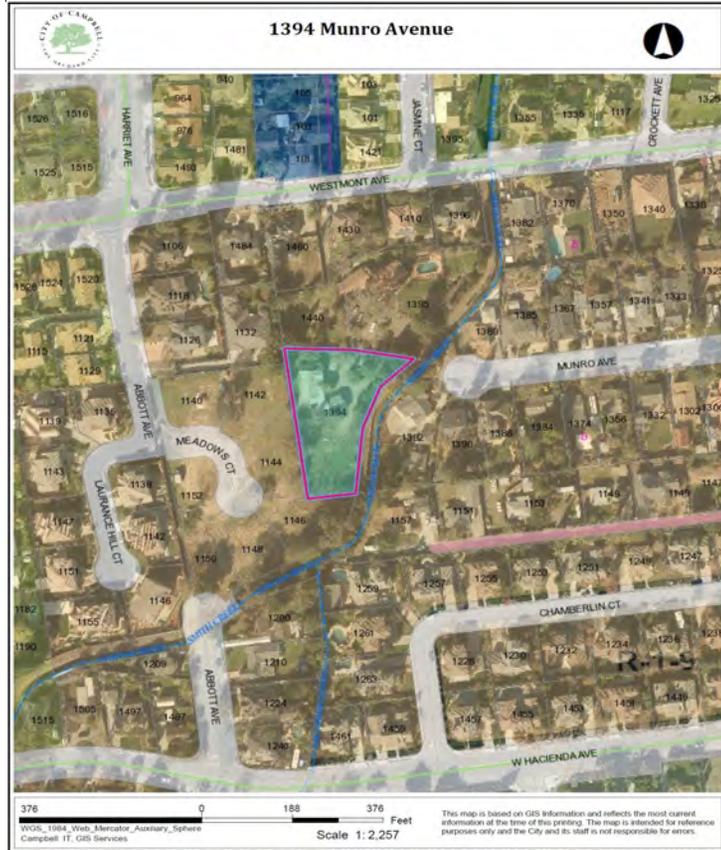


Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Public Hearing

Dear Campbell Resident,

December 2, 2022

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday December 13, 2022, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 1394 Munro Avenue
Zoning | Area Plan: R-1-9 | San Tomas Area Neighborhood Plan
File No.: PLN-2021-84
Neighborhood Association(s): STACC
APN: 403-14-052
Applicant: Davide Gianella
Property Owner: Samantha Kim
Application Type: Site and Architectural Review Permit
Project Planner: Stephen Rose, Senior Planner
Email Contact: stephenr@campbellca.gov
Phone Contact: (408) 866-2142

Project Description:

To allow the construction of an approximately 4,467 square-foot single-story single-family residence.

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.

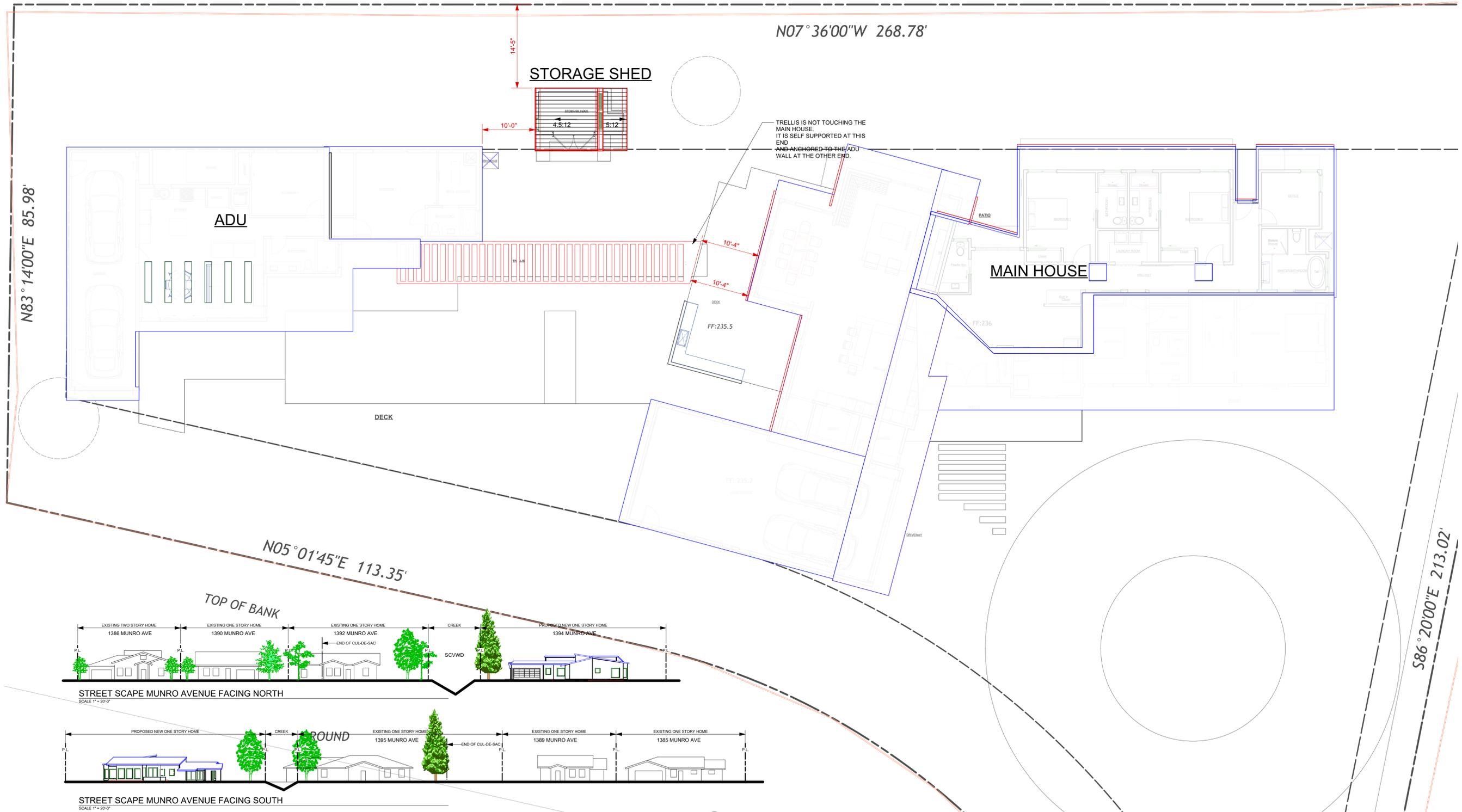


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español**





Revision	
Revision	
Revision	

Kim Residence
 1394 Munro Ave. Campbell 95008
 041016 SITE ROOF PLANS & STREETScape

Sheet Scale : AS NOTED
 Drawn By: DG
 Reviewed By: DG
 6/15/2022

Davide Giannella



acadia architecture

644 N. Santa Cruz Ave. Suite 6
 Los Gatos, California 95030
 T. 408-219-0601
 dg@acadia-architecture.com

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A 1.2

Kim Residence

1394 Munro Ave. Campbell CA

New One-Story Residence & Detached ADU (for reference only)

Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. **Exception:** A one-time addition to an existing building that does not total more than 1,000 square feet of building area. **NOTE:** The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by CBLMC

Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S17. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33

Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

ABBREVIATIONS			
(REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL ABBREVIATIONS)			
AC. TILE	ACOUSTIC TILE	LAV.	LAVATORY
ADJ.	ADJUSTABLE	LAM.	LAMINATE
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
A.B.	ANCHOR BOLT	M.H.	MANHOLE
APPROX.	APPROXIMATELY	M.F.	MANUFACTURER
A.C.	ASPHALTIC CONCRETE	M.O.	MASONRY OPENING
A.F.F.	ABOVE FINISHED FLOOR	MATL.	MATERIAL
@	AT	MAX.	MAXIMUM
BLKG.	BLOCKING	MECH.	MECHANICAL
BD.	BOARD	MTL.	METAL
BOT.	BOTTOM	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
CAB.	CABINET	MTD.	MOUNTED
C.I.	CAST IRON	(N)	NEW
C.B.	CATCH BASIN	N.I.C.	NOT IN CONTRACT
CLG.	CEILING	N.T.S.	NOT TO SCALE
CEM.	CEMENT	NO. or #	NUMBER
C.C. or O.C.	CENTER TO CENTER	OBS.	OBSCURE
CL	CENTERLINE	O.C.	ON CENTER
CER. TILE	CERAMIC TILE	OPNG.	OPENING
C.O.	CLEANOUT	OPP.	OPPOSITE
C.O.T.G.	CLEANOUT TO GRADE	O.H.	OPPOSITE HAND
CLR.	CLEAR	O.F.O.S.	OUTSIDE FACE OF STUD
RDW	REDWOOD	O.D.	OVERFLOW DRAIN and/or
C.W.	COLD WATER	O.S.D.	OUTSIDE DIAMETER
COLUMN	COLUMN	O.F.C.I.	OWNER FURNISHED AND
CONC.	CONCRETE		CONTRACTOR INSTALLED
C.P.	CONCRETE PIPE	PART.	PARTITION
CONST.	CONSTRUCTION	P.A.F.	POWDER ACTUATED
C.H.	CONSTRUCTION HEART		FASTENER
C.J.	CONSTRUCTION JOINT	PL	PLASTER
CONT.	CONTINUOUS	PLAS.	PLASTER
CTR.	COUNTER	PW/PLYWD.	PLYWOOD
CTSK.	COUNTER SUNK	PR	PAIR
		P.L.	PROPERTY LINE
D.A.	DISABLED ACCESS	d	PENNY (NAILS)
DTL	DETAIL	P.V.C.	POLY VINYL CHLORIDE
DIA. or Ø	DIAMETER		
DIM.	DIMENSION	Q	
DW	DISHWASHER	R. or RAD.	RADIUS
DISP.	DISHWASHER	R.W.L.	RAIN WATER LEADER
DO	DOOR	RDW/R.W.	REDWOOD
DR.	DOWNSPOUT	R.C.P.	REINFORCED CONCRETE
DWG.	DRAWING	PIPE	PIPE
D.F.	DRINKING FOUNTAIN and/or DOUGLAS FIR	REINF.	REINFORCING
		RECD	REQUIRED
EA.	EACH	R.D.	ROOF DRAIN
E.W.	EACH WAY	RM.	ROOM
ELECT.	ELECTRIC or ELECTRICAL	R.O.	ROUGH OPENING
E.W.C.	ELECTRIC WATER COOLER	RND. or Ø	ROUND
EL. or ELEV.	ELEVATION	R.H.M.S.	ROUND HEAD METAL SCREW
ENCL.	ENCLOSE and/or ENCLOSURE	R.H.W.S.	ROUND HEAD WOOD SCREW
EQ.	EQUIPMENT	S.T.S.M.S.	SELF TAPPING SHEET METAL SCREW
(E)	EXISTING	SHEATH.	SHEATHING
EX.	EXPANSION	SHT.	SHEET
E.J.	EXPANSION JOINT	S.M.S.	SHEET METAL SCREW
EXP.	EXPOSED	S.O.V.	SHUT OFF VALVE
EXT.	EXTERIOR	SIM.	SIMILAR
F.O.C.	FACE OF CONCRETE	S.C.	SOLID CORE
F.O.M.	FACE OF MASONRY	SPEC.	SPECIFICATIONS
F.O.S.	FACE OF STUD	SQ. or Ø	SQUARE
FIN.	FINISH	S.S.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STD.	STANDARD
F.E.C.	FIRE EXTINGUISHER CABINET	STL.	STEEL
F.H.C.	FIRE HOSE CABINET	STRUCT.	STRUCTURAL
F.H.M.S.	FLAT HEAD METAL SCREW	TEL.	TELEPHONE
F.H.W.S.	FLAT HEAD WOOD SCREW	T.T.B.	TELEPHONE TERMINAL BOARD
FL. or FLR.	FLOOR	TERR.	TERRAZZO
F.D.	FLOOR DRAIN	T.&G.	TONGUE & GROOVE
FTG.	FOOTING	T.J.	TOELED JOINT
FND.	FOUNDATION	T.O.B.	TOP OF BEAM
		T.O.C.	TOP OF CURB or CONCRETE
GALV.	GALVANIZED	T.O.S.	TOP OF STEEL or SHEATHING
G.I.	GALVANIZED IRON	TYP.	TYPICAL
GA.	GAUGE	T.O.W.	TOP OF WALK
GL.	GLASS	TYP.	TYPICAL
GLU-LAM	GLUE-LAMINATED	U.O.N.	UNLESS OTHERWISE NOTED
GRD.	GRADE	V.T.R.	VENT THROUGH ROOF
GYP. BD.	GYPSSUM BOARD	VERT.	VERTICAL
HDW.	HARDWARE	V.G.	VERTICAL GRAIN
HT.	HEIGHT	V.C.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	V.C.P.	VITRIFIED CLAY PIPE
H.M.	HOLLOW METAL	V.W.C.	VINYL WALL COVERING
HORIZ.	HORIZONTAL	W.C.	WATER CLOSET
H.B.	HOSE BIBB	W.H.	WATER HEATER
HR.	HOUR	WP.	WATERPROOF
INSUL.	INSULATION	W.	WITH
INT.	INTERIOR	W/O	WITHOUT
INV.	INVERT	WID.	WOOD
JT	JOINT	W.W.M.	WELDED WIRE MESH

SYMBOLS	
REFER TO ARCHITECTURAL FLOOR PLAN SHEETS AND CONSULTANT DRAWINGS FOR ADDITIONAL SYMBOLS AND REFERENCE DESIGNATIONS	
DIMENSION REFERENCE	MATERIALS REFERENCE
FACE OF OBJECT CENTERLINE OF OBJECT	EARTH GRAVEL / ROCK CONCRETE CONCRETE BLOCK SAND, GROUT OR PLASTER STEEL WOOD, FINISH GRADE PLY-WOOD WOOD, CONTINUOUS MEMBER WOOD, BLOCKING
SECTION REFERENCE	
SECTION NUMBER SHEET WHERE APPEARS	

APPLICABLE CODES
2019 California Building Code 2019 California Residential Building Code 2019 California Mechanical Code 2019 California Plumbing Code 2019 California Electrical Code 2019 California Energy Code 2019 Calgreen

DEFERRED APPROVAL ITEMS

A RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS.

FIRE SPRINKLERS WILL BE SECURED ON A SEPARATE PERMIT.

A PHOTOVOLTAIC SYSTEM PERMIT WILL BE APPLIED FOR AS A DEFERRED APPROVAL SUBMITTAL.

PROJECT TEAM	
OWNER	SURVEYOR
SAMANTHA & JOSH KIM 1394 MUNRO STREET, CAMPBELL 95008 T: (408) 712-9677 mailto:kim@gmail.com	LEA & BRAZE ENGINEERING. GREGORY BRAZE P.E. 2495 INDUSTRIAL PARK WAY WEST HAYWARD, CA 9454 PH/FAX (510) 887-4086
STRUCTURAL ENGINEER	SOIL ENGINEER
	BEHROUZ EMAM, P. E. AMERICAN SOIL TESTING, INC. 408-559-6400

ENERGY COMPLIANCE

DRAWINGS INDEX	
ARCHITECTURAL	
A-1.0	PROJECT INFORMATION
SU-1	SURVEY
A-1.1	SITE PLAN-DRAINAGE PLAN
C.O.A.	CODE CONDITIONS REQUIREMENTS
A-1.1b	CULVERT SITE PLAN
A-1.2	SITE ROOF PLANS & STREETScape
A-1.3	FLOOR AREA DIAGRAM
A-1.4	FLOOR AREA DIAGRAM ADU
A-2.1	FIRST FLOOR PLAN
A-2.2	CLERESTORY PLAN
A-2.3	ROOF PLAN
A-2.4	FIRST FLOOR PLAN ADU
A-2.5	ROOF PLAN ADU
A-3.0	EXTERIOR ELEVATIONS
A-3.1	EXTERIOR ELEVATIONS
A-3.2	EXTERIOR ELEVATIONS ADU
A-4.0	BUILDING SECTIONS
A-4.1	BUILDING SECTIONS ADU
M-B	EXTERIOR MATERIALS BOARD
3D	3D VIEWS
L-01	LANDSCAPING PLAN
L-02	PLANTS CHOICES
PH	SITE PHOTOS
FD	FIRE DEPARTMENT SITE PLAN LAYOUT
EX-1	GRADING DRAINAGE PLAN

LOCATION MAP

SCOPE OF WORK

NEW ONE-STORY, 4,466 SQ.FT. HOUSE & 4 CAR GARAGE (WITH DETACHED 1,728 S.F. ADU FOR REFERENCE ONLY)

DEMOLITION OF EXISTING HOME AND DETACHED STORAGE SHED

REMOVAL OF FRUIT TREES AT NEW GARAGE AREA AND DRIVEWAY



PROJECT SUMMARY				
ASSESSORS PARCEL NUMBER:	403 - 14 - 052			
LOT SIZE:	Not Applicable Gross sq. ft. (Property to center line of street)			
	32,771	Net sq. ft.		
DEVELOPMENT DATA:	Square Feet		Percent of Site	
	Existing	Proposed	Existing	Proposed
Building coverage	2,862+ 485	4,466+1,728+ 116 + 285+36	10%	20%
Landscape coverage	22,177	16,879	67%	51%
Paving coverage	7,247	9,297	22%	28%
FLOOR AREA RATIO: Total bldg s.f. divided by net lot size	3,347	6,310	10%	19%
ADJACENT LAND USES:	Use			
North	RESIDENTIAL			
South	RESIDENTIAL			
East	RESIDENTIAL			
West	RESIDENTIAL			
PARKING:	* INDICATES HOUSE FLOOR AREA, ADU, SHED, BREEZEWAY AND HOUSE REAR PORCH FOR COVERAGE			
# Standard Spaces	# Compact Spaces	# Disabled Spaces	# TOTAL PARKING	
6			6	
RESTAURANT AND ASSEMBLY USES:	Seating Count			
RESIDENTIAL PROJECTS:	Main House	ADU		
	UNIT TYPE A	UNIT TYPE B	UNIT TYPE C	UNIT TYPE D
Living Area (square footage)	3533	1228		
Garage Area (square footage)	933	500		
Total Area (square footage)	4466	1728		
Number of Bedrooms	4	2		
Total Number of Units per Type	1	1		

SETBACKS

MAIN HOUSE:
 FRONT: 20'-6"
 REAR: 28'-1 1/2"
 SIDE (N): 27'-2"
 SIDE (S): 107'-2"

MAX HEIGHTS

MAIN HOUSE:
 +18'-3" H

ADU:
 +15'-4" H

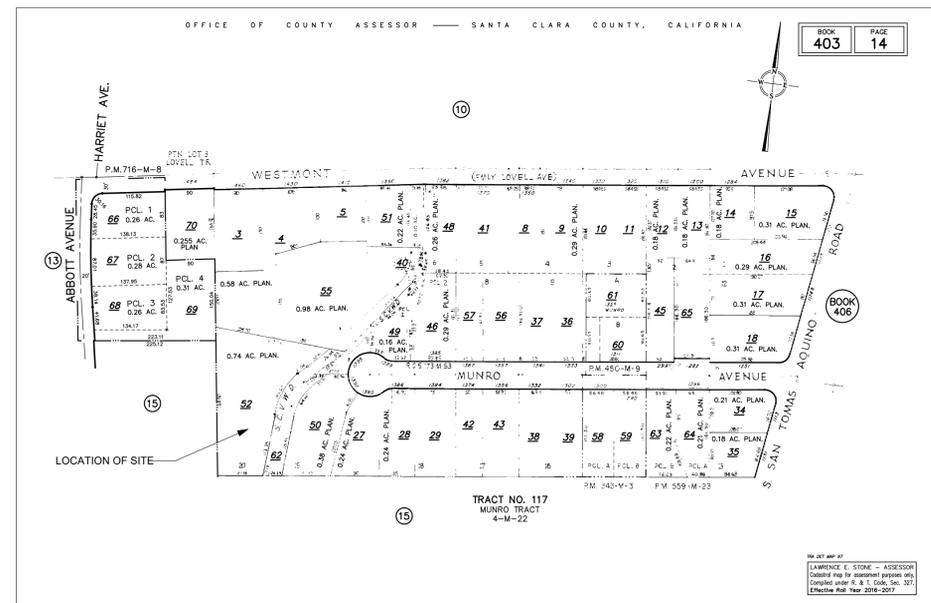
ADU:

FRONT: 20'
REAR: 25'
SIDE (N): 188'-1 1/2"
SIDE (S): 10'

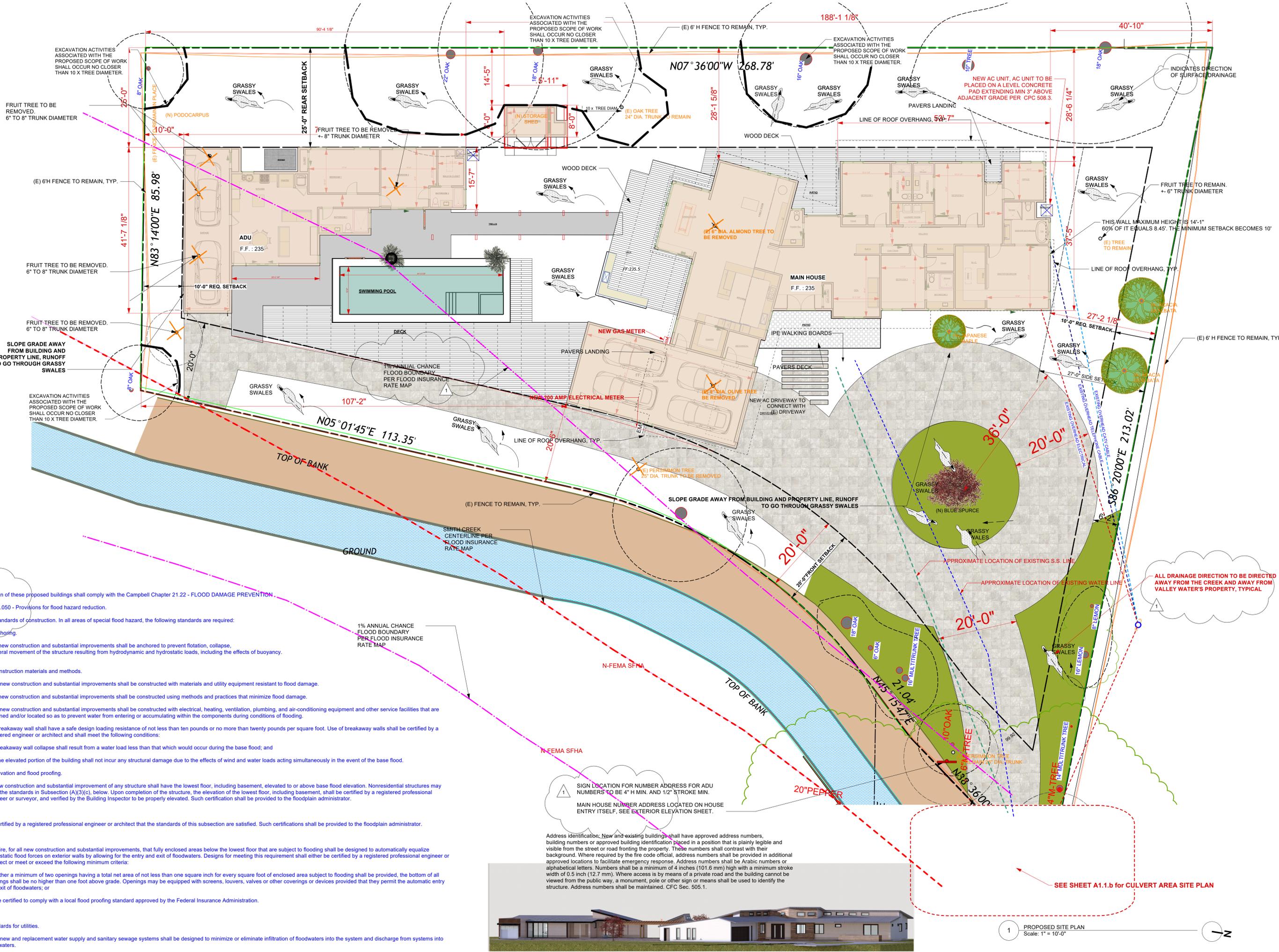
IMPERVIOUS COVERAGE

House 4,466 Sq.Ft. + ADU 1,728 Sq.Ft. + Shed 116 Sq.Ft. + Trellis 285 Sq.Ft. + Rear Porch 36 Sq.Ft. + Hardscape (pool included) 9,297 Sq.Ft. = 15,928 Sq.Ft.

15,928 / 32,771 * 100 = 48.6 %



Revision	Revision	Revision
Kim Residence		
1394 Munro Ave. Campbell 95008		
PROJECT INFO		
04/10/16		
Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG
Daive Giannella		
acadia architecture		
644 N. Santa Cruz Ave. Suite 6 Los Gatos, California 95030 T: 408-219-0601 dg@acadia-architecture.com		
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A 1.0		



Design of these proposed buildings shall comply with the Campbell Chapter 21.22 - FLOOD DAMAGE PREVENTION.

21.22.050 - Provisions for flood hazard reduction.

A. Standards of construction. In all areas of special flood hazard, the following standards are required:

1. Anchoring.

a. All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.

2. Construction materials and methods.

a. All new construction and substantial improvements shall be constructed with materials and utility equipment resistant to flood damage.

b. All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage.

c. All new construction and substantial improvements shall be constructed with electrical, heating, ventilation, plumbing, and air-conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

d. A breakaway wall shall have a safe design loading resistance of not less than ten pounds or no more than twenty pounds per square foot. Use of breakaway walls shall be certified by a registered engineer or architect and shall meet the following conditions:

(1) Breakaway wall collapse shall result from a water load less than that which would occur during the base flood; and

(2) The elevated portion of the building shall not incur any structural damage due to the effects of wind and water loads acting simultaneously in the event of the base flood.

3. Elevation and flood proofing.

a. New construction and substantial improvement of any structure shall have the lowest floor, including basement, elevated to or above base flood elevation. Nonresidential structures may meet the standards in Subsection (A)(3)(c), below. Upon completion of the structure, the elevation of the lowest floor, including basement, shall be certified by a registered professional engineer or surveyor, and verified by the Building Inspector to be properly elevated. Such certification shall be provided to the floodplain administrator.

(3)

Be certified by a registered professional engineer or architect that the standards of this subsection are satisfied. Such certifications shall be provided to the floodplain administrator.

c.

Require, for all new construction and substantial improvements, that fully enclosed areas below the lowest floor that are subject to flooding shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. Designs for meeting this requirement shall either be certified by a registered professional engineer or architect or meet or exceed the following minimum criteria:

(1) Either a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided, the bottom of all openings shall be no higher than one foot above grade. Openings may be equipped with screens, louvers, valves or other coverings or devices provided that they permit the automatic entry and exit of floodwaters; or

(2) Be certified to comply with a local flood proofing standard approved by the Federal Insurance Administration.

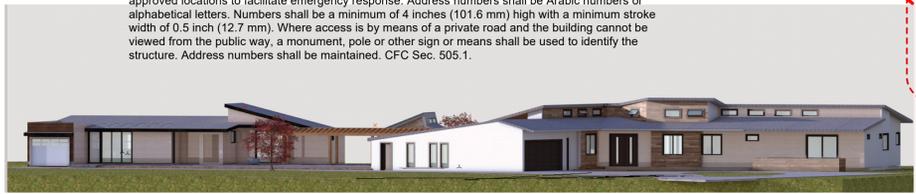
B.

Standards for utilities.

1. All new and replacement water supply and sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the system and discharge from systems into floodwaters.

1 SIGN LOCATION FOR NUMBER ADDRESS FOR ADU NUMBERS TO BE 4" H MIN. AND 1/2" STROKE MIN. MAIN HOUSE NUMBER ADDRESS LOCATED ON HOUSE ENTRY ITSELF, SEE EXTERIOR ELEVATION SHEET.

Address identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.



1 PROPOSED SITE PLAN Scale: 1" = 10'-0"



Revision	Revision	Revision
Kim Residence		
1394 Munro Ave, Campbell 95008		
SITE PLAN-DRAINAGE PLAN		
Sheet Scale : AS NOTED	Drawn By: DG	Reviewed By: DG
Davide Giannella		04/10/16
644 N. Santa Cruz Ave. Suite 6 Los Gatos, California 95030 T. 408-219-0601 dg@acadia-architecture.com		
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A 1.1		

STANDARD DETAILS & SPECIFICATIONS	Spec No. SI-7
	Rev. Date 04/20/09
	Eff. Date 12/17/02
	Approved By _____
	Page 1 of 9

SCOPE

This Standard is intended to prescribe minimum safeguards for new building construction, demolition or significant building alteration projects in order to provide a reasonable degree of safety to life and property from fire. This Standard is based on the provisions for fire safety during building construction or demolitions as set forth in the 2007 California Fire Code Chapter 14 and National Fire Protection Association Standard 241. This Standard shall not be construed to be in lieu of other applicable State or Federal laws and regulations related to construction site safety. The general contractor (or other designer of the building owner) shall be responsible for compliance with the provisions of this Standard. When the term "shall" is used in this Standard, it means a mandatory requirement.

REQUIREMENTS

I. Fire Protection Plan

A written Fire Protection Plan shall be developed for significant or complex construction projects at the discretion of the fire department. The plan shall be approved by the fire department prior to proceeding past foundation work for new buildings or commencement of demolition work in alteration projects. The written plan shall be consistent with the fire safety precautions as specified in this Standard. The general contractor is responsible for carrying out the provisions of the Fire Protection Plan and communicating it to all subcontractors. Additionally, the Fire Marshal shall be notified of any change affecting the utilization of information contained in the Fire Protection Plan. The Fire Protection Plan shall include the following:

- Procedures for reporting emergencies to the Fire department.
- Procedures for emergency notification, evacuation and/or relocation of all persons in the building under construction and on the site.
- Procedures for hot work operations, management of hazardous materials and removal of combustible debris and maintenance of emergency access roads.
- Floor plans identifying the locations of exits, exit stairs, exit routes and portable fire extinguishers.
- Site plans identifying the designated exterior assembly areas for each evacuation route.
- Site plans identifying required fire apparatus access roadways and on-site fire hydrants.

Organized as the Santa Clara County Central Fire Protection District
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

G. The name and contact phone number of the person(s) responsible for compliance with the Fire Protection Plan.

II. General Safety Requirements

A. **Fire Department Access Roadways:** All construction sites shall be accessible by fire department apparatus by means of roadways having an all-weather driving surface of not less than 20ft. of unobstructed width. The roads shall have the ability to withstand the live loads of fire apparatus, and have a minimum 13ft. 6 in. of vertical clearance. Dead end fire access roads in excess of 150 ft. in length shall be provided with approved turnaround.

When approved by the Chief, temporary access roadways may be utilized until such time that the permanent roadways are installed. As a minimum, the roadway shall consist of a compacted sub base and six (6) inches of road base material (Class 2 aggregate base rock) both compacted to a minimum 95%. The perimeter edges of the roadway shall be contained and delineated by curb and gutter or other approved method. The use of geotextile reinforcing fabric, underlayment or soils lime-treatment may be required if so determined by the project civil engineer. Provisions for surface drainage shall also be provided where necessary. The integrity of the roadway shall be maintained at all times.

Key boxes: Key boxes and/or approved padlocks shall be required when necessary for access through locked gates or structures.

B. **Fire hydrants:** Where underground water mains and hydrants are required for the building(s) under construction, they shall be installed, completed, and in service prior to combustible construction materials accumulating on site.

C. **Telephone service:** Provisions shall be provided at the construction site for emergency notification of the fire department via telephone. The street address of the construction site shall be posted adjacent to the telephone, along with the number for the public safety answering point.

D. **Premises identification:** The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved.

E. **Combustible debris:** Wood, cardboard, packing material, form lumber and similar combustible debris shall not be accumulated within buildings. Such debris, rubbish and waste material shall be removed from buildings on a daily basis.

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F. **Oily rags:** Oily rags and similar material shall be stored in metal or other approved containers equipped with tight-fitting covers.

G. **Temporary heating equipment:** Temporary heaters, such as those that are LPG fueled, shall be listed and shall be installed, used, and maintained in accordance with the manufacturer's instructions (See LPG storage and use requirements below). Heating devices shall be secured properly and kept clear from combustible materials. Refueling operations shall be conducted in an approved manner.

H. **Smoking:** Smoking is prohibited anywhere inside or on the roof of new buildings under construction or in the project work area of buildings undergoing alteration. A suitable number of "No Smoking" signs shall be posted to ensure that smoking is controlled.

I. **Vehicle parking:** All vehicles shall be parked a minimum of 20 feet from new buildings under construction.

Exceptions: 1. Vehicles that are temporarily parked for loading/unloading or other construction related operations. Such vehicles shall not be left unattended.

2. Private vehicles may be parked in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

J. **Combustible material storage:** Combustible construction materials shall be stored a minimum of 20 feet from buildings under construction or undergoing remodel.

Exceptions: 1. Materials that are staged for installation on a floor level.

2. When approved by the Fire Department, materials may be stored in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

III. Fire Protection Systems

A. **Fire Sprinkler Systems:** Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon as possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be

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installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

For buildings equipped with fire sprinkler systems that are undergoing alterations, the sprinkler system(s) shall remain in service at all times except when system modifications are necessary. Fire sprinkler systems undergoing modifications shall be returned to service at the end of each workday unless otherwise approved by the fire department. The General contractor or his/her designee shall check the sprinkler control valve(s) at the end of each workday to confirm that the system has been restored to service.

B. **Standpipes:** Where standpipes are required, the standpipes shall be installed when the progress of construction is not more than 35 ft. in height above the lowest level of the fire department access. Standpipes shall be provided with fire department hose connections and outlets at accessible locations adjacent to usable stairs. The standpipe system shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring. Each floor shall be provided a 2 1/2-inch valve outlet for fire department use. Where construction height requires installation of a Class III standpipe, fire pumps and water main connections shall be provided to serve the standpipe.

C. **Fire Extinguishers:** Portable fire extinguishers shall be provided and shall be mounted on a wall or post at each usable stairway and such that the travel distance to any extinguisher does not exceed 75 ft. Mounting height to the top of the extinguisher shall not exceed 5 feet. Extinguishers shall not have less than a 2A10BC rating or as otherwise directed by the fire department. The general contractor shall ensure that an adequate number of individuals are trained in the proper use of portable fire extinguishers. Fire extinguishers shall also be located in storage sheds and contractor trailers.

D. **Fire Alarm Systems:** Fire alarm systems shall be maintained operational at all times during building alterations. When an alteration requires modification to a portion of the fire alarm system, the portion of the system requiring work shall be isolated and the remainder of the system shall be kept in service whenever practical. When it is necessary to shut down an entire fire alarm system a fire watch or other mitigation approved by the fire department shall be implemented by the general contractor until the system is returned to full service.

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The project, including landscaping, needs to conform with the Guidelines and Standards for Land Use Near Streams (Guidelines and Standards) which was adopted by the City of Campbell.

1. Water Quality:

- Direct surface drainage away from streams and do not allow water to sheet flow over the stream bank.
- Encourage infiltration by minimizing paving materials and installing pervious materials such as porous pavement.
- Use vegetated buffer zones to reduce surface runoff into streams.
- Plant landscape materials that minimize the use of pesticides and fertilizers. Use organic soil amendments rather than chemical fertilizers.
- Do not drain pools or spas to the storm drain, gutter or creek. Chlorine and copper algacides are toxic to aquatic life. Drain to sanitary sewer or let chlorine dissipate for two weeks and drain to landscaping.
- Dispose of vegetation debris, lawn clippings and animal waste with your household trash. Although biodegradable, too much organic material degrades the riparian habitat.

2. Stream Banks and Streambeds:

- Preserve existing riparian vegetation.
- Keep structures out of the stream zone. Stairs and retaining walls can degrade creek banks and impact your neighbor's stream bank.
- Drain roof gutters to landscaped areas or to the street. Pipes draining into or overhanging the stream bank cause erosion.
- Don't dam or lake water from the stream.
- Monitor the stream bank condition. Replant barren or disturbed slopes as soon as possible or provide erosion blanket or straw to protect slope until permanent vegetation is established.
- Do not use tires or broken concrete for erosion repair or slope protection.
- Eroded stream banks should be repaired with "soft" methods, such as geotextiles or soil filled mats or for severely eroded areas boulders interspersed with willow wattles. Seek professional help with this work to ensure proper technique and that there are no impacts to your neighbors.
- If possible, coordinate with upstream or downstream property owners to design and implement streambed or streambank improvements for a reach of stream.

3. Riparian Vegetation:

- Plant riparian vegetation to provide shading of streams, where possible.
- When planting new vegetation in riparian areas:
 - Use native watershed-specific plants or non-local California natives. See plant lists in Chapter 4 - Design Guides.
 - Exclude invasive plants from your landscaping plan. Refer to the list of invasive plants in Chapter 4 - Design Guides
 - Do not place structures within the drip line of mature riparian trees, such as oak, sycamore, alder, etc.
 - New native plantings may need irrigation to help ensure establishment but should be weaned from irrigation for long term survival
 - Remove invasive plants from riparian corridors, especially those which spread rapidly and degrade riparian habitat, such as pampas grass (Cortaderia seloana) and Arundo donax.

4. Fisheries:

- Preserve in-stream and near-stream riparian vegetation whose canopies provide shade and nutrients for aquatic life.
- Avoid removing woody debris, which provides fish habitat in streams unless it poses a flooding or erosion threat.

- (a) the hot work site is clear of combustibles or that combustibles are protected;
- (b) exposed construction is of noncombustible materials or that combustible materials are protected;
- (c) openings are protected;
- (d) there are no exposed combustibles on the opposite side of partitions, walls, ceilings, floors, etc.
- (e) fire extinguishers are available, fully charged and operable; and
- (f) fire watch personnel are assigned, equipped and trained.

2. **Fire Watch:** The sole duty of fire watch personnel shall be to watch for the occurrence of fire during and after hot work operations. Individuals designated to fire watch duty shall have fire extinguishing equipment readily available and shall be trained in the use of such equipment. Personnel assigned to fire watch shall be responsible for extinguishing spot fires and communicating an alarm. Fire watch personnel shall be provided with at least one means for notification of the fire department. Hot work conducted in areas with vertical and horizontal fire exposures that cannot be observed by a single individual shall have additional personnel assigned to fire watches to ensure that all exposed areas are monitored.

3. **Post-inspection:** The fire watch shall be maintained a minimum of 30 minutes after the conclusion of the work to look out for leftover sparks, slag or smoldering combustibles.

B. **Asphalt and tar kettles:** Asphalt kettles shall not be located within 20 feet of any combustible material, combustible building surface or building opening. With the exception of thermostatically controlled kettles, an attendant shall be within 100 feet of a kettle when the heat source is operating. Ladders or similar obstacles shall not form a part of the route between the attendant and the kettle. Kettles shall be equipped with tight-fitting covers. A minimum 3A 40-B-C rated portable fire extinguisher shall be located within 30 feet of each asphalt kettle when the heat source is operating. Minimum 3A 40-B-C rated portable fire extinguishers also shall be located on roofs during asphalt coating operations.

C. **Motor Equipment:** Motorized equipment including internal-combustion-powered construction equipment shall be used in accordance with the following:

- Equipment shall be located so that exhausts do not discharge against combustible materials.
- When possible, exhausts should be piped to the outside of the building.

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- 3) Equipment shall not be refueled while in operation.
 - 4) Fuel for equipment shall be stored in an approved area outside of the building.
- (Ref: CFC Articles 87 & 13 – also 49, 79 and 11)

VII. Hazardous Materials

A. **Liquefied Petroleum Gas (LP-Gas) - Storage and use shall comply with the following:**

1. Propane containers may be used in buildings under construction or undergoing major renovation as a fuel source for temporary heating for curing concrete, drying plaster and similar applications in accordance with the following:

- Heating elements (other than integral heater-container units) shall be located at least 6 feet from any LP-Gas container.
- Integral heater-container units specifically designed for the attachment of the heater to the container, or to a supporting standard attached to the container, may be used provided they are designed and installed so as to prevent direct or radiant heat application to the LP-Gas container.
- Blower and radiant type units shall not be directed toward any LP-Gas container within 20 feet.
- Heat producing equipment shall be installed with clearance to the combustibles in accordance with the manufacturer's installation instructions.
- Cylinders shall comply with DOT cylinder specifications and shall be secured in an upright position.
- Regulators shall be approved for use with LP-Gas. Fittings shall be designed for at least 250 psig service pressure.
- Hose shall be designed for a working pressure of at least 350 psig (unless limited to 5 psig) and shall be a maximum of 6 feet in length.
- Portable heaters shall be equipped with an approved automatic device to shut off the flow of gas to the main burner and to the pilot in the event of flame extinguishment or combustion failure. Portable heaters with an input of more than 50,000 Btu/hr shall be equipped with either a pilot that must be proved before the main burner can be turned on or an approved electronic ignition system.

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- In addition to the above, for LPG storage/use in buildings undergoing alteration and that are fully or partially occupied, the following shall also apply:
 - Specific approval must be obtained from the fire department prior to bringing LP-Gas containers on-site.
 - The maximum water capacity of individual containers shall be 5-gallon water capacity and the number of containers in the building shall not exceed the number of workers assigned to using the LP-Gas.
 - Containers having a water capacity greater than 2 1/2 lb. [1 quart] shall not be left unattended.

B. Storage, Use and Dispensing of Flammable and Combustible Liquids

- Storage areas for flammable and combustible liquids shall be kept free of weeds and extraneous combustible material. Open flames and smoking are prohibited in flammable or combustible liquid storage areas.
- Tanks and containers shall be marked with the name of the product and FLAMMABLE-KEEP FIRE AND FLAME AWAY. Tanks (containers in excess of 60 gallons) shall also be labeled KEEP 50 FEET FROM BUILDINGS.
- Metal containers for Class I or II liquids shall be in accordance with DOT requirements or shall be of an approved design. Discharge devices shall not cause an internal pressure on the container. Individual containers shall not be interconnected and shall be kept closed when not in use.
- Secondary containment or a means of spill control, drainage control, and diking is required for large containers (such as 55 gallon drums) and tanks as approved by the fire department.
- Plans for the installation/use of any aboveground storage tank (containers greater than 60 gallons) shall be submitted to the fire department for review and permit prior to the proposed tank arriving at the site.

C. Compressed Gases

- Gas cylinders shall be marked with the name of the contents.
- Gas cylinders shall be stored upright and secured to prevent falling.
- When not in use, valve protective caps shall be in place.
- Gas cylinders shall be protected against physical damage.
- When stored, gas cylinders shall be separated from each other based on their hazard classes.
- Combustible materials shall be kept a minimum of 10 feet from gas containers.
- Gas cylinders shall not be placed near elevators, unprotected platform edges or other areas where they would drop more than 2 feet.

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- Gas cylinders shall not be placed in areas where they may be damaged by falling objects.
- Ropes, chains or slings shall not be used to suspend gas cylinders, unless the cylinder was manufactured with appropriate lifting attachments.

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Revision	Revision	Revision
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Kim Residence
1394 Munro Ave., Campbell 95008
Conditions Of Approval and Code Notes
04/10/16

Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG	6/15/2022
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Davide Giannella



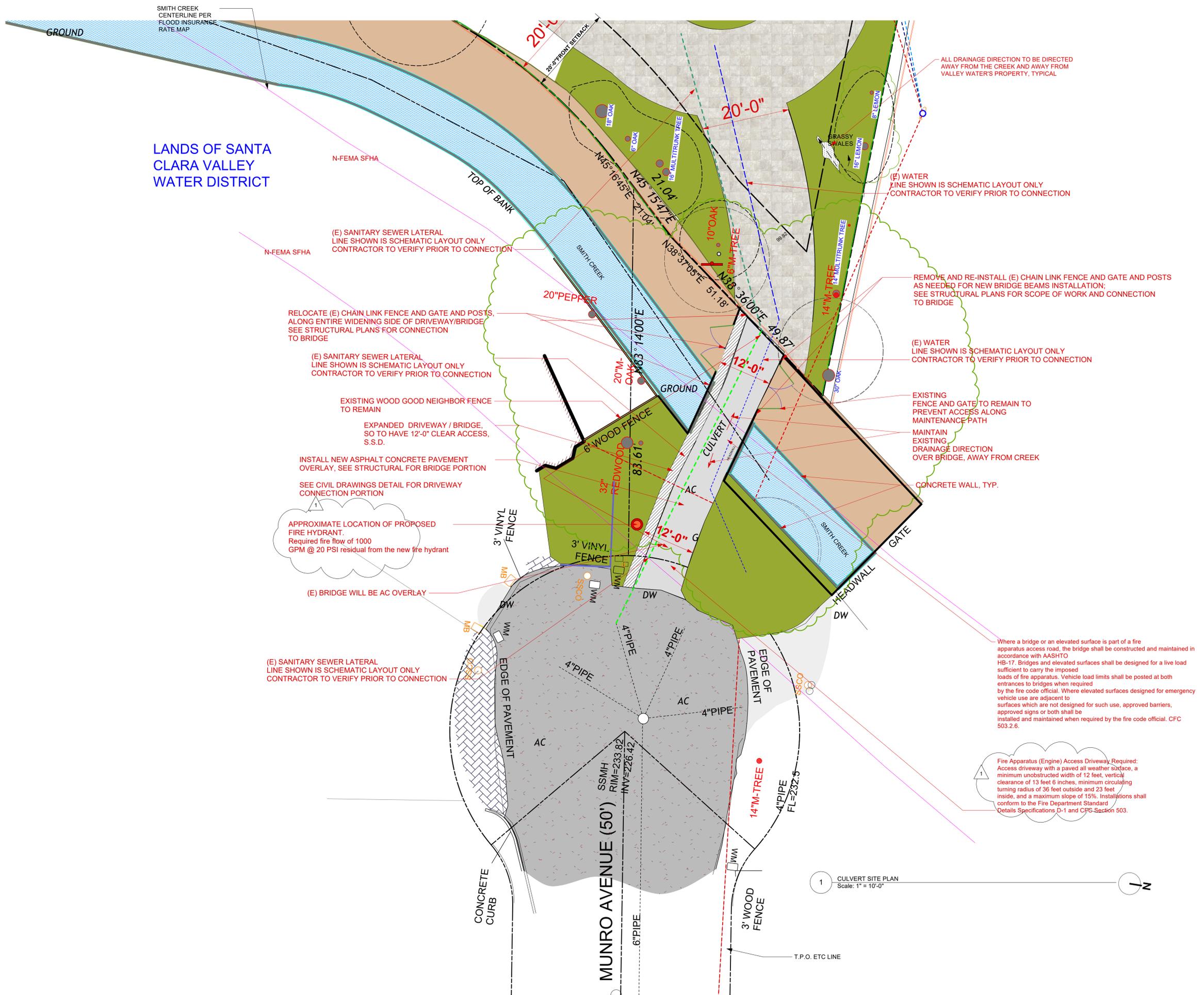
644 N. Santa Cruz Ave., Suite 6
Los Gatos, California 95030
T. 408-219-0601
dg@acadia-architecture.com

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C.O.A.



LANDS OF SANTA CLARA VALLEY WATER DISTRICT

ALL DRAINAGE DIRECTION TO BE DIRECTED AWAY FROM THE CREEK AND AWAY FROM VALLEY WATER'S PROPERTY, TYPICAL

(E) SANITARY SEWER LATERAL LINE SHOWN IS SCHEMATIC LAYOUT ONLY CONTRACTOR TO VERIFY PRIOR TO CONNECTION

(E) WATER LINE SHOWN IS SCHEMATIC LAYOUT ONLY CONTRACTOR TO VERIFY PRIOR TO CONNECTION

RELOCATE (E) CHAIN LINK FENCE AND GATE AND POSTS, ALONG ENTIRE WIDENING SIDE OF DRIVEWAY/BRIDGE. SEE STRUCTURAL PLANS FOR CONNECTION TO BRIDGE

REMOVE AND RE-INSTALL (E) CHAIN LINK FENCE AND GATE AND POSTS AS NEEDED FOR NEW BRIDGE BEAMS INSTALLATION; SEE STRUCTURAL PLANS FOR SCOPE OF WORK AND CONNECTION TO BRIDGE

(E) SANITARY SEWER LATERAL LINE SHOWN IS SCHEMATIC LAYOUT ONLY CONTRACTOR TO VERIFY PRIOR TO CONNECTION

(E) WATER LINE SHOWN IS SCHEMATIC LAYOUT ONLY CONTRACTOR TO VERIFY PRIOR TO CONNECTION

EXISTING WOOD GOOD NEIGHBOR FENCE TO REMAIN

EXISTING FENCE AND GATE TO REMAIN TO PREVENT ACCESS ALONG MAINTENANCE PATH

EXPANDED DRIVEWAY / BRIDGE, SO TO HAVE 12'-0" CLEAR ACCESS, S.S.D.

MAINTAIN EXISTING DRAINAGE DIRECTION OVER BRIDGE, AWAY FROM CREEK

INSTALL NEW ASPHALT CONCRETE PAVEMENT OVERLAY, SEE STRUCTURAL FOR BRIDGE PORTION

CONCRETE WALL, TYP.

SEE CIVIL DRAWINGS DETAIL FOR DRIVEWAY CONNECTION PORTION

APPROXIMATE LOCATION OF PROPOSED FIRE HYDRANT. Required fire flow of 1000 GPM @ 20 PSI residual from the new fire hydrant

(E) BRIDGE WILL BE AC OVERLAY

(E) SANITARY SEWER LATERAL LINE SHOWN IS SCHEMATIC LAYOUT ONLY CONTRACTOR TO VERIFY PRIOR TO CONNECTION

Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits shall be posted at both entrances to bridges when required by the fire code official. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained when required by the fire code official. CFC 503.2.6.

Fire Apparatus (Engine) Access Driveway Required: Access driveway with a paved all weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform to the Fire Department Standard Details Specifications D-1 and CFC-Section 503.

1 CULVERT SITE PLAN Scale: 1" = 10'-0"



Revision	Revision	Revision
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Kim Residence
1394 Munro Ave. Campbell 95008
04/10/16
CULVERT SITE PLAN

Sheet Scale : AS NOTED	Drawn By: DG	Reviewed By: DG	6/15/2022
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Davide Giannella



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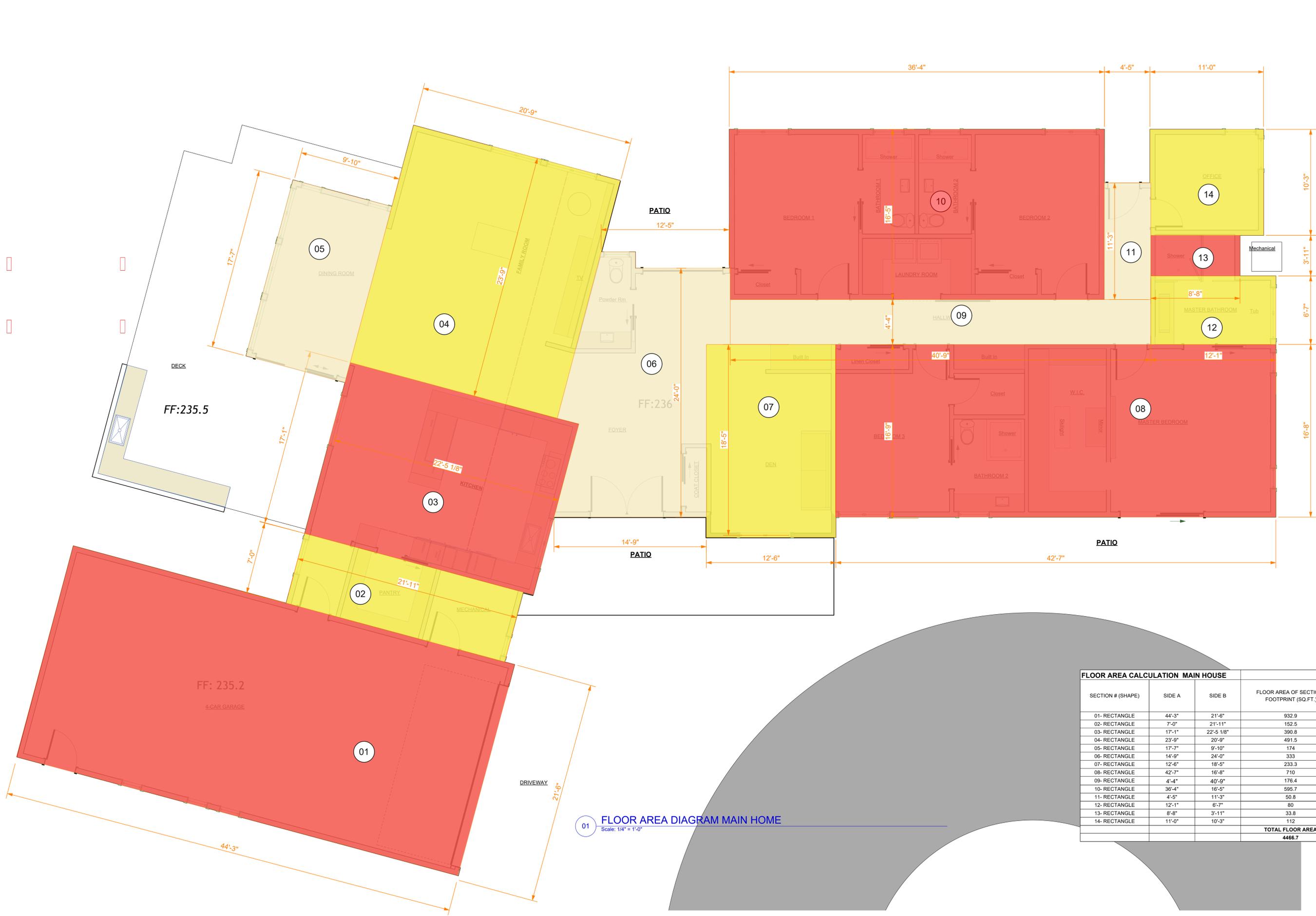
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Los Gatos, California 95030
T. 408-219-0601
dg@acadia-architecture.com

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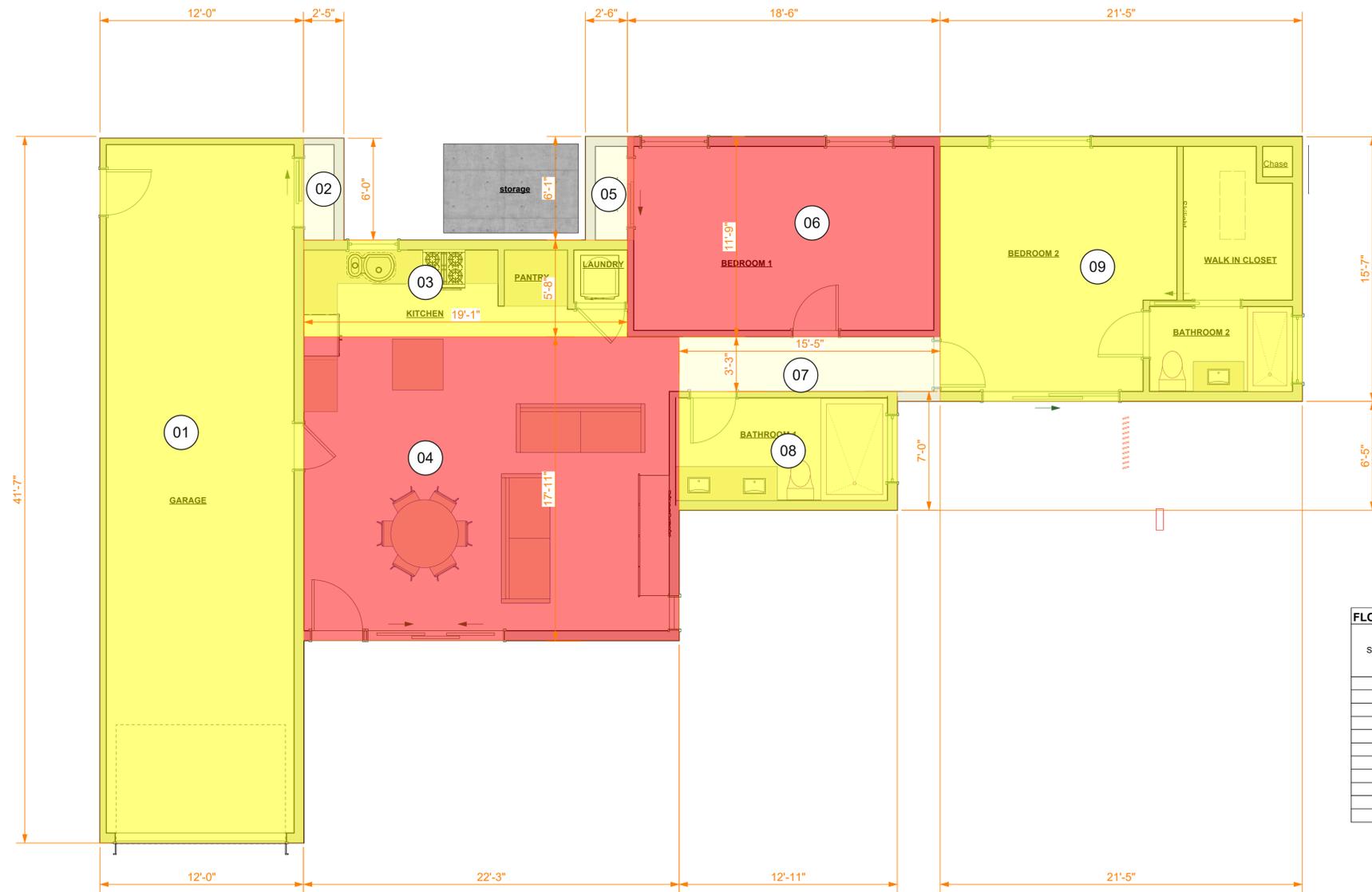
A 1.1b



01 FLOOR AREA DIAGRAM MAIN HOME
Scale: 1/4" = 1'-0"

FLOOR AREA CALCULATION MAIN HOUSE			
SECTION # (SHAPE)	SIDE A	SIDE B	FLOOR AREA OF SECTION FOOTPRINT (SQ.FT.)
01- RECTANGLE	44'-3"	21'-6"	932.9
02- RECTANGLE	7'-0"	21'-11"	152.5
03- RECTANGLE	17'-1"	22'-5 1/8"	390.8
04- RECTANGLE	23'-9"	20'-9"	491.5
05- RECTANGLE	17'-7"	9'-10"	174
06- RECTANGLE	14'-9"	24'-0"	333
07- RECTANGLE	12'-6"	18'-5"	233.3
08- RECTANGLE	42'-7"	16'-8"	710
09- RECTANGLE	4'-4"	40'-9"	176.4
10- RECTANGLE	36'-4"	16'-5"	595.7
11- RECTANGLE	4'-5"	11'-3"	50.8
12- RECTANGLE	12'-1"	6'-7"	80
13- RECTANGLE	8'-8"	3'-11"	33.8
14- RECTANGLE	11'-0"	10'-3"	112
TOTAL FLOOR AREA			4466.7

Revision	Revision	Revision	Revision	Revision	Revision
Kim Residence					
1394 Munro Ave. Campbell 95008					
FLOOR AREA DIAGRAM					
04/10/16					
Sheet Scale : AS NOTED					
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Reviewed By DG					
6/15/2022					
Daive Giannella					
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A-1.3					



FLOOR AREA CALCULATION ADU			
SECTION # (SHAPE)	SIDE A	SIDE B	FLOOR AREA OF SECTION FOOTPRINT (SQ.FT.)
01- RECTANGLE	12'-0"	41'-7"	499
02- RECTANGLE	2'-5"	6'-0"	14.2
03- RECTANGLE	19'-1"	5'-8"	108.6
04- RECTANGLE	22'-3"	17'-11"	396.5
05- RECTANGLE	2'-6"	6'-1"	17.4
06- RECTANGLE	18'-6"	11'-9"	218
07- RECTANGLE	15'-5"	3'-3"	51
08- RECTANGLE	12'-11"	7'-0"	90.2
09- RECTANGLE	21'-5"	15'-7"	333.3
TOTAL FLOOR AREA			1728.2

01 FLOOR AREA DIAGRAM DETACHED ADU
Scale: 1/4" = 1'-0"

Revision	
Revision	
Revision	

Kim Residence
1394 Munro Ave. Campbell 95008
04/10/16 FLOOR AREA DIAGRAM ADU

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6/15/2022

Daide Giannella



644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T. 408-219-0601
rij@acadia-architecture.com

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01 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

EGRESS NOTES:

- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING (R310.1)
- a) MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT (R310.1.2)
- b) MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH (R310.1.3)
- c) MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQUARE FEET IN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (R310.1.1)
- d) OPENINGS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" MEASURED FROM THE FLOOR (R310.1)

WATER HEATER NOTES:

WATER HEATERS REQUIRE TWO SEISMIC STRAPS; ONE LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER AND ONE AT THE BOTTOM 1/3. THE BOTTOM STRAP SHALL BE LOCATED AT LEAST 4" AWAY FROM THE HEATER CONTROLS. CPC 508.2

- GENERAL SHEET NOTES:**
1. REFER TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR EXTENT OF MECHANICAL, ELECTRICAL, AND STRUCTURAL WORK.
 2. ALL EXTERIOR STUD WALLS SHALL HAVE MIN. R-21 FOIL BACKED INSULATION.
 3. REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND STRUCTURAL MEMBER SIZES.
 4. PROVIDE FULLY TEMPERED GLAZING, LAMINATED SAFETY GLASS OR APPROVED PLASTIC IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
 5. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
 6. PROVIDE TEMPERED GLAZING AT HAZARDOUS LOCATIONS, SUCH AS IN DOORS.
 7. TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PROVIDE MIXING VALVE FOR ALL TUB/SHOWERS
 8. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE AT WATER HEATER.
 9. INSTALL WINDOWS PER MANUFACTURER'S RECOMMENDATIONS
 10. DIMENSIONS ARE TO FINISH OF WALLS U.O.N.
 11. MIN. JAMB AT DOORS TO BE 4"

- DIMENSIONS NOTES**
- 1-CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE ANY CONSTRUCTION
 - 2- CONTRACTOR TO STAKE PROPERTY LINES WITH SURVEYOR AND USE SETBACKS FOR ADDITION LAY-OUT

Revision		Revision		Revision #3	3/26/2015 Balcony Changes
Kim Residence					
1394 Munro Ave. Campbell 95008					
FIRST FLOOR PLAN					
041016					
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A 2.1					

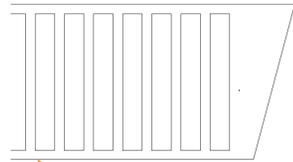
VAPOR BARRIER NOTE

PROVIDE CLASS 1 OR CLASS 2 VAPOR BARRIER INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR PROVIDE VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS PER CRC R806.2

SKYLIGHTS NOTE

PLUMBING VENTS TO BE A MINIMUM OF 10" AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2

SKYLIGHTS MIN. ENERGY PERFORMANCE: (U= 0.45, SHGC=0.4 MAX PER T24)



TRELLIS

500 SQ.FT. OF ROOF AREA FOR FUTURE PHOTOVOLTAIC PANELS. INSTALL CONDUIT EXTENDING FROM THE ROOFLINE AND TERMINATING AT THE ELECTRICAL PANEL. [PAMC 16.17]

ICC ESR REPORT: STANDING SEAM METAL ROOFING ESR-3422

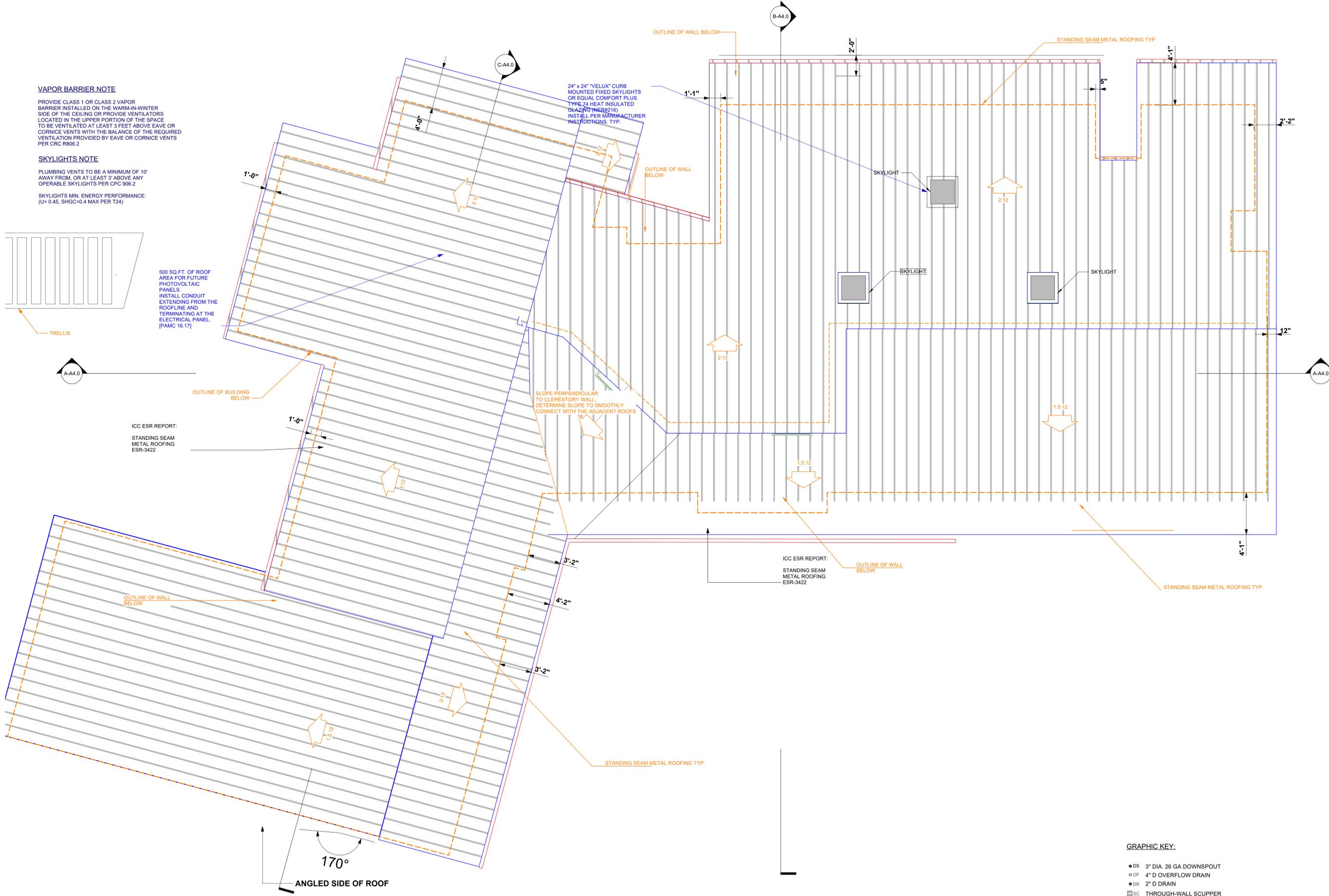
24" x 24" VELUX CURB MOUNTED FIXED SKYLIGHTS OR EQUAL COMFORT PLUS TYPE 74 HEAT INSULATED GLAZING (NER#216) INSTALL PER MANUFACTURER INSTRUCTIONS. TYP.

SLOPE PERPENDICULAR TO CLERESTORY WALL. DETERMINE SLOPE TO SMOOTHLY CONNECT WITH THE ADJACENT ROOFS

ICC ESR REPORT: STANDING SEAM METAL ROOFING ESR-3422

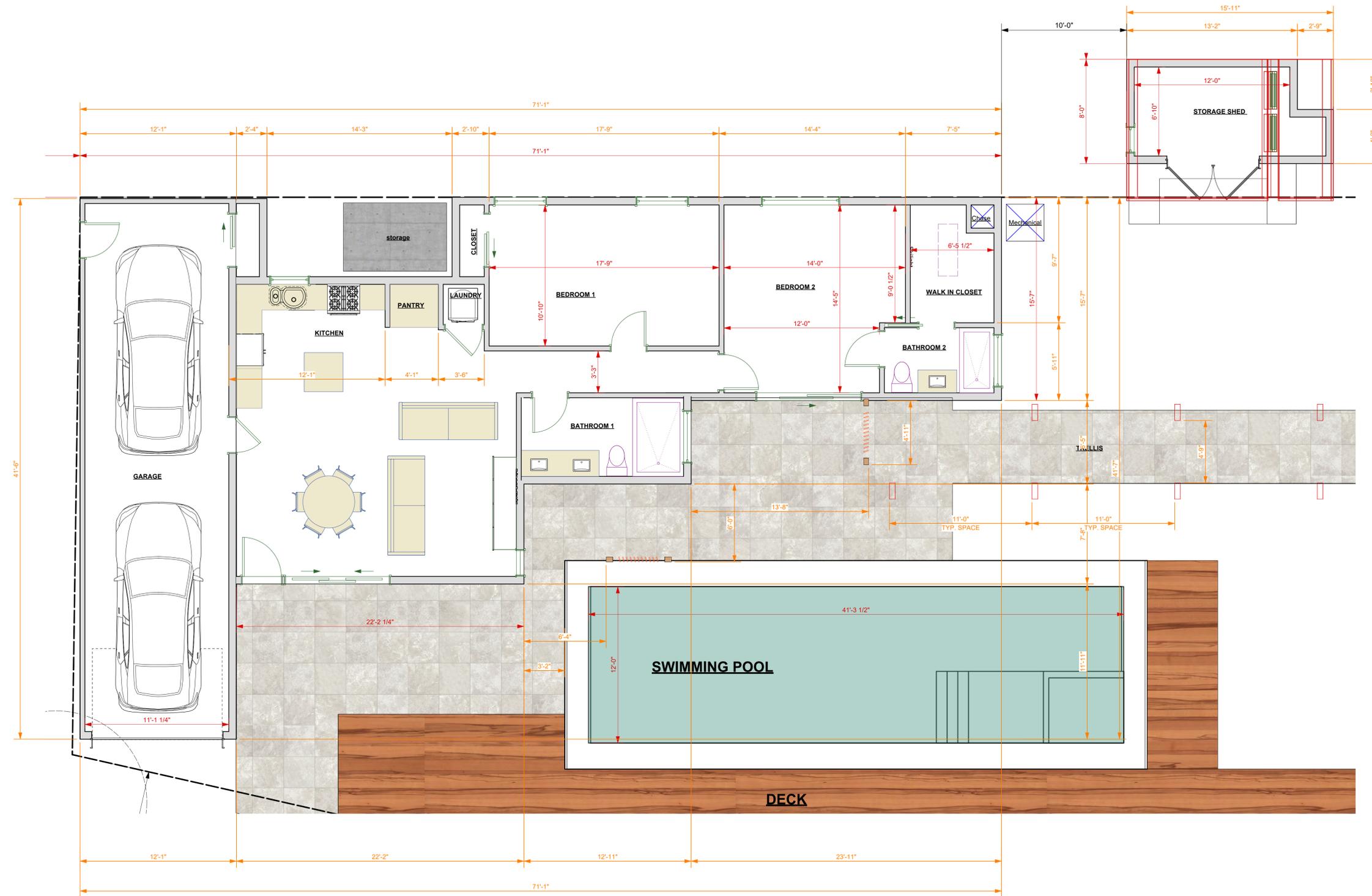
GRAPHIC KEY:

- DS 3" DIA. 26 GA DOWNSPOUT
- OF 4" D OVERFLOW DRAIN
- DR 2" D DRAIN
- SC THROUGH-WALL SCUPPER
- ▨ 5" .032 inch THICK ALUMINUM GUTTER WITH LEAF GUARDS
- ROOF VENTILATOR/ INTAKE VENT
- FLAT EYEBROW ROOF VENT
- ▨ STANDING SEAM METAL ROOFING ICC ESR REPORT:
- ▨ STANDING SEAM METAL ROOFING ESR-3422



01 ROOF PLAN MAIN HOME
Scale: 1/4" = 1'-0"

Revision	Revision	Revision	<p>Kim Residence 1394 Munro Ave. Campbell 95008</p> <p>ROOF PLAN</p>
Revision	Revision	Revision	<p>Sheet Scale : AS NOTED</p> <p>Drawn By DG</p> <p>Reviewed By DG</p> <p>6/15/2022</p>
<p>Daide Giannella</p> <p>acadia architecture</p>			<p>644 N. Santa Cruz Ave. Suite 6 Los Gatos, California 95030 T. 408-219-0601 dg@acadia-architecture.com</p> <p>ACADIA-ARCHITECTURE ALL RIGHTS RESERVED</p> <p><small>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL, UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE</small></p>
			<p>A 2.3</p>



1 FLOOR PLAN DETACHED ADU
Scale: 1/4" = 1'-0"

Revision	
Revision	
Revision #3	3/28/2015 Balcony Changes

Kim Residence
1394 Munro Ave. Campbell 95008
041016
FIRST FLOOR PLAN ADU

Sheet Scale : AS NOTED
Drawn By DG
Reviewed By DG
6/15/2022

Davide Giannella



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architecture

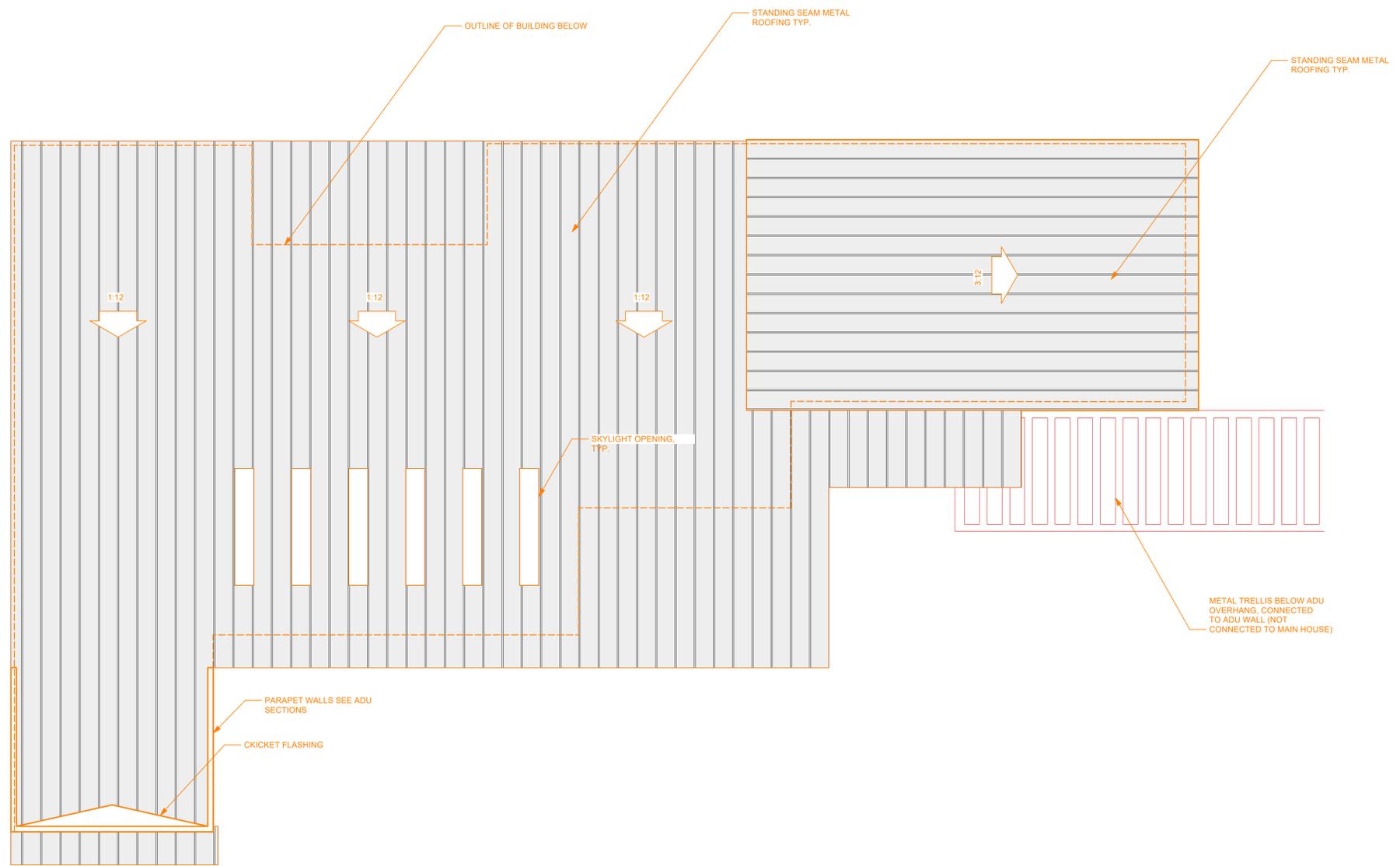
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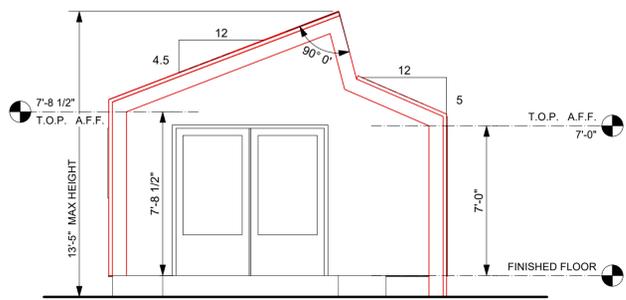


A 2.4

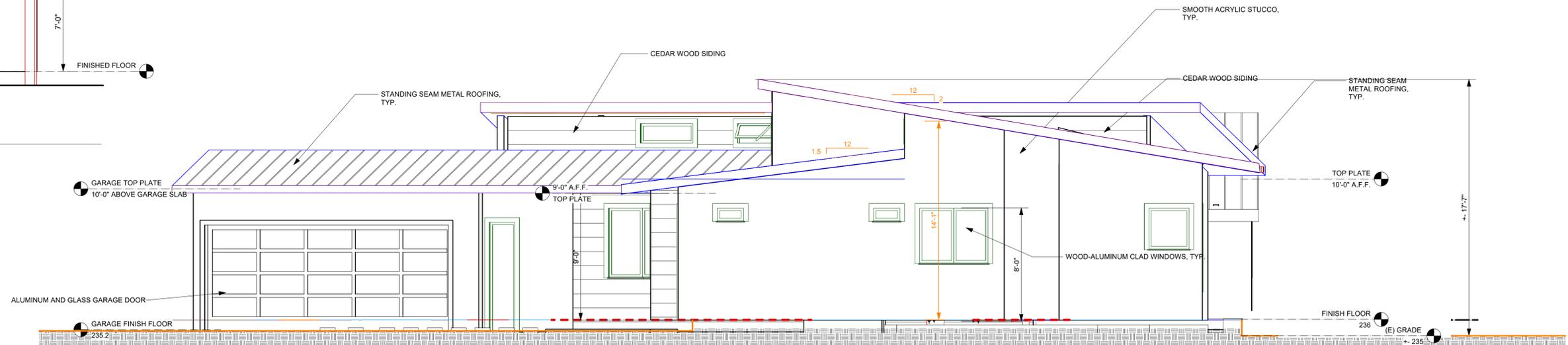


1 ROOF PLAN DETACHED ADU
Scale: 1/4" = 1'-0"

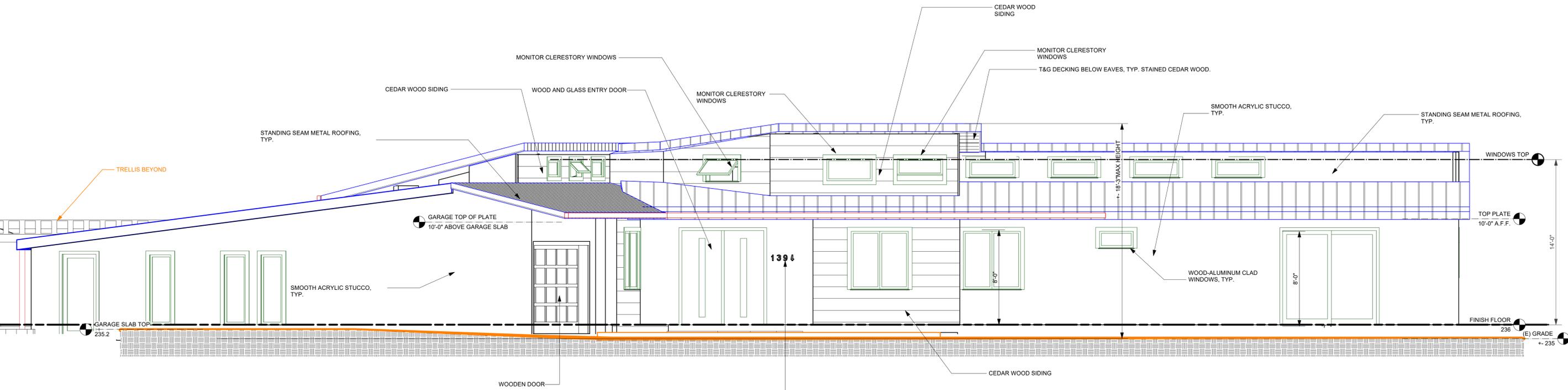
Revision	Revision	Revision #3 3/26/2015 Balcony Changes
<p>Kim Residence 1394 Munro Ave. Campbell 95008</p>		041016
Sheet Scale : AS NOTED	Drawn By : DG	Reviewed By : DG
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<p>A 2.5</p>		



2 SHED FRONT ELEVATION
Scale: 1/4" = 1'-0"



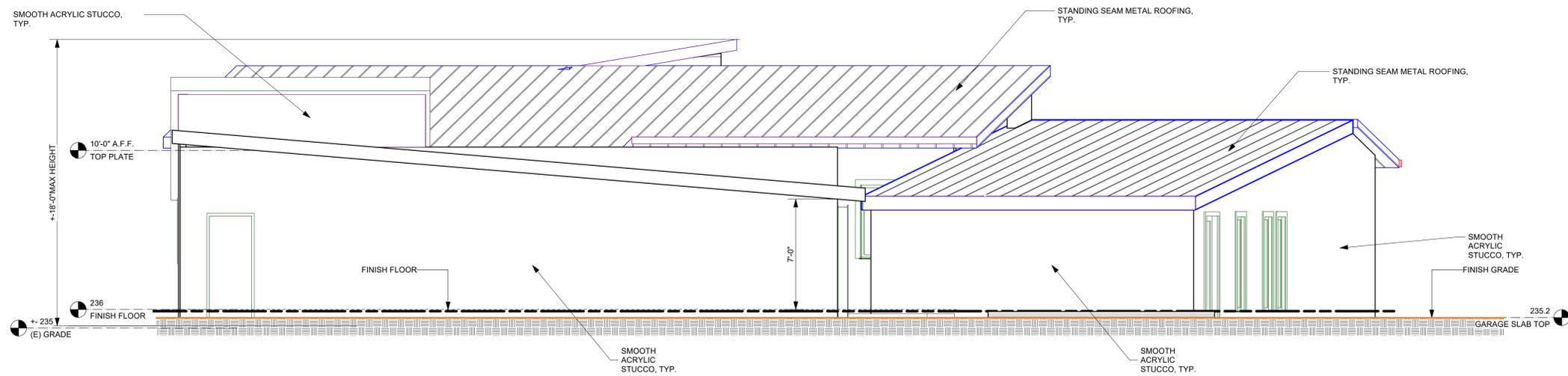
01 NORTH SIDE ELEVATION
Scale: 1/4" = 1'-0"



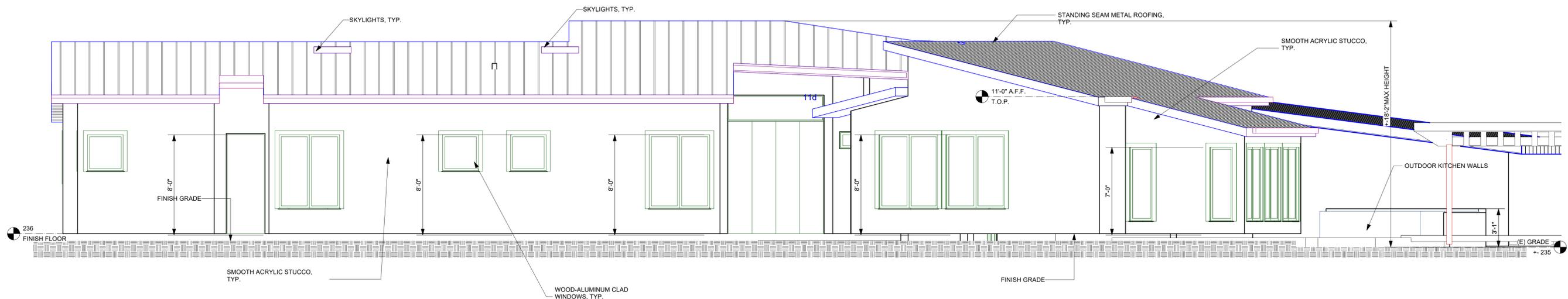
02 MAIN HOUSE - FRONT - EAST ELEVATION
Scale: 1/4" = 1'-0"

METAL ADDRESS NUMBERS:
MINIMUM 4" HIGH AND 1/2" THICK, TYP.

Revision	Revision	Revision
Kim Residence 1394 Munro Ave. Campbell 95008 04/10/16 EXTERIOR ELEVATIONS		
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A 3.0		



03 SOUTH SIDE ELEVATION
Scale: 1/4" = 1'-0"



04 WEST SIDE ELEVATION
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
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Kim Residence
1394 Munro Ave. Campbell 95008
04/10/16
EXTERIOR ELEVATIONS

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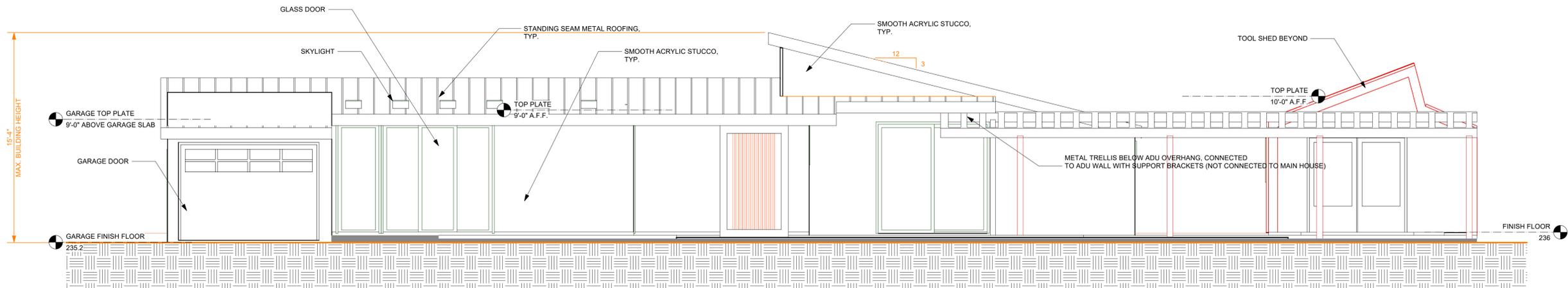
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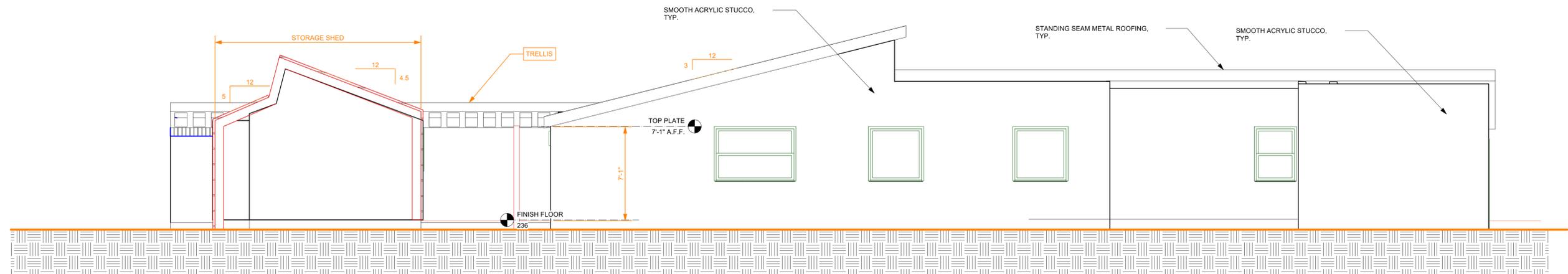
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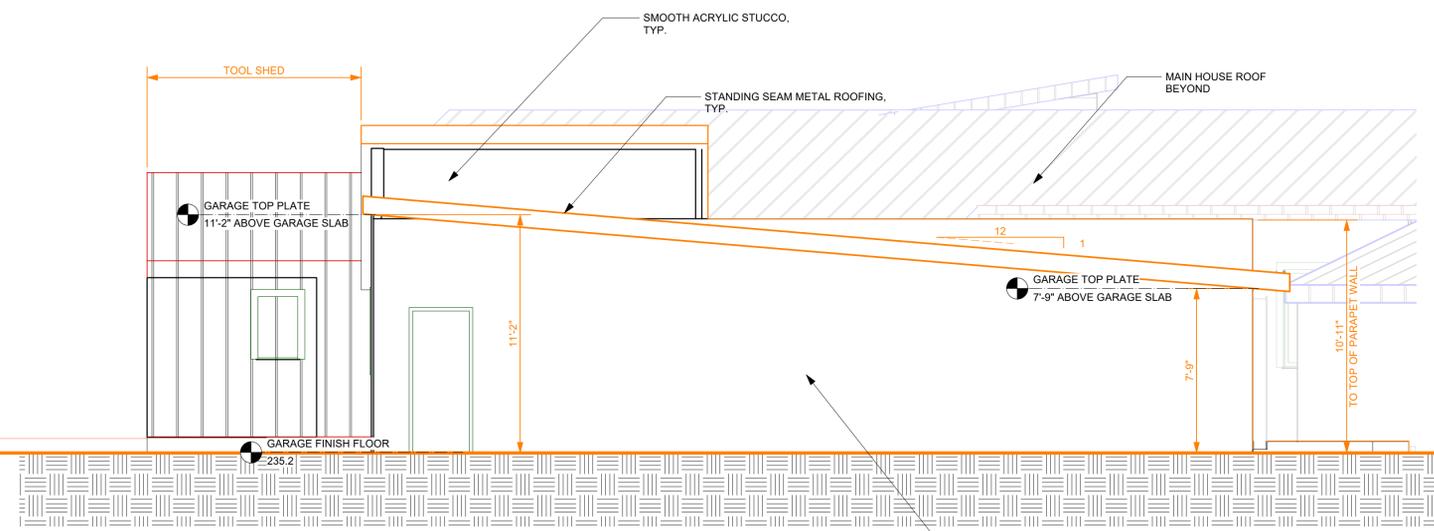
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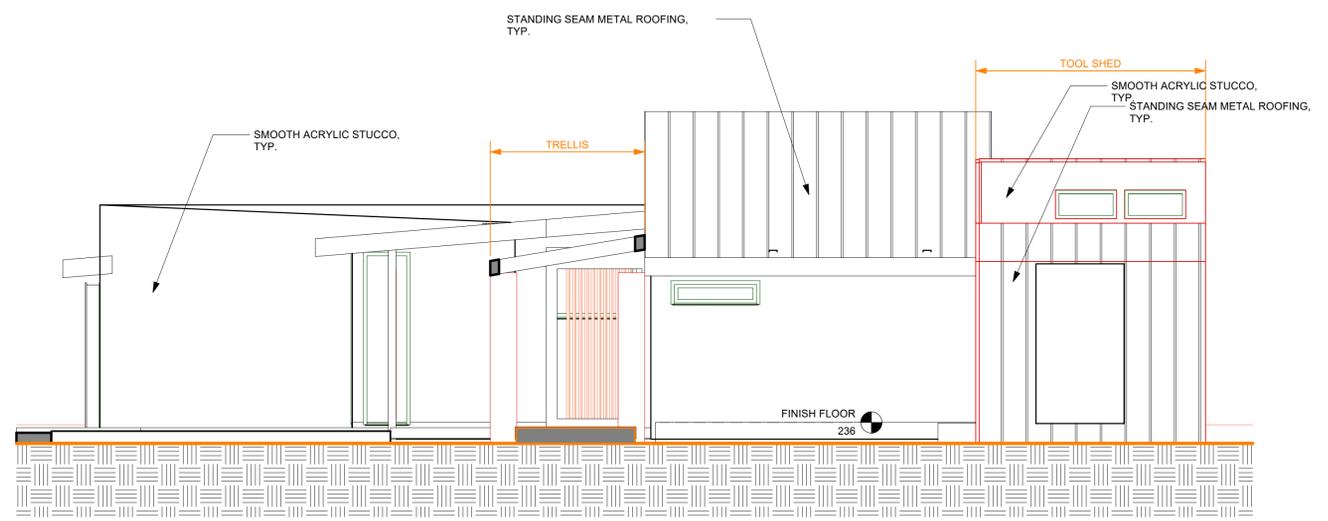
5 ADU FRONT ELEVATION
Scale: 1/4" = 1'-0"



6 ADU REAR ELEVATION
Scale: 1/4" = 1'-0"

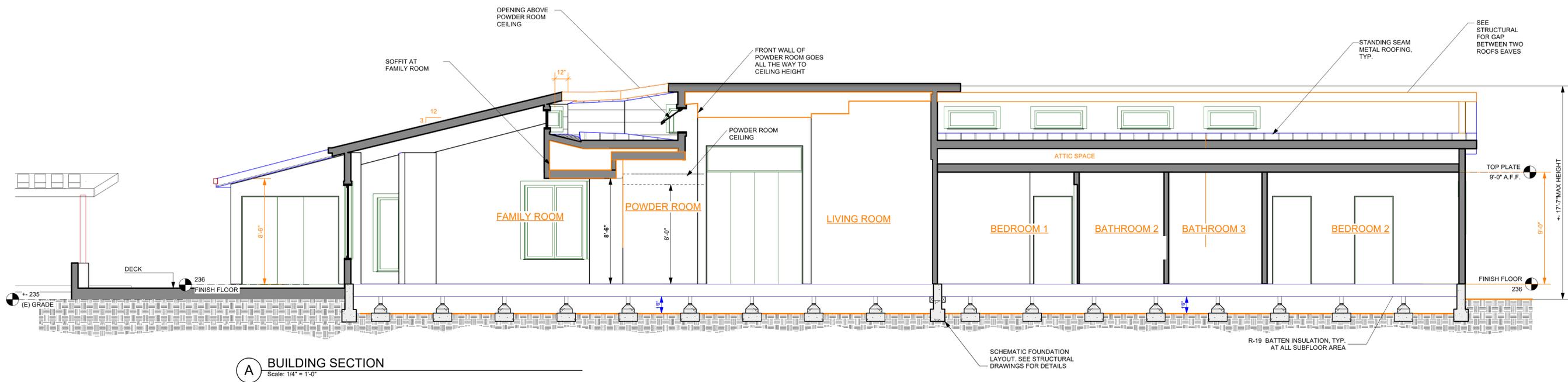


7 ADU SIDE ELEVATION
Scale: 1/4" = 1'-0"

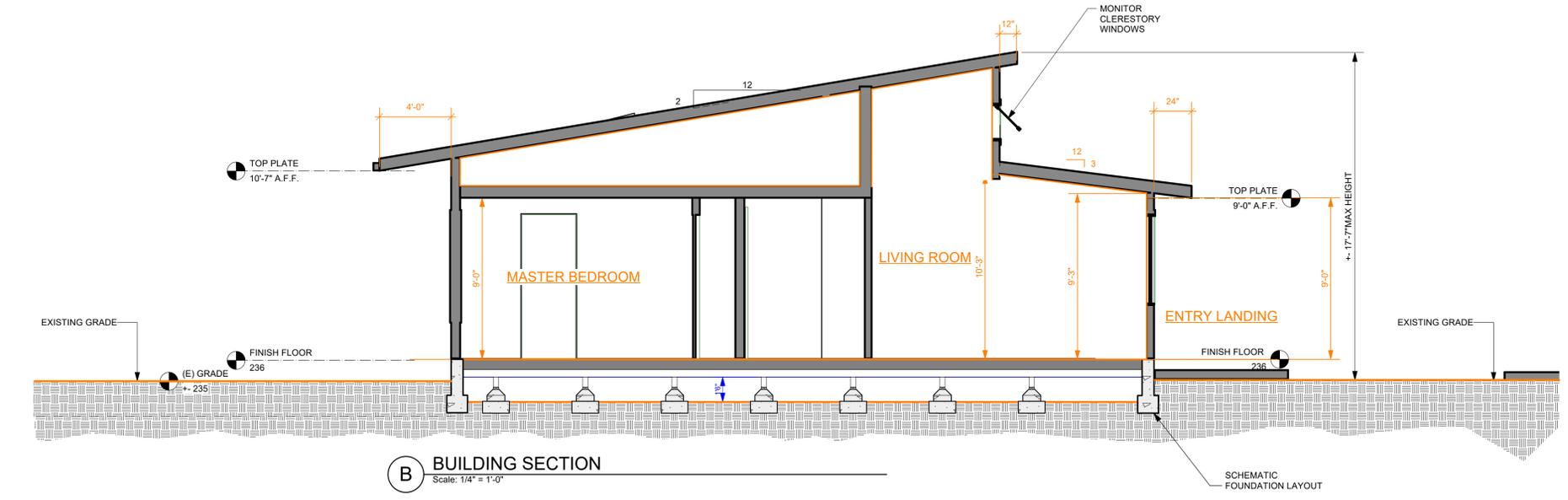


8 ADU SIDE ELEVATION
Scale: 1/4" = 1'-0"

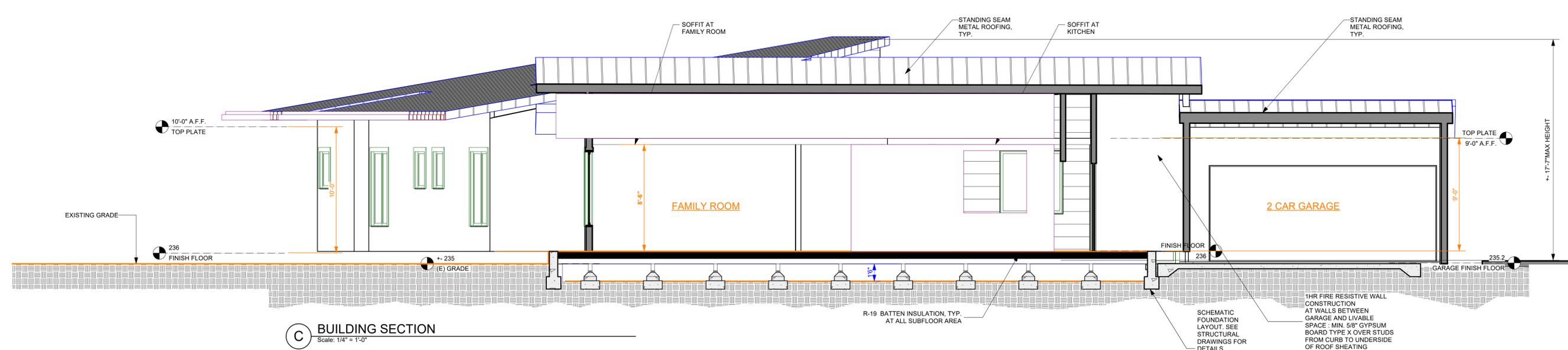
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Kim Residence 1394 Munro Ave. Campbell 95008 04/10/16 EXTERIOR ELEVATIONS		
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A 3.2		



A BUILDING SECTION
Scale: 1/4" = 1'-0"

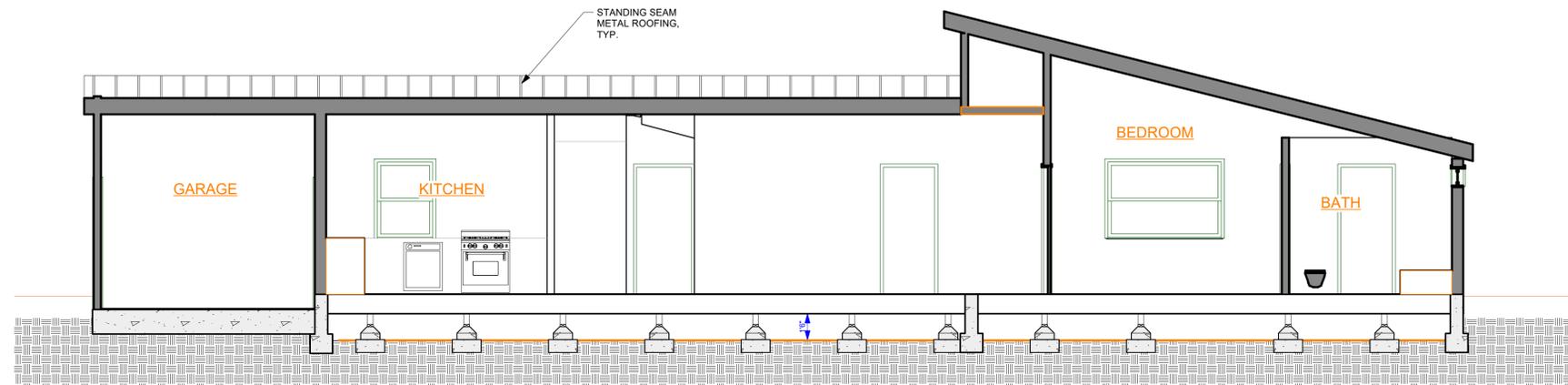


B BUILDING SECTION
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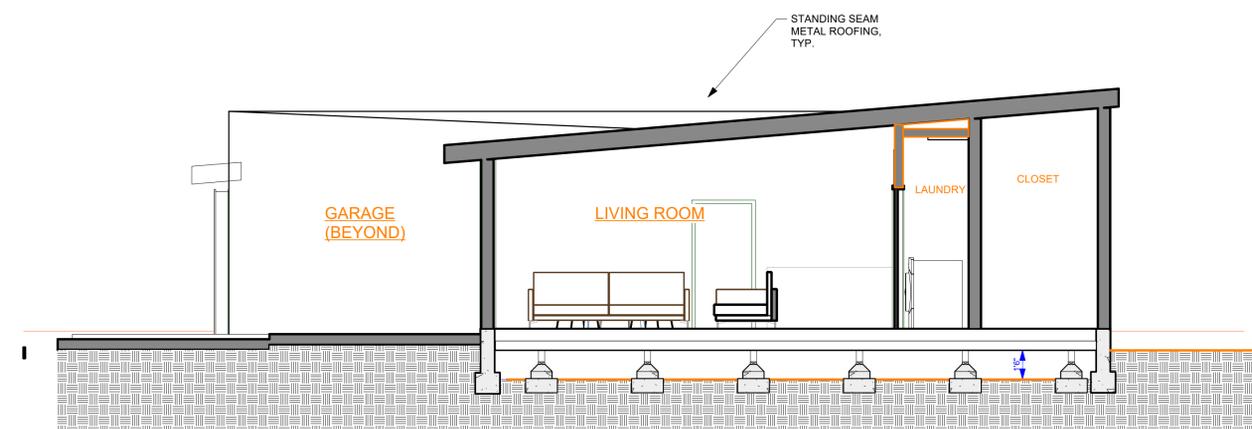


C BUILDING SECTION
Scale: 1/4" = 1'-0"

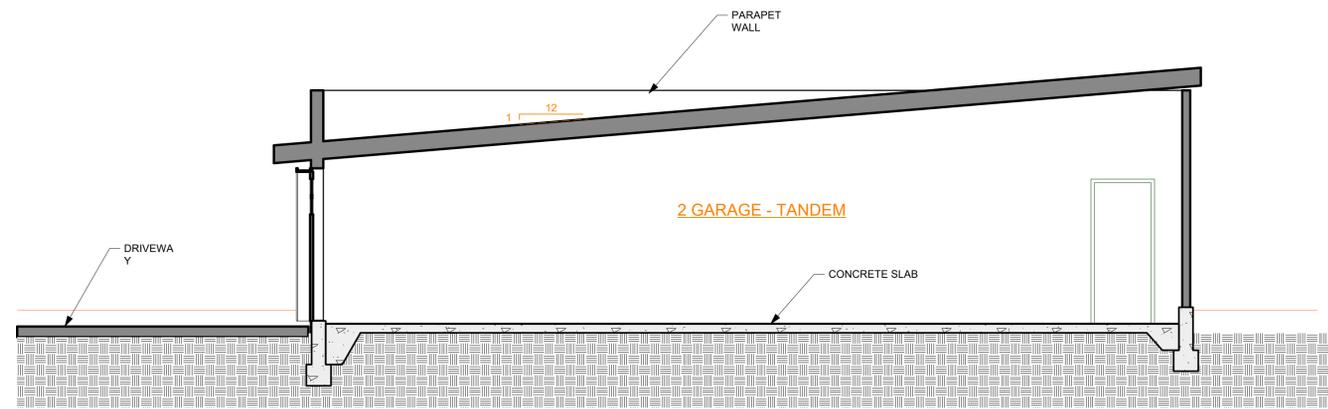
Revision	Revision	Revision
Kim Residence 1394 Munro Ave. Campbell 95008 BUILDING SECTIONS		
Sheet Scale: AS NOTED	Drawn By: DG	Reviewed By: DG
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A 4.0		



D BUILDING SECTION ADU
Scale: 1/4" = 1'-0"



E BUILDING SECTION ADU
Scale: 1/4" = 1'-0"



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A 4.1		

EXTERIOR DECKING

TREX
ENHANCE BASICS
ENHANCE SADDLE



WINDOWS

KOLBE VistaLuxe
(Extruded
Aluminum/Wood,
contemporary) DARK
BRONZE
USE ANTI-GLARE
GLASS
AT NOTH & WEST SIDE
OF BUILDING WITH
SUN COAT



WOOD SIDING

WESTERN CEDAR SIDING
SEMI-TRANSPARENT STAIN

SANSIN BUTTERNUT 24



Butternut

BOXED EAVES

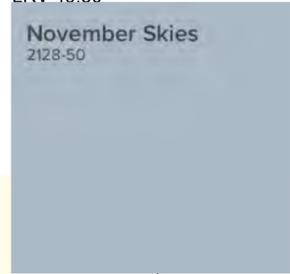
IPE 2X6 T&G
SOFFIT DECKING



METAL ROOFING

MBCI STANDING SEAM METAL
BENJAMINE MOORE
NOVEMBER SKIES
LRV 49.50

November Skies
2128-50



HARDSCAPE PAVERS

BELGARD COMMERCIAL
FLOW-THROUGH MODULINE
PAVERS



ENTRY DOOR

"ANDROMEDA" CBW Windows and
DOORS
METAL DOOR, RED



STUCCO

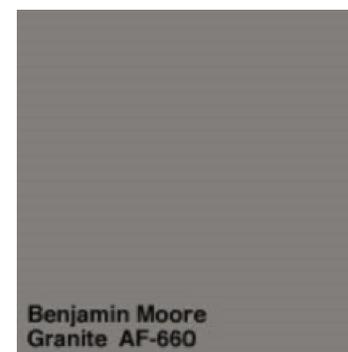
BENJAMIN MOORE
PURITAN GREY
HC-164
LRV 33.71



Puritan Gray
HC-164

ACCENT STUCCO

BENJAMIN MOORE
"GRANITE AF-660"
LRV 34.22



Benjamin Moore
Granite AF-660

FRONT DECKING

TREX
ENHANCE BASICS
BEACH DUNE



EXTERIOR PERSPECTIVE - MATERIAL BOARD

Revision	Revision	Revision
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Kim Residence
1394 Munro Ave. Campbell 95008
EXTERIOR ELEVATIONS
04/10/16

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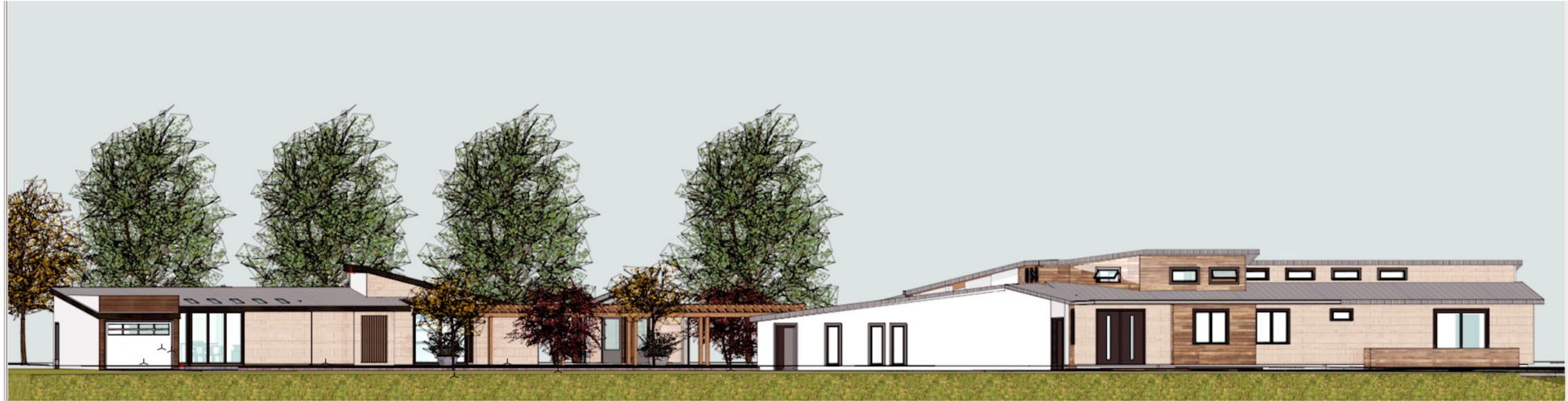
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MB



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Kim Residence
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 04/10/16
 EXTERIOR ELEVATIONS

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3D



KL Designs LLC
San Jose, CA 95118
kim@KLDesigns.biz

Landscape Plan

Kim Residence
1394 Munro Ave.
Campbell CA 95008

Date: 091321
Drawn By: KAL
Job No 1659
L- 01

Plant Material shall comply with the following:

For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

Mulch & Soil Preparation

- 1 Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of 6" into landscape area (unless contra-indicated by a soil test).
- 2 A minimum of 3" layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, direct seeding applications where mulch is contra-indicated.
- 3 no turf present on this installation.
- 2 Prior to planting, compacted materials shall be transformed to a friable condition.
- 3 For soils less than 6% organic matter in the top 6" of soil, add organic compost to planting areas equal to a rate of minimum 4 cubic yards per 1,000sf of permeable area to a minimum depth of 6" into the soil.
- 4 A soils report is required.

Tree Protection

The following general tree preservation measures apply to all trees to be retained: No storage of material, top soil, vehicles, or equipment shall be permitted within the tree enclosure area. The ground under and around the tree canopy area shall not be altered. Trees to retained shall be irrigated, aerated and maintained as necessary to ensure survival.

Landscape & Irrigation Maintenance

1. Maintenance may include but not limited to the following: routine inspection, auditing, pressure testing, adjustment, and repair of the irrigation system; top dressing with compost, replenishing mulch, fertilizing, pruning, replanting of failed plants, weeding, pest control.
2. Failed plants shall be replaced with the same functionally equivalent plants that may be size-adjusted as appropriate for the stage of growth of the overall installation. Failing plants shall either be replaced or be revived through appropriate adjustments to water, nutrients, pest control or other factors recommended by landscape professional.

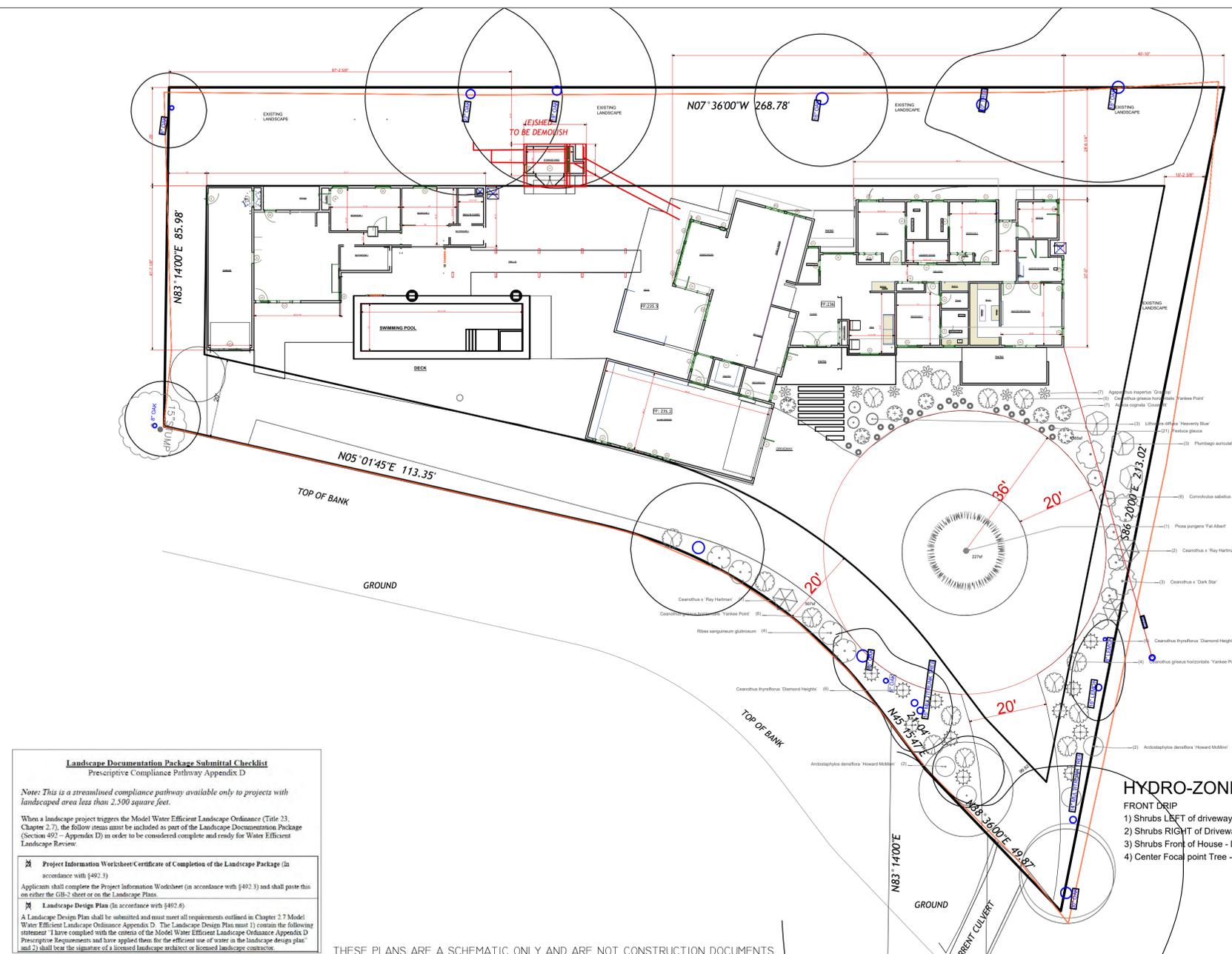
IRRIGATION

- 1 Irrigation Controller with rain sensing shut off device either integral or auxiliary required. Controller to be outside of building. Exact location of the controller and weather sensor to be determined by the contractor.
- 2 Valve Boxes: Exact location of valves to be determined by the contractor based on site conditions and underground utilities. Valves shall have Pressure Reducer and Filter appropriate for Drip. A manual Shut Off Valve shall be installed with Valve Nest.
- 3 Irrigation for each hydro-zone shall have a separate valve as indicated. Root Well Bubblers recommended for each new tree.
- 4 Manual Shut Off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
- 5 All irrigation emission devices must meet the requirements set in the ANSI standard, ASBABE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter Standard."
- 6 No sprinklers will be installed at this site.
- 7 For areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff. Only drip irrigation will be installed on this site.
- 8 Irrigation shall be designed, maintained and managed to meet or exceed an average landscape efficiency of 70%.
- 9 Irrigation run times shall be scheduled between 8pm and 10am. Operation outside time window is allowed for auditing and system maintenance.
- 10 A diagram or list of the hydro-zones shall be kept with the irrigation controller for subsequent management purposes.
11. (Palo Alto) Local **PAMC Ordinance 5395** projects with landscape areas of 1,000 sq. ft. or more, a private submitter to measure landscape water use shall be installed on this site. Location of submitter to be determined by licensed landscape contractor during installation. Location on plan is suggested.
12. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, irrigation schedule and a schedule of landscape and irrigation maintenance.
13. An irrigation audit report shall be completed at the time of final inspection.

Static Water Pressure = 70psi
Provider: San Jose Water Co.
Meter size 3/4"

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WUCOLS
	<i>Picea pungens</i> 'Fat Albert'	Fat Albert Colorado Spruce	15 gal.	1	LW-0.3
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	<i>Acacia cognata</i> 'Cousin Itt'	River Wattle	1 gal	7	LW-0.3
	<i>Agapanthus inapertus</i> 'Graskop'	Graskop Lily Of The Nile	1 gal	7	LW-0.3
	<i>Convolvulus sabatius</i>	Ground Morning Glory	1 gal	6	LW-0.3
	<i>Festuca glauca</i>	Blue Fescue	1 gal	21	LW-0.3
	<i>Lithodora diffusa</i> 'Heavenly Blue'	Blue Lithodora	1 gal	3	MW-0.5
	<i>Plumbago auriculata</i> 'Royal Cape' TM	Cape Plumbago	1 gal	3	LW-0.3
NATIVE SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	<i>Arctostaphylos densiflora</i> 'Howard McMinn'	Howard McMinn Manzanita	5 gal	4	LW-0.3
	<i>Ceanothus griseus horizontalis</i> 'Yankee Point'	California Lilac	1 gal	15	LW-0.3
	<i>Ceanothus thyrsiflorus</i> 'Diamond Heights'	Diamond Heights Ceanothus	1 gal	11	LW-0.3
	<i>Ceanothus</i> x 'Dark Star'	California Lilac	5 gal	3	LW-0.3
	<i>Ceanothus</i> x 'Ray Hartman'	California Lilac	5 gal	3	LW-0.3
	<i>Ribes sanguineum glutinosum</i>	Pink Winter Blooming Currant	1 gal	4	LW-0.3



HYDRO-ZONES
FRONT DRIP
1) Shrubs LEFT of driveway - LW 0.3
2) Shrubs RIGHT of Driveway - LW 0.3
3) Shrubs Front of House - LW 0.3
4) Center Focal point Tree - LW 0.3

Landscape Documentation Package Submittal Checklist
Prescriptive Compliance Pathway Appendix D

Note: This is a streamlined compliance pathway available only to projects with landscaped area less than 2,500 square feet.

When a landscape project triggers the Model Water Efficient Landscape Ordinance (Title 23, Chapter 2.7), the following items must be included as part of the Landscape Documentation Package (Section 402 - Appendix D) in order to be considered complete and ready for Water Efficient Landscape Review:

- Project Information Worksheet/Certificate of Completion of the Landscape Package (in accordance with 492.3)

Applicants shall complete the Project Information Worksheet (in accordance with 492.3) and shall paste this on either the GIB-2 sheet or on the Landscape Plans.

M Landscape Design Plan (in accordance with 492.6)

A Landscape Design Plan shall be submitted and must meet all requirements outlined in Chapter 2.7 Model Water Efficient Landscape Ordinance Appendix D. The Landscape Design Plan must 1) contain the following statement: "I have complied with the criteria of the Model Water Efficient Landscape Ordinance Appendix D Prescriptive Requirements and have applied them for the efficient use of water in the landscape design plan" and 2) shall bear the signature of a licensed landscape architect or licensed landscape contractor.

THESE PLANS ARE A SCHEMATIC ONLY AND ARE NOT CONSTRUCTION DOCUMENTS

LANDSCAPE WATER-EFFICIENCY (MWEL) APPENDIX - D CHECKLIST
(Can only be used when aggregate landscape areas are 2,500 square feet or less)

Landscape Parameter	Design Measures	Location on Plans
Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).	YES
Plant Water Use	Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Non-residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	YES
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.	YES
Turf	Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	No Turf
Irrigation System	Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor.	Yes
	Irrigation controller programming data will not be lost due to an interruption in the primary power source.	Yes
	Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.	Yes
	A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	n/a

CERTIFICATE OF COMPLETION OF THE LANDSCAPE DOCUMENTATION PACKAGE
(This certificate is filled out by the project applicant upon completion of the Landscape Documentation Package)

PART 1. PROJECT INFORMATION SHEET

Date: 9/24/2021

Project Name: Kim Residence 2021

Name of Project Applicant: Hong Thi Samanatha Kim

Telephone No.: 408-712-9677

Project Address and Location:

Street Address: 1394 Munro Avenue
City: Campbell
State: California Zip Code: 95008

Project Landscape Information:

Total Landscaped Area (square feet):

Water Supply Type: New Reestablished Public Private Cemetery Homeowner-Installed

Property Owner or his/her designee:

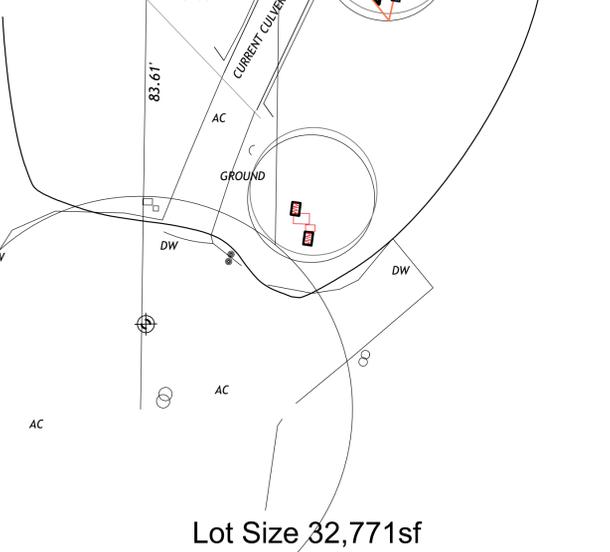
Name: Hong Thi Kim Telephone No.: 408-712-9677

Title: Mrs. Email Address: Malhoonkim@gmail.com

Street Address: 1394 Munro Avenue, Campbell
City: California Zip Code: 95008

Property Owner Signature: _____ Date: 9/25/2021

FOR OFFICIAL USE ONLY:
Please answer the questions below:
1. Date the Landscape Documentation Package was submitted to the local agency: _____
2. Date the Landscape Documentation Package was approved by the local agency: _____
3. Date that a copy of the Water Efficient Landscape Worksheet (including the Water Budget Calculation) was submitted to the local water purveyor: _____



Lot Size 32,771sf
Landscape area 22,968sf
New Landscape area 2,120sf

Signature
I agree to comply with the requirements of the prescriptive compliance option of the MWEL per Appendix D.
Signature of property owner or authorized representative: _____ Date: 9/25/21

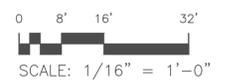


KL Designs LLC

San Jose, CA 95118
kim@KLDesigns.biz

Landscape Plan

Kim Residence
1394 Munro Ave.
Campbell CA 95008



Date: 091321

Drawn By: KAL

Job No 1659

L- 02



Ceanothus Ray Hartman shrub CA Native, 6-9' tall and 6-9' wide, blooms late winter, can grow near oaks.



Ceanothus Dark Star 4-8' tall 8-12' wide blooms late winter/early spring, can grow near oaks.



Ceanothus Concha Mountain Lilac 4'x4', CA Native, can grow around oaks, blooms late winter- early spring.



Plumbago auriculata Royal Cape Plumbago large plant 5' tall, 6-8' wide, Long bloom season spring through fall



Acacia cognata 'Cousin It' Little River Wattle, low growing spreading evergreen, 2-3' tall and 4-6' wide, sun or part shade, low water,



Agapanthus inapetus major 'Graskop' Graskop Lily of the Nile, 2-3' tall, 1-2' wide, Dark purple summer bloom



Ceanothus horizontalis California Lilac Yankee Point 2' high and 6-8' wide blooms late winter Feb- March, can grow near oaks



Ceanothus griseus var. horizontalis Diamond Heights Variegated Carmel Creeper about 2' tall and 6-8' wide, blooms spring Can grow near oaks



Convulvulus sabatius Ground Morning Glory 1' tall 3' wide, sun or shade, blooms most of the year



Festuca glauca Blue Fescue bunch grass, about 18x18' when mature



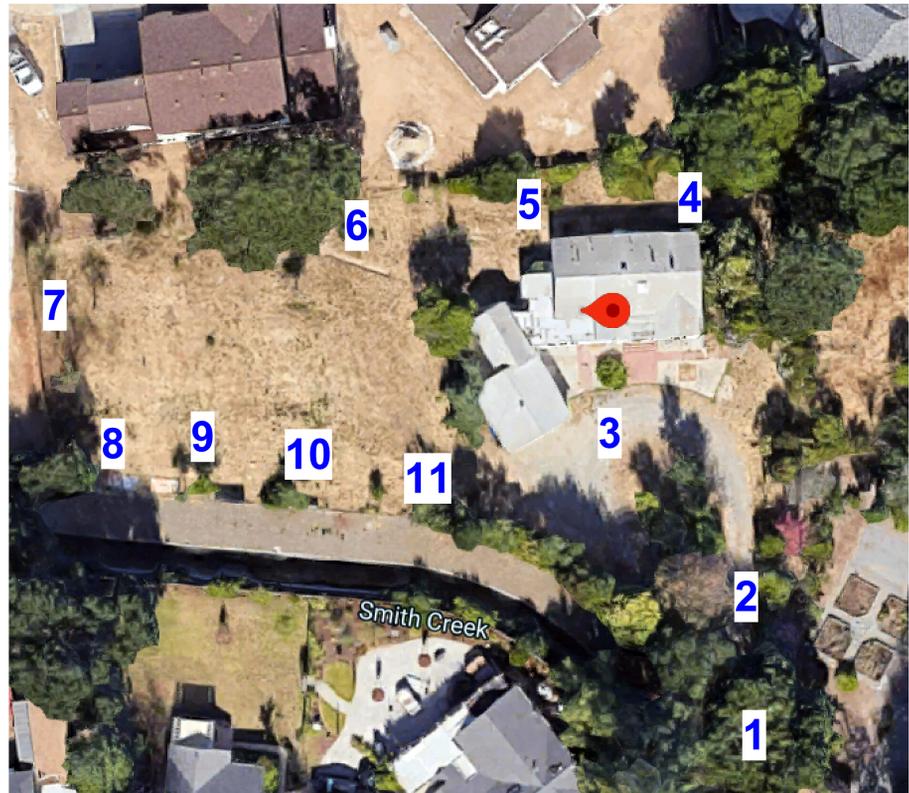
Manzanita Howard McMinn 5x5, CA Native, blooms late winter Feb and March, burgundy bark is showy when pruned up



Ribes sanguineum glutinosum Pink Winter Currant 5-10' x 5-10' CA Native, full sun to part shade, deep pink to reddish late winter bloom, berries green to blue black in maturity end of summer (best in jams, pies, wine), Peach fall color, bark reddish brown. Can grow near oaks.



Lithodora Heavenly Blue evergreen, low water once established, prefers sun to part sun, summer bloomer, attracts butterflies, 6" tall, 3' wide



Revision
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Kim Residence
1394 Munro Ave. Campbell 95008
04/10/16 SITE PHOTOS

Sheet Scale : AS NOTED
Drawn By: DG
Reviewed By: DG
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Davide Giannella



acadia
architecture

644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T. 408-219-0601
dg@acadia-architecture.com

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