

Location of Proposed Project




City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

January 4 , 2022

The Community Development Director will be rendering a decision on the following project.

Project Address: 1351 Olympia Avenue
Zoning | Area Plan: R-1-8 | Campbell Village Neighborhood Plan
Neighborhood Association(s): Campbell Village Neighborhood Association
File No.: PLN-2022-34
APN: 414-04-020
Applicant: TDDGUS LLC
Property Owner: SS Realty LLC
Application Type: Administrative Site and Architectural Review Permit
Project Planner: Tracy Tam, Associate Planner
Email Contact: tracyt@campbellca.gov
Phone Contact: (408) 871-5103

Project Description:

To allow an approximately 792 square-foot addition to an existing single-family residence and demolition of approximately 406 square feet of existing floor area.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **January 6, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **January 16, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.

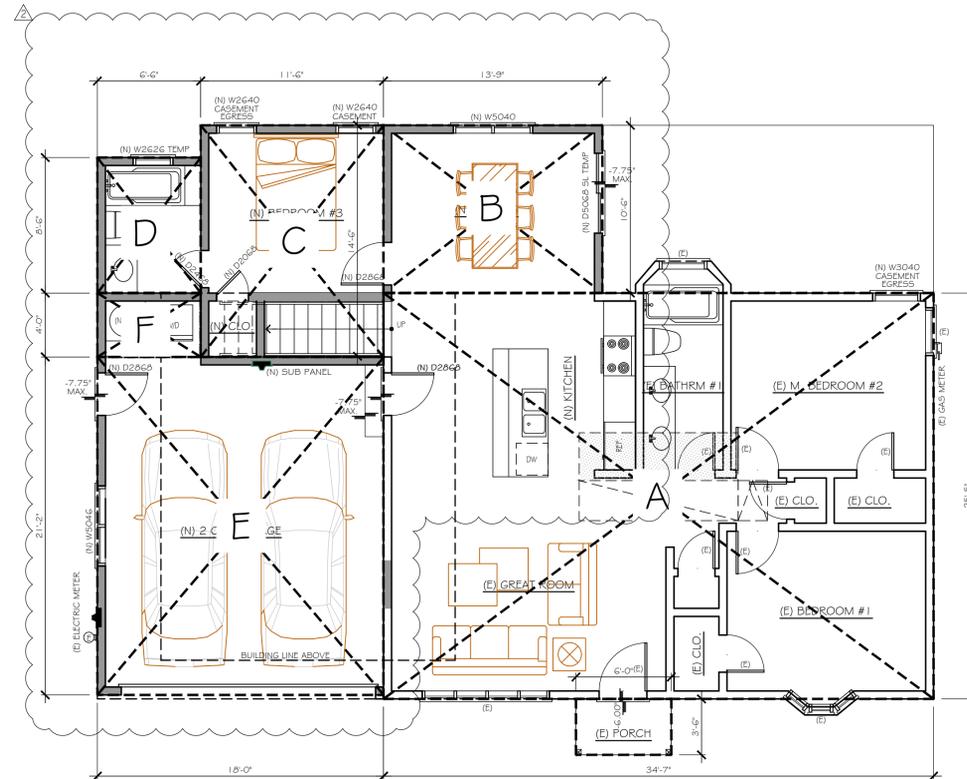


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

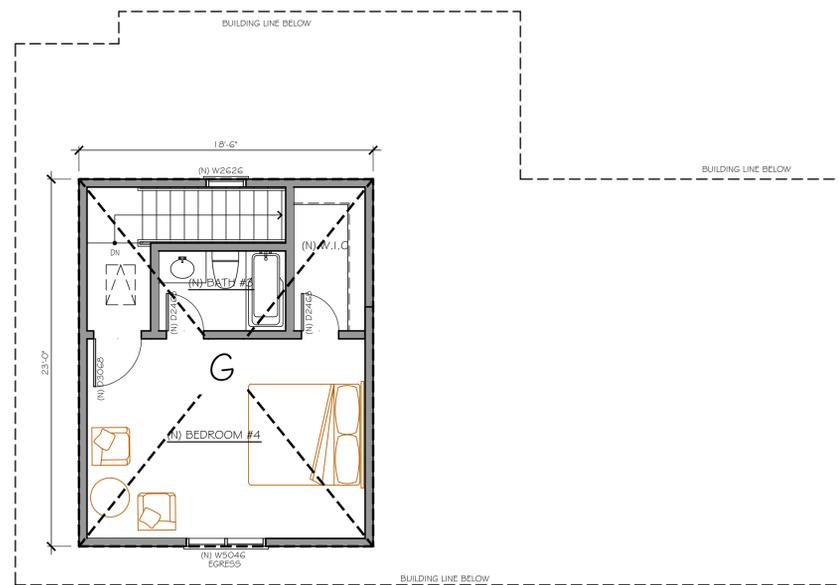
Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español





F.A.R. - FIRST FLOOR
 SCALE 3/16" = 1'-0"



F.A.R. - SECOND FLOOR
 SCALE 3/16" = 1'-0"

EXISTING HABITABLE AREA TO KEEP:

A 34'-7" x 25'-5" = 879.41 SF

ADDITION AREA

FIRST FLOOR:

B 13'-9" x 10'-6" = 144.38 SF

C 11'-6" x 14'-6" = 166.75 SF

D 6'-6" x 8'-6" = 55.25 SF

TOTAL = 366.38 SF

SECOND FLOOR:

G 18'-0" x 23'-0" = 425.50 SF

TOTAL = 425.50 SF

TOTAL ADDITION
 HABITABLE AREA: = 791.88 SF

TOTAL LIVING AREA: = 1,671.29 SF

GARAGE:

E 18'-0" x 21'-2" = 381.00 SF

F 6'-6" x 4'-0" = 26.00 SF

TOTAL = 407.00 SF

(E) PORCH: = 21.00 SF

TOTAL LIVING AREA + GARAGE:
 = 2,078.17 SF

LOT COVERAGE: = 1,673.79 SF

LOT AREA: = 9,424.00 SF

EXISTING F.A.R.:
 879.41 / 9,424.00 = 9.33%

PROPOSED F.A.R.:
 2,078.17 / 9,424.00 = 22.05%

EXISTING LOT COVERAGE:
 1,370.50 / 9,424.00 = 14.54%

PROPOSED LOT COVERAGE
 1,673.79 / 9,424.00 = 17.76%

PROJECT DESIGNER:
 DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY
 RESERVES ITS COMMON LAW COPYRIGHT AND
 OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS
 ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN
 ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE
 ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING
 THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN
 THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A
 THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN
 AND DEVELOPMENT GROUP HARMLESS.

NO.	DATE	REVISION

Project Name:

REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	
SCALE:	AS SHOWN	
DRAWN BY:	DN	

FAR

Project No.: 2021



THE DESIGN & DEVELOPMENT GROUP

97 BOSTON AVE
SAN JOSE, CA 95128
T 650.483.9454
www.tddgus.com

NOTES:

1. A MINIMUM 1/2" PER FT OF SLOPE AROUND THE BUILDING FOR DISTANCE OF AT LEAST 30 INCHES AWAY EXTERIOR WALLS.
2. BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
3. ALL MATERIALS APPLIED AS ROOF COVERING ON ANY STRUCTURE REGULATED BY THIS CODE SHALL HAVE A FIRE RETARDANT RATING OF CLASS A OR B. ALL WOOD STRUCTURES ARE REQUIRED TO HAVE A MINIMUM OF CLASS 'C' ROOF COVERING.
4. FLASHING AND COUNTERFLASHING. PER 2016 C.R.C., EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
5. EXTERIOR STUCCO: 3-COATS, 7/8" MINIMUM THICK W/ TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING W/ 26 GA GALV. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

PROJECT DESIGNER:
DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

NO.	DATE	REVISION
△	5/17/22	PLANNING
△	9/03/22	PLANNING

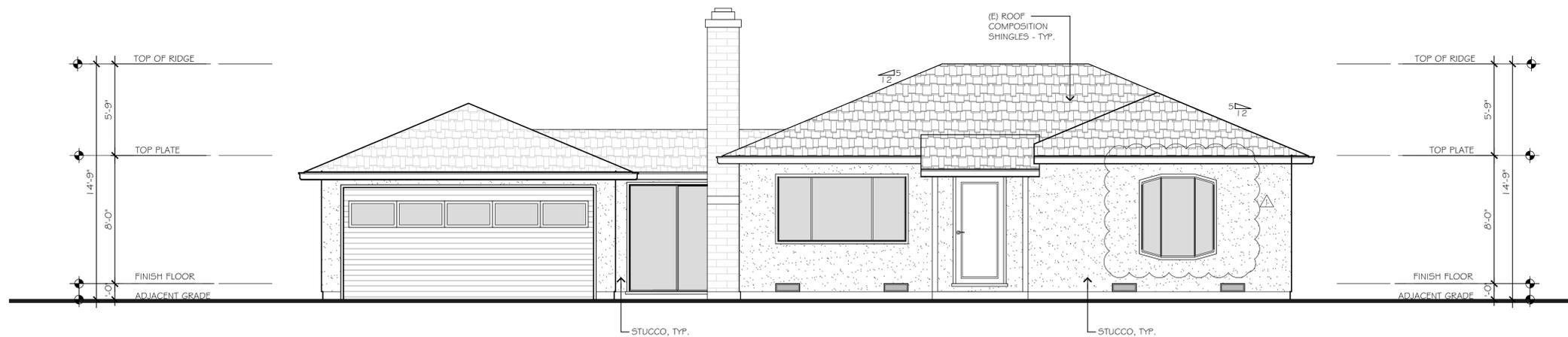
Project Name:

REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

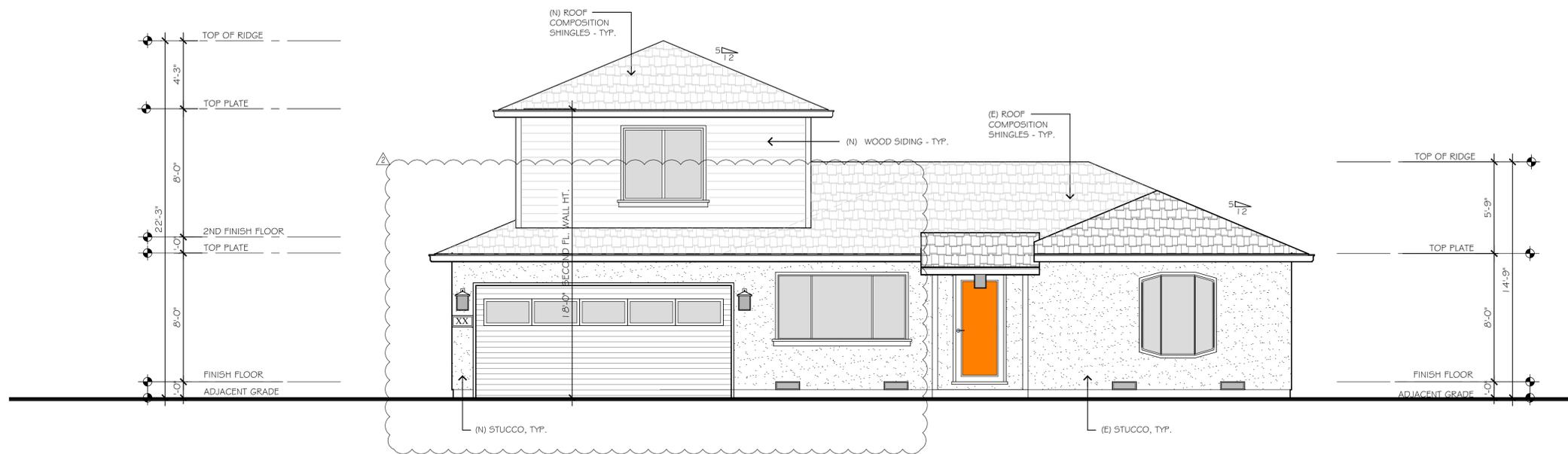
DATE: 10/17/21
JOB NO.: 2021-34
SCALE: AS SHOWN
DRAWN BY: DN

Sheet Number:
A3.1

Project No.: 2021



EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"

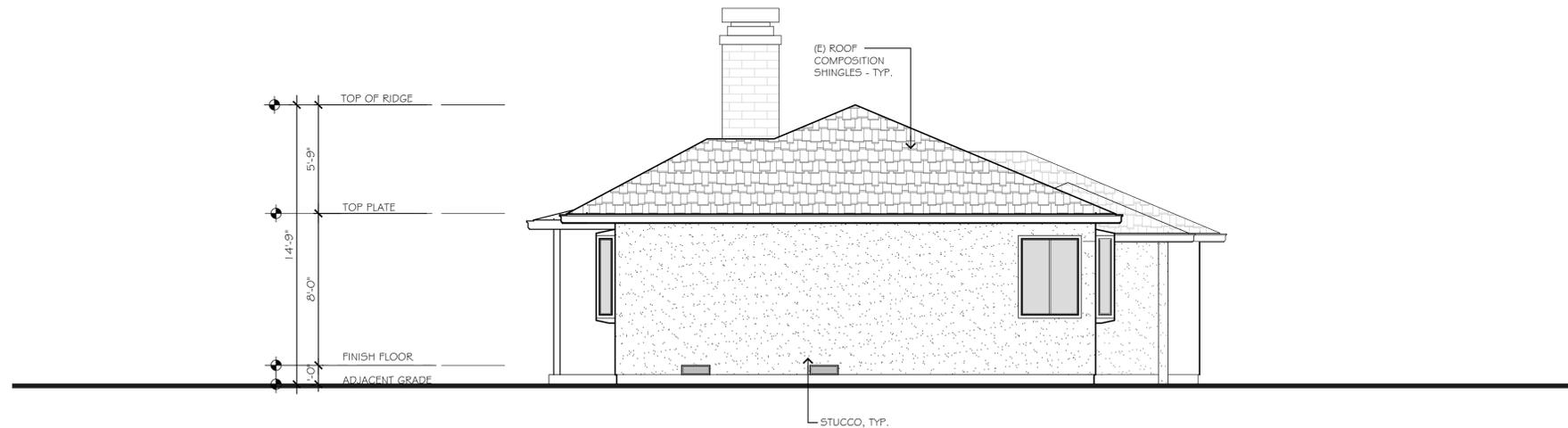


PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



THE DESIGN & DEVELOPMENT GROUP

97 BOSTON AVE
SAN JOSE, CA 95128
T 650.483.9454
www.tddgus.com



PROPOSED RIGHT ELEVATION
SCALE: 1/4"=1'-0"

NOTES:

1. A MINIMUM 1/2" PER FT OF SLOPE AROUND THE BUILDING FOR DISTANCE OF AT LEAST 30 INCHES AWAY EXTERIOR WALLS.
2. BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
3. ALL MATERIALS APPLIED AS ROOF COVERING ON ANY STRUCTURE REGULATED BY THIS CODE SHALL HAVE A FIRE RETARDANT RATING OF CLASS A OR B. ALL WOOD STRUCTURES ARE REQUIRED TO HAVE A MINIMUM OF CLASS 'C' ROOF COVERING.
4. FLASHING AND COUNTERFLASHING. PER 2016 C.R.C., EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
5. EXTERIOR STUCCO: 3-COATS, 7/8" MINIMUM THICK W/ TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING W/ 26 GA GALV. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

PROJECT DESIGNER:
DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

NO.	DATE	REVISION
△	5/17/22	PLANNING
△	9/03/22	PLANNING

Project Name:

REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

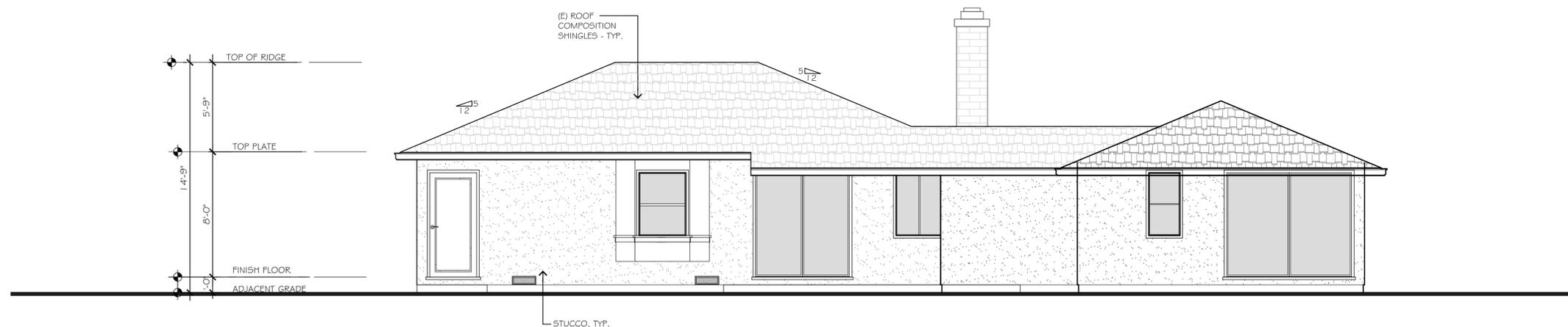
DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	A3.2
SCALE:	AS SHOWN	
DRAWN BY:	DN	

Project No.: 2021

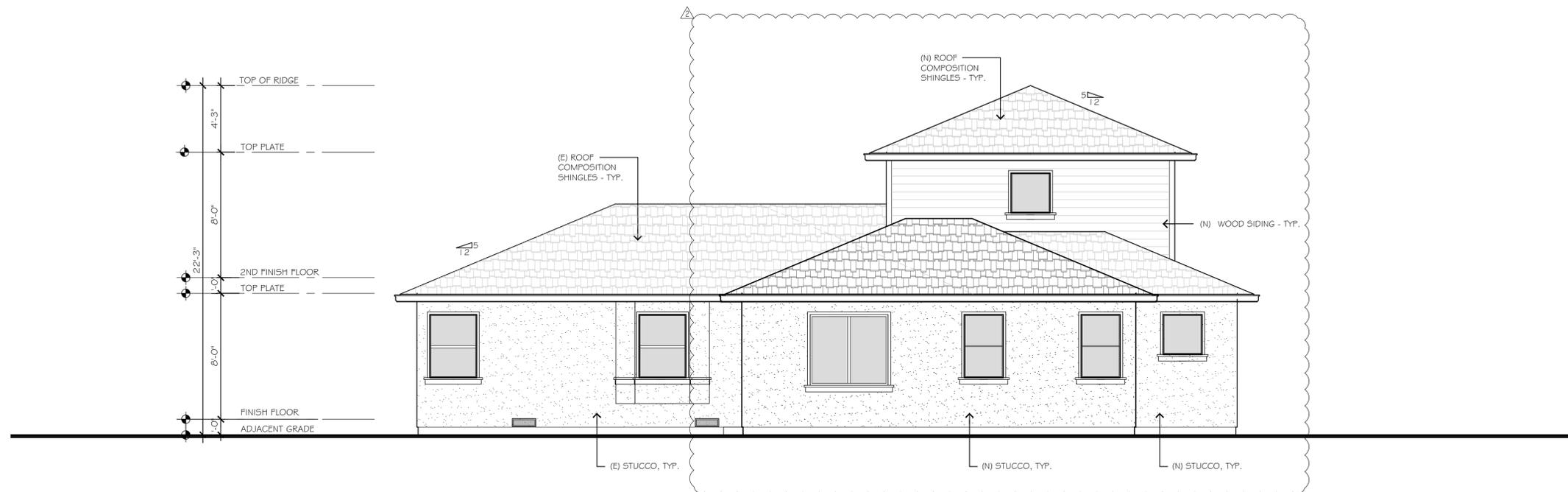


THE DESIGN & DEVELOPMENT GROUP

97 BOSTON AVE
SAN JOSE, CA 95128
T 650.483.9454
www.tddgus.com



EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"

NOTES:

1. A MINIMUM 1/2" PER FT OF SLOPE AROUND THE BUILDING FOR DISTANCE OF AT LEAST 30 INCHES AWAY EXTERIOR WALLS.
2. BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
3. ALL MATERIALS APPLIED AS ROOF COVERING ON ANY STRUCTURE REGULATED BY THIS CODE SHALL HAVE A FIRE RETARDANT RATING OF CLASS A OR B. ALL WOOD STRUCTURES ARE REQUIRED TO HAVE A MINIMUM OF CLASS 'C' ROOF COVERING.
4. FLASHING AND COUNTERFLASHING. PER 2016 C.R.C., EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
5. EXTERIOR STUCCO: 3-COATS, 7/8" MINIMUM THICK W/ TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING W/ 26 GA GALV. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

PROJECT DESIGNER:
DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

NO.	DATE	REVISION
△	5/17/22	PLANNING
△	9/03/22	PLANNING

Project Name:

REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

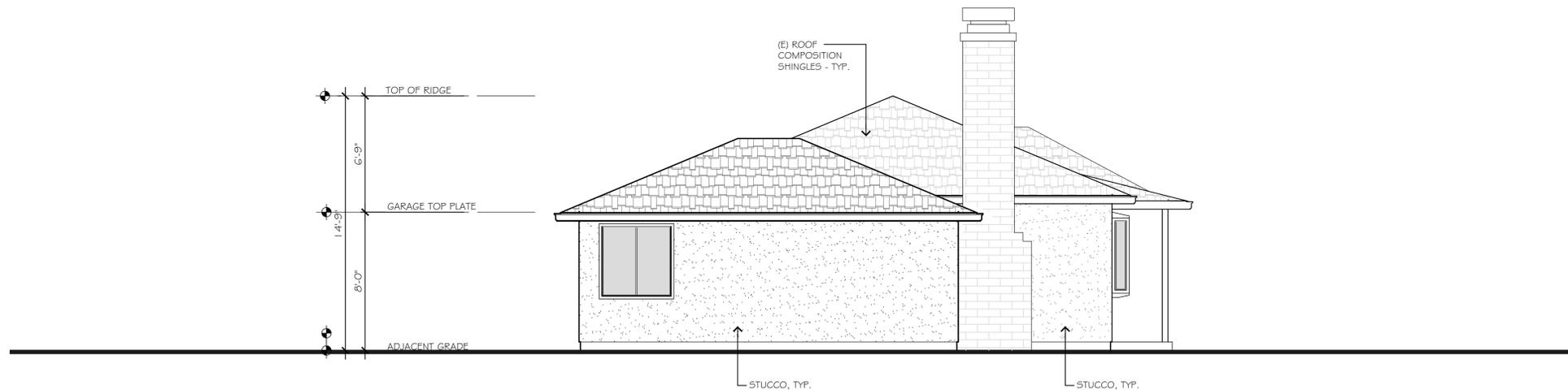
DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	A3.3
SCALE:	AS SHOWN	
DRAWN BY:	DN	

Project No.: 2021

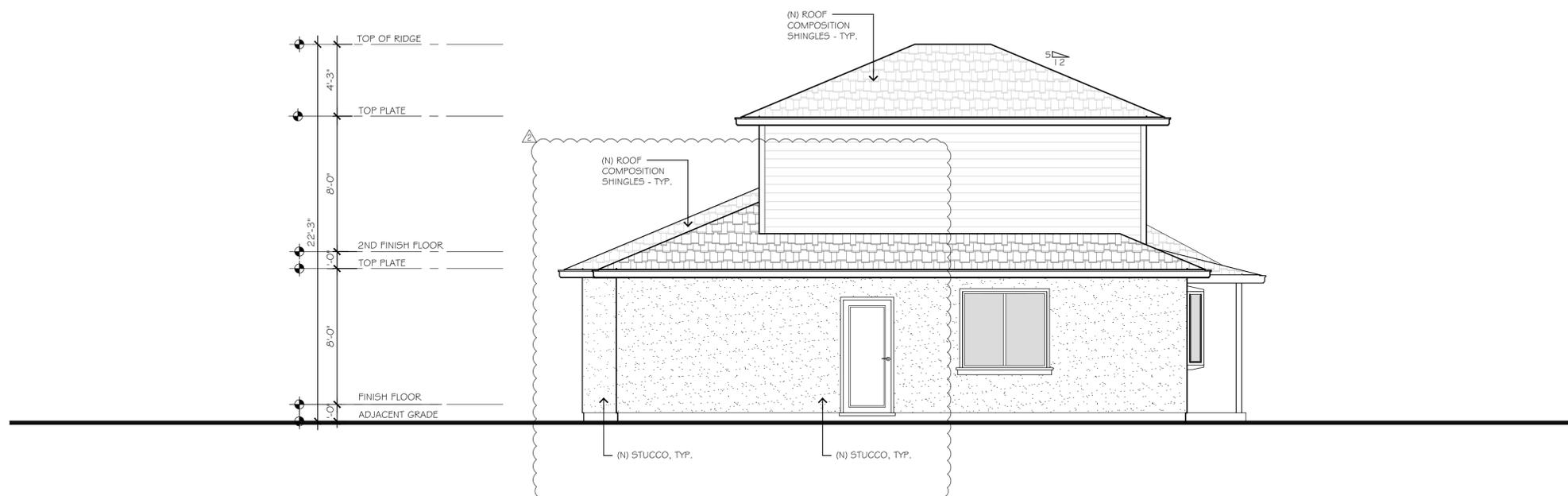


THE DESIGN & DEVELOPMENT GROUP

97 BOSTON AVE
SAN JOSE, CA 95128
T 650.483.9454
www.tddgus.com



EXISTING LEFT ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED LEFT ELEVATION
SCALE: 1/4"=1'-0"

NOTES:

1. A MINIMUM 1/2" PER FT OF SLOPE AROUND THE BUILDING FOR DISTANCE OF AT LEAST 30 INCHES AWAY EXTERIOR WALLS.
2. BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
3. ALL MATERIALS APPLIED AS ROOF COVERING ON ANY STRUCTURE REGULATED BY THIS CODE SHALL HAVE A FIRE RETARDANT RATING OF CLASS A OR B. ALL WOOD STRUCTURES ARE REQUIRED TO HAVE A MINIMUM OF CLASS 'C' ROOF COVERING.
4. FLASHING AND COUNTERFLASHING PER 2016 C.R.C., EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
5. EXTERIOR STUCCO: 3-COATS, 7/8" MINIMUM THICK W/ TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING W/ 26 GA GALV. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

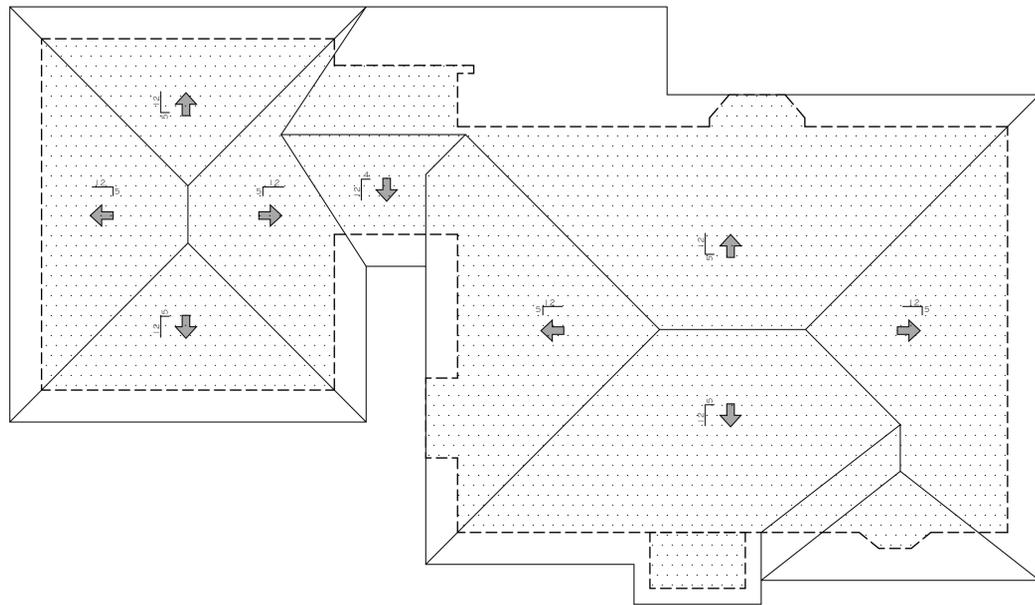
PROJECT DESIGNER:
DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

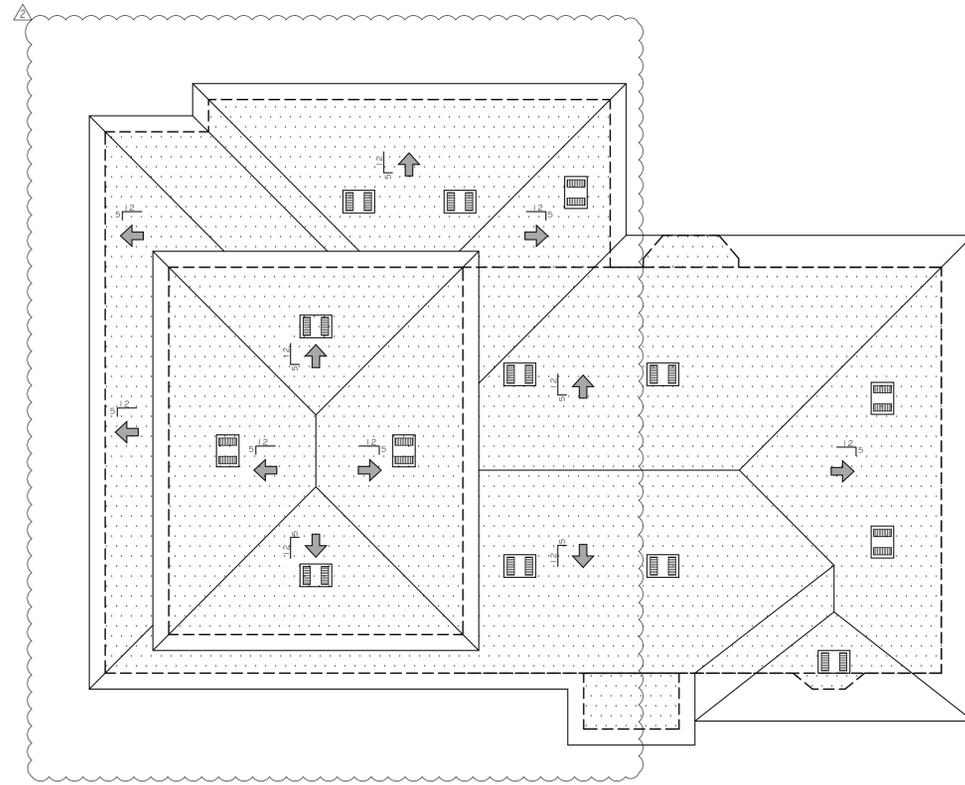
NO.	DATE	REVISION
△	5/17/22	PLANNING
△	9/03/22	PLANNING

Project Name:
REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	A3.4
SCALE:	AS SHOWN	
DRAWN BY:	DN	
Project No.:		2021



EXISTING ROOF PLAN
SCALE: 3/16"=1'-0"

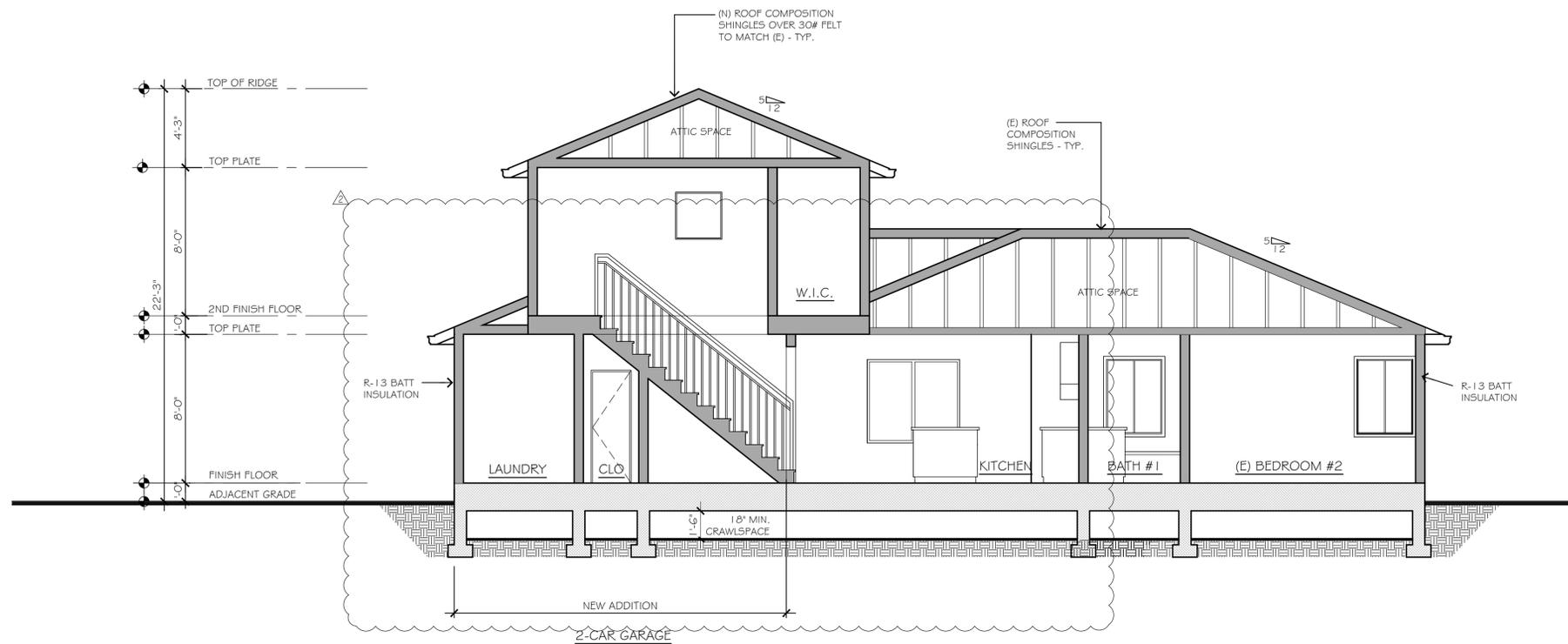


NEW ROOF PLAN
SCALE: 3/16"=1'-0"

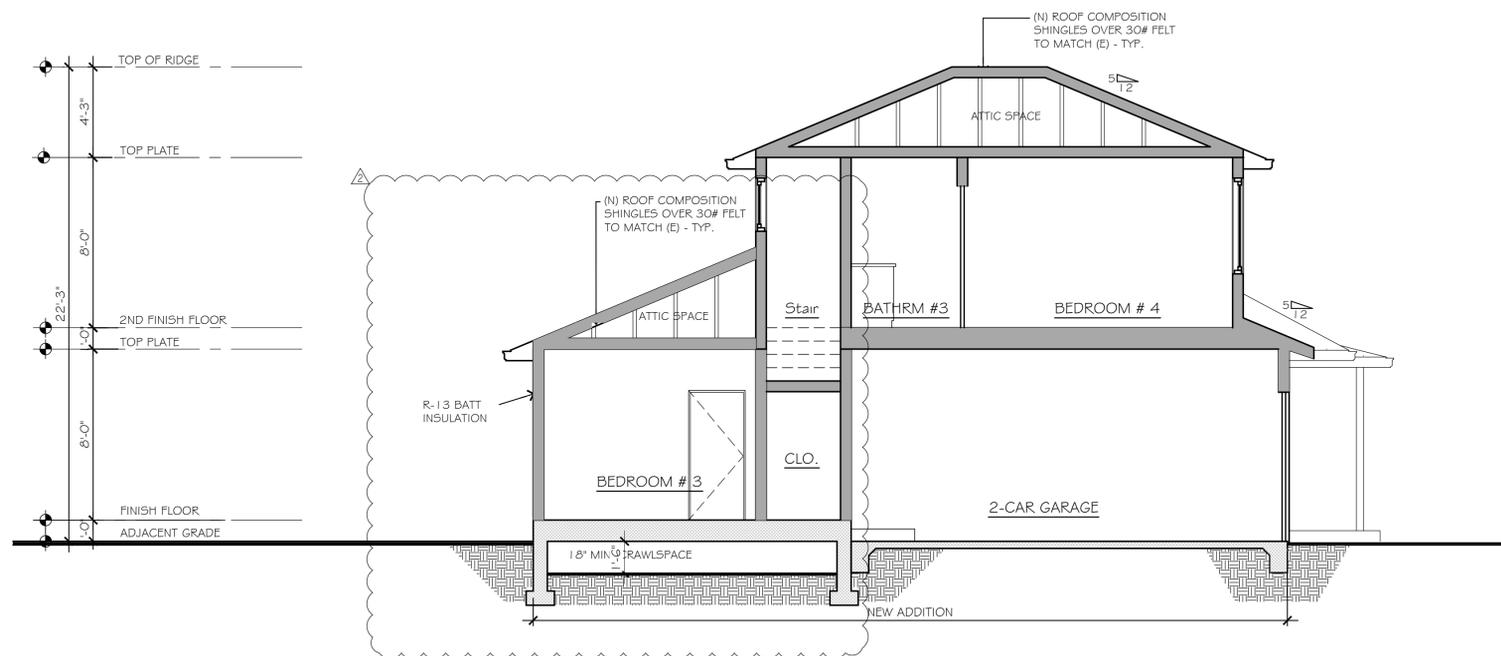


VENTILATION NOTES:

1. A MINIMUM OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING WITH ADEQUATE CROSS VENTING FOR VAULTED CEILING.
2. THE ATTIC ACCESS SHALL BE A MINIMUM OF 22" X 30". A THIRTY-INCH MINIMUM CLEAR HEAD ROOM SHALL BE PROVIDED ABOVE THE ATTIC ACCESS. ATTIC ACCESS SHALL BE LOCATED AT A READILY ACCESSIBLE LOCATION.
3. MECHANICAL VENTILATION IS NOT LESS THAN 6 AIR CHANGES PER HOUR TYPE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING. THE EXHAUST VENT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER TO COMPLY WITH ENERGY REGULATIONS.
4. PROVIDE OUTDOOR COMBUSTION AIR OPENINGS FOR THE MECHANICAL CLOSET WITH THE 2 PERMANENT OPENINGS METHOD PER CMC SECTION 701.4.1. ONE OPENING SHALL COMMENCE WITHIN 12 INCHES OF THE TOP AND THE OTHER COMMENCING WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE.



SECTION A-A
SCALE: 1/4"=1'-0"



SECTION B-B
SCALE: 1/4"=1'-0"

NOTES:

1. A MINIMUM 1/2" PER FT OF SLOPE AROUND THE BUILDING FOR DISTANCE OF AT LEAST 30 INCHES AWAY EXTERIOR WALLS.
2. BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
3. ALL MATERIALS APPLIED AS ROOF COVERING ON ANY STRUCTURE REGULATED BY THIS CODE SHALL HAVE A FIRE RETARDANT RATING OF CLASS A OR B. ALL WOOD STRUCTURES ARE REQUIRED TO HAVE A MINIMUM OF CLASS 'C' ROOF COVERING.
4. FLASHING AND COUNTERFLASHING PER 2016 C.R.C., EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
5. EXTERIOR STUCCO: 3-COATS, 7/8" MINIMUM THICK W/ TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING W/ 26 GA GALV. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

PROJECT DESIGNER:
DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

NO.	DATE	REVISION
△	5/17/22	PLANNING
△	9/03/22	PLANNING

Project Name:
REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	A5
SCALE:	AS SHOWN	
DRAWN BY:	DN	



PROPOSED COLORED ELEVATION

SCALE: 1/4"=1'-0"

MATERIAL AND ASSOCIATED COLORS.

Exterior Stucco color: Benjamin Moore sweatshirt 2126-40

Trim Color, Eaves, Facia, Door & Windows: Benjamin Moore White Dove OC-17

Wood Siding Color: Feather Gray 2127-60

Metal Garage door Painted: Benjamin Moore Anchor gray 2126-30

MANUFACTURE AND PRODUCT NUMBER.



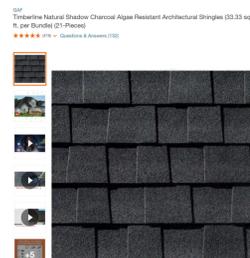
Manufacture: Clopay
Metal Garage door Painted: Benjamin Moore Anchor gray 2126-30



Wood Siding: HardiePlank HZ10 5/16 in. x 8.25 in. x 144 in. Fiber Cement Primed Cedar Mill Lap



Jeld-Ment: White Vinyl Sliding Window or White Single-Hung Vinyl Window



GAF: Timberline Natural Shadow Charcoal Algae Resistant Architectural Shingles.



1. GAF: TIMBERLINE NATURAL SHADOW CHARCOAL ALGAE RESISTANT ARCHITECTURAL SHINGLES.



2. WOOD SIDING BENJAMIN MOORE FEATHER GRAY 2127-60



3. STUCCO FINISH BENJAMIN MOORE SWEATSHIRT GRAY 2126-40



4. TRIMS/FRAMES, DOOR, WINDOWS BENJAMIN MOORE WHITE DOVE OC-17



4. GARAGE GATE BENJAMIN MOORE ANCHOR GRAY 2126-30

NOTES:

1. A MINIMUM 1/2" PER FT OF SLOPE AROUND THE BUILDING FOR DISTANCE OF AT LEAST 30 INCHES AWAY EXTERIOR WALLS.
2. BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
3. ALL MATERIALS APPLIED AS ROOF COVERING ON ANY STRUCTURE REGULATED BY THIS CODE SHALL HAVE A FIRE RETARDANT RATING OF CLASS A OR B. ALL WOOD STRUCTURES ARE REQUIRED TO HAVE A MINIMUM OF CLASS 'C' ROOF COVERING.
4. FLASHING AND COUNTERFLASHING. PER 2016 C.R.C., EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
5. EXTERIOR STUCCO: 3-COATS, 7/8" MINIMUM THICK W/ TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING W/ 26 GA GALV. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

PROJECT DESIGNER:
DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

NO.	DATE	REVISION
1	5/17/22	PLANNING
2	9/03/22	PLANNING

Project Name:

REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	A6
SCALE:	AS SHOWN	
DRAWN BY:	DN	

