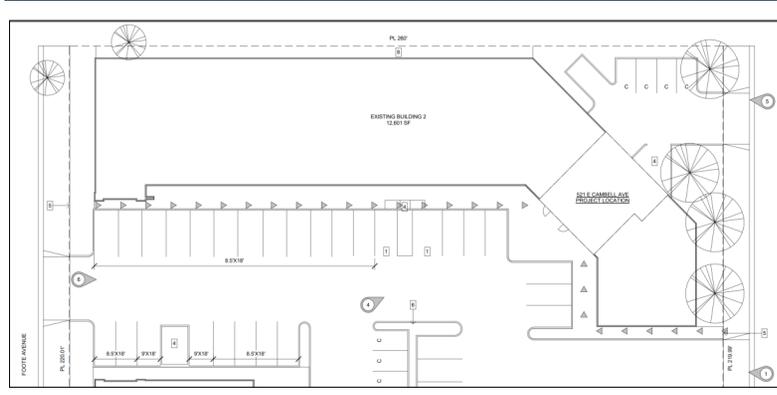


Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

January 19, 2023

The Community Development Director will be rendering a decision on the following project.

Project Address: 531 E Campbell Avenue

Zoning | Area Plan: P-D | East Campbell Ave Master Plan

Neighborhood Association(s): Downtown Campbell Neighborhood Association

Council District: 2

File No.: PLN-2022-163

APN: 279-43-020

Applicant: Woodcliff Builders

Property Owner: Lloyd Square Associates, LLC

Application Type: Administrative Planned Development Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow a change of use from an existing tanning studio to a "health and fitness center/studio" use (Push Fitness) for a 1,169 square-foot tenant space within a commercial center.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **January 20, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **January 30, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



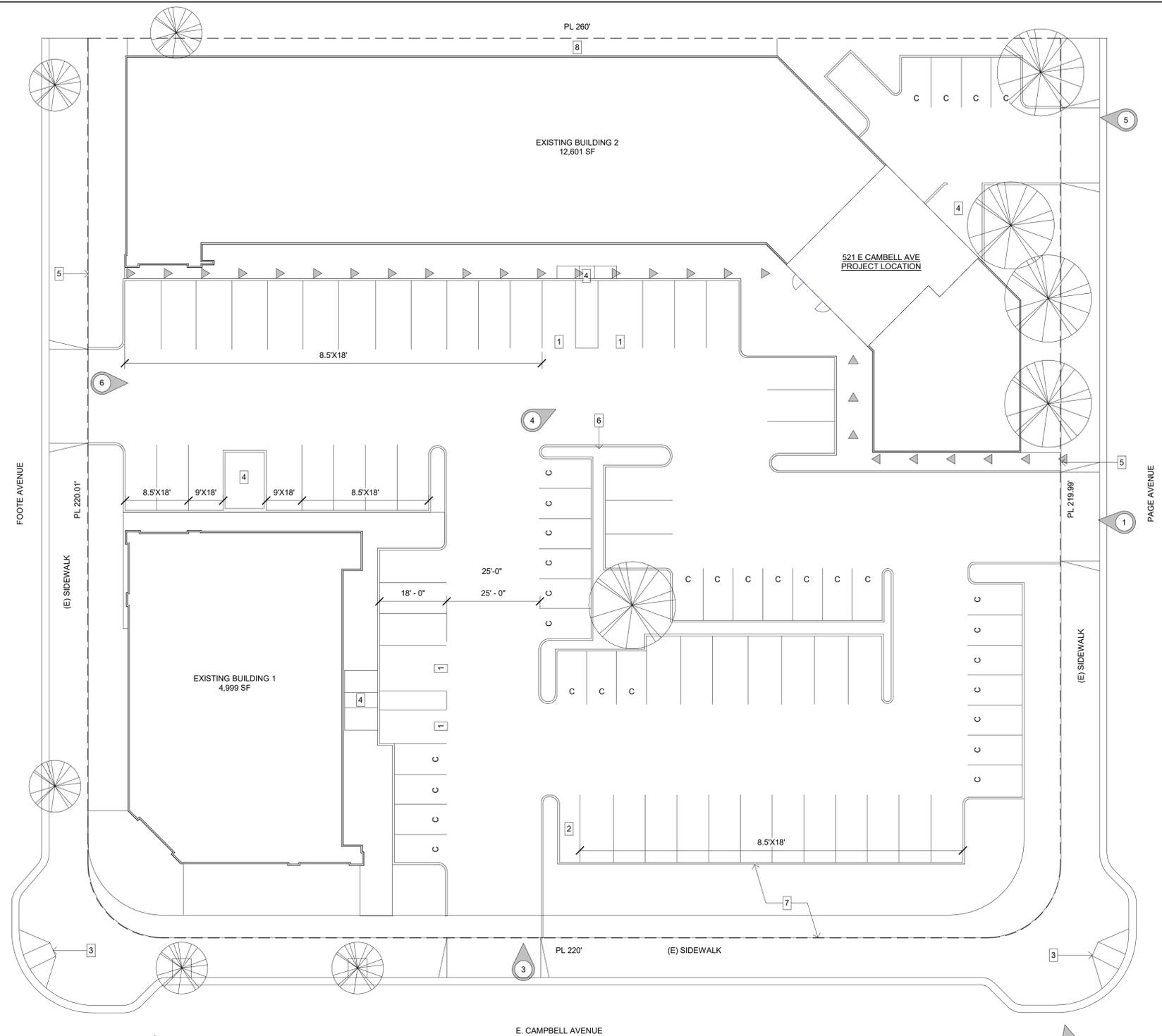
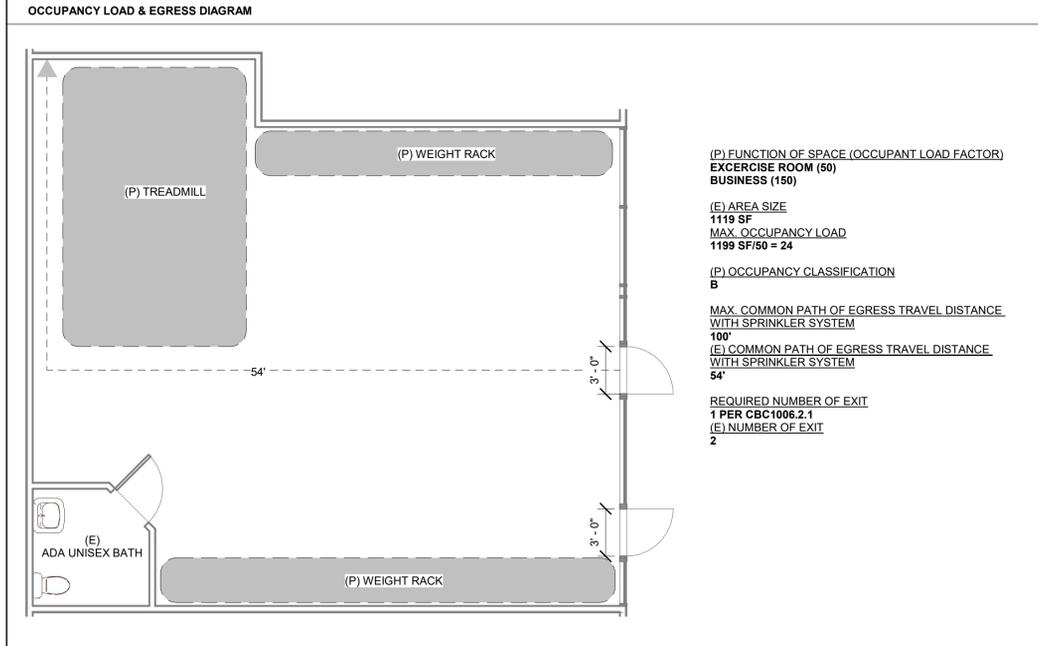
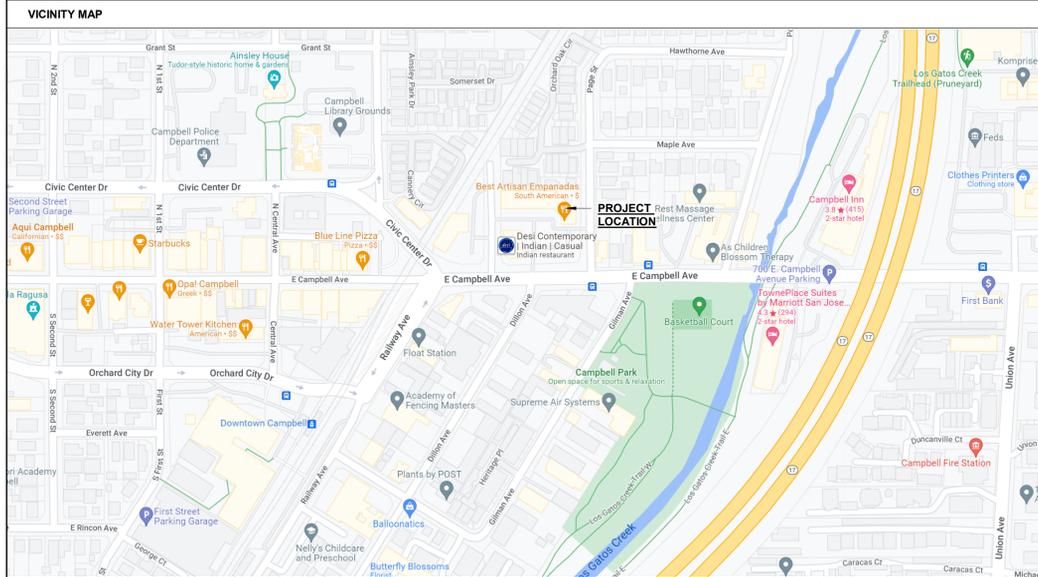
SCOPE OF WORK

CHANGE OF USE
PROPOSED USE:
PRIVATE GYM
A DESCRIPTION/
BIOGRAPHY OF BUSINESS #34:
 "PUSH DYNAMIC TRAINING IS LOOKING FOR A CHANGE OF USE PERMIT FOR THE PROPERTY AT 531 EAST CAMPBELL AVENUE. WE, AT PUSH DYNAMIC TRAINING, INTEND TO USE THE PROPERTY FOR PERSONAL AND SMALL GROUP EXERCISE TRAINING. THE HOURS OF OPERATION ARE FROM 5:00 TO 20:00 DAILY. 531 EAST CAMPBELL IS A 1250 SQUARE FOOT STORE FRONT PROPERTY. OUR GOALS ARE TO HAVE A CONSISTENT MEMBERSHIP BASE, THAT PROVIDES AN OPPORTUNITY TO IMPROVE PHYSICAL FITNESS AND WELL BEING. WE PROVIDE THE PUBLIC WITH A VENUE THAT HAS A STRUCTURED WAY TO PROMOTE MENTAL AND PHYSICAL WELLNESS FOR ALL WALKS OF LIFE. CONSTRUCTION ON THE SITE WOULD BEGIN IN AUGUST OF 2022, OR ON APPROVAL OF PERMIT."

PROJECT DATA		Sheet List	
PROJECT ADDRESS	531 E CAMPBELL AVE. CAMPBELL, CA 95008	Sheet Number	Sheet Name
APN	27943020	A000	Coversheet & Site Plan
TYPE OF CONSTRUCTION	V-B	A100	Floor Plan, Elevation & Sections
FLOOD ZONE	X		
ZONING	P-D		
LAND USE	CC/CENTRAL COMMERCIAL		
FIRE SPRINKLERS	YES		
BUILDING HEIGHT	28' 8"		
EASEMENTS	NO RECORDS OF EASEMENTS		
LOT SIZE	61541		

APPLICABLE CODES

CALIFORNIA BUILDING CODE 2022	CALIFORNIA REFERENCED STANDARDS CODE 2022
CALIFORNIA RESIDENTIAL CODE 2022	CALIFORNIA ENERGY CODE 2022
CALIFORNIA EXISTING BUILDING CODE 2022	OSHA 1904 RECORDKEEPING
CALIFORNIA PLUMBING CODE 2022	OSHA 1910 GENERAL INDUSTRY
CALIFORNIA MECHANICAL CODE 2022	OSHA 1926 CONSTRUCTION
CALIFORNIA GREEN BUILDING STANDARDS CODE 2022	2010 ADA STANDARDS
CALIFORNIA HISTORICAL BUILDING CODE 2022	
CALIFORNIA FIRE CODE 2022	
CALIFORNIA ADMINISTRATIVE CODE 2022	



1 Site Plan
 1/16" = 1'-0"



KEYNOTE		LEGEND		# OF PARKING	
1	ACCESSIBLE PARKING	5	PATHWAY, MAX SLOPE OF 4.8%	PARKING	52
2	MOTOR BICYCLE PARKING	6	LIGHT POLE	COMPACT	31
3	HC CURB RAMP	7	20' LANDSCAPE & PUBLIC SERVICE EASEMENT	ADA	4
4	TRASH ENCLOSURE	8	SERVICE WALKWAY	TOTAL	87

NOTE: NO WORK WILL BE PERFORMED AT EXTERIOR/SITE

355 E. MCCLINCY LN STE. D
 CAMPBELL, CA. 95008
 (408) 963-6311
 WOODCLIFFBUILD.COM
 LIC. # 971712

WOODCLIFF BUILDERS

DATE	DESCRIPTION
X	CONCEPTS

PUSH Fitness - Change of Use
531 E CAMPBELL AVE
CAMPBELL, CA 95125

THESE DRAWINGS ARE THE SOLE POSSESSION OF THE CONTRACTOR (WOODCLIFF BUILDERS). THEY HAVE BEEN DESIGNED TO THE CONTRACTOR BY THE CLIENT. ALL INFORMATION IS TO BE VERIFIED BY ALL PERSONS, COMPANIES AND PROJECT REPRESENTATIVES THAT WILL USE THESE DRAWINGS. THESE DRAWINGS SHALL BE THE PROPERTY OF WOODCLIFF BUILDERS, UNLESS OTHERWISE NOTED AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF THE CONTRACTOR.

DESIGNED BY:
 P. DESIGNER

MANAGED BY:
 P. MANAGER

SHEET TITLE:
 Coversheet & Site Plan

SHEET NO:
 A000

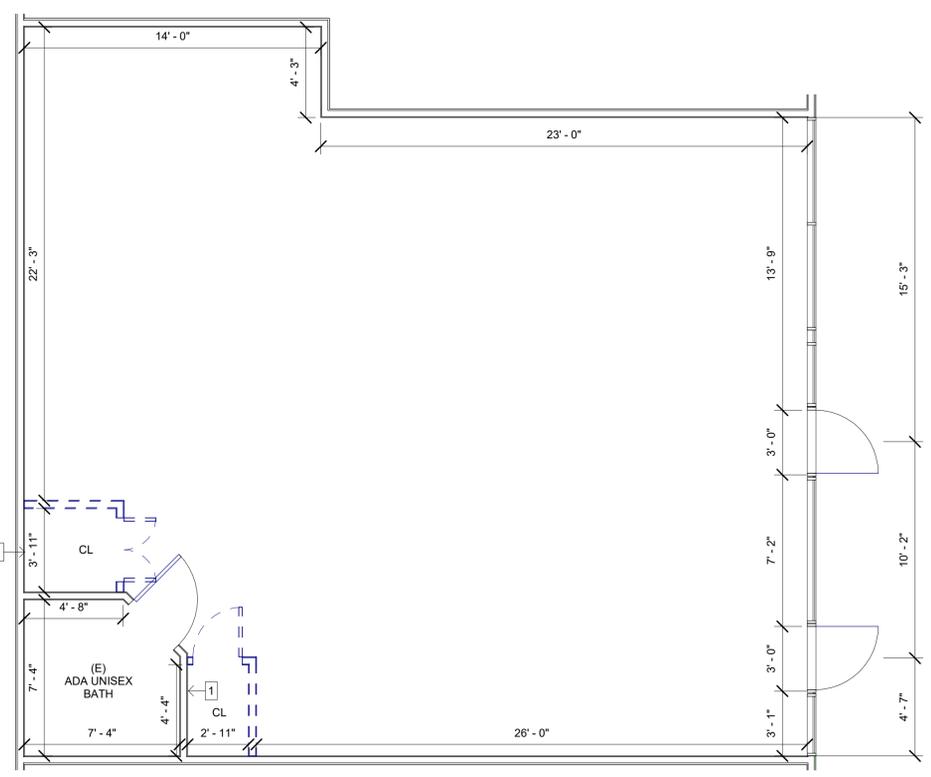


DATE	DESCRIPTION
X	CONCEPTS

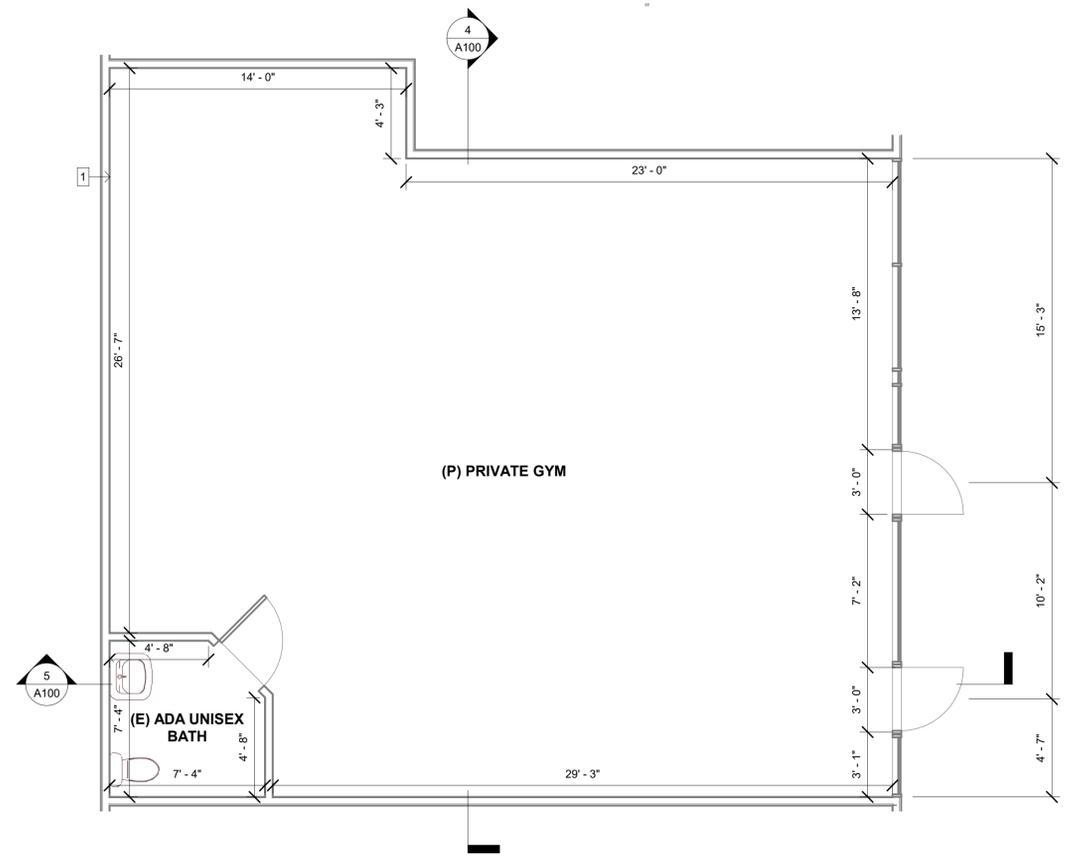
PUSH Fitness - Change of Use
 531 E CAMPBELL AVE
 CAMPBELL, CA 95125

Room Schedule	
Name	Area
(P) PRIVATE GYM	1119.43 SF
(E) ADA UNISEX BATH	50.23 SF

KEYNOTE
 1 (E) ELECTRICAL PANEL



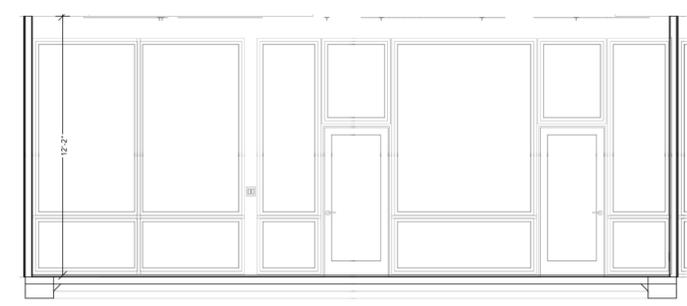
1 Floor Plan, Existing
 1/4" = 1'-0"



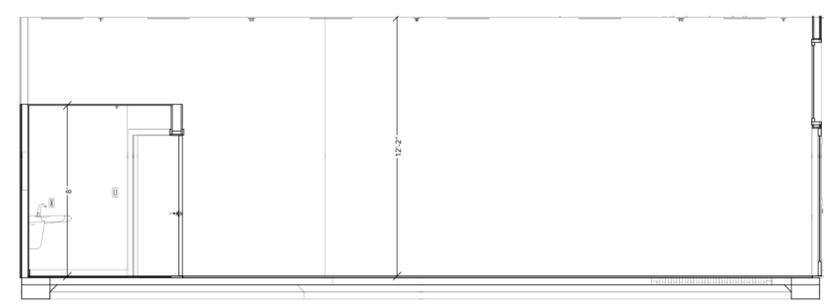
2 Floor Plan, Proposed
 1/4" = 1'-0"



3 Front Elevation
 1/8" = 1'-0"



4 Section 1
 1/4" = 1'-0"



5 Section 2
 1/4" = 1'-0"

ELEVATION LEGEND

	1	(E) STUCCO - BEIGE
	2	(E) STUCCO - GRAY
	3	(E) BRICK - RED
	2	(E) METAL ROOFING - WHITE

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DESIGNED BY:
 P. DESIGNER
MANAGED BY:
 P. MANAGER

SHEET TITLE:
 Floor Plan, Elevation & Sections
 SHEET NO:
 A100