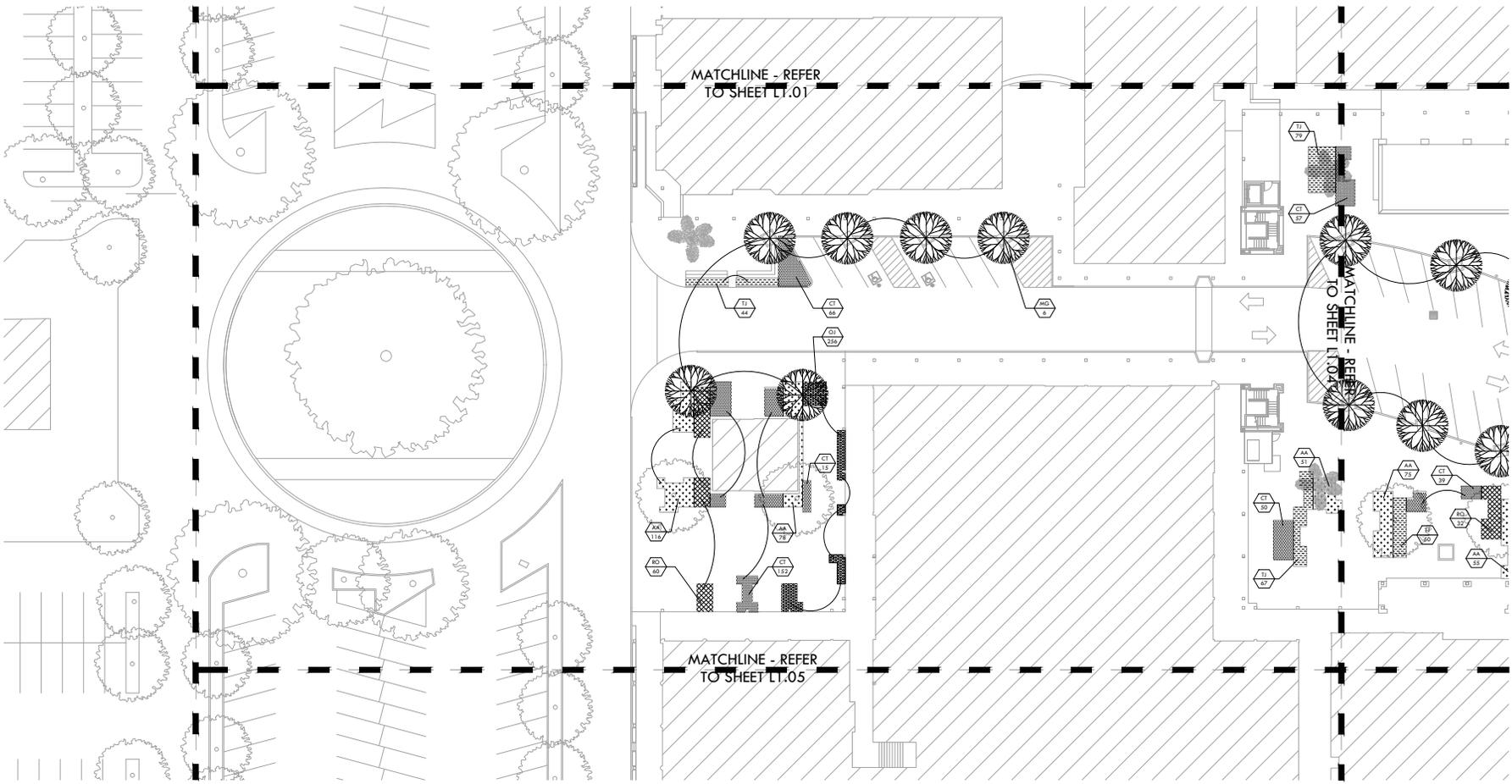
PROJECT INFORMATION

TOTAL LANDSCAPE AREA: 22,698 SQUARE FEET
PROJECT TYPE: REHABILITATED
WATER SUPPLY TYPE: POTABLE



ALL SCALE, DIMENSIONS, AND MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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STAMP

CONSULTANT

SHEET TITLE

PLANTING PLAN

PROJECT NAME

THE PRUNYARD SHOPPING CENTER

PROJECT ADDRESS

**1875 S. BASCOM AVE.
CAMPBELL, CA
95008**

SUBMITTAL DATE

PLANNING SUBMITTAL 07/11/13

PLANNING RESUBMITTAL 08/21/13

NO. REVISIONS DATE

DRAWN BY NP

CHECKED BY MB

DATE ISSUED 8/21/13

SCALE NTS

PROJ. NO. 1304900-1286

SHEET NO. **L1.03** OF SHEETS

PLANTING PLAN

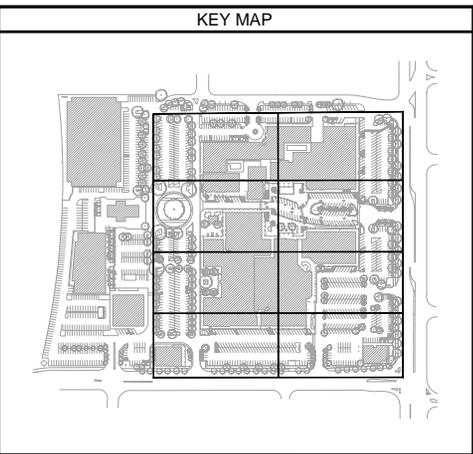
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5. WHEN WORKING TO OCCUR UNDER THE CANOPY OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES PARALLEL TO THE EXISTING TREES BATHING THAN TANGENTIAL. ALL PARTIAL CUTS OF BRANCH THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER OCCURRENCE, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
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SYMBOL		QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	20' REF
TREES						
	MG	26	24" BOX	MAIGNOLIA GRANDIFLORA 'S.T. MARY' MAIGNOLIA 'S.T. MARY'	PER PLAN	
GROUNDCOVER						
	AA	511	1 GALLON	ADONIS-VIRIDIS 'ALMIST' WHITE LILY OF THE NILE	18" O.C.	
	CA	478	5 GALLON	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	3' O.C.	
	CT	2571	1 GALLON	CAREX TUMIDICOLA BERKELEY SEDGE	18" O.C.	
	OJ	360	1 GALLON	OPHRORHOGON JAPONICUS MONDO GRASS	1' O.C.	
	RO	948	1 GALLON	ROSA SP. WHITE CAMPBELL ROSE	2' O.C.	
	RU	203	5 GALLON	RHAPHISOPUS LIMBELLATA 'MINOR' DWARF YEDOO HAWTHORN	3' O.C.	
	TJ	2424	1 GALLON	TRACHYSPERMUM JASMINOIDES STAR JASMINE	18" O.C.	
PROJECT INFORMATION						
TOTAL LANDSCAPE AREA: 22,678 SQUARE FEET						
PROJECT TYPE: REHABILITATED						
WATER SUPPLY TYPE: POTABLE						





CONSULTANT

SHEET TITLE
PLANTING PLAN

PROJECT NAME
THE PRUNEYARD SHOPPING CENTER

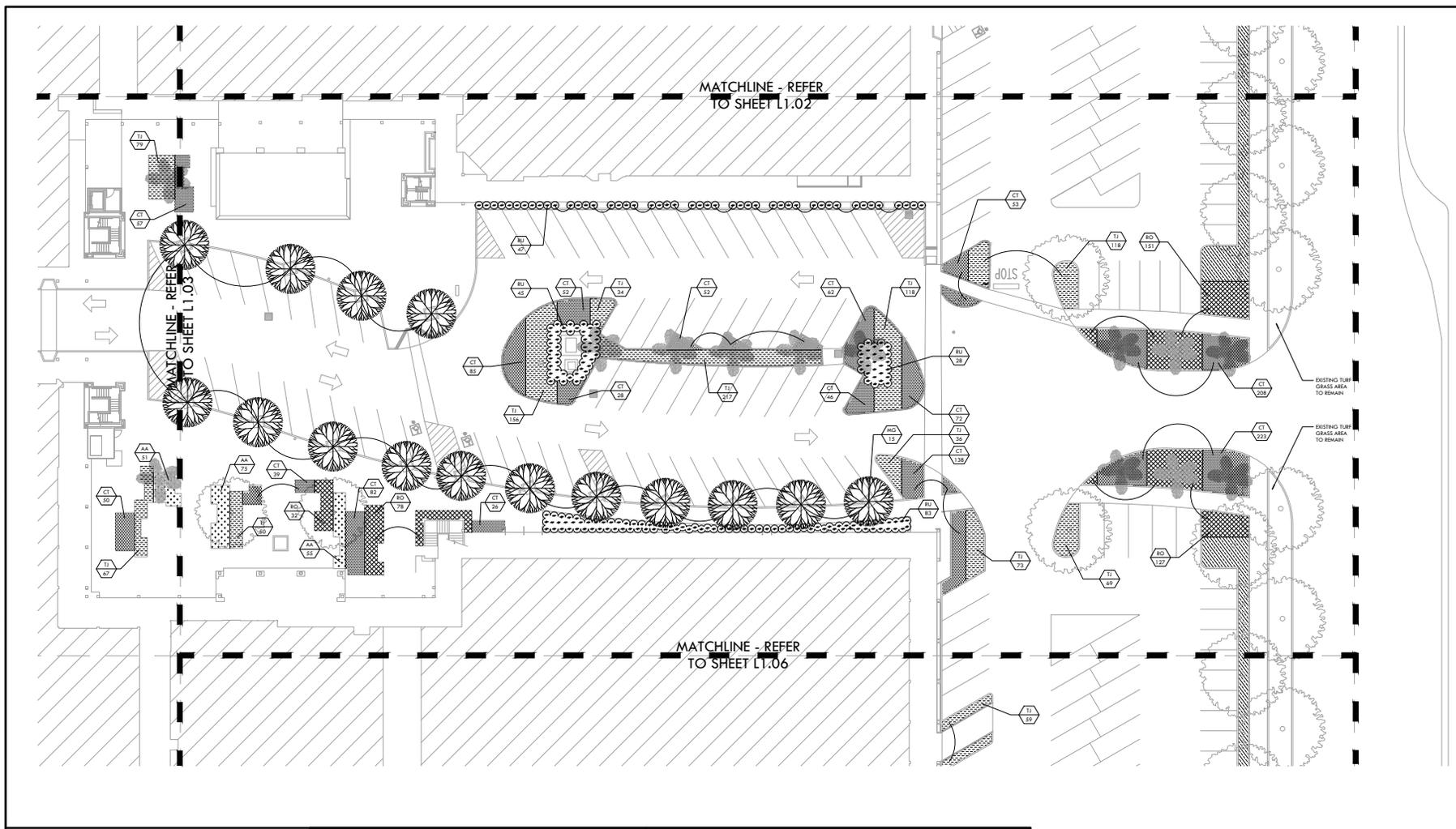
PROJECT ADDRESS
1875 S. BASCOM AVE.
CAMPBELL, CA
95008

SUBMITTAL DATE
PLANNING SUBMITTAL 07/11/13
PLANNING RESUBMITTAL 08/21/13

NO.	REVISIONS	DATE

DRAWN BY: NP
CHECKED BY: MB
DATE ISSUED: 8/21/13
SCALE: NTS
PROJ. NO.: 1304900-1286
SHEET NO.: L1.04 OF SHEETS

PLANTING PLAN



PLANTING NOTES

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- CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEM OR PERMIT REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN INTENT IS NOT COMPROMISED. CONTRACTOR SHALL SET OUT PLANT MATERIAL AS PER PLAN AND RECEIVE ACCEPTANCE FROM OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE MINIMUM 2 WEEKS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS REQUESTED BY OWNER'S REPRESENTATIVE.
- ALL NON-TREE PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATIONS.
- WHEN WORKING HAS TO OCCUR UNDER THE CANOPY OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES NEARBY TO THE EXISTING TREES BATHER THAN TANGENTIAL. ALL PARTIAL CUTS OF BRANCH THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER OCCURRENCE, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
- ALL TREE, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO IMPLEMENT BMPs FOR SOIL MANAGEMENT AND EROSION CONTROL.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

IRRIGATION NOTES

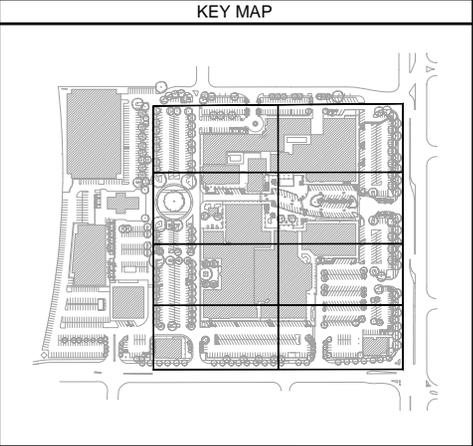
- CONTRACTOR TO ADAPT EXISTING IRRIGATION SYSTEM IN A DESIGN BUILD MANNER TO OPERATE AS A DRIP IRRIGATION SYSTEM UTILIZING EXISTING MAINLINE AND CONTROL WIRING, NEW TORO DRIP ZONE VALVE KITS TO BE INSTALLED AS NEEDED. REFER TO DETAIL SHEET 02.0 FOR HYDROLOGIES.
- CONTRACTOR TO INSTALL DRIP IRRIGATION. REFER TO DETAIL SHEETS 02.0 AND 02.0.
- ALL SHRUB AREAS SHALL BE TORO OR NETAFUN TECHNIQUE CY UTE WITH 24 GPH AND 12" SPACING FOR EMITTERS. TURNING IS TO BE LAD DOWN PER DETAIL ON SHEET 01.0. INSTALL AS PER MANUFACTURERS RECOMMENDATIONS, DETAILS AND SPECIFICATIONS.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

PLANTING LEGEND

SYM	QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	DBH
TREES					
	MG	26	24" BOX	MAHONIA GRANDIFLORA 'ST. ARMY' MAHONIA 'ST. ARMY'	PER PLAN
GROUNDCOVER					
	AA	511	1 GALLON	ADONISPLUS AFRICANUS 'ALMIST' WHITE LILY OF THE NILE	18" O.C.
	CA	478	5 GALLON	CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER' KARL FORSTER FEATHER REED GRASS	3' O.C.
	CT	2571	1 GALLON	CAREX TUMUSCULA BERKELEY SEDGE	18" O.C.
	OJ	360	1 GALLON	OPHROROGON JAPONICUS MONDO GRASS	1' O.C.
	RO	948	1 GALLON	ROSA SPP. WHITE CAMPEL ROSE	2' O.C.
	RU	203	5 GALLON	RHAPHISOPUS LIMBELLATA 'MINOR' DWARF YEDDO HAWTHORN	3' O.C.
	TJ	2424	1 GALLON	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	18" O.C.

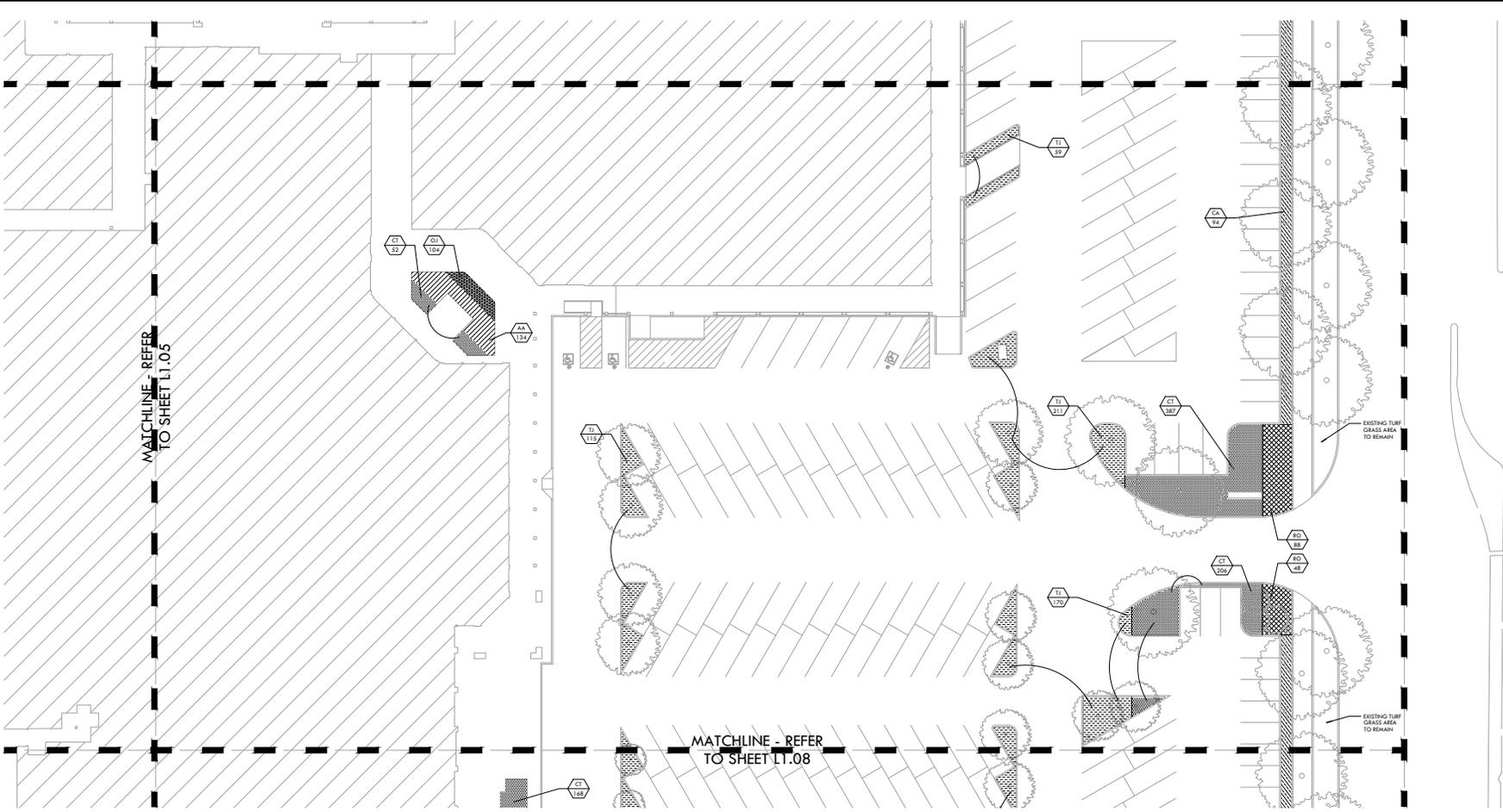
PROJECT INFORMATION

TOTAL LANDSCAPE AREA: 22,676 SQUARE FEET
PROJECT TYPE: REMEDIATED
WATER SUPPLY TYPE: POTABLE



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YERDE DESIGN
 LANDSCAPE ARCHITECTURE
 1875 S. BASCOM AVE. CAMPBELL, CA 95008
 (408) 438-8888
 www.yerde.com

REGISTERED LANDSCAPE ARCHITECT
 No. 4399
 expires on 01/31/13
 STATE OF CALIFORNIA

PROJECT NAME
THE PRUNEYARD SHOPPING CENTER

PROJECT ADDRESS
1875 S. BASCOM AVE. CAMPBELL, CA 95008

SUBMITTAL DATE: 07/11/13
 PLANNING SUBMITTAL DATE: 08/21/13

NO. REVISIONS

DRAWN BY: NP
 CHECKED BY: MB
 DATE ISSUED: 8/21/13
 SCALE: NTS
 PROJ. NO.: 1304900-1286
 SHEET NO.: **L1.06** OF SHEETS

PLANTING NOTES

- PLANT COUNTS SHOWN ARE FOR BIDDING REFERENCE ONLY. CONTRACTOR SHALL SUPPLY ALL PLANTS REQUIRED TO MEET DESIGN INTENT AS SHOWN.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM THE TIME OF DELIVERY TO THE TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
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- ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATION.
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- ALL TURF, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO IMPLEMENT BMPs FOR SOIL MANAGEMENT AND EROSION CONTROL.
- REFER TO SHEET 02.02 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

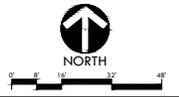
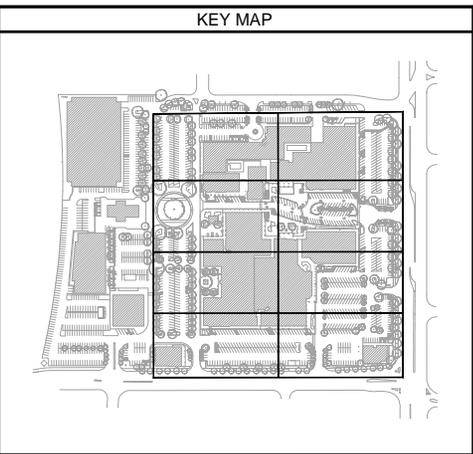
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- ALL SHRUB AREAS SHALL BE TORO OR NETAFIM TECHNIQUE CY SITE WITH 24 GPH AND 12" SPACING FOR EMITTERS. TUBING IS TO BE Laid DOWN PER DETAIL ON SHEET 01.01 INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS, DETAILS AND SPECIFICATIONS.
- REFER TO SHEET 02.02 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

SYMBOL		QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	DBH REF
TREES						
MG	26	24" BOX		MAGNOLIA GRANDIFLORA 'ST. MARY' MAGNOLIA 'ST. MARY'	PER PLAN	CA 10.0
GROUNDCOVER						
AA	511	1 GALLON		ADONISPLUS AFRICANUS 'ALMIST' WHITE LILY OF THE NILE	18" O.C.	CA 10.0
CA	478	5 GALLON		CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER' KARL FORSTER FEATHER REED GRASS	3' O.C.	CA 10.0
CT	2571	1 GALLON		CAREX TUMBUKOLA BERKELEY SEDGE	18" O.C.	CA 10.0
OJ	360	1 GALLON		OPHROROGON JAPONICUS MONDO GRASS	1' O.C.	CA 10.0
RO	948	1 GALLON		ROSA SP. WHITE CAMPEL ROSE	2' O.C.	CA 10.0
RJ	203	5 GALLON		RHAPHISOPUS LIMBELLATA 'MINOR' DWARF YEDOO HAWTHORN	3' O.C.	CA 10.0
TJ	2424	1 GALLON		TRACHELOSPERMUM JASMINOIDES STAR JARDINE	18" O.C.	CA 10.0

PROJECT INFORMATION

TOTAL LANDSCAPE AREA: 22,678 SQUARE FEET
 PROJECT TYPE: REHABILITATED
 WATER SUPPLY TYPE: POTABLE





CONSULTANT

SHEET TITLE

PLANTING PLAN

PROJECT NAME

THE PRUNEYARD SHOPPING CENTER

PROJECT ADDRESS

1875 S. BASCOM AVE.
CAMPBELL, CA
95008

SUBMITTAL

DATE

PLANNING SUBMITTAL

07/11/13

PLANNING RESUBMITTAL

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NO. REVISIONS

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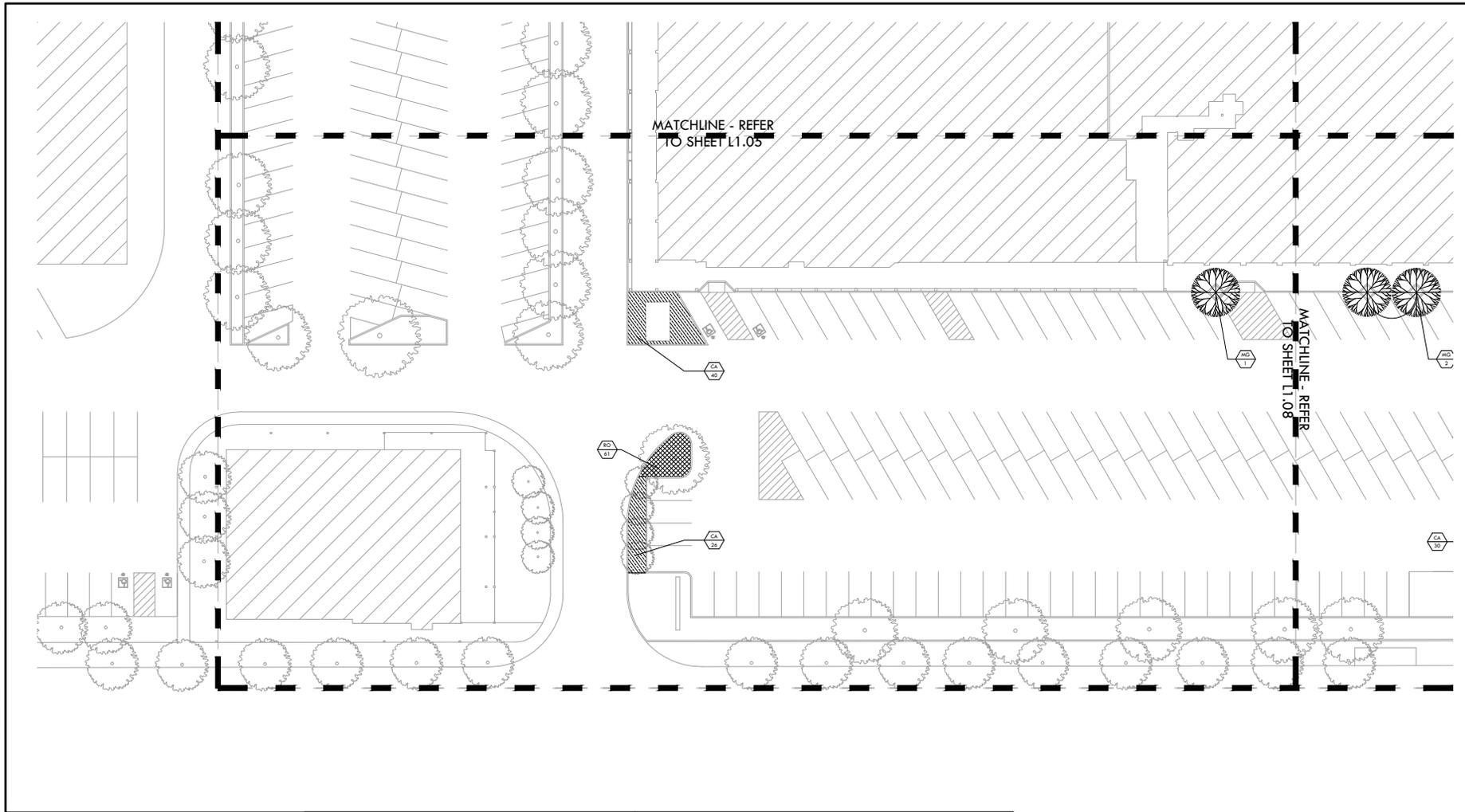
PROJ. NO.

1304900-1286

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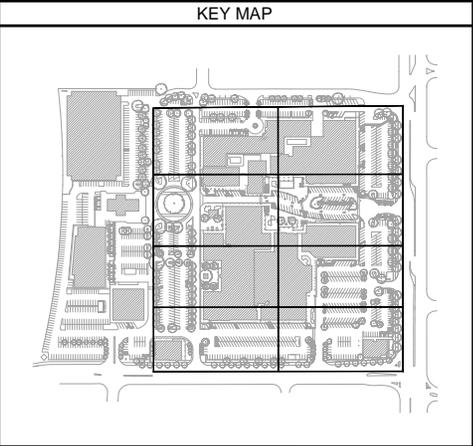
L1.07 OF SHEETS

PLANTING PLAN



PLANTING NOTES	
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3.	CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEMS OR INHERIT REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN INTENT IS NOT COMPROMISED. CONTRACTOR SHALL SET OUT PLANT MATERIALS AS PER PLAN AND RECEIVE ACCEPTANCE FROM OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE MINIMUM 72 HOURS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS REQUESTED BY OWNER'S REPRESENTATIVE.
4.	ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATIONS.
5.	WHEN WORK HAS TO OCCUR UNDER THE DROPLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID HARM TO THE TREES AND THEIR ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRINCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIZE OF THE TRINCH ADJACENT TO THE TREE AND ANY EXPOSED ROOTS SHALL BE KEPT SHADY AND MOIST WITH DAMPENED BURLAP OR CANVAS.
6.	ALL TURF, MULCH AND PLANTINGS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
7.	CONTRACTOR TO IMPROVE BMP, FOR SOIL MANAGEMENT AND EROSION CONTROL.
8.	REFER TO SHEET 02.00 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

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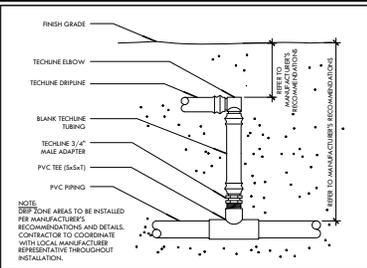


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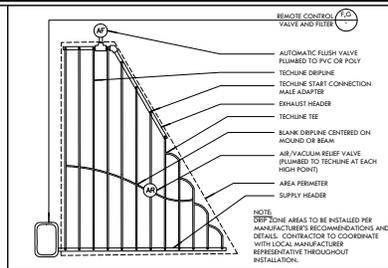


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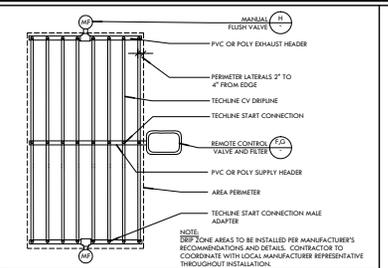
CONSULTANT



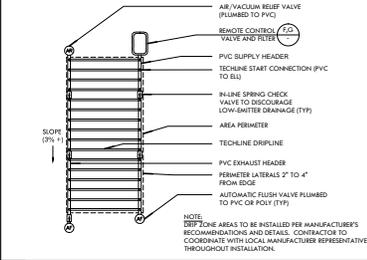
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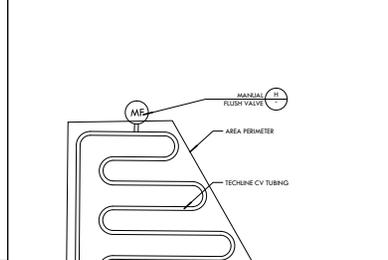
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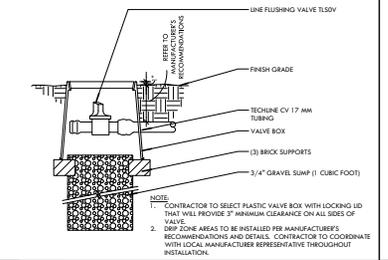
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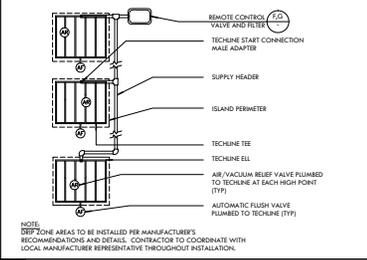
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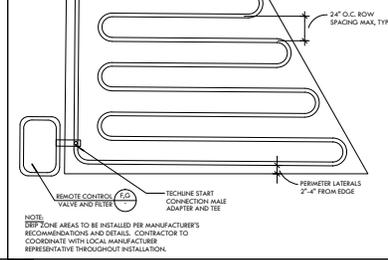
K DRIP TUBING - TRIANGULAR LAYOUT NTS



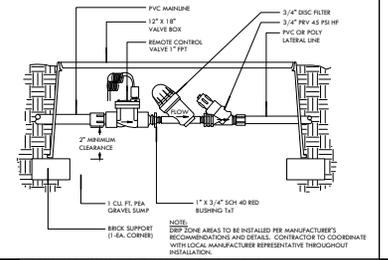
H MANUAL FLUSH VALVE NTS



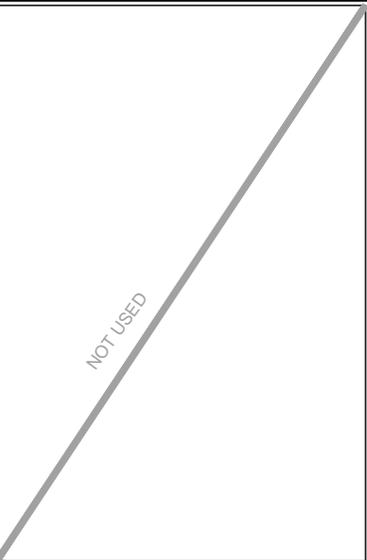
N TECHLINE ISLAND LAYOUT NTS



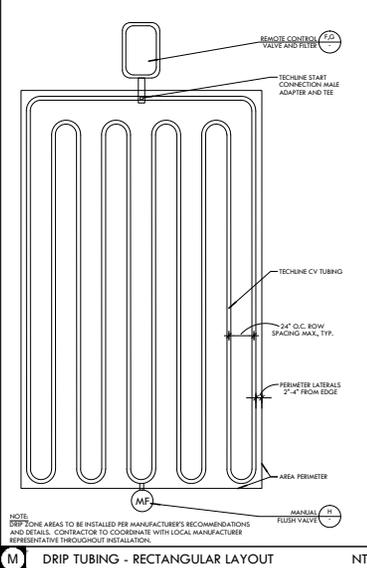
J DRIP TUBING - CURVED AREA LAYOUT NTS



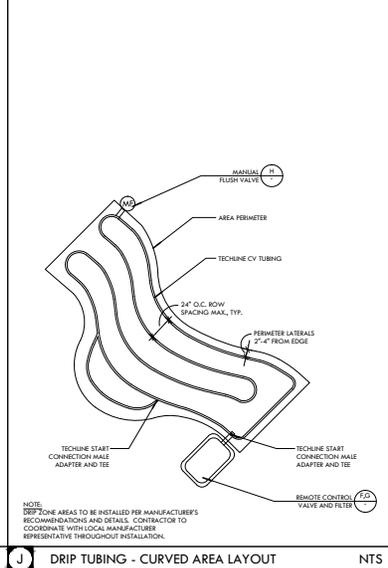
G REMOTE CONTROL VALVE AND FILTER (HIGH FLOW) NTS



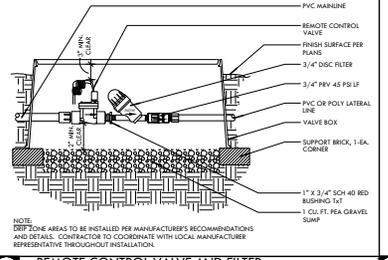
NOT USED



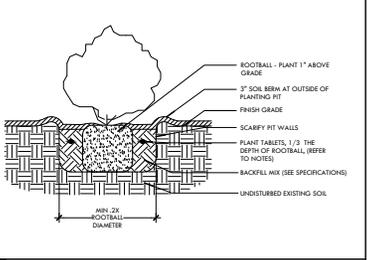
M DRIP TUBING - RECTANGULAR LAYOUT NTS



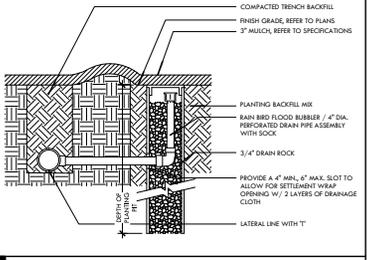
E TRIANGULAR SPACING DIAGRAM NTS



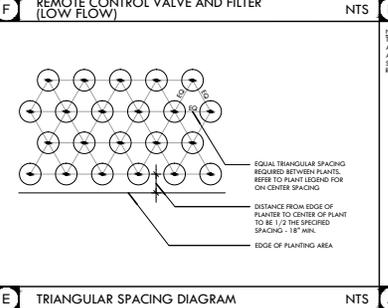
F REMOTE CONTROL VALVE AND FILTER (LOW FLOW) NTS



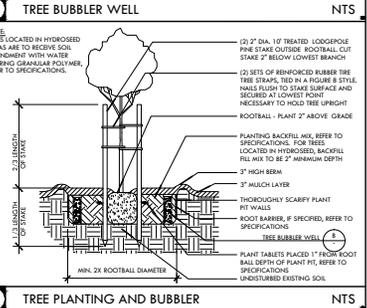
C SHRUB PLANTING NTS



B TREE BUBBLER WELL NTS



A TREE PLANTING AND BUBBLER NTS



A TREE PLANTING AND BUBBLER NTS

SHEET TITLE

CONSTRUCTION DETAILS

PROJECT NAME
THE PRUNYARD SHOPPING CENTER

PROJECT ADDRESS
1875 S. BASCOM AVE. CAMPBELL, CA 95008

SUBMITTAL DATE

PLANNING SUBMITTAL 07/11/13

PLANNING RESUBMITTAL 08/21/13

NO. REVISIONS DATE

DRAWN BY TM

CHECKED BY MB

DATE ISSUED 8/21/13

SCALE AS SHOWN

PROJ. NO. 1304900-1286

SHEET NO. D1.0 OF SHEETS

CONSTRUCTION DETAILS

ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE SPECIFICATIONS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

