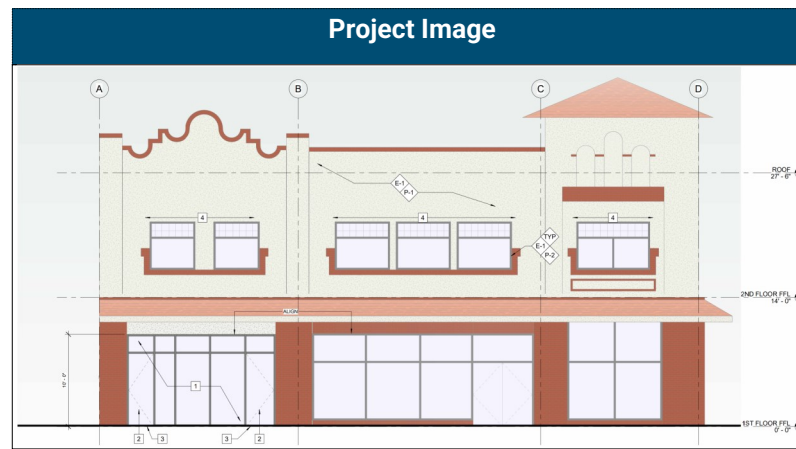






City of Campbell
70 North First Street
Campbell, CA 95008 –1423



Courtesy Notice

Dear Campbell Resident,

November 18, 2022

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 415 E. Campbell Avenue

Zoning | Area Plan: C-3 | Downtown Campbell Development Plan & Standards

Neighborhood Association(s): Downtown Campbell Neighborhood Association

File No.: PLN-2022-145

APN: 279-41-008

Applicant: TOPA Architecture

Property Owner: 415 East Campbell LLC

Application Type: Historic Resource Alteration and Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow the interior remodel and exterior façade alteration, including the removal of existing canopies and repainting, of an existing commercial building listed as a Designated Structure of Merit.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español



DIRECTORY

CLIENT

NEWMARK | KEVIN CUNNINGHAM
415 E. CAMPBELL AVE., SUITE 100 CAMPBELL
SAN JOSE, CA , 95008
PHONE: 650-688-8521
EMAIL: Kevin.Cunningham@nmrk.com

ARCHITECTURE

TOPA ARCHITECTURE | GENO CATALANO
1150 N. 1ST ST. STE 140
SAN JOSE, CA 95112
PHONE: (408)320-0248
EMAIL: geno@topaarchitecture.com

FIRE DEPT NOTES

1. TYPE 'A' FIRE EXTEINGUISHER TO BE WITHIN 75' OF ANY GIVEN AREA

APPLIED CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGUALTIONS

TENANT IMPROVEMENT | REMODEL

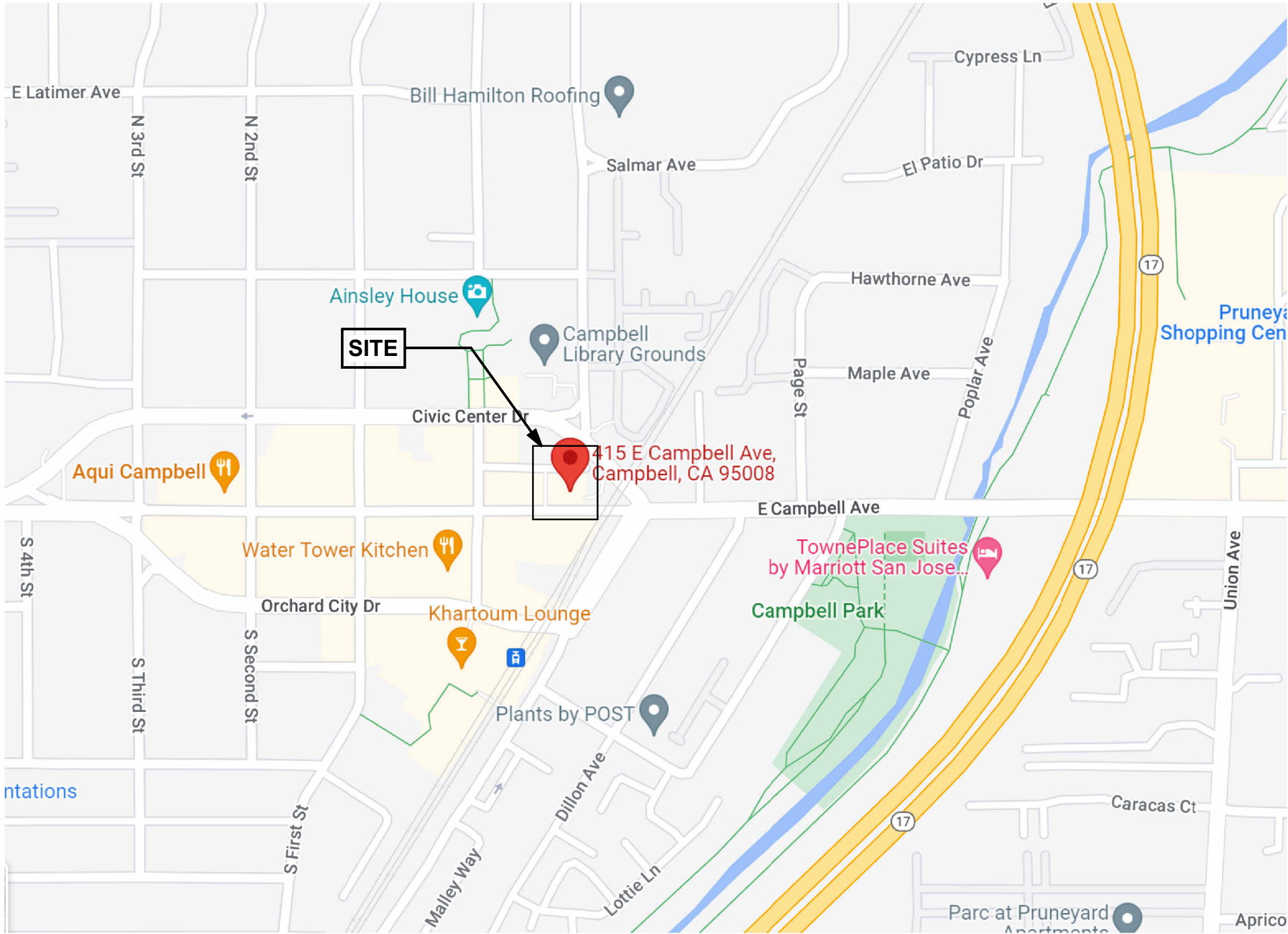
415 E. CAMPBELL LL IMPROVEMENTS

415 E CAMPBELL AVE. STE 100. CAMPBELL, CA 95008



NOTE: THIS IMAGE IS FOR CHARACTER PURPOSES ONLY. USE THIS ENTIRE SET FOR COMPLETE CONSTRUCTION INFORMATION

VICINITY MAP



PROJECT SUMMARY

APN	279-41-008		
CONSTRUCTION TYPE	VB		
OCCUPANCY	B/M/A2		
OCCUPANT LOAD	MATCH NUMBER FROM SCHEDULE		
ZONING	C-3, CENTRAL BUSINESS DISTRICT		
SPRINKLED	NO		
STORIES	2	GROSS LOT AREA	5,850 SQFT
AREA OF WORK	# SQFT	NET LOT AREA	5,850 SQFT
EXISTING FLOOR AREA	9,485 SQFT	FAR	9,575/5,850 = 1.63
NEW FLOOR AREA	90 SQFT	NEW TOTAL AREA	9,575 SQFT
FRONT SETBACK	N/A	REAR SETBACK	N/A
SIDE SETBACK	N/A		

CITY STAMP

SHEET LIST

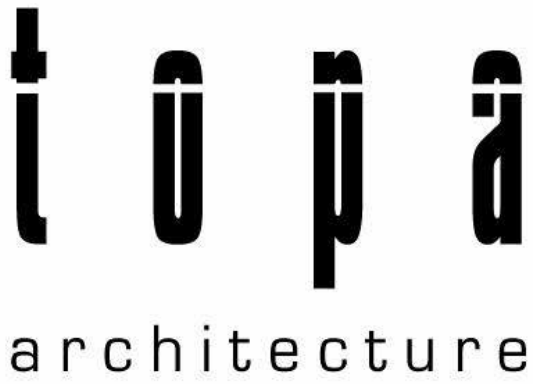
AP0.1	PLANNING COVER SHEET
AP0.3	EXISTING SITE PHOTOS
AP1.0	PLANNING SITE PLAN
AP1.2	SITE PLAN DETAILS
AP1.3	EXISTING/DEMO PLAN
AP1.6	DEMO ELEVATIONS
AP2.1	PROPOSED FLOOR PLANS
AP2.2	DIMENSION PLAN
AP3.1	PLANNING EXTERIOR ELEVATIONS

PROJECT DESCRIPTION

1. REMOVE EXTERIOR CANOPIES AND PATCH THE HOLES LEFT BEHIND.
2. REPAINT THE EXTERIOR AS NOTED ON THE EXTERIOR ELEVATIONS
3. PARTIAL STOREFRONT REPLACEMENT

ALLOWABLE FLOOR AREA

1ST FLOOR	5,317 S.F	2ND FLOOR	4,168 S.F
TYPE OF CONSTRUCTION	V-B	TYPE OF CONSTRUCTION	V-B
OCCUPANCY	A-2	OCCUPANCY	B
STORIES	1	STORIES	1
SPRINKLED	NO	SPRINKLED	NO
BASIC ALLOWABLE AREA	6,000 S.F	BASIC ALLOWABLE AREA	9,000 S.F
CALCULATION		CALCULATION	
5,317/6,000 = 0.88 OK		4,168/9,000 = 0.46 OK	
$I_r=[F/P - 0.25]W/30$ F= 245 P= 310 $245/310-0.25= 0.54$ $W= 4000/245=16.3$ $W=16.3/30=$ $W= 0.54$ $I= 0.54 \times 0.54= 0.29$		$A_n=[A_1 + (NS * I_r)]$ $A= (9000+6000)+ (9000+ 5500 \times 0.29)=$ $15000 + 4205 = 19,205$	
TOTAL S.F= 9,485 S.F			



1150 North First St. #140

San Jose CA, 95112

Tel (408) 320 0248

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PROJECT:

415 E
CAMPBELL LL
IMPROVMENTS

415 E CAMPBELL AVE. STE 100.
CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

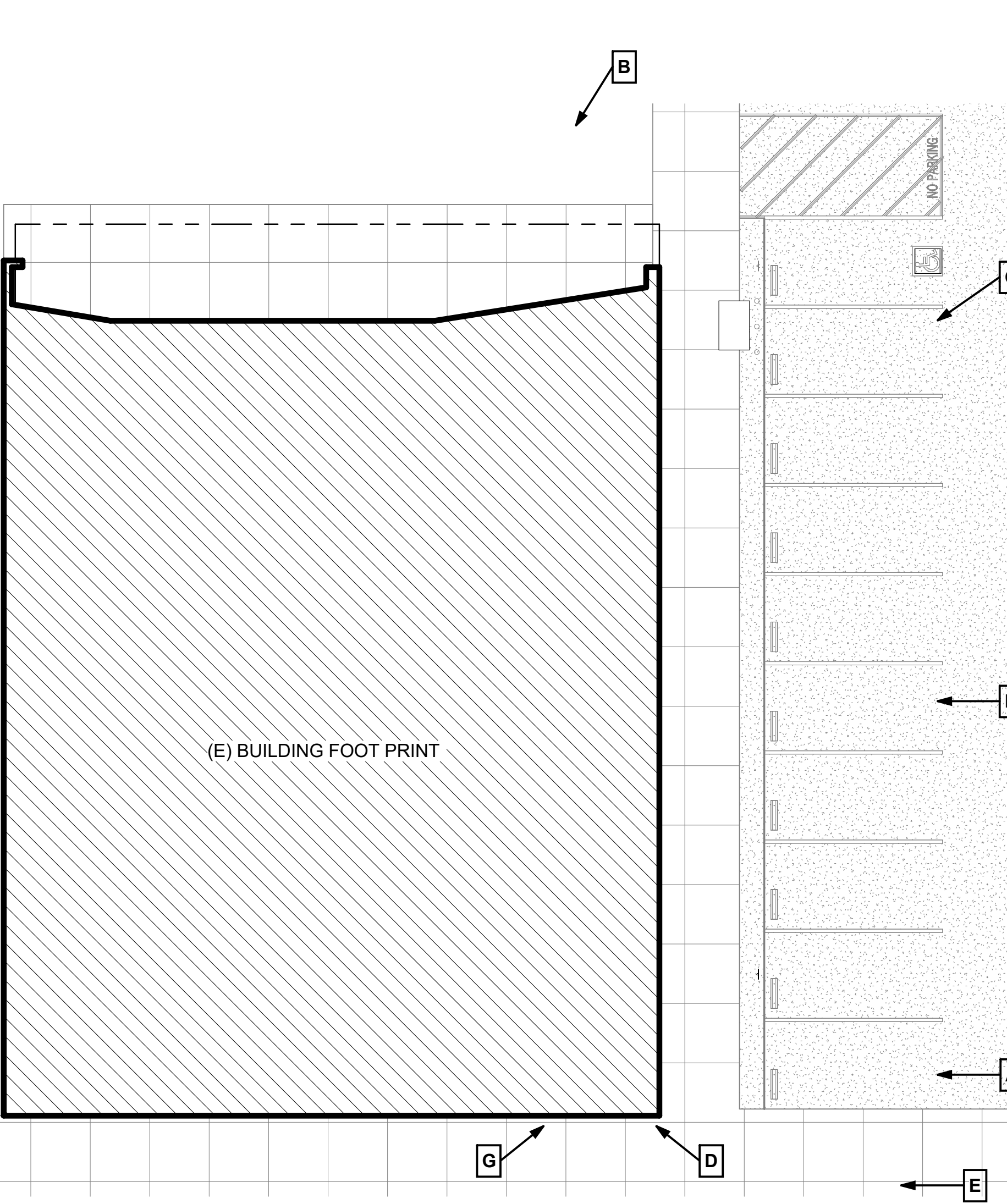
PLANNING COVER SHEET

REVISIONS

No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	
JOB No.:	22-S-08-CAMPBELL
SHEET No.:	

AP0.1



1 PHOTO KEY PLAN
3/32" = 1'-0"

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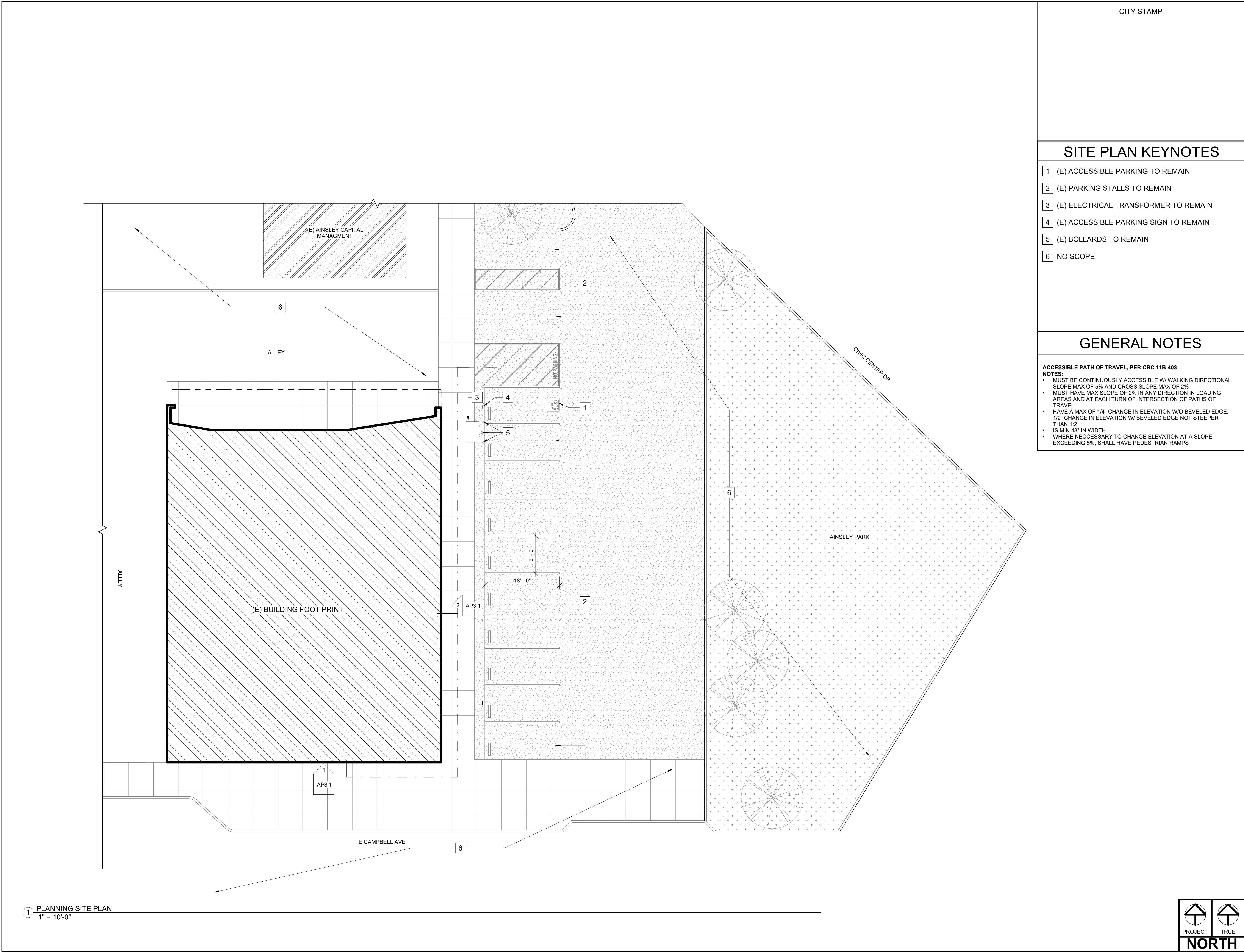
CONTRACTOR

SHEET TITLE:

EXISTING SITE PHOTOS

REVISIONS		
No.	Description	Date

DRAWN:	GC
CHECKED:	RT
DATE:	11/03/2022
SCALE:	3/32" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	



CITY STAMP

SITE PLAN KEYNOTES

- 1 (E) ACCESSIBLE PARKING TO REMAIN
- 2 (E) PARKING STALLS TO REMAIN
- 3 (E) ELECTRICAL TRANSFORMER TO REMAIN
- 4 (E) ACCESSIBLE PARKING SIGN TO REMAIN
- 5 (E) BOLLARDS TO REMAIN
- 6 NO SCOPE

GENERAL NOTES

ACCESSIBLE PATH OF TRAVEL, PER CBC 11B-403
NOTES:

- MUST BE CONTINUOUSLY ACCESSIBLE W/ WALKING DIRECTIONAL SLOPE MAX OF 5% AND CROSS SLOPE MAX OF 2%
- MUST HAVE MAX SLOPE OF 2% IN ANY DIRECTION IN LOADING AREAS AND AT EACH TURN OF INTERSECTION OF PATHS OF TRAVEL
- HAVE A MAX OF 1/4" CHANGE IN ELEVATION W/O BEVELED EDGE. 1/2" CHANGE IN ELEVATION W/ BEVELED EDGE NOT STEEPER THAN 1:2
- IS MIN 48" IN WIDTH
- WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5%, SHALL HAVE PEDESTRIAN RAMPS

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CONTRACTOR

SHEET TITLE:

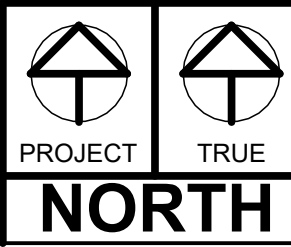
PLANNING SITE PLAN

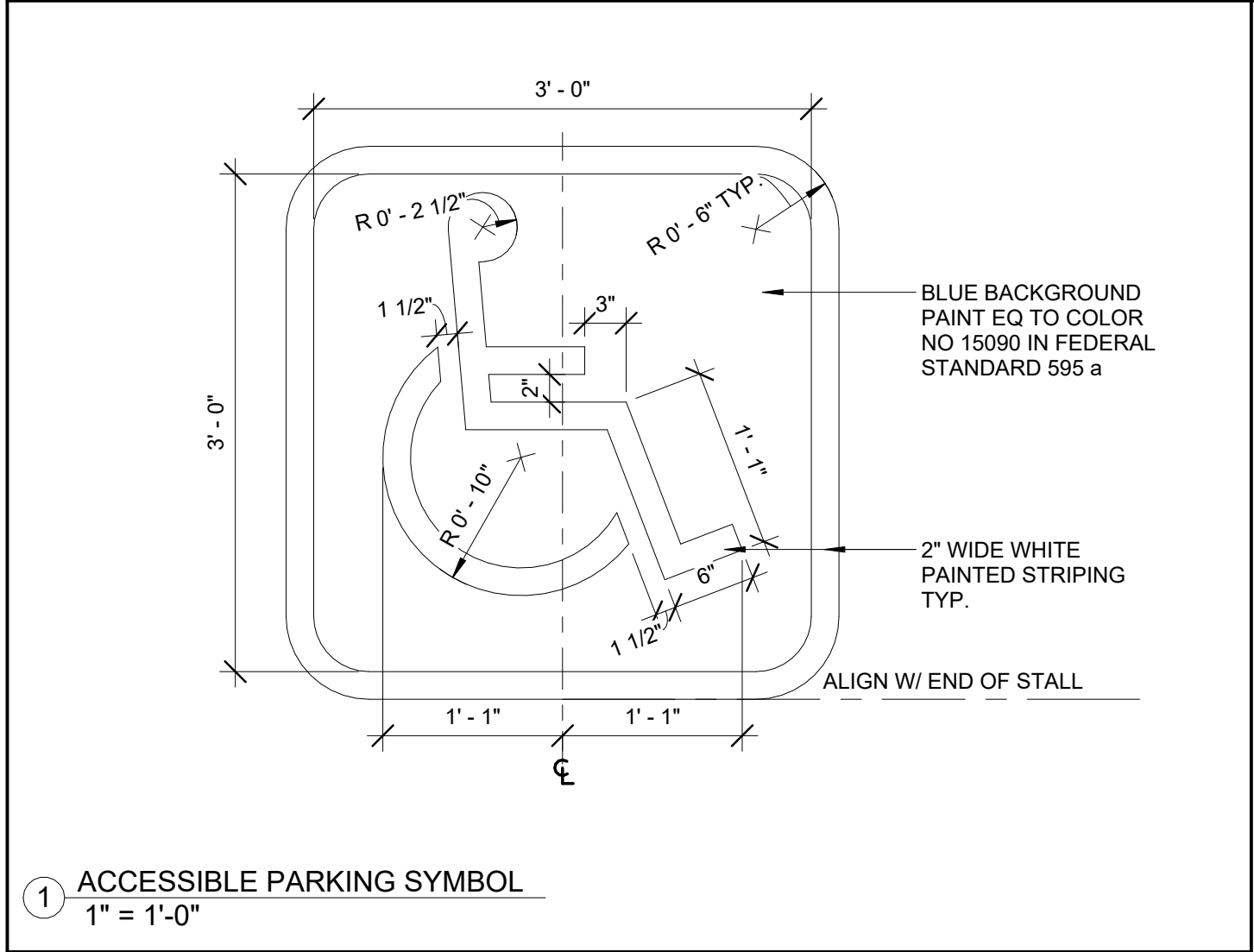
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No.	Description	Date

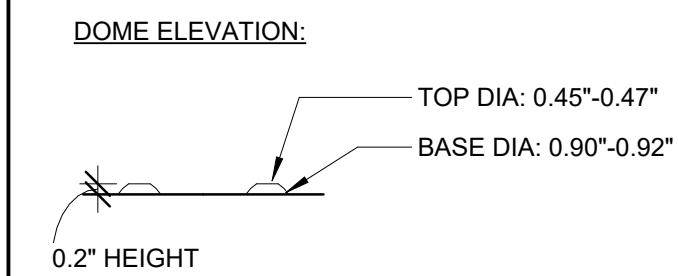
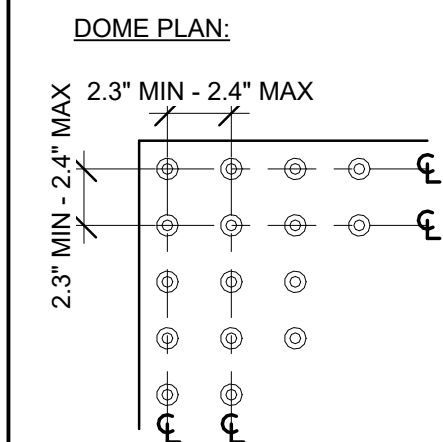
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SCALE:	As indicated
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP1.0



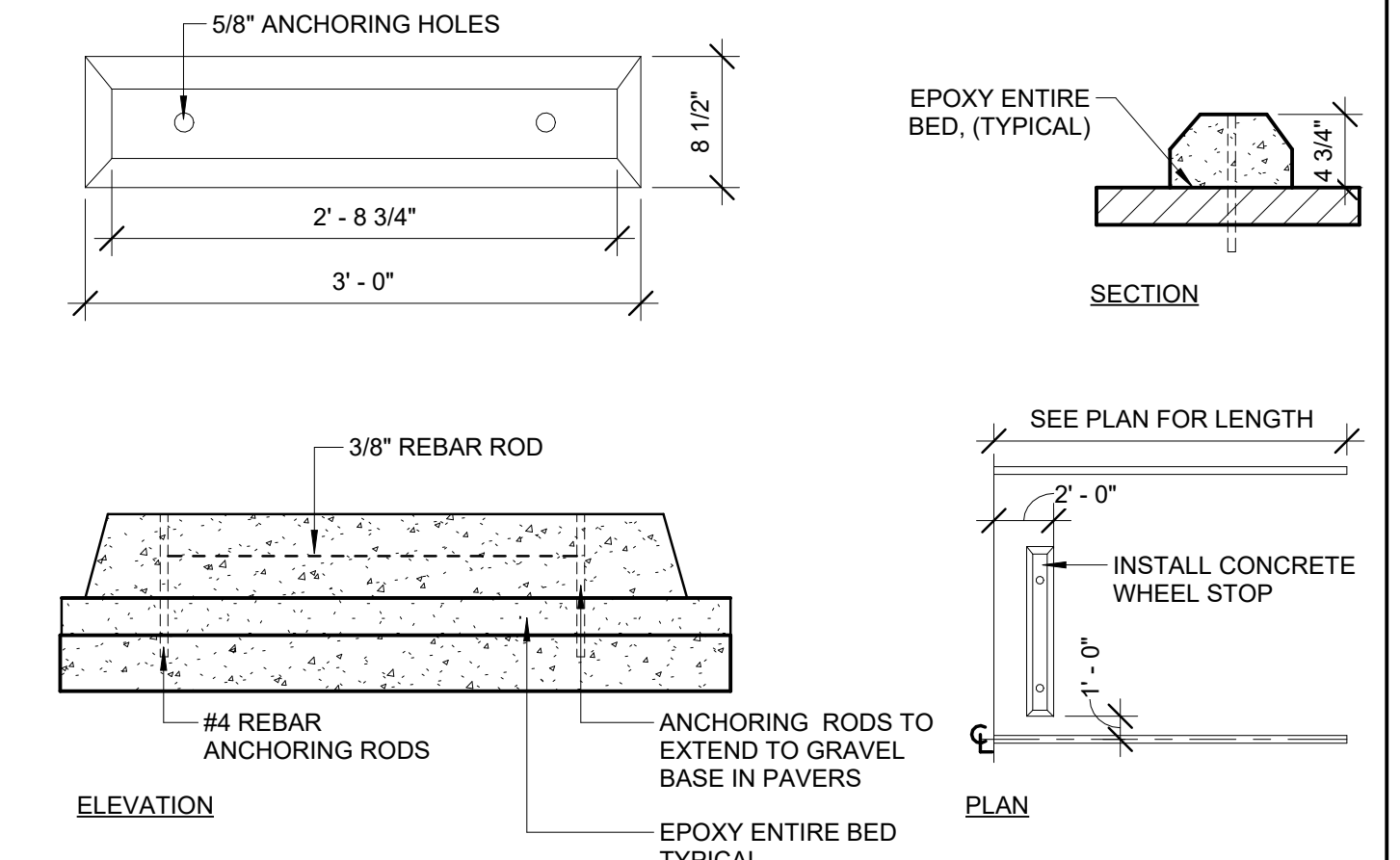
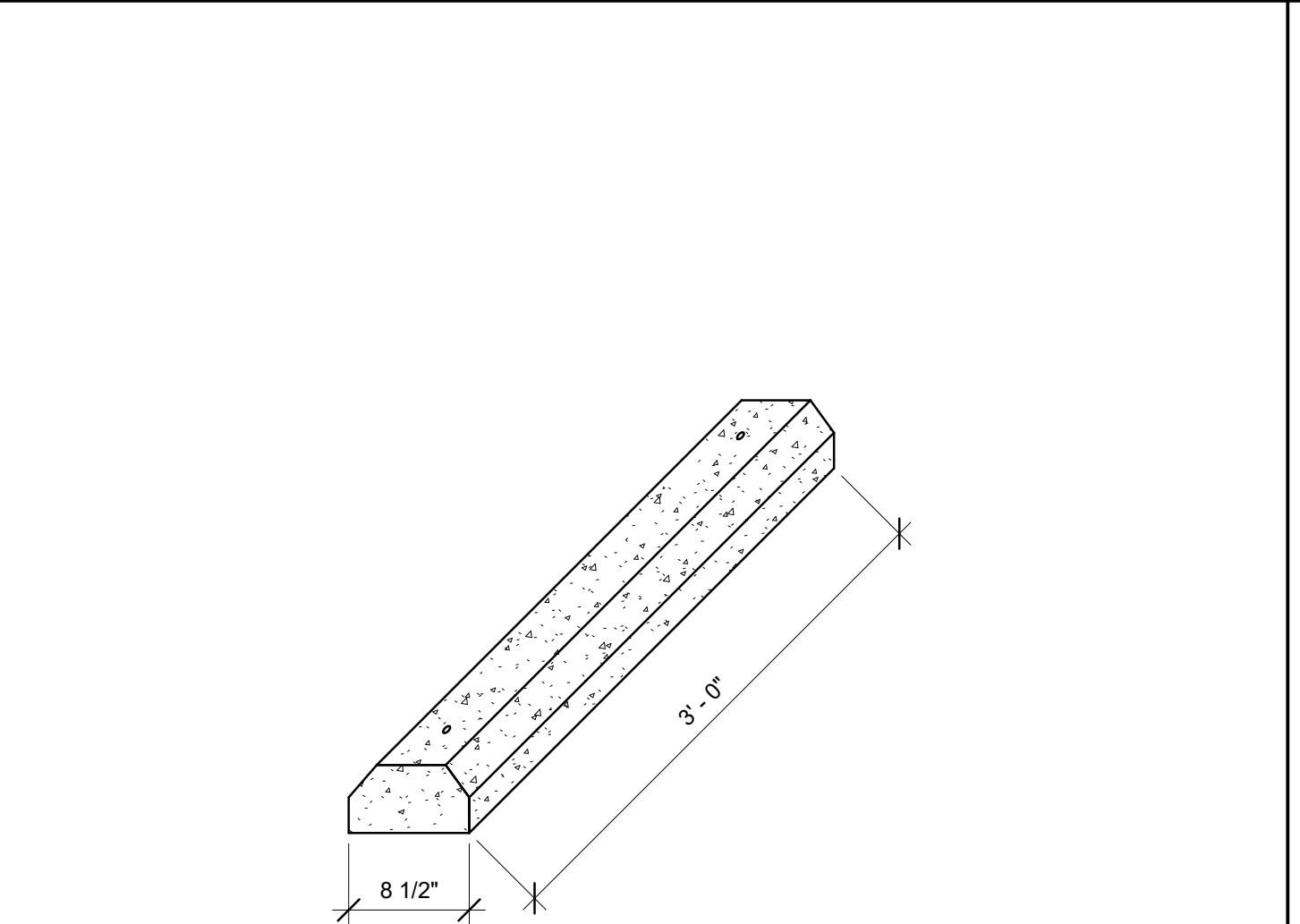


1 ACCESSIBLE PARKING SYMBOL
1" = 1'-0"



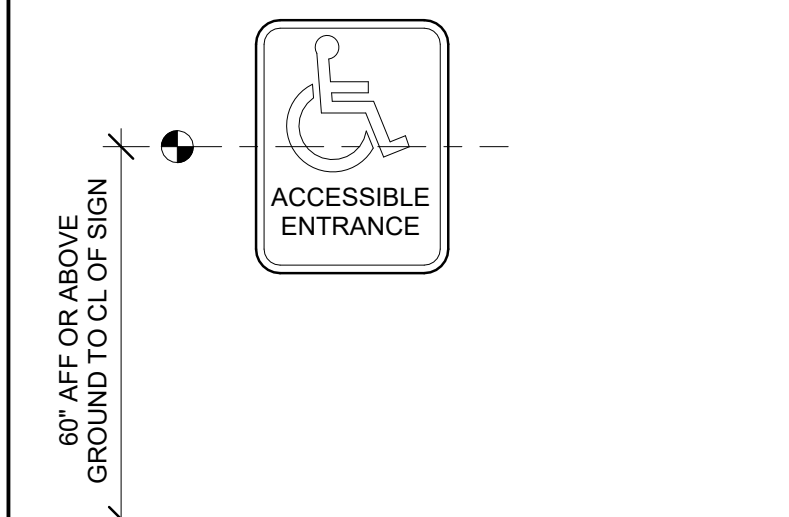
2 DETECTABLE WARNING DETAIL
NTS

- NOTES:**
- DETECTABLE WARNING SURFACES SHALL BE YELLOW AND APPROXIMATE 33538 OF SAE AMS-STD-595A
 - DETECTABLE WARNING SURFACES SHALL PROVIDE A 70 PERCENT MIN VISUAL CONTRAST WITH ADJACENT WALKING SURFACES
 - PERPENDICULAR CURB RAMPS.** DETECTABLE WARNINGS AT CURB RAMPS SHALL EXTEND 36 INCHES (914 MM) IN THE DIRECTION OF TRAVEL. DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE RAMP RUN LESS 2 INCHES MAXIMUM ON EACH SIDE, EXCLUDING ANY FLARED SIDES. DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES (152 MM) MINIMUM AND 8 INCHES (203 MM) MAXIMUM FROM THE DEMARCATION LINE AT THE FACE OF THE CURB BETWEEN THE CURB AND THE GUTTER, STREET OR HIGHWAY.
 - PARALLEL CURB RAMPS.** DETECTABLE WARNINGS AT PARALLEL CURB RAMPS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE DEMARCATION LINE AT THE FACE OF THE CURB BETWEEN THE CURB AND THE GUTTER, STREET OR HIGHWAY. DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE TURNING SPACE AT THE DEMARCATION BETWEEN THE STREET AND THE SIDEWALK LESS 2 INCHES MAXIMUM ON EACH SIDE.



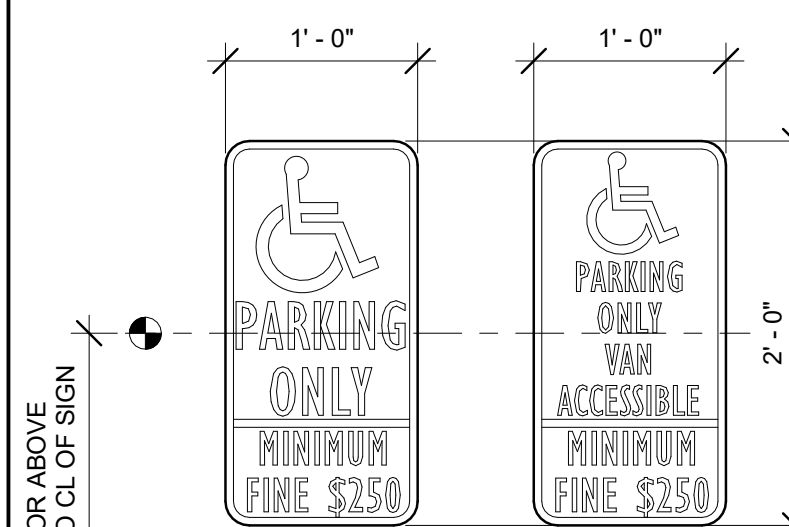
5 WHEEL STOP DETAIL
NTS

HORIZ VIEWING DISTANCE	MIN CHARACTER HEIGHT
40" TO LESS THAN OR EQUAL TO 70" HEIGHT FROM FINISH FLOOR OR GROUND TO CENTERLINE OF SIGN	5/8"
72" OR GREATER	5/8" PLUS 1/8" PER FOOT OF VIEWING DISTANCE ABOVE 72"



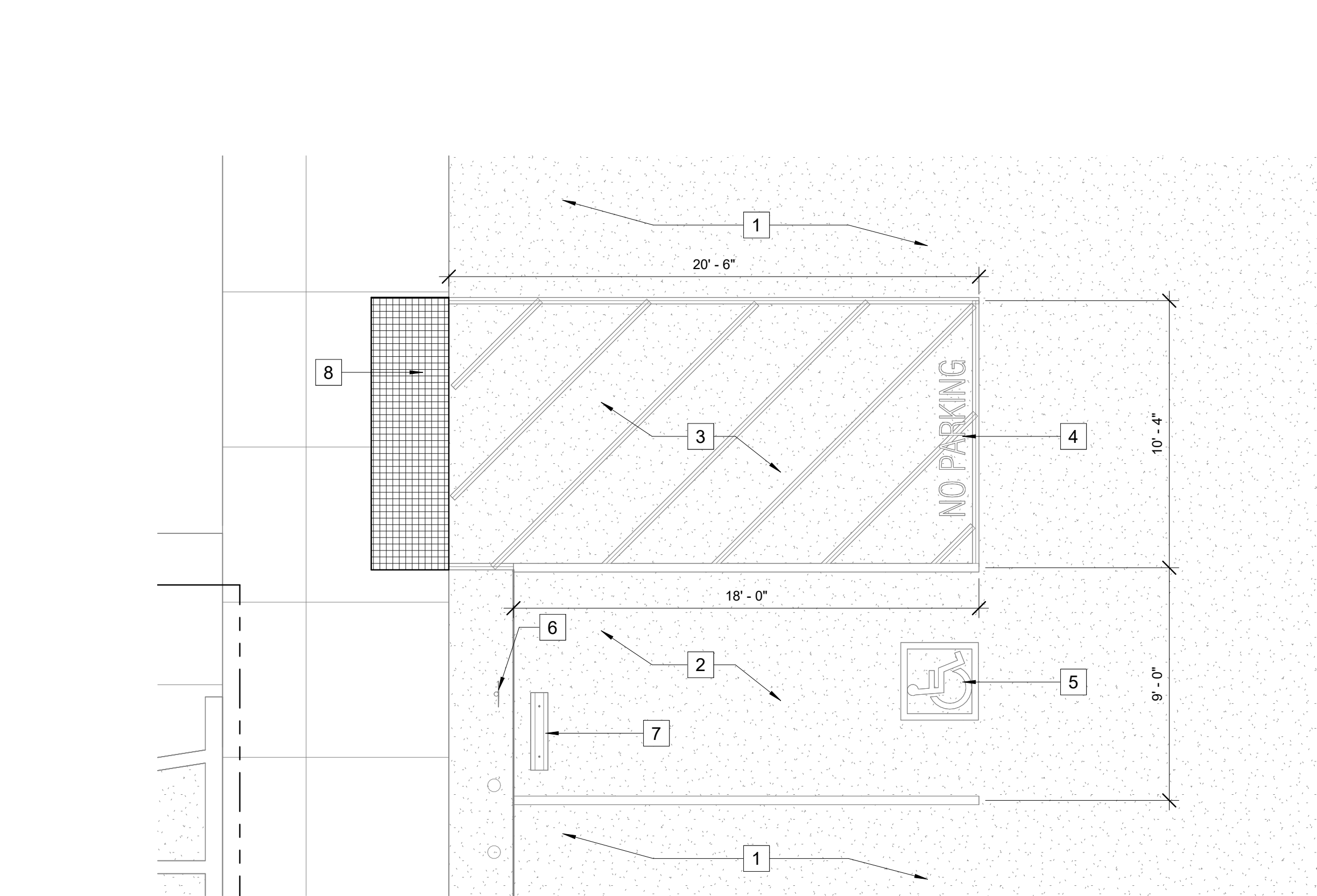
3 ACCESSIBLE ENTRANCE SIGN DETAIL
1" = 1'-0"

- NOTES:**
- ENTRANCE SIGN W/ HORIZ VISIBLE DISTANCE OF LESS THAN 72" SHALL HAVE A MIN CHARACTER HEIGHT OF 5/8"
 - ENTRANCE SIGNS W/ HORIZONTAL VISIBLE DISTANCE OF 72" OR GREATER MUST HAVE A MIN CHARACTER HEIGHT OF 5/8" PLUS 1/8" FOR EVERY FOOT OF VIEWING DISTANCE ABOVE 72"



4 ACCESSIBLE PARKING SIGN DETAIL
1" = 1'-0"

- NOTES:**
- OFF STREET PARKING FACILITIES TO HAVE SIGN AT STREET ENTRANCE NOT LESS THAN 17"x22" MIN SIZE. SIGN TEXT TO BE BEADED (OR EQ.) TO STATE THE FOLLOWING:
"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: _____ OR BY TELEPHONING _____"
GC TO FILL IN BLANKS PRIOR TO MANUFACTURING SIGN
 - ACCESSIBLE PARKING SPACE SIGN TO BE BEADED (OR EQ) W/ INTERNATIONAL SYMBOL OF ACCESSIBILITY AS SHOWN. SIZE TO BE 70 SQIN MIN
 - PROVIDE SIGN AT VAN STALL W/ ADD'L SIGN STATING "VAN ACCESSIBLE"



6 ENLARGED ACCESSIBLE PARKING PLAN
1/4" = 1'-0"

CITY STAMP

ACCESSIBLE PARKING PLAN KEYNOTES

- (E) PARKING STALL TO REMAIN
- (E) ACCESSIBLE PARKING STALL TO REMAIN
- (E) ACCESS AISLE STRIPING TO REMAIN
- (N) 12" HIGH WHITE LETTERS "NO PARKING"
- (E) ACCESSIBLE PARKING SYMBOL TO REMAIN
- (E) ACCESSIBLE PARKING SIGN TO REMAIN
- (E) WHEEL STOP TO REMAIN
- (N) DETECTABLE WARNING

MATCH SCALE TO PLAN

GENERAL NOTES

- ACCESSIBLE PATH OF TRAVEL, PER CBC 11B-403**
- NOTES:**
- MUST BE CONTINUOUSLY ACCESSIBLE W/ WALKING DIRECTIONAL SLOPE MAX OF 5% AND CROSS SLOPE MAX OF 2%
 - MUST HAVE MAX SLOPE OF 2% IN ANY DIRECTION IN LOADING AREAS AND AT EACH TURN OF INTERSECTION OF PATHS OF TRAVEL
 - HAVE A MAX OF 1/4" CHANGE IN ELEVATION W/O BEVELED EDGE. 1/2" CHANGE IN ELEVATION W/ BEVELED EDGE NOT STEEPER THAN 1:2
 - IS MIN 48" IN WIDTH
 - WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5%, SHALL HAVE PEDESTRIAN RAMPS

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San Jose CA, 95112

Tel (408) 320 0248

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PROJECT:

415 E
CAMPBELL LL
IMPROVMENTS

415 E CAMPBELL AVE. STE 100.
CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

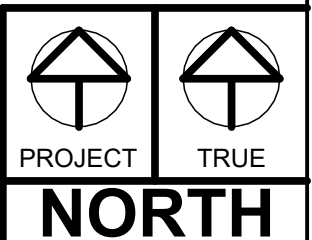
SITE PLAN DETAILS

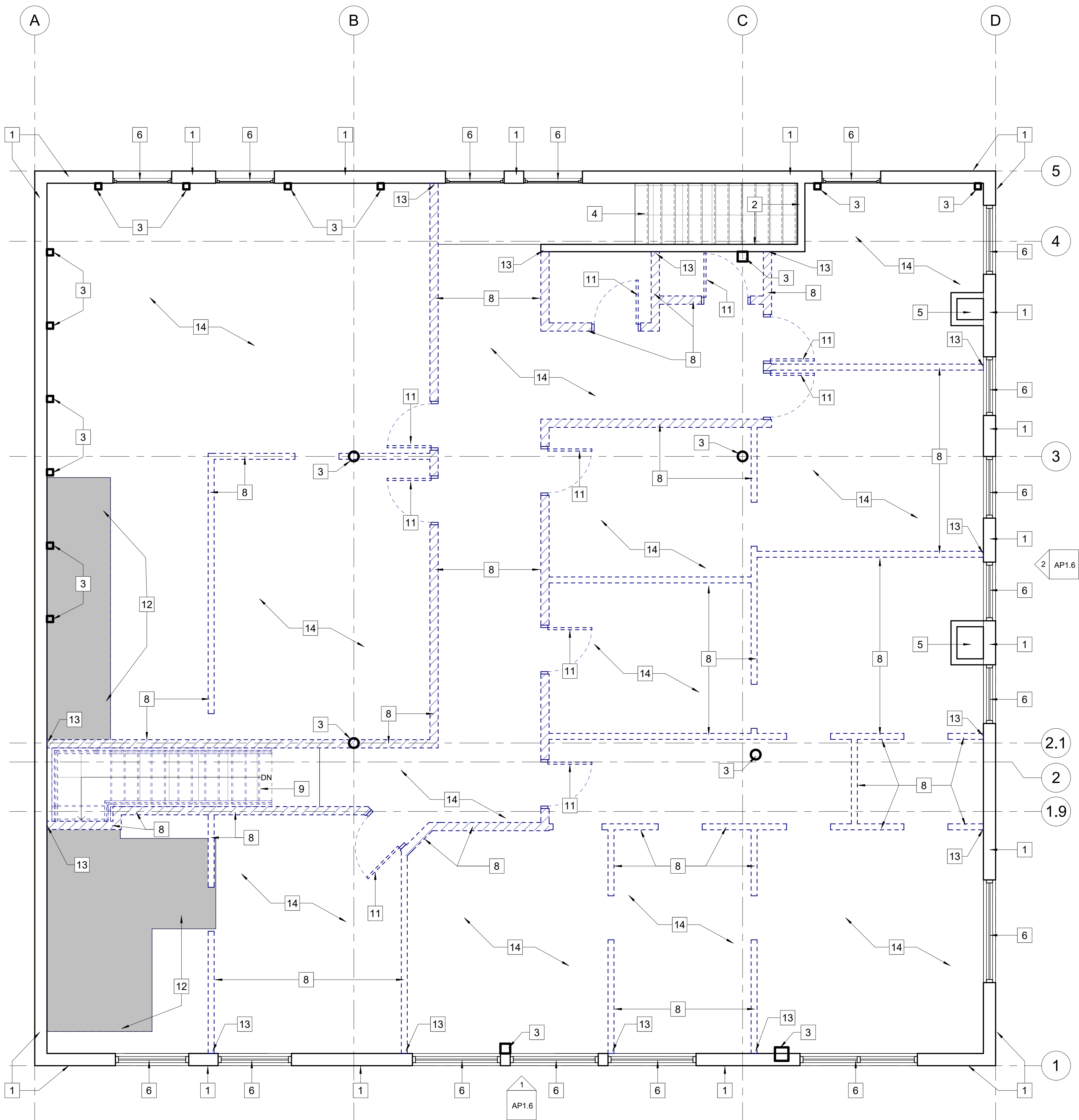
REVISIONS

No.	Description	Date

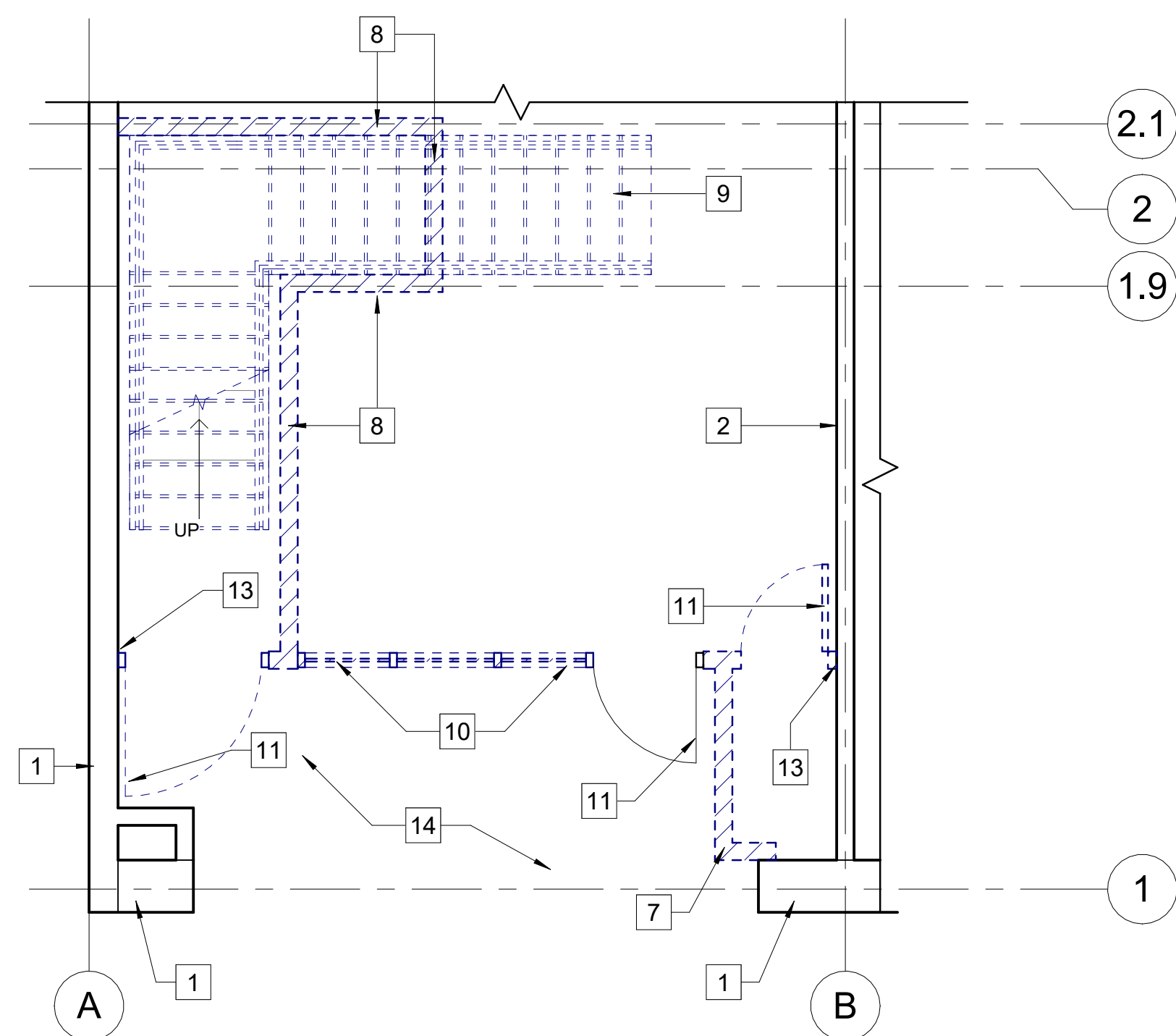
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DATE:	11/03/2022
SCALE:	As indicated
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP1.2

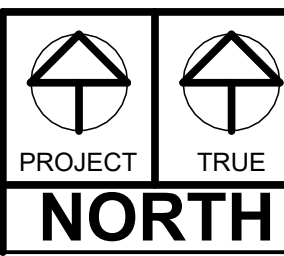




3 2ND FLOOR DEMO PLAN
1/4" = 1'-0"



1 DEMO FIRST FLOOR PLAN
1/4" = 1'-0"



CITY STAMP

DEMO PLAN KEYNOTES

- 1 (E) EXTERIOR WALL TO REMAIN
- 2 (E) INTERIOR WALL TO REMAIN
- 3 (E) COLUMN TO REMAIN. PREP FOR (N) PAINT
- 4 (E) STAIRS TO REMAIN
- 5 (E) SHAFT TO REMAIN
- 6 (E) WINDOW TO REMAIN. PROTECT FROM DAMAGE AND DEBRIS DURING CONSTRUCTION
- 7 (E) EXTERIOR WALL TO BE REMOVED
- 8 (E) INTERIOR WALL TO BE REMOVED. SEE DEMO WALL LEGEND
- 9 (E) STAIRS AND RAILINGS TO BE REMOVED
- 10 (E) STOREFRONT TO BE REMOVED
- 11 (E) DOOR TO BE REMOVED
- 12 SHADED PORTION OF (E) FLOOR TO BE REMOVED
- 13 PATCH AND REPAIR (E) WALL WHERE DEMO OCCURED
- 14 FLOOR TO REMAIN. FLOOR FINISHES TO BE REMOVED

GENERAL NOTES

- 1. SEE DOOR SCHEDULE FOR TREATMENT OF DOORS TO REMAIN

DEMO WALL LEGEND

	(E) WALL TO REMAIN
	(E) WALL TO REMAIN
	(E) INTERIOR MTL STUD WALL TO BE REMOVED

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PROJECT:

415 E
CAMPBELL LL
IMPROVMENTS

415 E CAMPBELL AVE. STE 100.
CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

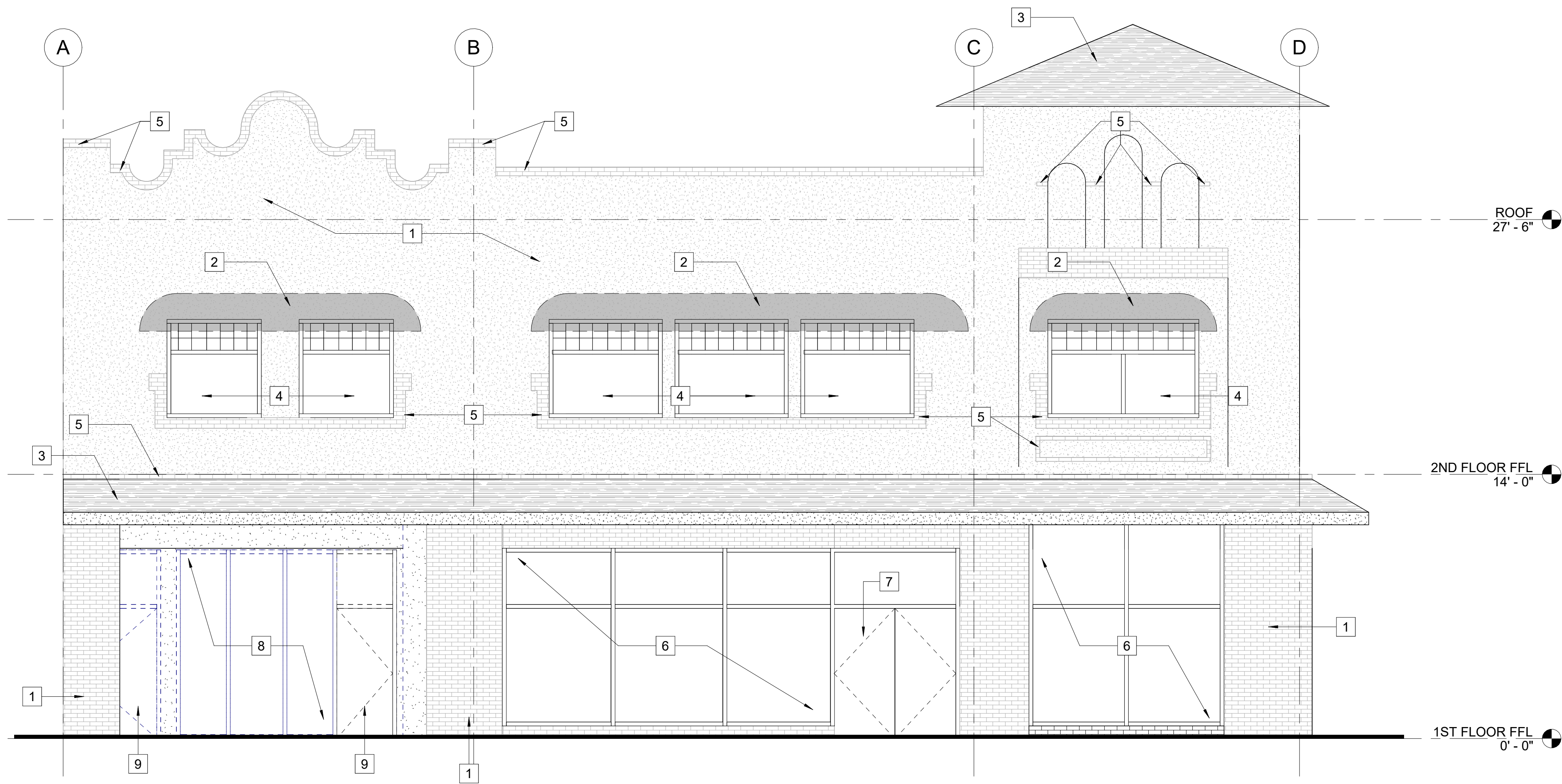
EXISTING/DEMO PLAN

REVISIONS

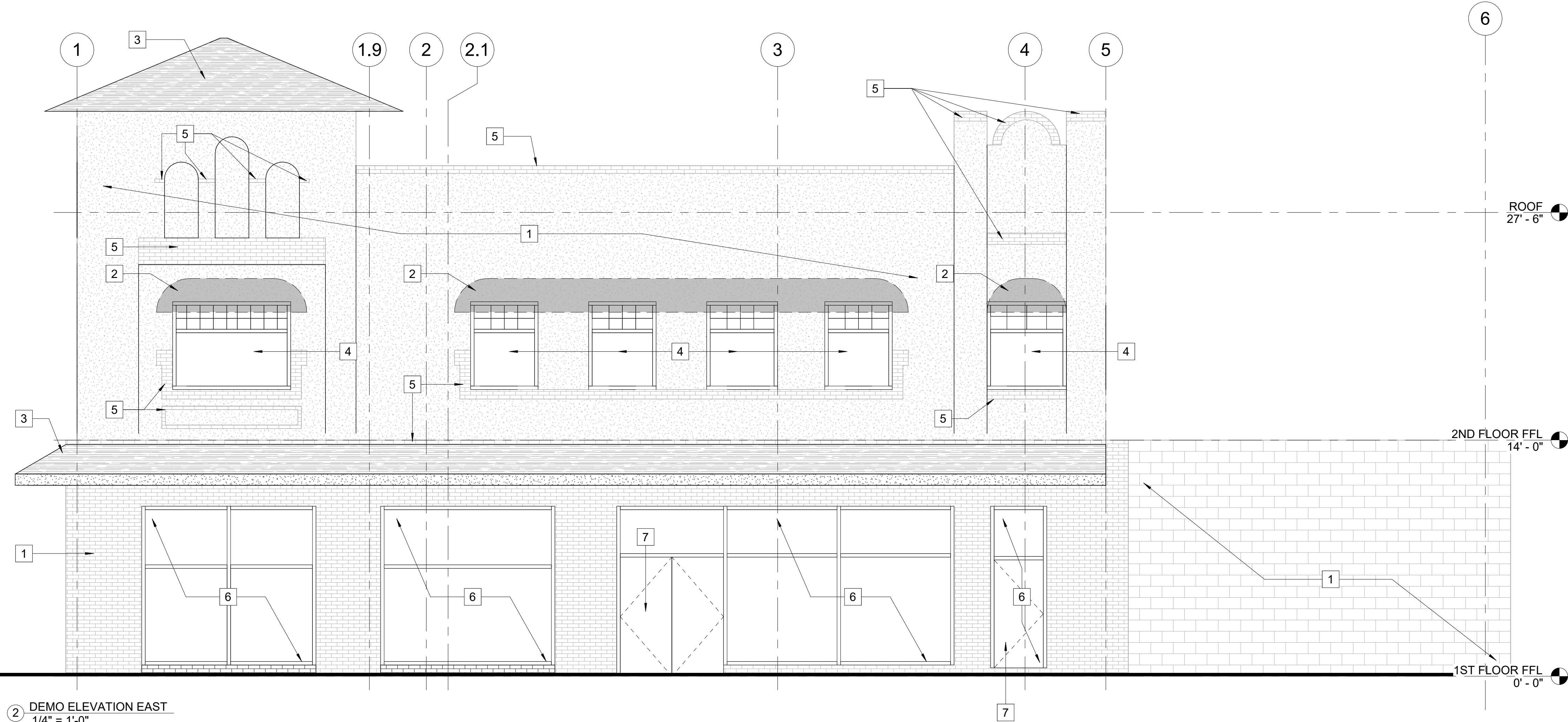
No.	Description	Date

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CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP1.3



1 DEMO ELEVATION SOUTH
1/4" = 1'-0"



2 DEMO ELEVATION EAST
1/4" = 1'-0"

CITY STAMP

DEMO ELEVATION KEYNOTES

- 1 (E) WALL TO REMAIN
- 2 (E) CANOPY TO BE REMOVED. FILL HOLES AND PATCH AND REPAIR STUCCO. TEXTURE TO MATCH (E) AND PREP FOR (N) PAINT
- 3 (E) ROOF TO REMAIN
- 4 (E) WINDOW TO REMAIN. PREP FRAMES FOR (E) PAINT
- 5 (E) BRICK ACCENT TO REMAIN AND BE CLEANED
- 6 (E) STOREFRONT TO REMAIN. PROTECT FROM DAMAGE AND DEBRIS DURING CONSTRUCTION
- 7 (E) DOOR TO REMAIN
- 8 (E) STOREFRONT TO BE REMOVED
- 9 (E) DOOR TO BE REMOVED

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SHEET TITLE:

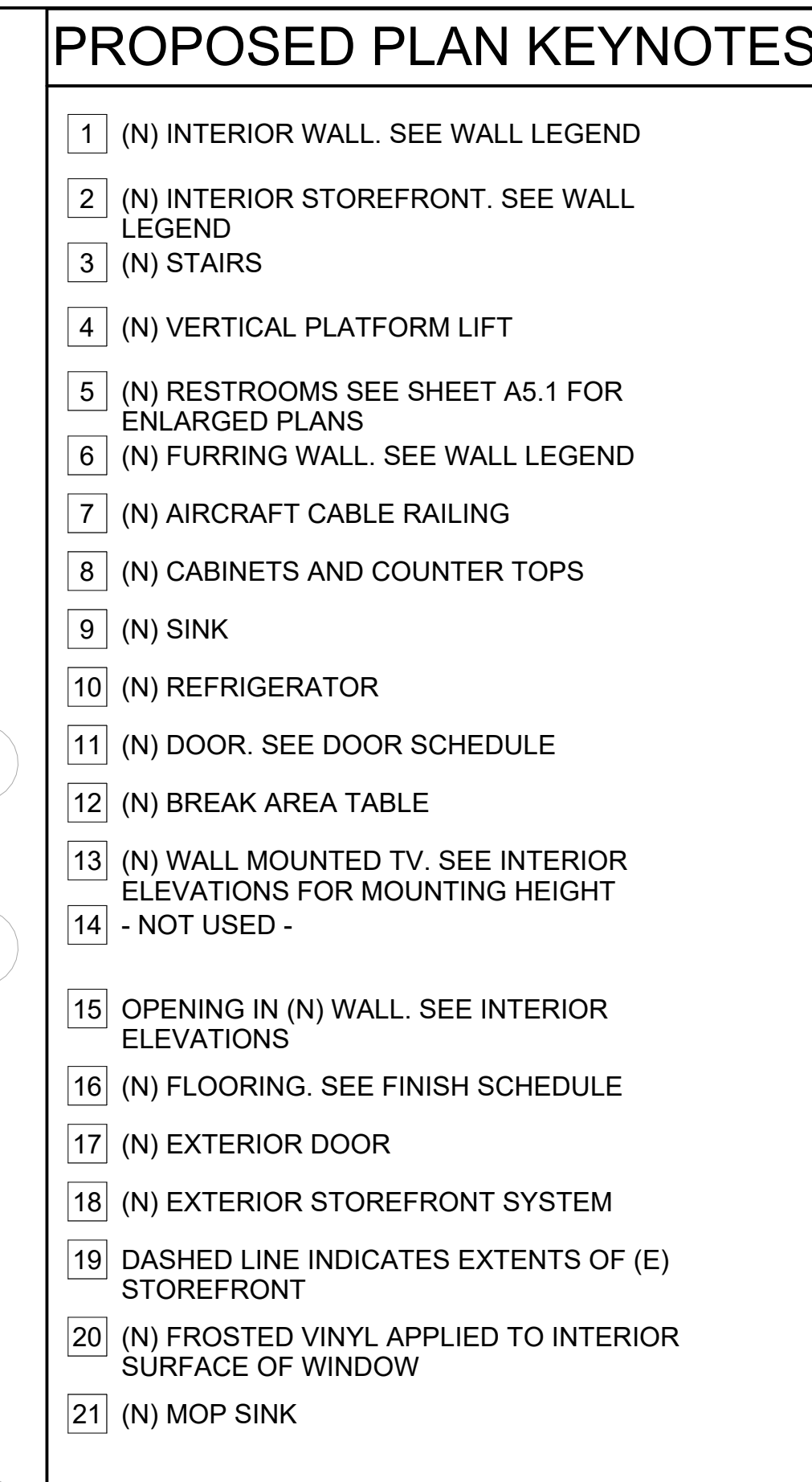
DEMO ELEVATIONS

REVISIONS

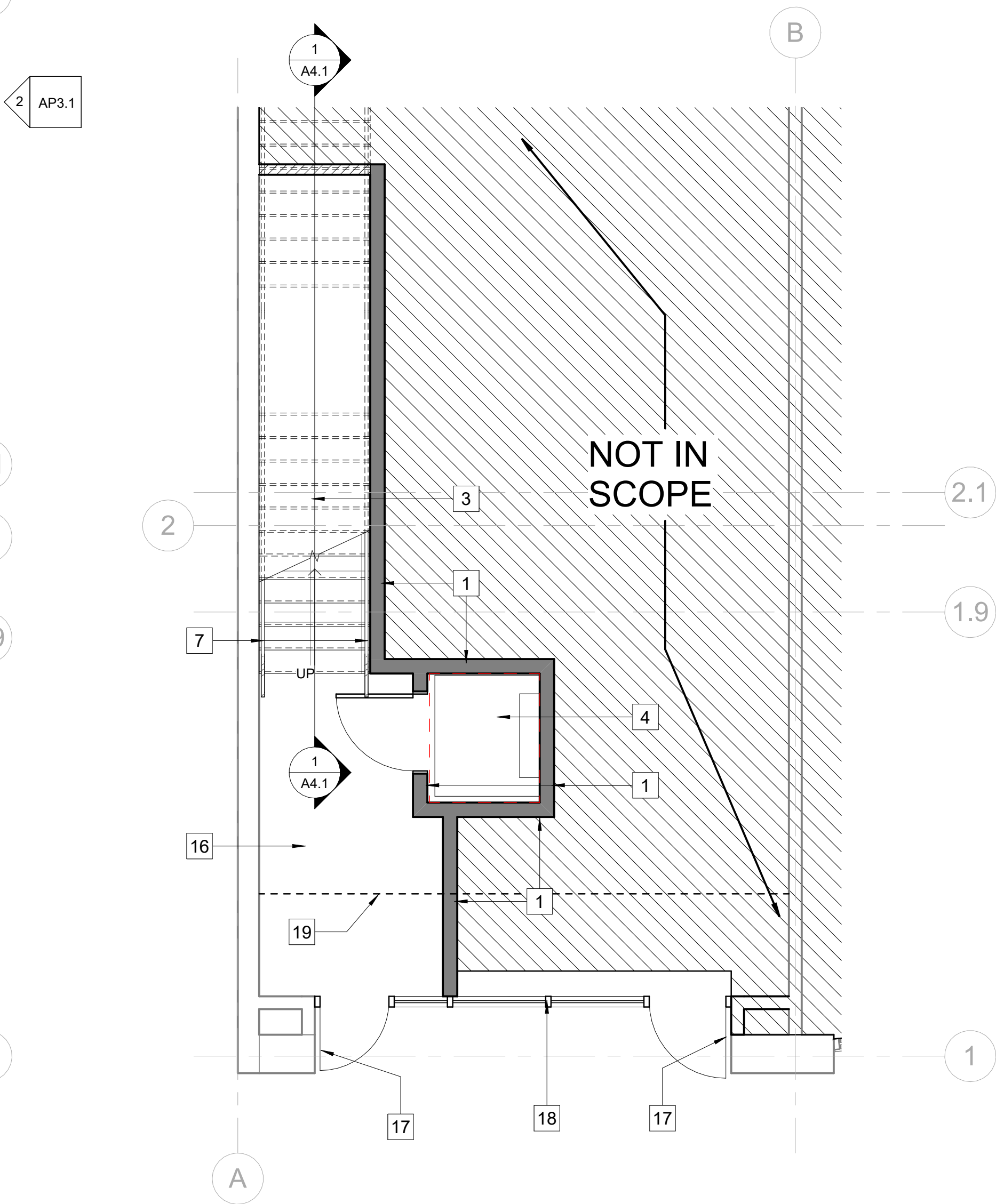
No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP1.6



CITY STAMP	
GENERAL NOTES - SEE DOOR SCHEDULE FOR TREATMENT OF DOORS TO REMAIN AND FOR ALL (N) DOORS - SEE WINDOW SCHEDULE FOR TREATMENT OF WINDOWS TO REMAIN AND FOR ALL (N) WINDOWS - SEE FINISH PLAN FOR ALL (N) FINISHES - SED FOR POWER AND DATA OUTLET LOCATIONS - SPD FOR PLUMBING DETAILS FOR NEW FIXTURES (E) BRICK TO REMAIN. STRIP (E) PAINT AND CLEAN BRICK AS NEEDED	
WALL LEGEND 8 A7.1 9 A7.1 6 A7.1	
	(E) EXTERIOR WALL TO REMAIN
	NEW 5 1/2" METAL STUD WALLS 20 GAGE @ 16" O.C. SEE INTERIOR ELEVATIONS FOR HEIGHT. 5/8" GYP BD. LEVEL 4 FINISH ON BOTH SIDES. USE GREEN BOARD IN WET AREAS AND WHERE TILE IS FINISH MATERIAL
	NEW 3 5/8" METAL STUD WALLS 20 GAGE @ 16" O.C. SEE INTERIOR ELEVATIONS FOR HEIGHT. 5/8" GYP BD. LEVEL 4 FINISH ON BOTH SIDES. USE GREEN BOARD IN WET AREAS AND WHERE TILE IS FINISH MATERIAL
	NEW CURTAIN WALL SYSTEM W/ 1"x1" MULLIONS AND BUTT-JOINT GLASS



① 2ND FLOOR FFL
1/4" = 1'-0"

② 1ST FLOOR PROPOSED PLAN
1/4" = 1'-0"

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CONTRACTOR

SHEET TITLE:

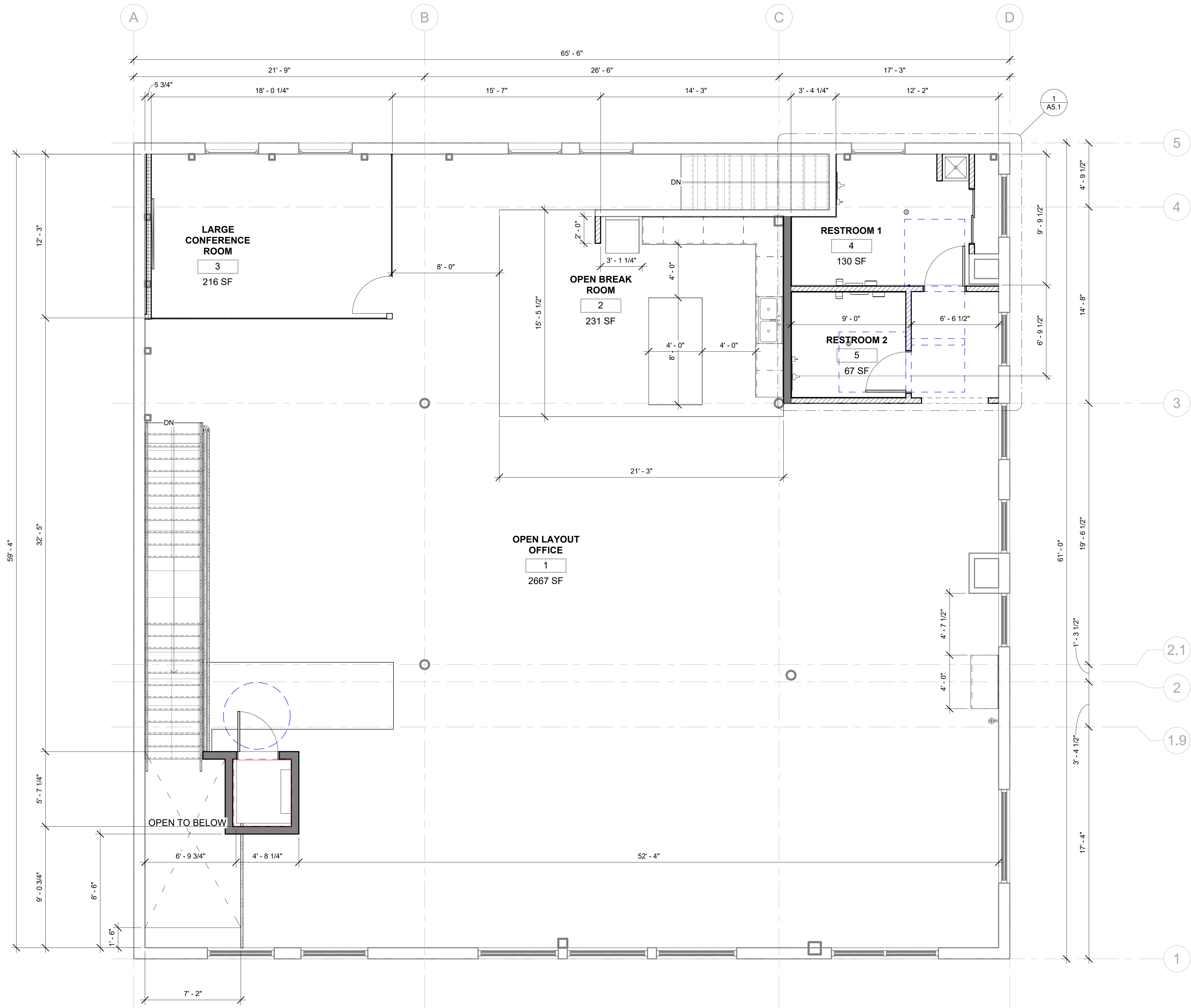
PROPOSED FLOOR PLANS

[illegible]

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL

SHEET No.:

AP2.1



① 2ND FLOOR FFL DIM PLAN
1/4" = 1'-0"

GENERAL NOTES:
1. THIS SHEET IS PART OF A SET & IS NOT TO BE USED ALONE.
2. THIS SHEET IS NOT FOR CONSTRUCTION UNTIL THE ARCHITECT'S STAMP & SIGNATURE ARE ON THIS SHEET.
3. THESE PLAN & PRINTS ARE OWNED BY THE ARCHITECT & ARE FOR USE ON THIS PROJECT ONLY. REPRODUCTION AND/OR DISTRIBUTION WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS FORBIDDEN.

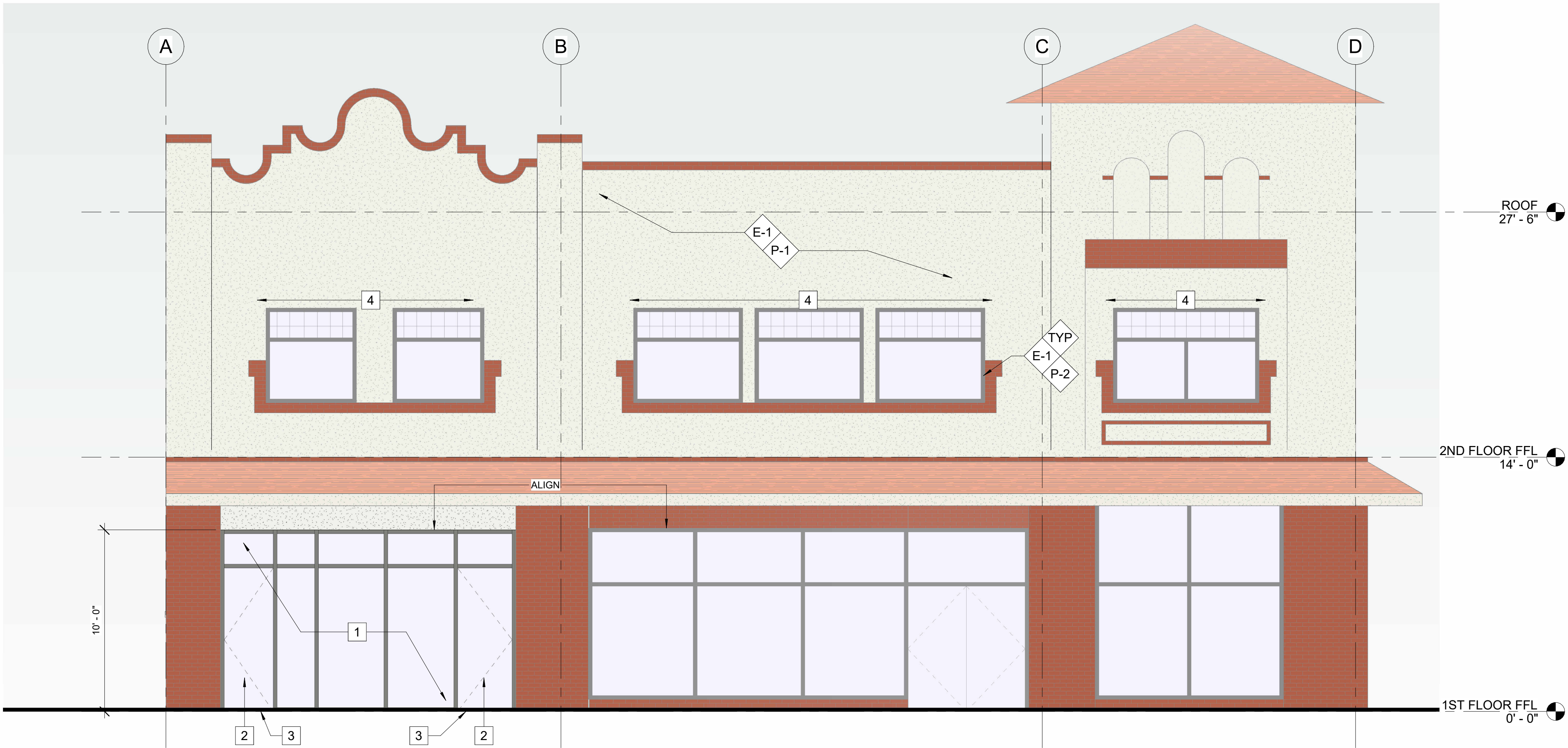
PROJECT:
415 E CAMPBELL LL IMPROVMENTS
415 E CAMPBELL AVE. STE 100.
CAMPBELL, CA 95008

CONTRACTOR

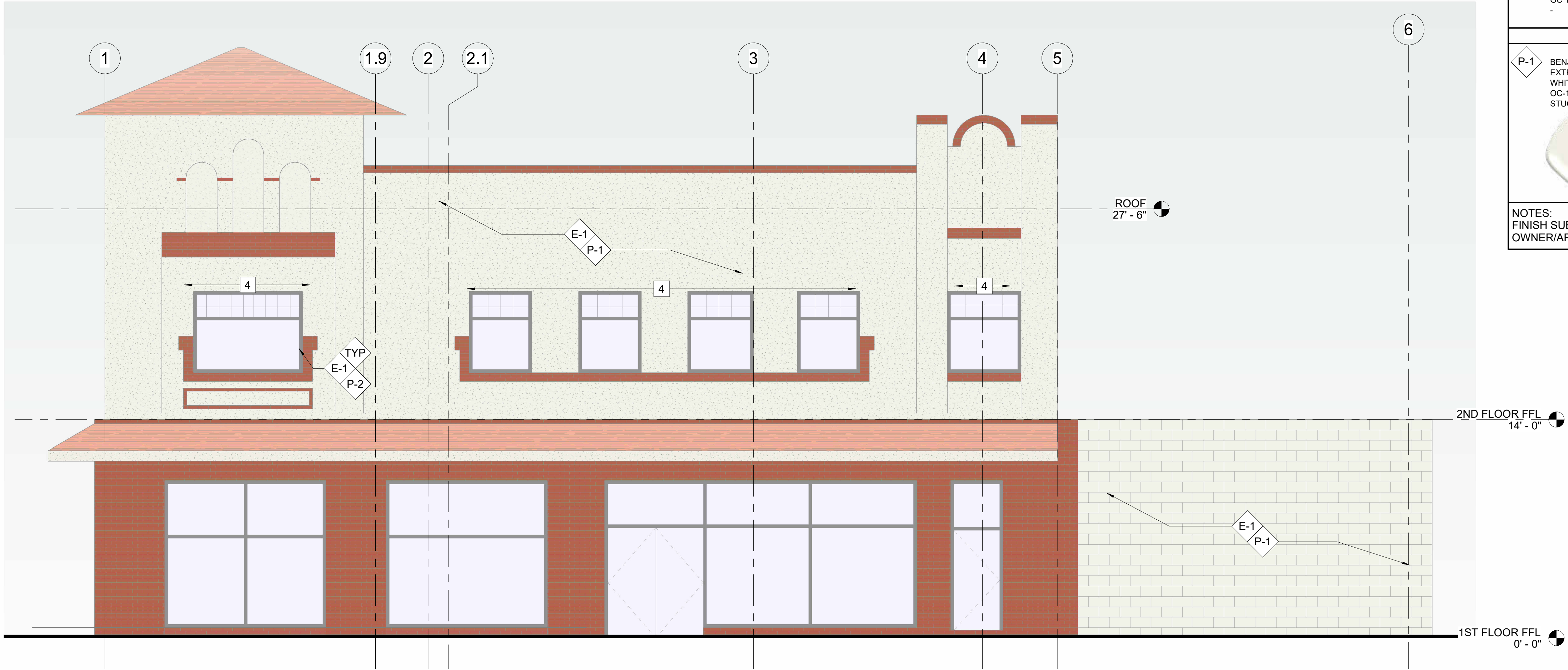
SHEET TITLE:
DIMENSION PLAN

REVISIONS		
No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	



1 PLANNING SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



2 PLANNING EAST EXTERIOR ELEVATION
1/4" = 1'-0"

CITY STAMP

EXTERIOR ELEVATION KEYNOTES

- 1 (N) EXTERIOR STOREFRONT
- 2 (N) EXTERIOR DOOR. SEE DOOR SCHEDULE
- 3 (N) THRESHOLD
- 4 FILL HOLES FROM REMOVED CANOPIES. PATCH AND REPAIR STUCCO. TEXTURE TO MATCH (E) AND PAINT PER FINISH SCHEDULE

GENERAL NOTES

1. ALL EXTERIOR BRICK TO REMAIN. CLEAN AND REPAIR AS NEEDED
2. (E) ROOF NOT IN SCOPE

EXTERIOR FINISH SCHEDULE

MATERIALS

E-1 BENJAMIN MOORE
NEW EXTERIOR PAINT
COLOR AS INDICATED
GC TO PREP STUCCO FOR NEW PAINT

COLORS AND FINISHES

P-1 BENJAMIN MOORE
EXTERIOR PAINT
WHITE DOVE
OC-17
STUCCO

P-2 BENJAMIN MOORE
EXTERIOR PAINT
KENDALL CHARCOAL
HC-166
TRIM AND ACCENTS



NOTES:
FINISH SUBSTITUTIONS TO BE APPROVED BY
OWNER/ARCHITECT PRIOR TO ORDER/INSTALLATION

t o p a
architecture

1150 North First St. #140

San Jose CA, 95112

Tel (408) 320 0248

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PROJECT:

415 E
CAMPBELL LL
IMPROVMENTS

415 E CAMPBELL AVE. STE 100.
CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

PLANNING EXTERIOR
ELEVATIONS

REVISIONS

No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP3.1