

Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

December 22, 2022

The Community Development Director will be rendering a decision on the following project.

Project Address: 476 E. Campbell Avenue

Zoning | Area Plan: P-D | Winchester Blvd. Master Plan

Neighborhood Association(s): N/A

File No.: PLN-2022-148

APN: 412-09-065

Applicant: Evoco Architecture Interiors

Property Owner: Lavender Indigo LLC

Application Type: Administrative Planned Development Permit

Project Planner: Daniel Fama, Senior Planner

Email Contact: daniel@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

Exterior façade improvements to an existing commercial building. No change of use.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **December 22, 2022**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **January 3, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



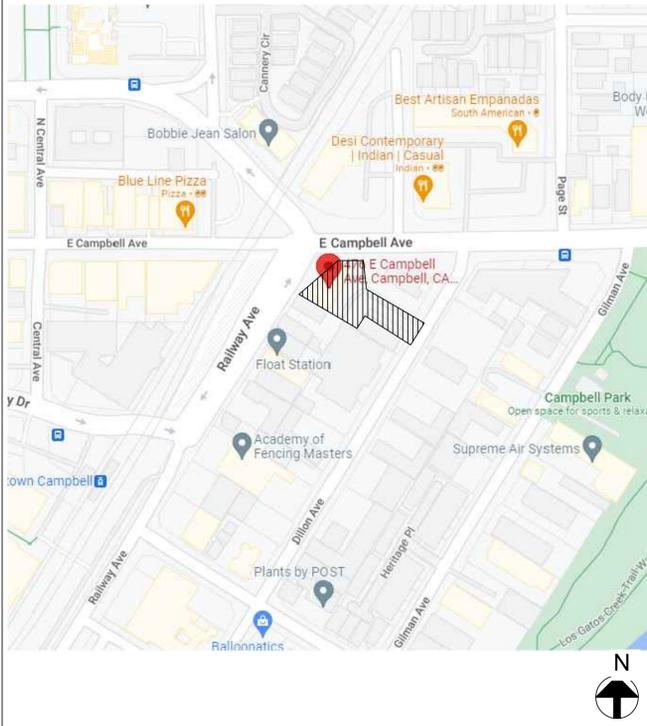
ERIK SWANSON DDS EXTERIOR IMPROVEMENTS 476 E CAMPBELL AVE, CAMPBELL, CA 95008

evoco

EVOCO ARCHITECTURE & INTERIORS
470 NOOR AVE, # 1098
SO. SAN FRANCISCO CA 94080
415.312.0454

OWNER:
ERIK SWANSON DDS
476 E CAMPBELL AVE,
CAMPBELL, CA 95008

LOCATION MAP



PROJECT DATA

JURISDICTION CITY OF CAMPBELL
LOCATION 476 E CAMPBELL AVE, CAMPBELL, CA 95008
APN 412-09-065
ZONING P-D, PLANNED DEVELOPMENT
LAND USE CC/ CENTRAL COMMERCIAL
BUILDING CODE 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA ENERGY CODE
OCCUPANCY PROPOSED GROUP B (NO CHANGE)
CONSTRUCTION TYPE TYPE B
FIRE SPRINKLER NO
EXISTING USE MEDICAL OFFICE (LOWER LEVEL)
 OFFICE (UPPER LEVEL)
BUILDING AREA
 BASEMENT FLOOR 552 SF
 FIRST FLOOR 2,937 SF
 SECOND FLOOR 1,665 SF
 TOTAL AREA 5,154 SF

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A-1.2	EXISTING FLOOR PLANS- 2 (FOR REFERENCE ONLY)
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A-5.4	EXISTING SITE PHOTOGRAPHS
A-6.0	DETAILS
PH-1	PERSPECTIVES

SCOPE OF WORK

EXTERIOR MODIFICATIONS TO THE FACADE TO IMPROVE BUILDING APPEARANCE, NEW PAINT ON STUCCO, NEW AWNINGS, NEW METAL RAILINGS ALONG WEST FACADE OF THE BUILDING AND NEW GATE
 NO CHANGE IS PROPOSED TO THE EXISTING LANDSCAPING.

REVISION

DATE/DESC.

PROJECT DIRECTORY

OWNER
ERIK SWANSON DDS
476 E CAMPBELL AVE,
CAMPBELL, CA 95008
PHONE:

ARCHITECT
EVOCO ARCHITECTURE | INTERIORS
490 NOOR AVE, # 1098
SO SAN FRANCISCO, CA 94080
CONTACT: DEEPAK PATANKAR
PHONE: 415-312-0454

APPLICABLE CODES

CALIFORNIA CODE OF REGULATIONS TITLE 24, CBC 2019, CMC 2019, CPC 2019, CEC 2019, CALIFORNIA ENERGY CODE 2019, CFC 2019, CGBC 2019 AND ANY LOCAL GOVERNING CODES AND ORDINANCES.

APPROVAL STAMP

EXTERIOR IMPROVEMENTS

476 E CAMPBELL AVE
CAMPBELL, CA 95008

SEAL:



TITLE:

TITLE SHEET

DATE:

NOVEMBER 7, 2022

SCALE:

AS NOTED

JOB #:

22127

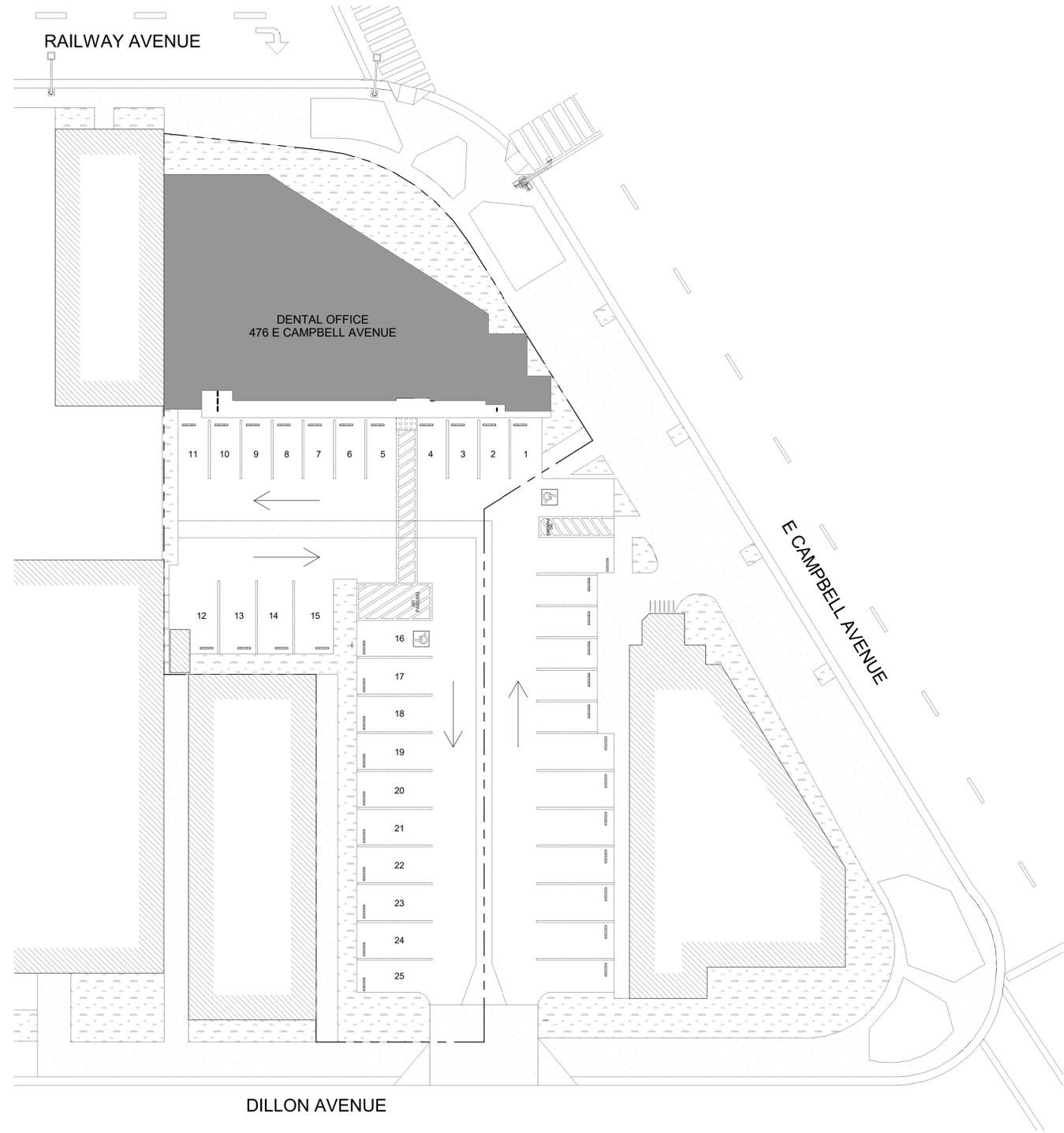
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EXTERIOR IMPROVEMENTS

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SEAL:



TITLE:

PROPOSED SITE PLAN

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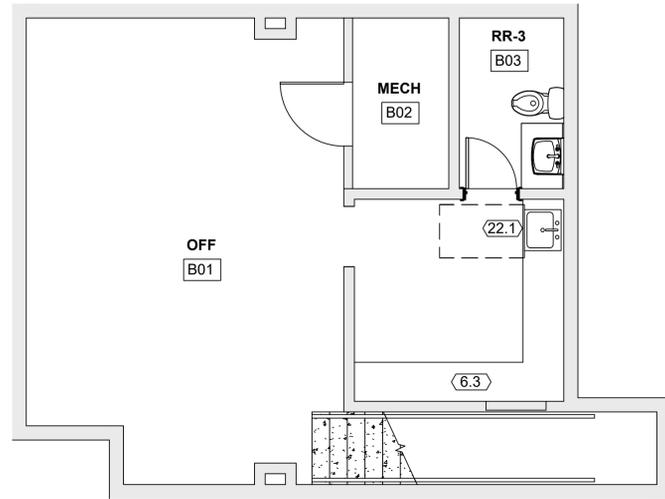


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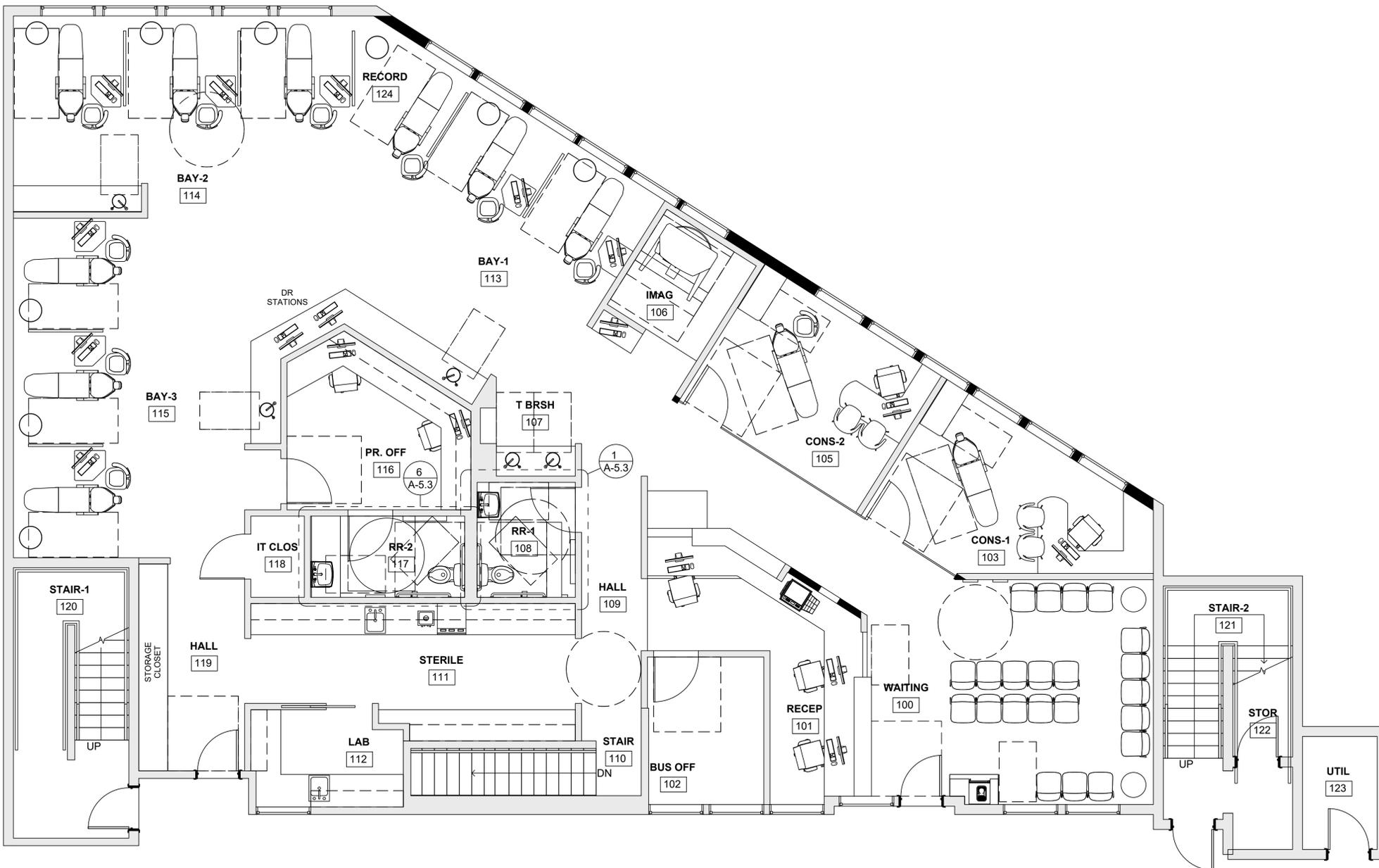
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2 BASEMENT FLOOR CONSTRUCTION PLAN

1/4"-1'-0"



1 FIRST FLOOR CONSTRUCTION FLOOR PLAN

1/4"-1'-0"

EXTERIOR IMPROVEMENTS

476 E CAMPBELL AVE
CAMPBELL, CA 95008

SEAL:



TITLE:
EXISTING PLANS- 1
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SEAL:



TITLE:
EXISTING PLANS- 2
(FOR REFERENCE ONLY)

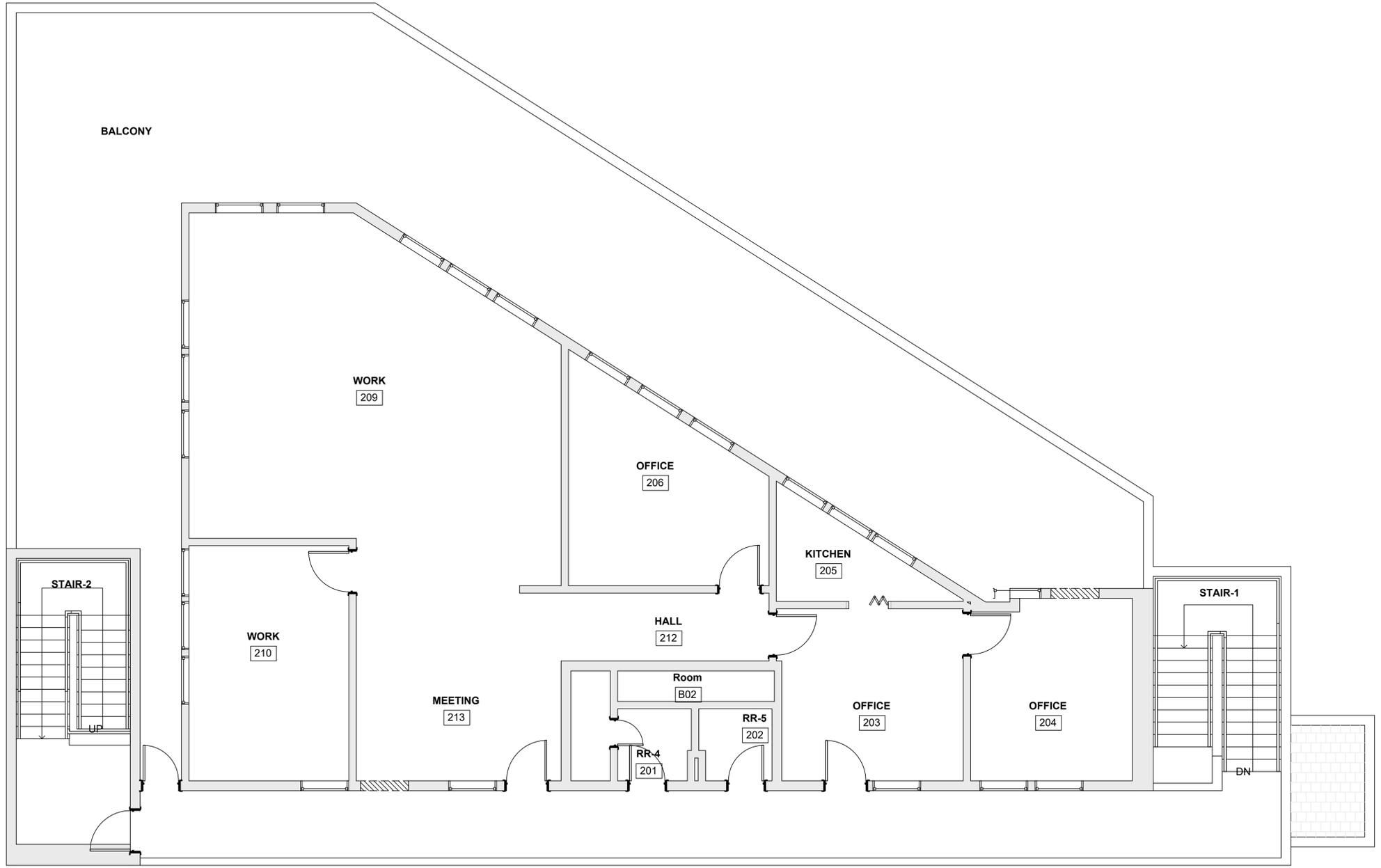
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A-1.2



1 SECOND FLOOR EXISTING PLAN (FOR REFERENCE ONLY)

1/4"-1'-0"

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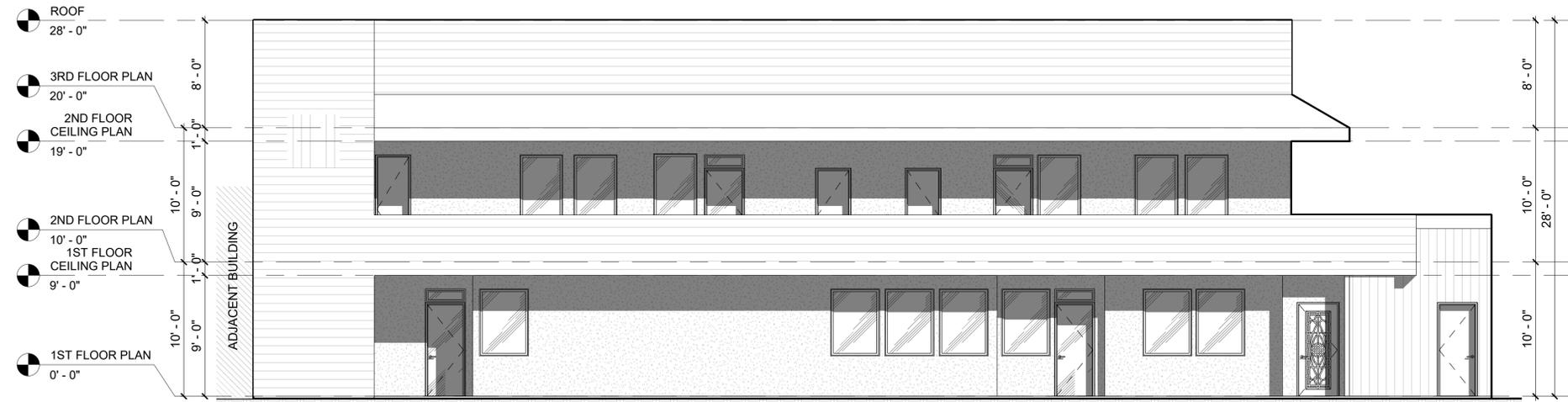
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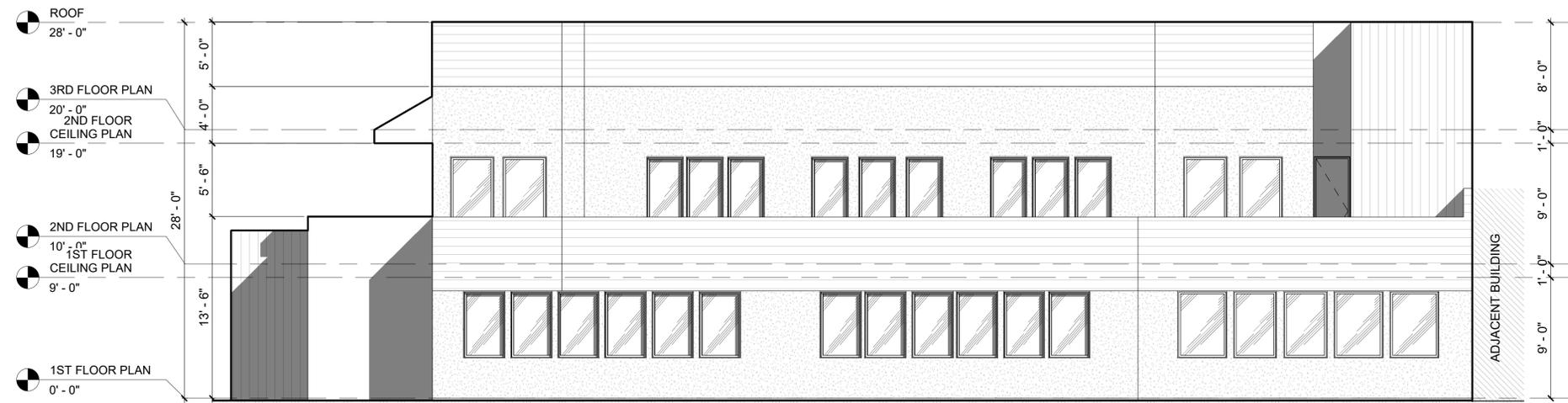
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DATE/DESC.



2 EXISTING SOUTH ELEVATION

3/16" = 1'0"



1 EXISTING NORTH ELEVATION

3/16" = 1'0"

EXTERIOR IMPROVEMENTS

476 E CAMPBELL AVE
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SEAL:



TITLE:

EXISTING ELEVATIONS - 1

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A-5.0

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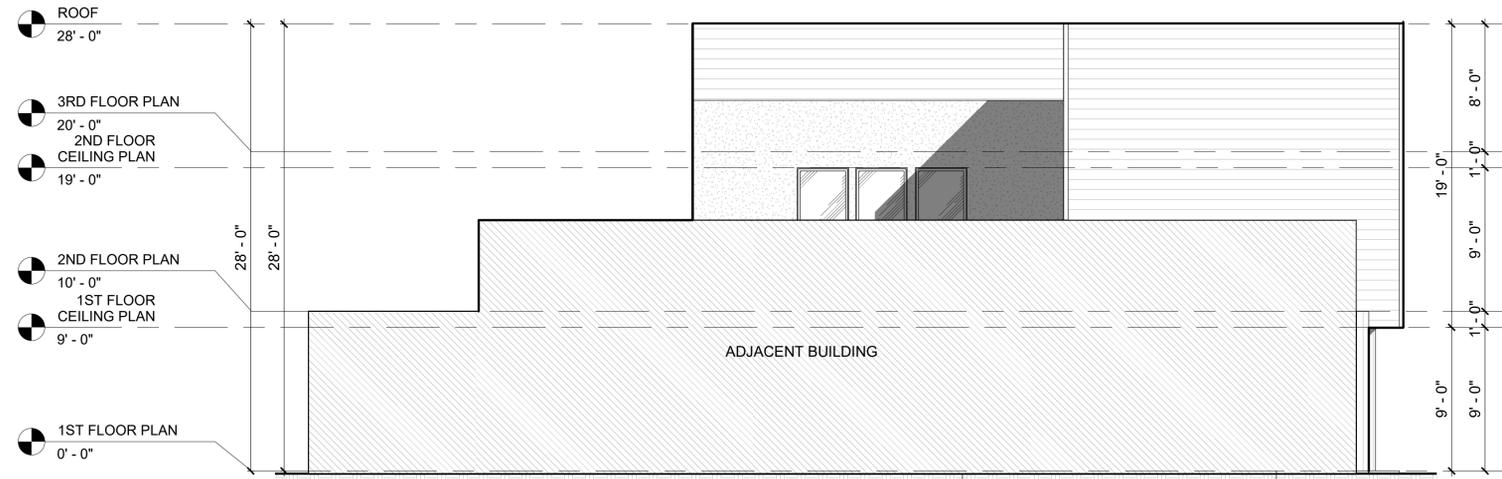
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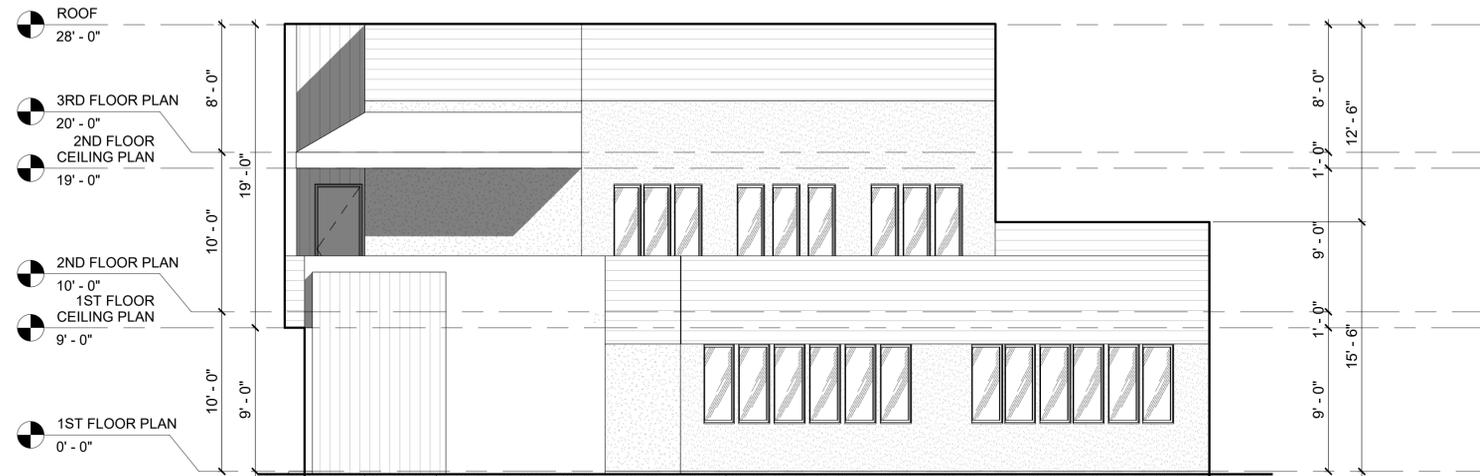
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2 EXISTING WEST ELEVATION

3/16" = 1'0"



1 EXISTING EAST ELEVATION

3/16" = 1'0"

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PROPOSED ELEVATIONS - 1

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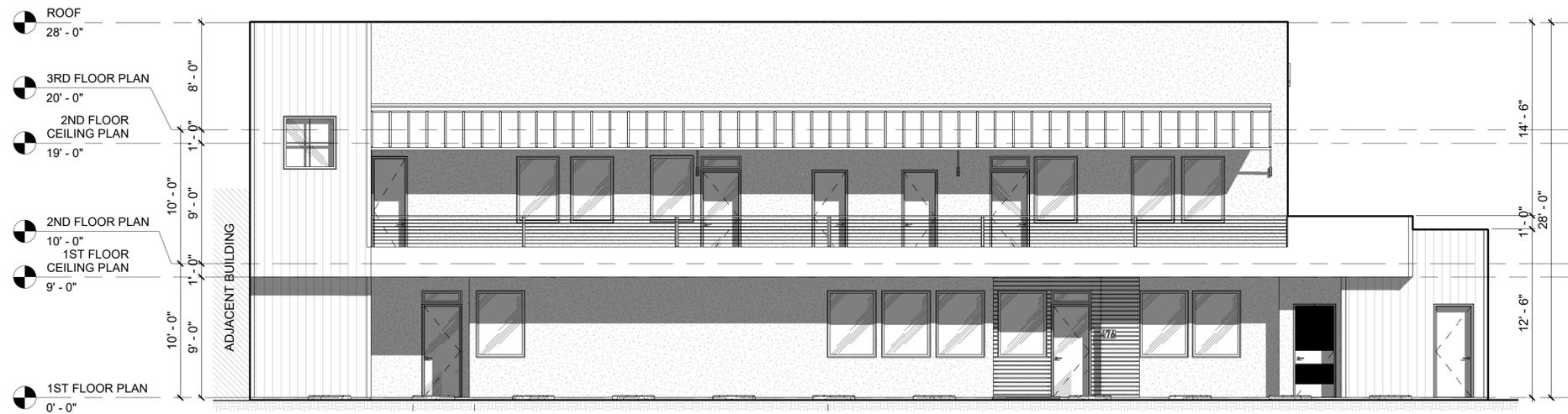
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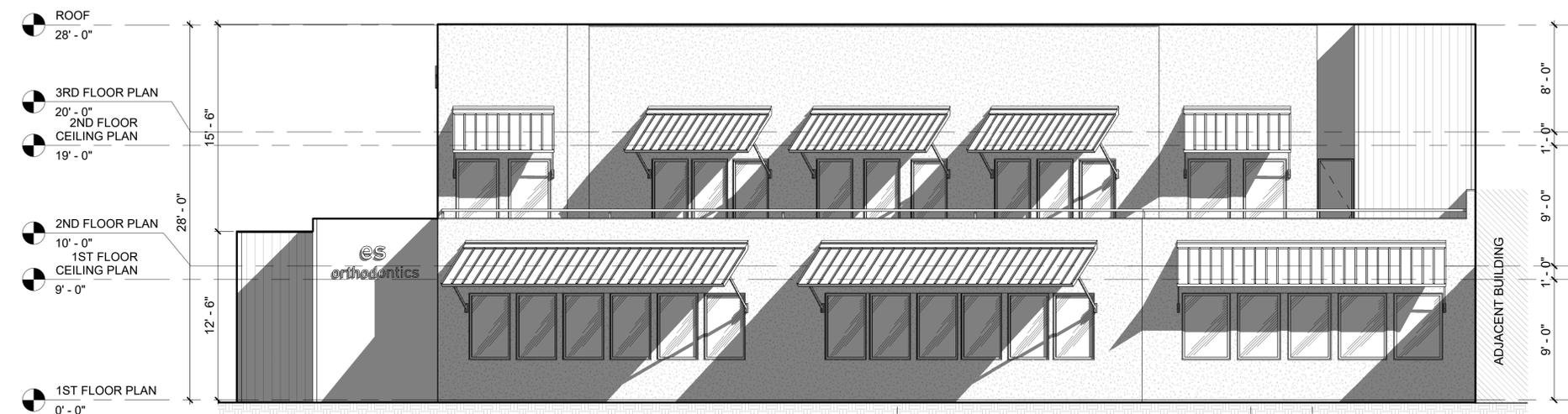
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A-5.2



2 PROPOSED SOUTH ELEVATION

3/16" = 1'0"



1 PROPOSED NORTH ELEVATION

3/16" = 1'0"

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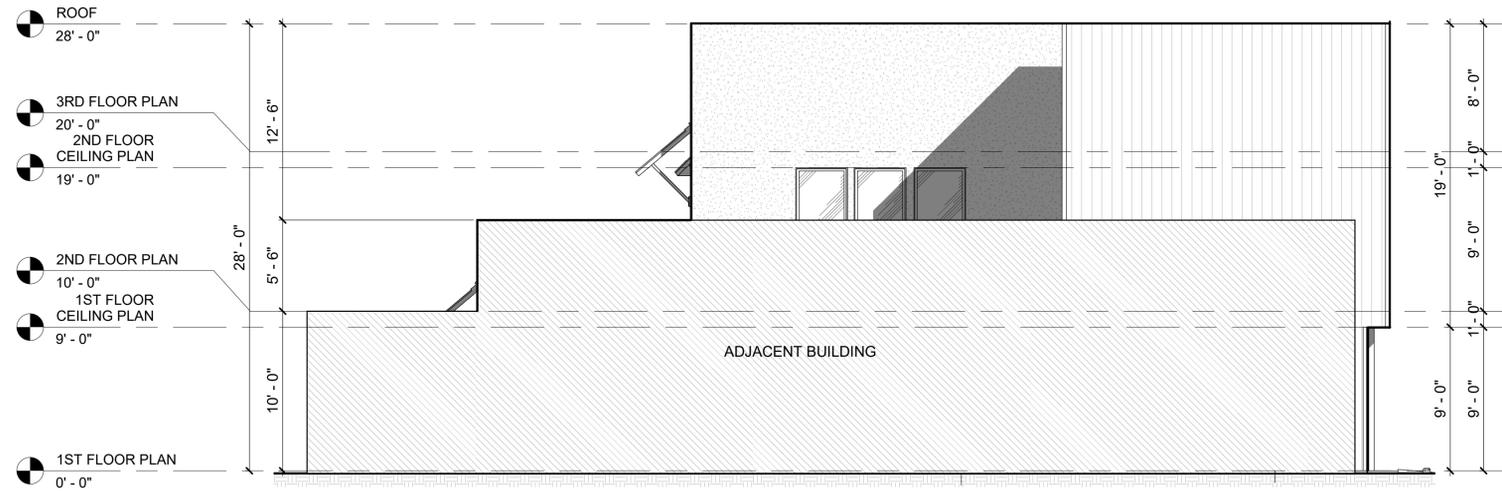
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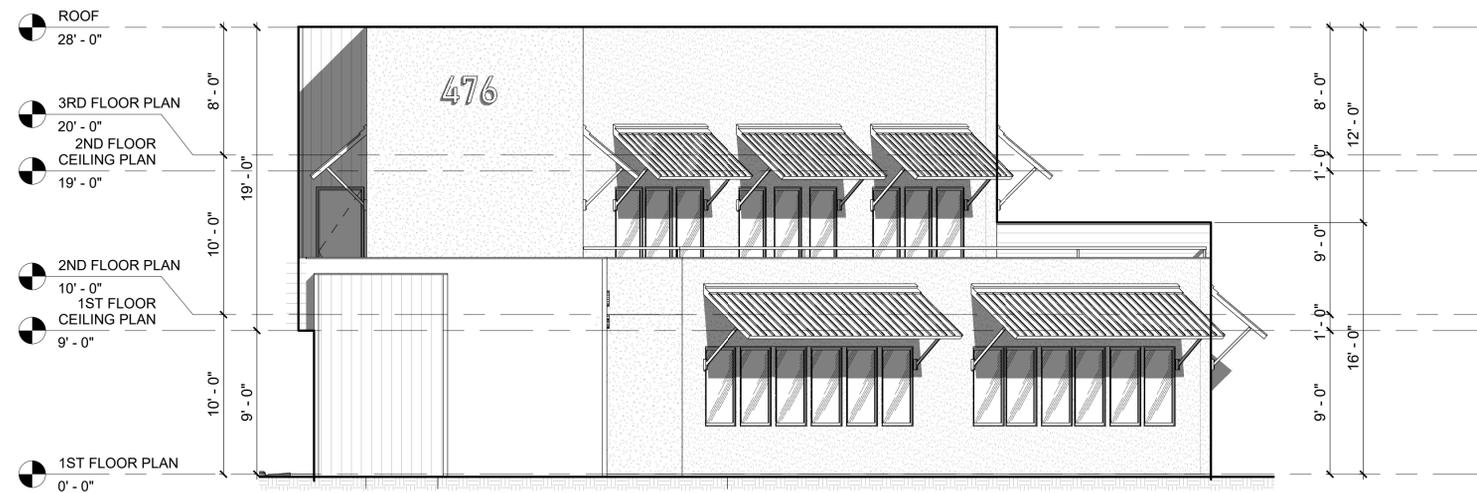
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A-5.3



2 | PROPOSED WEST ELEVATION

3/16" = 1'0"



1 | PROPOSED EAST ELEVATION

3/16" = 1'0"

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TITLE:
EXISTING SITE PHOTOGRAPHS

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A-5.4

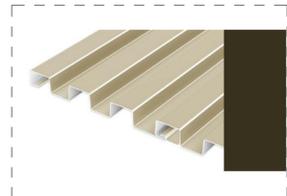
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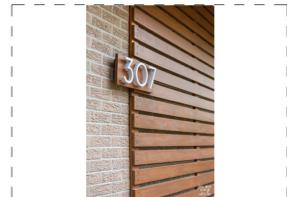
STUCCO (WHITE)
SW 7004 SNOWBOUND
SHERWIN WILLIAMS



STUCCO (ORANGE)
SW 6657 AMBER WAVE
SHERWIN WILLIAMS



ACCENT-METAL CLADDING
WALL PANELS-PRECISION BOX RIB 1 - AGED BRONZE
PAC-CLAD



WOOD SLATS



AWNING
AWNTECH
HOUSTONIAN METAL AWNINGS



METAL RAILING



METAL GATE



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DETAILS

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SEAL:



TITLE:

PERSPECTIVES

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PH-1