



CITY OF CAMPBELL
Community Development Department

April 11, 2014

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **April 22, 2014**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Hamilton Campbell LLC of a Planned Development Permit (PLN2013-237) and Modification (PLN2013-238) to a previously approved Planned Development Permit to allow the construction of a 172,000 square foot office building, a 11,500 square foot office building, and a 7-story parking garage with two levels of parking underneath; on property located at **675 & 705 Creekside Way** in a P-D (Planned Development) Zoning District. Staff is recommending adoption of a new Mitigated Negative Declaration for this project.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

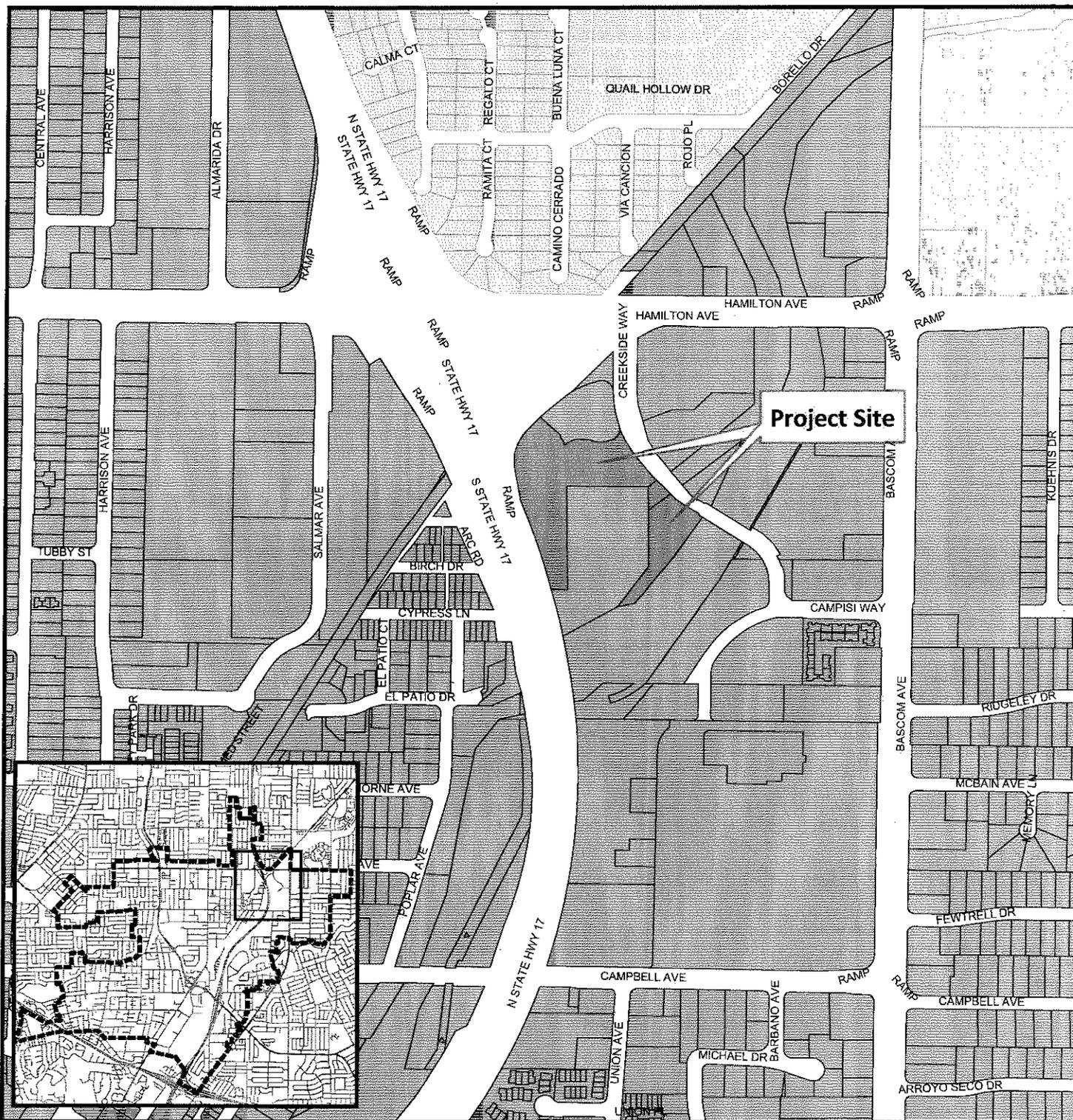
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

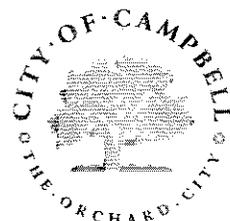
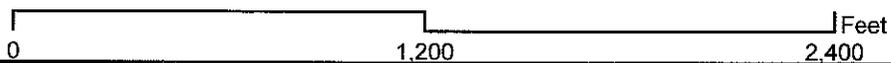
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **675 & 705 Creekside Way**

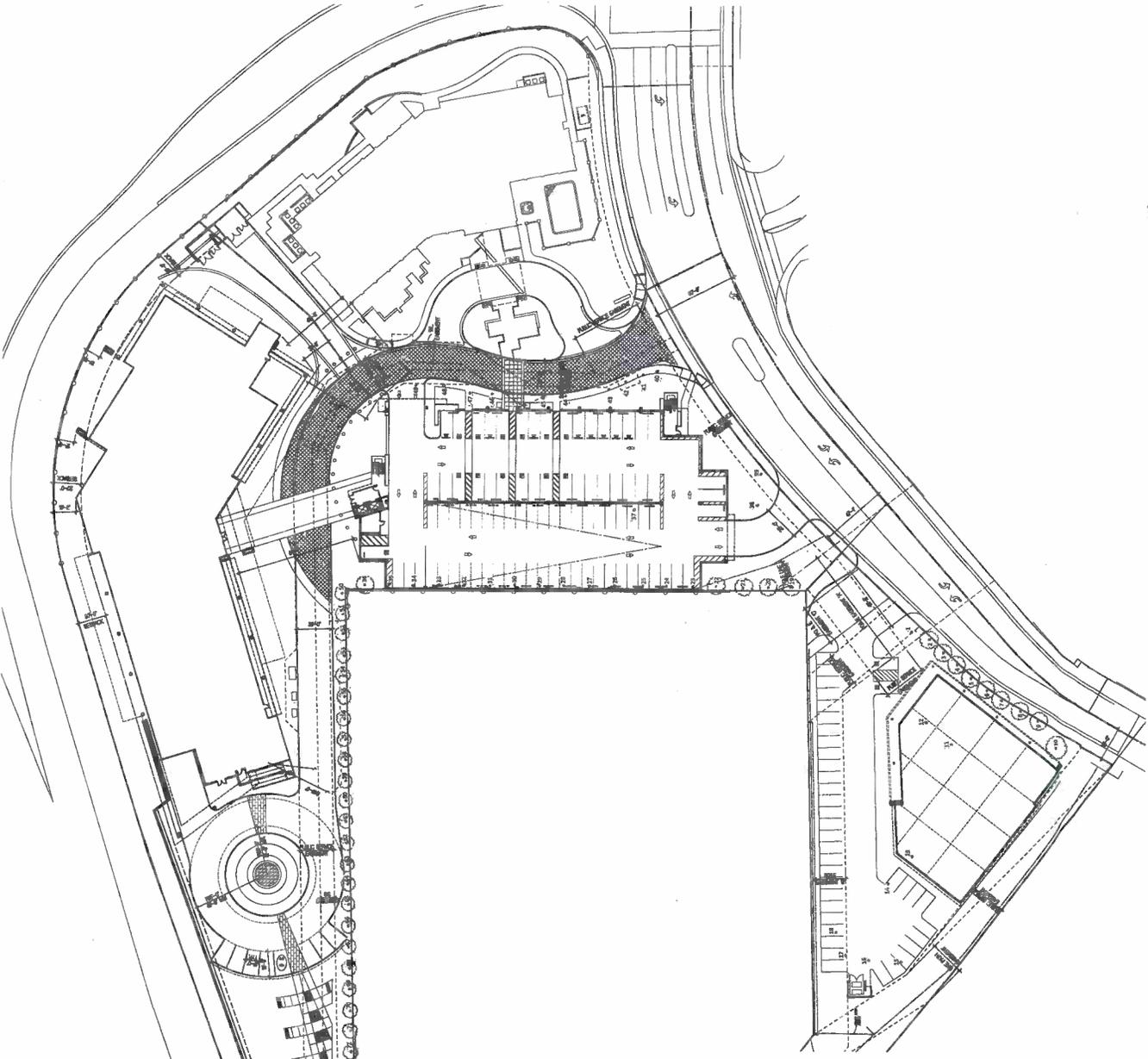
Project Location Map



Project Location: 675 & 705 Creekside Way
Application Type: Modification to a PD Permit & New PD Permit
Planning File No.: PLN2013-237/238
Description: Modification of previously approved Planned Development Permit and a Planned Development Permit to allow for the construction of two (2) office buildings and one (1) parking structure.



Community Development Department
 Planning Division



Existing Tree Inventory

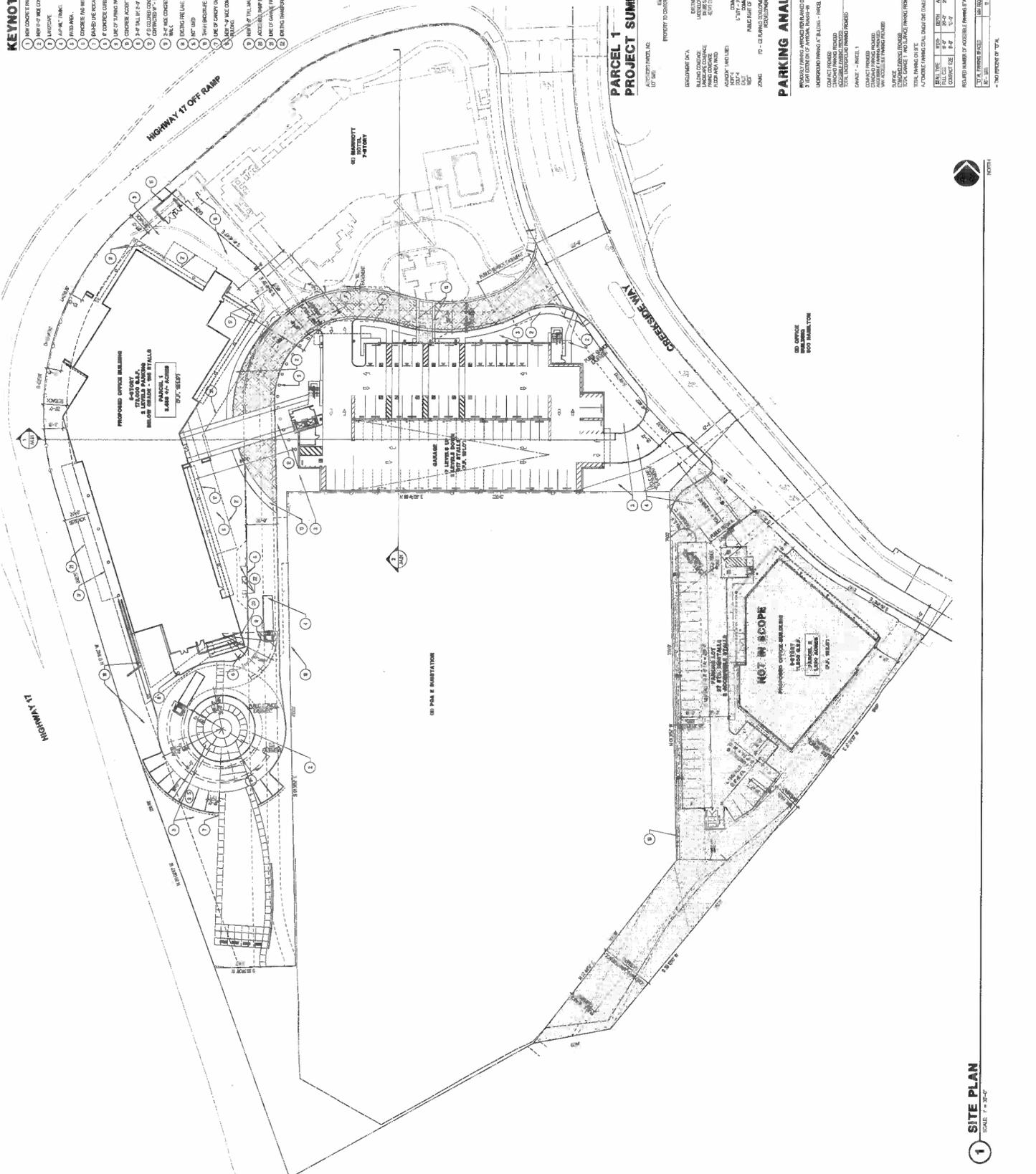
Key	Description	Condition	Remarks
1	1" - 4" Diameter	Good	10' to 15' Height
2	4" - 6" Diameter	Good	15' to 20' Height
3	6" - 8" Diameter	Good	20' to 25' Height
4	8" - 10" Diameter	Good	25' to 30' Height
5	10" - 12" Diameter	Good	30' to 35' Height
6	12" - 14" Diameter	Good	35' to 40' Height
7	14" - 16" Diameter	Good	40' to 45' Height
8	16" - 18" Diameter	Good	45' to 50' Height
9	18" - 20" Diameter	Good	50' to 55' Height
10	20" - 22" Diameter	Good	55' to 60' Height
11	22" - 24" Diameter	Good	60' to 65' Height
12	24" - 26" Diameter	Good	65' to 70' Height
13	26" - 28" Diameter	Good	70' to 75' Height
14	28" - 30" Diameter	Good	75' to 80' Height
15	30" - 32" Diameter	Good	80' to 85' Height
16	32" - 34" Diameter	Good	85' to 90' Height
17	34" - 36" Diameter	Good	90' to 95' Height
18	36" - 38" Diameter	Good	95' to 100' Height
19	38" - 40" Diameter	Good	100' to 105' Height
20	40" - 42" Diameter	Good	105' to 110' Height
21	42" - 44" Diameter	Good	110' to 115' Height
22	44" - 46" Diameter	Good	115' to 120' Height
23	46" - 48" Diameter	Good	120' to 125' Height
24	48" - 50" Diameter	Good	125' to 130' Height
25	50" - 52" Diameter	Good	130' to 135' Height
26	52" - 54" Diameter	Good	135' to 140' Height
27	54" - 56" Diameter	Good	140' to 145' Height
28	56" - 58" Diameter	Good	145' to 150' Height
29	58" - 60" Diameter	Good	150' to 155' Height
30	60" - 62" Diameter	Good	155' to 160' Height
31	62" - 64" Diameter	Good	160' to 165' Height
32	64" - 66" Diameter	Good	165' to 170' Height
33	66" - 68" Diameter	Good	170' to 175' Height
34	68" - 70" Diameter	Good	175' to 180' Height
35	70" - 72" Diameter	Good	180' to 185' Height
36	72" - 74" Diameter	Good	185' to 190' Height
37	74" - 76" Diameter	Good	190' to 195' Height
38	76" - 78" Diameter	Good	195' to 200' Height
39	78" - 80" Diameter	Good	200' to 205' Height
40	80" - 82" Diameter	Good	205' to 210' Height
41	82" - 84" Diameter	Good	210' to 215' Height
42	84" - 86" Diameter	Good	215' to 220' Height
43	86" - 88" Diameter	Good	220' to 225' Height
44	88" - 90" Diameter	Good	225' to 230' Height
45	90" - 92" Diameter	Good	230' to 235' Height
46	92" - 94" Diameter	Good	235' to 240' Height
47	94" - 96" Diameter	Good	240' to 245' Height
48	96" - 98" Diameter	Good	245' to 250' Height
49	98" - 100" Diameter	Good	250' to 255' Height
50	100" - 102" Diameter	Good	255' to 260' Height
51	102" - 104" Diameter	Good	260' to 265' Height
52	104" - 106" Diameter	Good	265' to 270' Height
53	106" - 108" Diameter	Good	270' to 275' Height
54	108" - 110" Diameter	Good	275' to 280' Height
55	110" - 112" Diameter	Good	280' to 285' Height
56	112" - 114" Diameter	Good	285' to 290' Height
57	114" - 116" Diameter	Good	290' to 295' Height
58	116" - 118" Diameter	Good	295' to 300' Height
59	118" - 120" Diameter	Good	300' to 305' Height
60	120" - 122" Diameter	Good	305' to 310' Height
61	122" - 124" Diameter	Good	310' to 315' Height
62	124" - 126" Diameter	Good	315' to 320' Height
63	126" - 128" Diameter	Good	320' to 325' Height
64	128" - 130" Diameter	Good	325' to 330' Height
65	130" - 132" Diameter	Good	330' to 335' Height
66	132" - 134" Diameter	Good	335' to 340' Height
67	134" - 136" Diameter	Good	340' to 345' Height
68	136" - 138" Diameter	Good	345' to 350' Height
69	138" - 140" Diameter	Good	350' to 355' Height
70	140" - 142" Diameter	Good	355' to 360' Height
71	142" - 144" Diameter	Good	360' to 365' Height
72	144" - 146" Diameter	Good	365' to 370' Height
73	146" - 148" Diameter	Good	370' to 375' Height
74	148" - 150" Diameter	Good	375' to 380' Height
75	150" - 152" Diameter	Good	380' to 385' Height
76	152" - 154" Diameter	Good	385' to 390' Height
77	154" - 156" Diameter	Good	390' to 395' Height
78	156" - 158" Diameter	Good	395' to 400' Height
79	158" - 160" Diameter	Good	400' to 405' Height
80	160" - 162" Diameter	Good	405' to 410' Height
81	162" - 164" Diameter	Good	410' to 415' Height
82	164" - 166" Diameter	Good	415' to 420' Height
83	166" - 168" Diameter	Good	420' to 425' Height
84	168" - 170" Diameter	Good	425' to 430' Height
85	170" - 172" Diameter	Good	430' to 435' Height
86	172" - 174" Diameter	Good	435' to 440' Height
87	174" - 176" Diameter	Good	440' to 445' Height
88	176" - 178" Diameter	Good	445' to 450' Height
89	178" - 180" Diameter	Good	450' to 455' Height
90	180" - 182" Diameter	Good	455' to 460' Height
91	182" - 184" Diameter	Good	460' to 465' Height
92	184" - 186" Diameter	Good	465' to 470' Height
93	186" - 188" Diameter	Good	470' to 475' Height
94	188" - 190" Diameter	Good	475' to 480' Height
95	190" - 192" Diameter	Good	480' to 485' Height
96	192" - 194" Diameter	Good	485' to 490' Height
97	194" - 196" Diameter	Good	490' to 495' Height
98	196" - 198" Diameter	Good	495' to 500' Height
99	198" - 200" Diameter	Good	500' to 505' Height
100	200" - 202" Diameter	Good	505' to 510' Height

- KEYNOTES**
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A Planning Application Package For
CREEKSIDE
 Creekside Way
 Campbell, CA

DATE: 11/18/11
 DRAWN: J. GARDNER
 CHECKED: J. GARDNER
 PROJECT NO.: 110101

SITE PLAN
A1.01
 PROJECT NO.: 110101

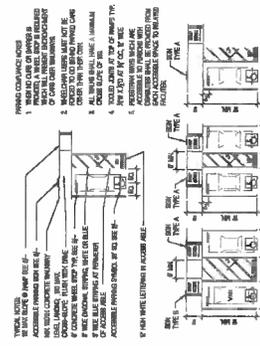


PARCEL 1 PROJECT SUMMARY

DESCRIPTION	AMOUNT	UNIT
EXISTING BLDG AREA	10,000	SQ FT
EXISTING PARKING	100	SPACES
PROPOSED BLDG AREA	150,000	SQ FT
PROPOSED PARKING	1,000	SPACES
TOTAL BLDG AREA	160,000	SQ FT
TOTAL PARKING	1,100	SPACES

PARKING ANALYSIS

TYPE	AMOUNT	UNIT
PROPOSED PARKING	1,000	SPACES
EXISTING PARKING	100	SPACES
TOTAL PARKING	1,100	SPACES
PROPOSED BLDG AREA	150,000	SQ FT
EXISTING BLDG AREA	10,000	SQ FT
TOTAL BLDG AREA	160,000	SQ FT



1 ACCESSIBLE PARKING PLAN
SCALE: 1/8" = 1'-0"



2 ACCESSIBILITY PARKING SYMBOL
SCALE: 1/8" = 1'-0"



3 SIGN POST AND FOOTING
SCALE: 1/8" = 1'-0"



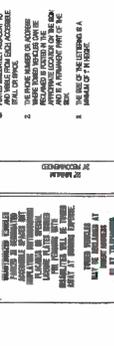
4 PRECAST CONCRETE WHEEL STOP
SCALE: 1/8" = 1'-0"



5 CURB RAMP SECTION
SCALE: 1/8" = 1'-0"



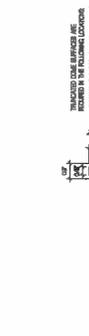
6 TRASH ENCLOSURE - ELEV.
SCALE: 1/8" = 1'-0"



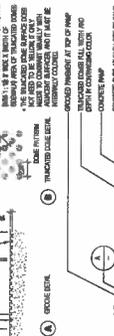
7 TRASH/ RECYCLE ENCLOSURE
SCALE: 1/8" = 1'-0"



8 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1/8" = 1'-0"



9 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"



10 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"



11 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"



12 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"



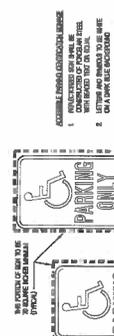
13 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"



14 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"



15 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"



16 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"



17 TRUNCATED CONCRETE RAMP SECTION
SCALE: 1/8" = 1'-0"

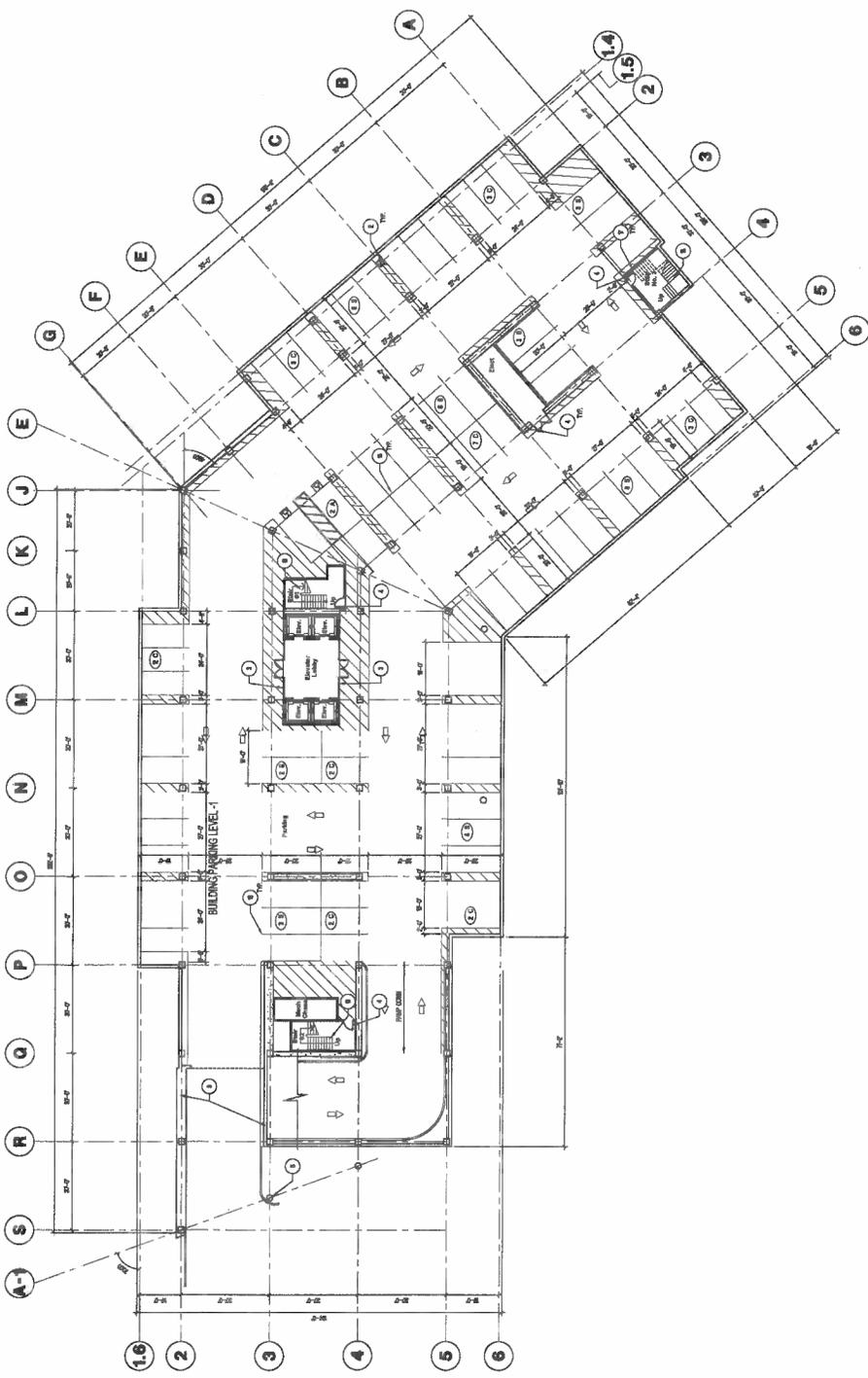




- KEYNOTES**
SEE ALL REVISIONS AND APPROVALS ON SHEET # 100
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 ALUMINUM GLAZED STEEL BEAM WITH CONCRETE SLAB ON TOP
 - 4 ALUMINUM GLAZED STEEL BEAM WITH CONCRETE SLAB ON TOP AND METAL DECK
 - 5 ALUMINUM GLAZED STEEL BEAM WITH CONCRETE SLAB ON TOP AND METAL DECK AND METAL BRACKETS
 - 6 ALUMINUM GLAZED STEEL BEAM WITH CONCRETE SLAB ON TOP AND METAL BRACKETS AND METAL DECK
 - 7 ALUMINUM GLAZED STEEL BEAM WITH CONCRETE SLAB ON TOP AND METAL BRACKETS AND METAL DECK AND METAL BRACKETS
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 - 16 ALUMINUM GLAZED STEEL BEAM WITH CONCRETE SLAB ON TOP AND METAL BRACKETS AND METAL DECK AND METAL BRACKETS AND METAL BRACKETS AND METAL BRACKETS

PARKING PROVIDED

REVISIONS: 1. 10/15/11
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1 UNDERGROUND GARAGE LEVEL ONE PLAN
SCALE: 1/8" = 1'-0"

A Planning Application Package For:
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 10/15/11
PROJECT: CREEKSIDE
SHEET: PLANNING APPLICATION PACKAGE
TABLE: PLANNING APPLICATION PACKAGE

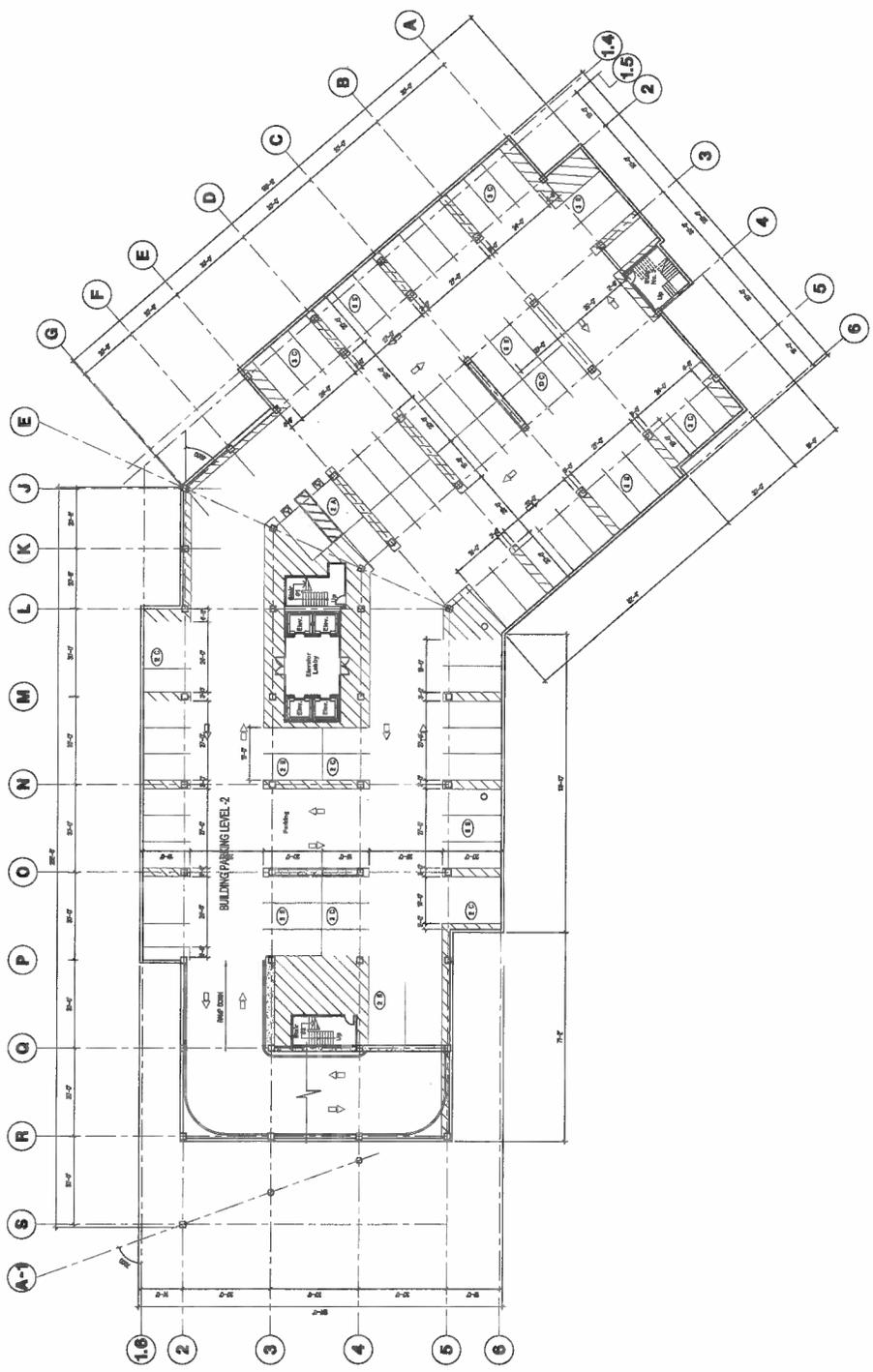
BUILDING - UNDERGROUND
GARAGE LEVEL ONE PLAN
A2.10A
PROJECT NO. 100105



- KEYNOTES**
SEE ALL KEYNOTES AND REFER TO MAP SHEET
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 ALUMINUM CLAD IN ALUMINUM FRAME SYSTEM WITH CLEAR GLAZING
 - 4 1/2" X 1/2" METAL STUDS AND FINISHES - (NOT FINISH)
 - 5 CONCRETE ALUMINUM PANELS/CLAD METAL FINISHES - SEE EXTERIOR ELEVATIONS
 - 6 CLAMP HANGER ALUMINUM COLUMN/CLAD
 - 7 CONCRETE BEAMS WITH 18" TO 18" TO MATCH BUILDING PERMITTED BEAM SIZE
 - 8 STEEL COLUMN METAL FINISHES - SEE EXTERIOR ELEVATIONS
 - 9 ALUMINUM CLAD BEEL BENT CANOPY
 - 10 ALUMINUM CLAD BEEL BENT CANOPY
 - 11 1/2" X 1/2" METAL STUDS AND FINISHES - (NOT FINISH)
 - 12 1/2" X 1/2" METAL STUDS AND FINISHES - (NOT FINISH)
 - 13 1/2" X 1/2" METAL STUDS AND FINISHES - (NOT FINISH)
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PARKING PROVIDED

STANDARD 4 SPACES
COMPACT 31 SPACES
ACCESSIBLE 2 SPACES
TOTAL 37 SPACES



1 UNDERGROUND GARAGE LEVEL TWO PLAN
SCALE: 1/8" = 1'-0"

A Planning Application Package For:
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 11/11/11
PROJECT: PARKING AND CONSTRUCTION
11/11/11
PLANNING/CONSTRUCTION

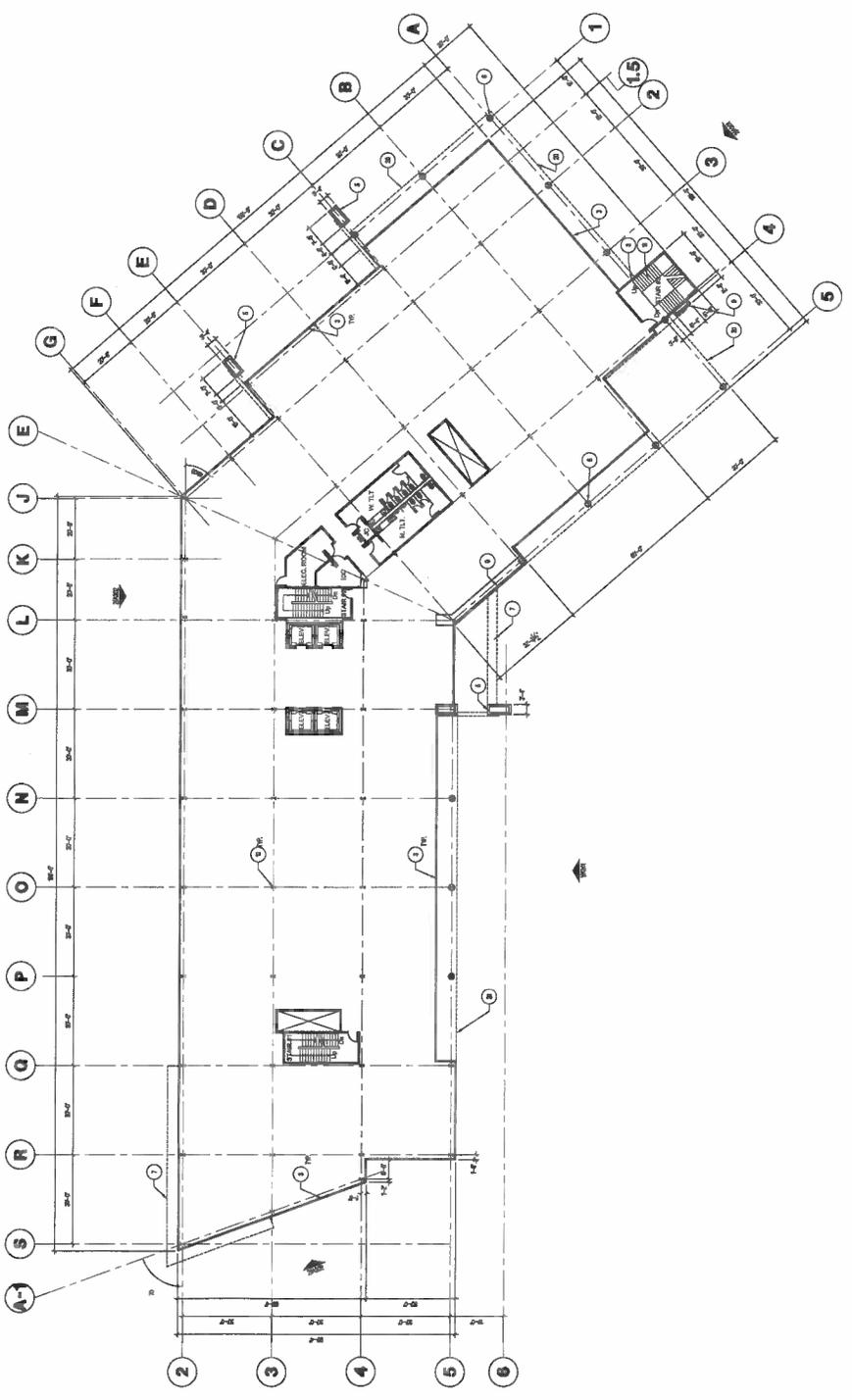
BUILDING - UNDERGROUND
GARAGE LEVEL TWO PLAN
A2.10B
PROJECT NO. 112128



A Planning Application Package For
CREEKSIDE
 Creekside Way
 Campbell, CA

DATE: 11/11/13
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT NO.: 130305

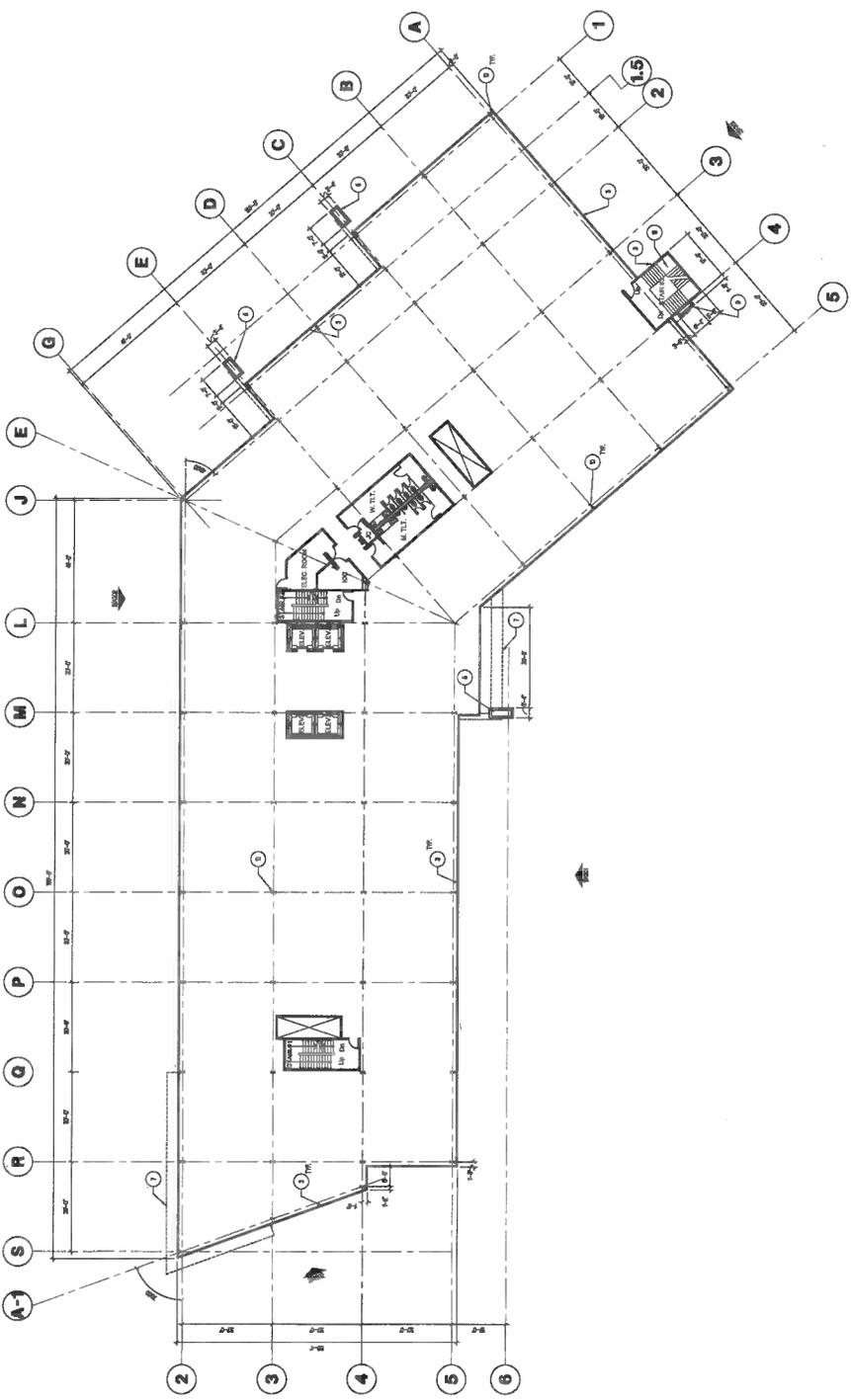
- KEYNOTES**
 SEE ALL NOTES ON SHEET 1001-1-SET
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 ALUMINUM GLAZED & ALUMINUM FRAME SYSTEM WITH CLEAR GLAZING
 - 4 ALUMINUM GLAZED & ALUMINUM FRAME SYSTEM WITH CLEAR GLAZING
 - 5 ALUMINUM GLAZED & ALUMINUM FRAME SYSTEM WITH CLEAR GLAZING
 - 6 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-1
 - 7 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-2
 - 8 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-3
 - 9 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-4
 - 10 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-5
 - 11 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-6
 - 12 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-7
 - 13 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-8
 - 14 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-9
 - 15 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-10
 - 16 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-11
 - 17 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-12
 - 18 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-13
 - 19 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-14
 - 20 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-15
 - 21 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-16
 - 22 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-17
 - 23 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-18
 - 24 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-19
 - 25 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-20
 - 26 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-21
 - 27 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-22
 - 28 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-23
 - 29 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-24
 - 30 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-25
 - 31 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-26
 - 32 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-27
 - 33 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-28
 - 34 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-29
 - 35 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-30
 - 36 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-31
 - 37 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-32
 - 38 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-33
 - 39 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-34
 - 40 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-35
 - 41 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-36
 - 42 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-37
 - 43 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-38
 - 44 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-39
 - 45 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-40
 - 46 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-41
 - 47 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-42
 - 48 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-43
 - 49 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-44
 - 50 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-45
 - 51 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-46
 - 52 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-47
 - 53 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-48
 - 54 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-49
 - 55 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-50
 - 56 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-51
 - 57 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-52
 - 58 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-53
 - 59 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-54
 - 60 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-55
 - 61 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-56
 - 62 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-57
 - 63 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-58
 - 64 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-59
 - 65 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-60
 - 66 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-61
 - 67 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-62
 - 68 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-63
 - 69 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-64
 - 70 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-65
 - 71 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-66
 - 72 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-67
 - 73 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-68
 - 74 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-69
 - 75 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-70
 - 76 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-71
 - 77 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-72
 - 78 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-73
 - 79 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-74
 - 80 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-75
 - 81 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-76
 - 82 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-77
 - 83 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-78
 - 84 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-79
 - 85 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-80
 - 86 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-81
 - 87 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-82
 - 88 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-83
 - 89 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-84
 - 90 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-85
 - 91 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-86
 - 92 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-87
 - 93 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-88
 - 94 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-89
 - 95 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-90
 - 96 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-91
 - 97 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-92
 - 98 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-93
 - 99 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-94
 - 100 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-95
 - 101 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-96
 - 102 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-97
 - 103 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-98
 - 104 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-99
 - 105 CONCRETE ALUMINUM FRAME OVER METAL FINISH - SEE DETAIL 1001-1-100



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 EXISTING FLOOR FINISHES SHOWN



- KEYNOTES**
SEE ALL DIMENSIONS UNLESS OTHERWISE NOTED
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 ALUMINUM CLANGS & ALUMINUM FRAMES SYSTEM WITH CLEAR GLAZING
 - 4 ALUMINUM CLANGS & ALUMINUM FRAMES SYSTEM WITH CLEAR GLAZING
 - 5 ALUMINUM CLANGS & ALUMINUM FRAMES SYSTEM WITH CLEAR GLAZING
 - 6 CONCRETE ALUMINUM PANELS OVER METAL FRAMING - SEE SECTION 051000
 - 7 CLANG HORIZONTAL ALUMINUM COLUMN JOINTS
 - 8 CONCRETE REINFORCED WALL WITH IN-SITU BULKING EPS INSULATION
 - 9 CONCRETE REINFORCED WALL WITH IN-SITU BULKING EPS INSULATION
 - 10 CONCRETE REINFORCED WALL WITH IN-SITU BULKING EPS INSULATION
 - 11 ALUMINUM CLANG STEEL BEAM JOINTS
 - 12 ALUMINUM CLANG STEEL BEAM JOINTS
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 - 99 ALUMINUM CLANG STEEL BEAM JOINTS
 - 100 ALUMINUM CLANG STEEL BEAM JOINTS



1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

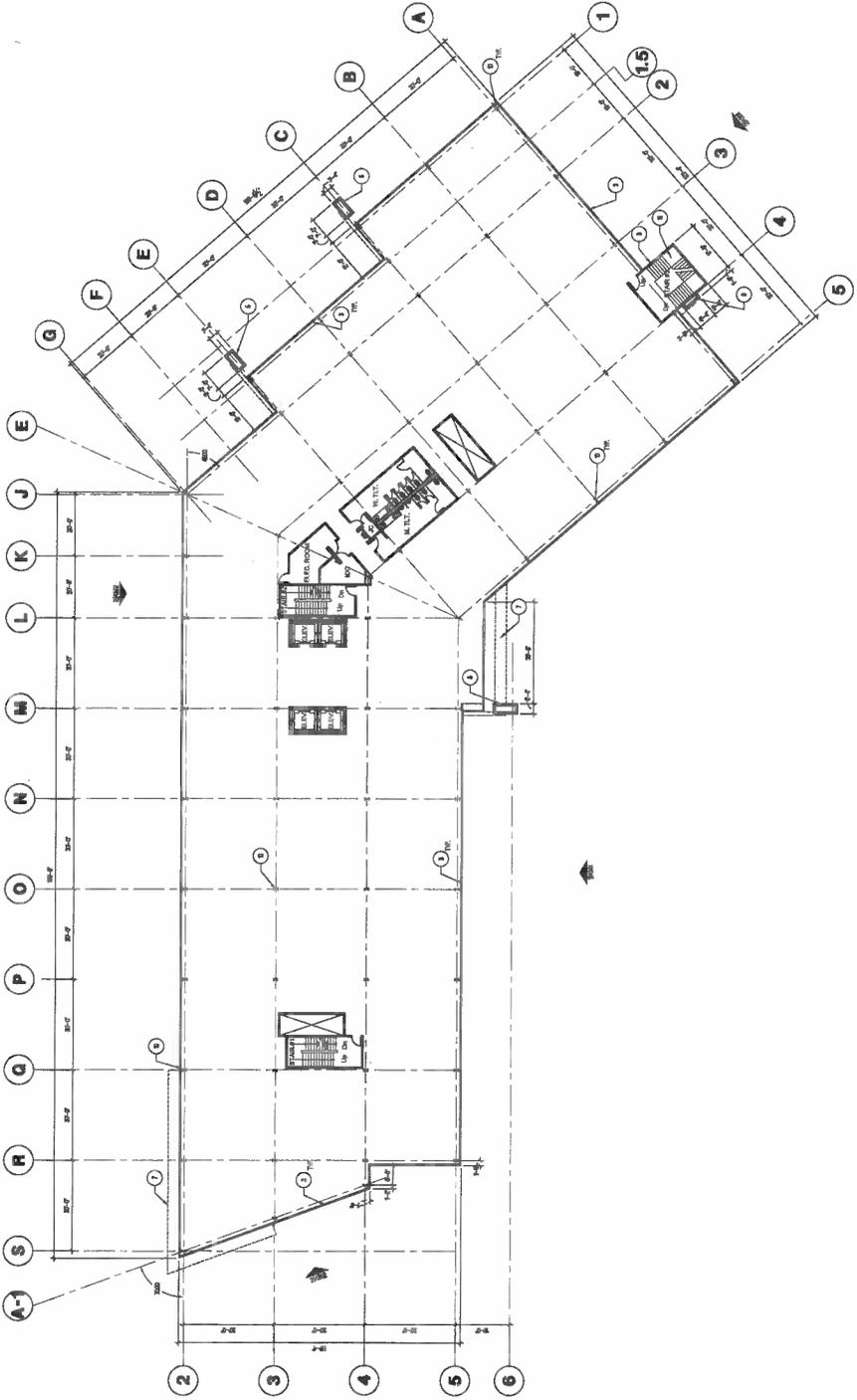
FOR MORE INFORMATION, SEE THE ARCHITECTURAL DRAWINGS.

A Planning Application Package For:
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 08/15/2011
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
PROJECT NO.: 120335

BUILDING - THIRD FLOOR PLAN
A2.13
PROJECT NO.: 120335

- KEYNOTES**
 NOT ALL KEYNOTES MAY APPLY TO EVERY SHEET
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 HANGAR CLADDING - ALUMINUM PANELS WITH VINYL CLADDING
 - 4 ALUMINUM CLADDING - ALUMINUM PANELS WITH VINYL CLADDING
 - 5 ALUMINUM CLADDING - ALUMINUM PANELS WITH VINYL CLADDING - PAINT FINISH
 - 6 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 7 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 8 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 9 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 10 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 11 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 12 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 13 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 14 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1
 - 15 CONCRETE FINISHES - CONCRETE FINISHES - SEE KEYNOTE 1



1 FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 (SEE KEYNOTE 15 FOR MECHANICAL ROOM)



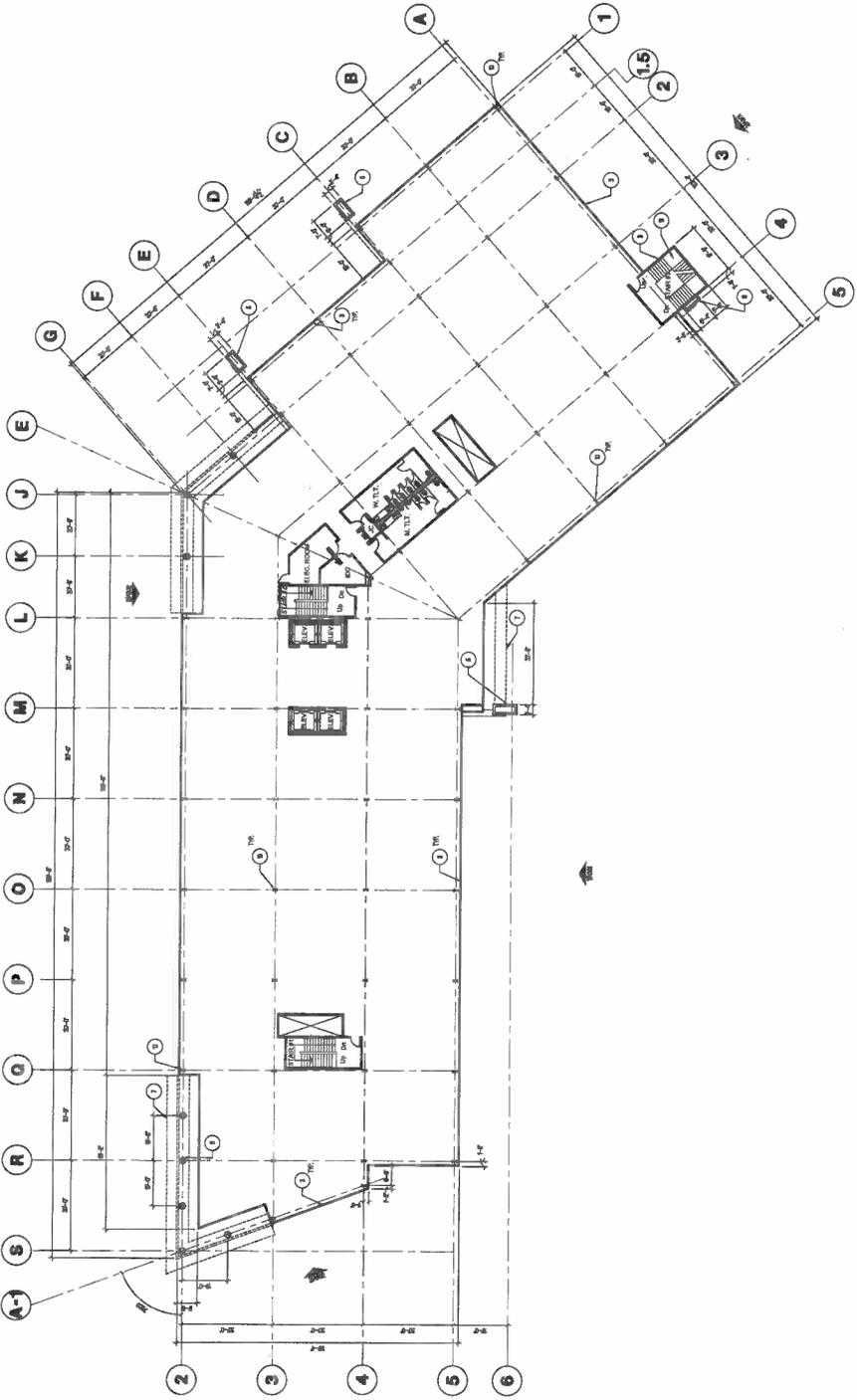
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10000 ARCTIC AVENUE
SUITE 100
DUBLIN, CALIFORNIA 94568
TEL: (925) 835-1000
WWW.ARCTEC.COM

A Planting Application Package For:
CREEKSIDE
Campbell, CA

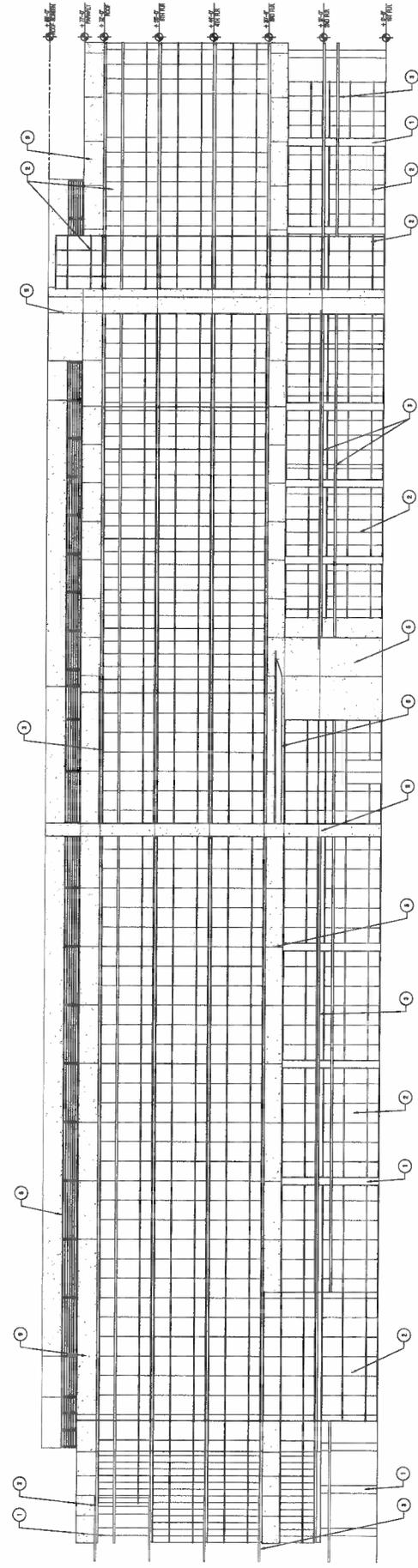
DATE: 11/18/11
DESCRIPTION: PLANTING APPLICATION PACKAGE
DRAWN BY: J. BENTLEY

BUILDING - FIFTH FLOOR PLAN
A2.15
PROJECT NO.: 123335

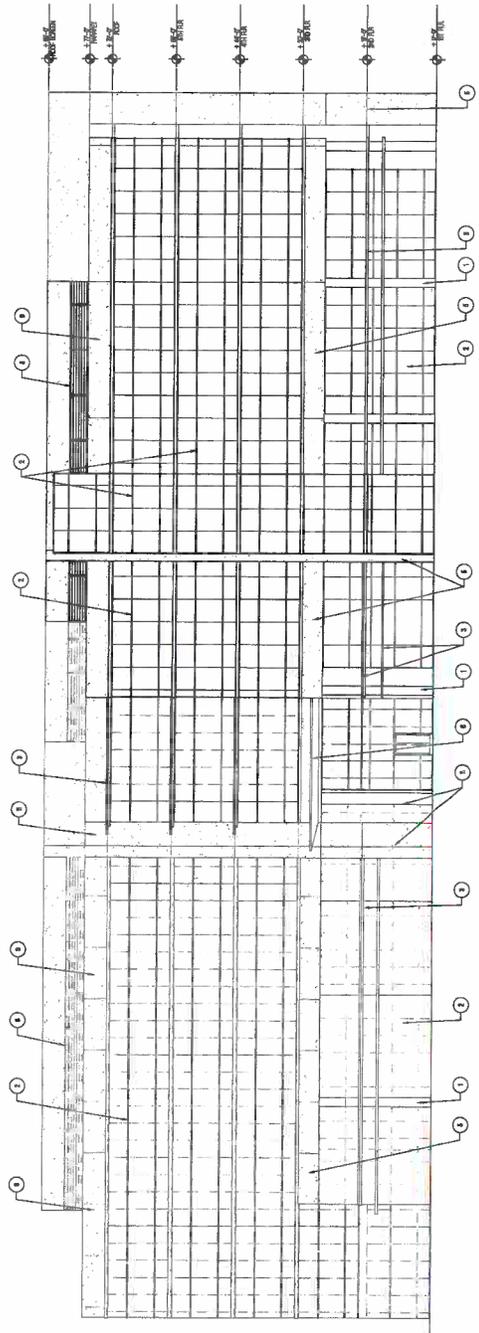
- KEYNOTES**
NOT ALL MATERIALS SHOWN ON EVERY SHEET
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 ALUMINUM CLAD STEEL BEAM WITH CLASH TO BRIDGE
 - 4 ALUMINUM CLAD STEEL BEAM WITH CLASH TO BRIDGE - SHOT BURN
 - 5 CONCRETE ALUMINUM PANELS OVER ALUMINUM FRAMING - SEE STRUCTURE
 - 6 CLAMP FINISHED ALUMINUM COLUMN COVER
 - 7 CLAMP FINISHED ALUMINUM COLUMN
 - 8 CONCRETE BEARING WALL WITH TO MATCH BUILDING ERS
 - 9 CONCRETE BEARING WALL WITH TO MATCH BUILDING ERS
 - 10 BRASS COLUMN
 - 11 ALUMINUM CLAD STEEL BEAM WITH CLASH TO BRIDGE
 - 12 ALUMINUM CLAD STEEL BEAM WITH CLASH TO BRIDGE
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1 FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
FLOOR PLAN ILLUSTRATION 000.07



1 EAST ELEVATION
 SCALE: 3/8" = 1'-0"



2 NORTH ELEVATION
 SCALE: 3/8" = 1'-0"

- KEYNOTES**
- 1 2'-0" FINESSE CURVE ANCHORED ALUMINUM COLUMN CORNER
 - 2 ALUMINUM FINISH SYSTEM WITH GLASS
 - 3 CONCRETE ANCHORED ALUMINUM SHAPERS
 - 4 CONCRETE ANCHORED METAL WITH FINISH TO MATCH FINISHES SPEC
 - 5 ALUMINUM FINISH SYSTEM WITH GLASS
 - 6 ALUMINUM FINISH SYSTEM WITH GLASS
 - 7 4'-0" x 8'-0" x 8'-0" METAL FINISHING PRODUCT
 - 8 4'-0" x 8'-0" x 8'-0" METAL FINISHING PRODUCT
 - 9 CONCRETE ANCHORED METAL WITH FINISH TO MATCH FINISHES SPEC
 - 10 CONCRETE ANCHORED METAL WITH FINISH TO MATCH FINISHES SPEC



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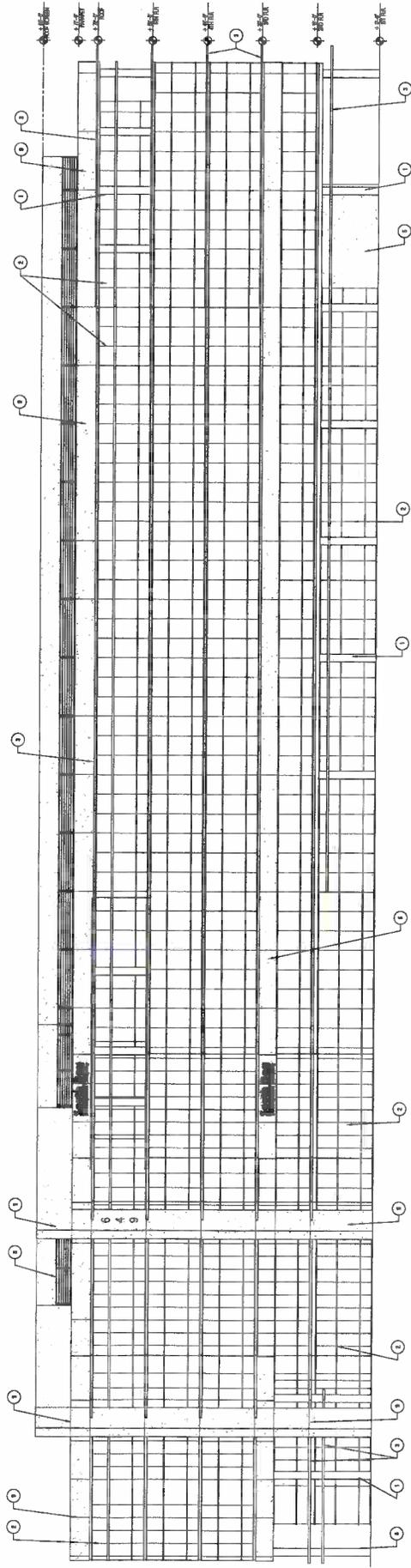
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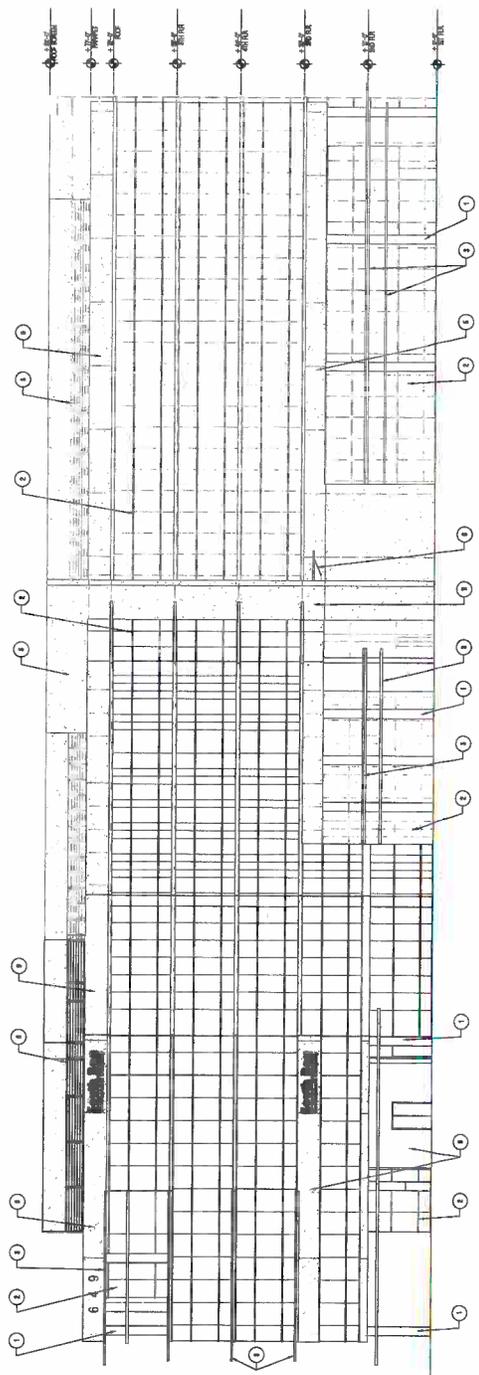
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1 WEST ELEVATION
SCALE: 3/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

A Planning Application Package For:
CREEKSIDE
Creekside Way
Campbell, CA

DATE: _____
DESCRIPTION: _____
PROJECT NO.: _____
PROJECT NO.: _____

BUILDING - EXTERIOR ELEVATION

A3.03
PROJECT NO.: _____

- KEYNOTES**
- 1 2'-0" FINISHED CLUMP FINISHED ALUMINUM COLUMN COVER
 - 2 FINISHED CLUMP FINISHED ALUMINUM COLUMN COVER
 - 3 FINISHED CLUMP FINISHED ALUMINUM COLUMN COVER
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 - 9 FINISHED CLUMP FINISHED ALUMINUM COLUMN COVER
 - 10 FINISHED CLUMP FINISHED ALUMINUM COLUMN COVER

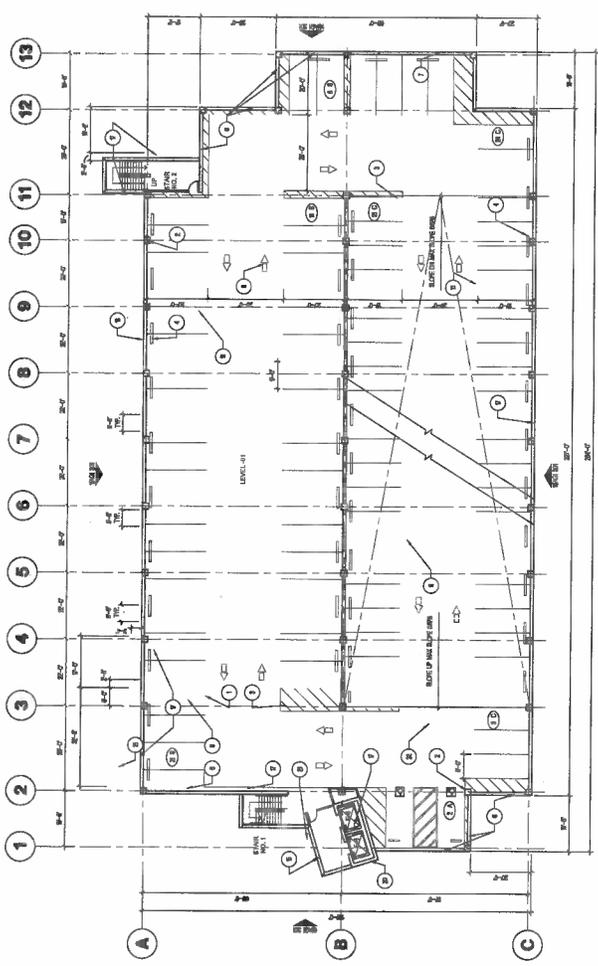


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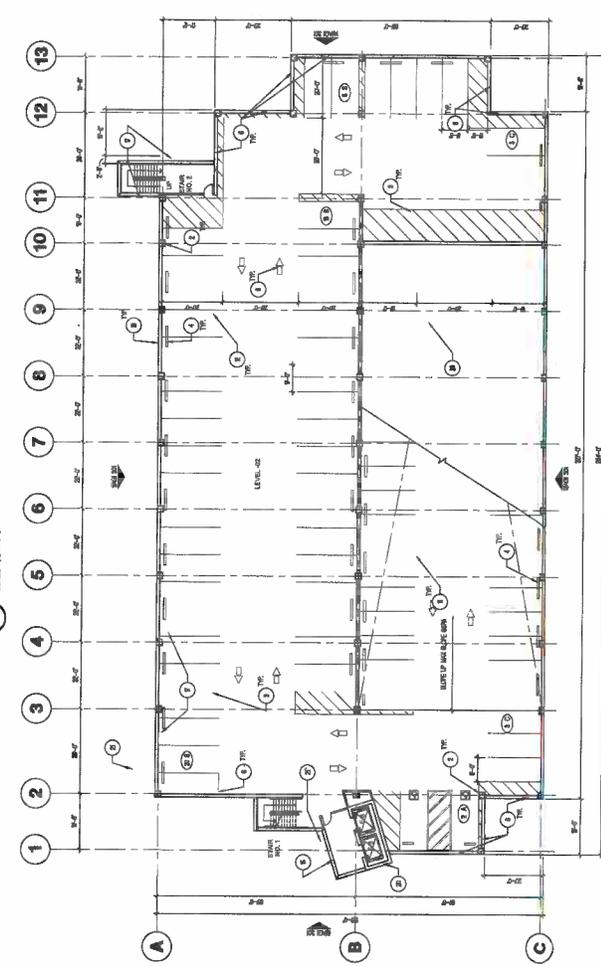
- KEY NOTES**
FOR DETAILS SEE PART
1. CONCRETE CURB - SEE DETAIL FOR DETAILS
 2. CONCRETE COLUMN - SEE DETAIL
 3. CONCRETE BRIMS 8'-0" DIA.
 4. WELDED STEEL DECK
 5. CONCRETE FINISH - PAINT
 6. CONCRETE PAINT COATING
 7. 1/2" OF CONCRETE LEVEL ANGLE
 8. FINISH FLOORING SYSTEM
 9. FINISH FLOORING SYSTEM
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PARKING PROVIDED

FINISHED 10 SPACES
CONCRETE 10 SPACES
ASPHALT 10 SPACES



1 GARAGE 1 - FIRST LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"



2 GARAGE 1 - SECOND LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"

A Planning Application Package For
CREEKSIDE
Creekside Way
Campbell, CA

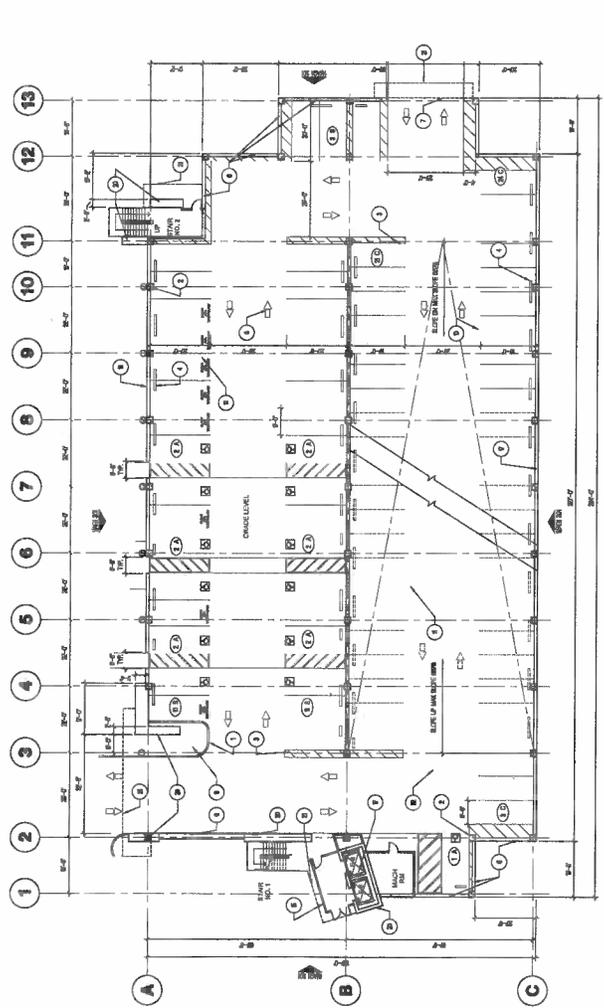
DATE: 11/11/11
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DRAWN BY: [Name]
CHECKED BY: [Name]

GARAGE - FIRST AND SECOND LOWER LEVEL PLANS
AG1 2.11
PROJECT NO. 111111

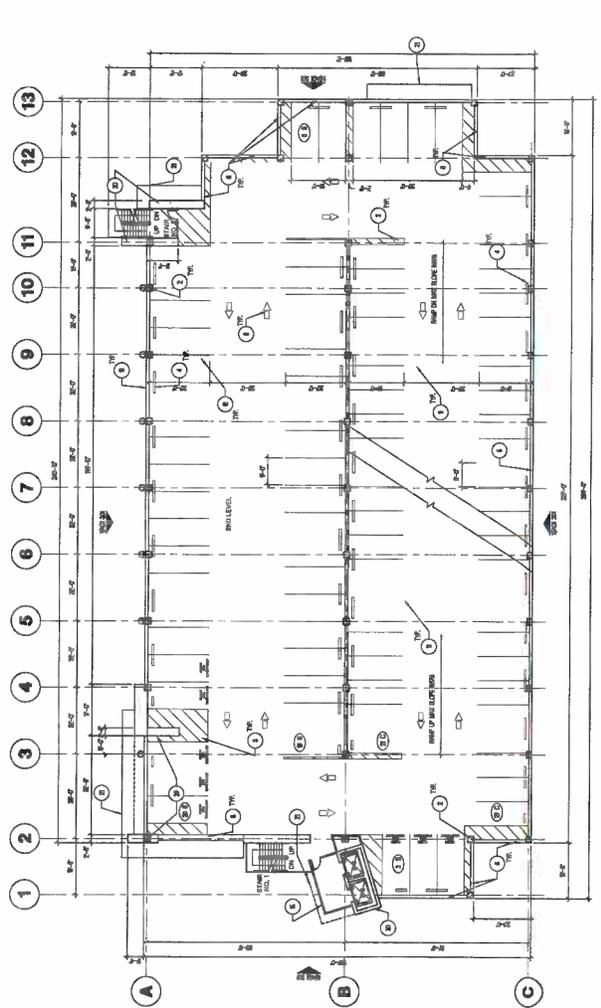
- KEY NOTES**
- 1 CONCRETE CURB - SEE CALL SHEETS FOR DETAILS
 - 2 CONCRETE COLUMN - FINISH
 - 3 CONCRETE COLUMN - FORM
 - 4 FINISH FLOORING - SEE CALL SHEETS
 - 5 WALL FINISH
 - 6 CONCRETE FINISH - FINISH
 - 7 CONCRETE FINISH - CONCRETE
 - 8 FINISH OF CONCRETE FLOOR, ABOVE
 - 9 FINISH OF CONCRETE FLOOR, BELOW
 - 10 FINISH OF CONCRETE FLOOR, BELOW
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 - 100 FINISH OF CONCRETE FLOOR, BELOW

PARKING PROVIDED

STANDARD 10 SPACES
 COMPACT 10 SPACES
 ACCESSIBLE 10 SPACES



1 GARAGE - FIRST LEVEL PLAN
 SCALE: 1/8" = 1'-0"



2 GARAGE - SECOND LEVEL PLAN
 SCALE: 1/8" = 1'-0"

A Planning Application Package For
CREEKSIDE
 Creekside Way
 Campbell, CA

DATE: 02/21/12
 DESCRIPTION: PLANNING APPLICATION
 PROJECT: 123335

PARKING PROVIDED

STANDARD 10 SPACES
 COMPACT 10 SPACES
 ACCESSIBLE 10 SPACES

GARAGE - FIRST AND SECOND
 LEVEL PLANS
AG1 2.12
 PROJECT NO. 123335

- KEY NOTES**
1. CONCRETE CURB - SEE WALL FINISHING FOR DETAILS
 2. CONCRETE COLUMN - FINISH
 3. FINISH BRICKWORK - 8" x 8" x 8"
 4. FINISH BRICKWORK - 4" x 8" x 8"
 5. FINISH BRICKWORK - 2" x 8" x 8"
 6. FINISH BRICKWORK - 1" x 8" x 8"
 7. FINISH BRICKWORK - 1/2" x 8" x 8"
 8. FINISH BRICKWORK - 1/4" x 8" x 8"
 9. FINISH BRICKWORK - 1/8" x 8" x 8"
 10. FINISH BRICKWORK - 1/16" x 8" x 8"
 11. FINISH BRICKWORK - 1/32" x 8" x 8"
 12. FINISH BRICKWORK - 1/64" x 8" x 8"
 13. FINISH BRICKWORK - 1/128" x 8" x 8"
 14. FINISH BRICKWORK - 1/256" x 8" x 8"
 15. FINISH BRICKWORK - 1/512" x 8" x 8"
 16. FINISH BRICKWORK - 1/1024" x 8" x 8"
 17. FINISH BRICKWORK - 1/2048" x 8" x 8"
 18. FINISH BRICKWORK - 1/4096" x 8" x 8"
 19. FINISH BRICKWORK - 1/8192" x 8" x 8"
 20. FINISH BRICKWORK - 1/16384" x 8" x 8"
 21. FINISH BRICKWORK - 1/32768" x 8" x 8"
 22. FINISH BRICKWORK - 1/65536" x 8" x 8"
 23. FINISH BRICKWORK - 1/131072" x 8" x 8"
 24. FINISH BRICKWORK - 1/262144" x 8" x 8"
 25. FINISH BRICKWORK - 1/524288" x 8" x 8"
 26. FINISH BRICKWORK - 1/1048576" x 8" x 8"
 27. FINISH BRICKWORK - 1/2097152" x 8" x 8"
 28. FINISH BRICKWORK - 1/4194304" x 8" x 8"
 29. FINISH BRICKWORK - 1/8388608" x 8" x 8"
 30. FINISH BRICKWORK - 1/16777216" x 8" x 8"
 31. FINISH BRICKWORK - 1/33554432" x 8" x 8"
 32. FINISH BRICKWORK - 1/67108864" x 8" x 8"
 33. FINISH BRICKWORK - 1/134217728" x 8" x 8"
 34. FINISH BRICKWORK - 1/268435456" x 8" x 8"
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 49. FINISH BRICKWORK - 1/8796093022208" x 8" x 8"
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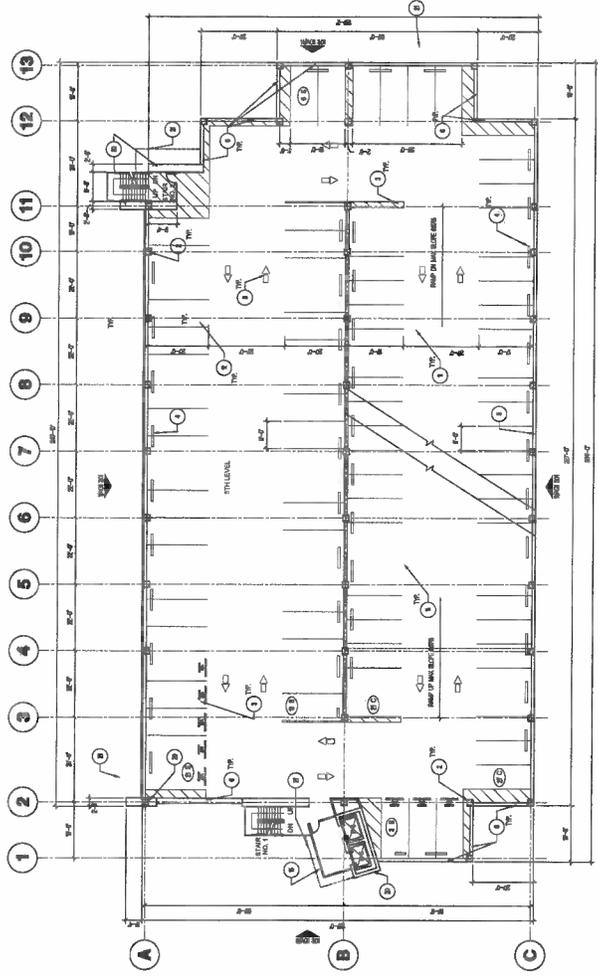
ARCTEC
 ARCHITECTURAL TECHNOLOGIES
 10000 Wilshire Blvd, Suite 1000
 Beverly Hills, CA 90210
 Tel: 310.277.1000
 Fax: 310.277.1001
 www.arctec.com

KEY NOTES
 REFER TO SHEET 05-100 FOR DETAILS

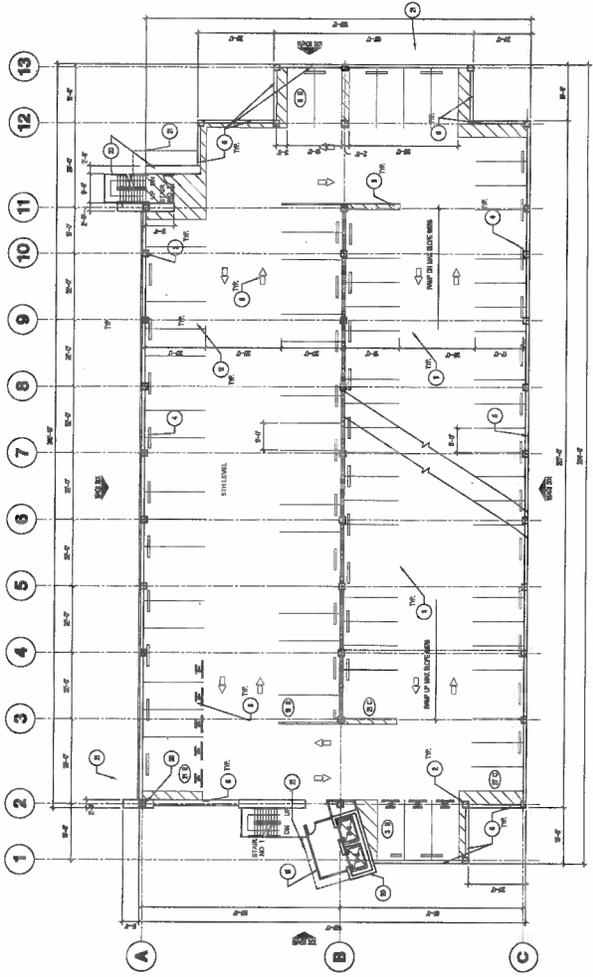
- 1) CONCRETE SLAB - SEE CALL OUTS FOR DETAILS
- 2) CONCRETE COLUMN - 18" DIA
- 3) FINISH FLOOR - 2" POLY CONCRETE
- 4) WELDED STEEL DECK
- 5) CONCRETE FLOOR - 4" THICK
- 6) CONCRETE FLOOR - 6" THICK
- 7) CONCRETE FLOOR - 8" THICK
- 8) CONCRETE FLOOR - 10" THICK
- 9) CONCRETE FLOOR - 12" THICK
- 10) CONCRETE FLOOR - 14" THICK
- 11) CONCRETE FLOOR - 16" THICK
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- 48) CONCRETE FLOOR - 90" THICK
- 49) CONCRETE FLOOR - 92" THICK
- 50) CONCRETE FLOOR - 94" THICK
- 51) CONCRETE FLOOR - 96" THICK
- 52) CONCRETE FLOOR - 98" THICK
- 53) CONCRETE FLOOR - 100" THICK

PARKING PROVIDED

STANDARD	48 SPACES
COMPACT	12 SPACES
TOTAL	60 SPACES



1 GARAGE - FIFTH LEVEL PLAN
 SCALE: 1/8" = 1'-0"



2 GARAGE - SIXTH LEVEL PLAN
 SCALE: 1/8" = 1'-0"

A Planning Application Package For
CREEKSIDE
 Creekside Way
 Campbell, CA

DATE: 10/15/2013
 DESCRIPTION: PLANNING APPLICATION
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT NO: 13-0001

PARKING PROVIDED

STANDARD	48 SPACES
COMPACT	12 SPACES
TOTAL	60 SPACES

DATE: 10/15/2013
 DESCRIPTION: PLANNING APPLICATION
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT NO: 13-0001

AG1 2.14
 PROJECT NO: 13-0001

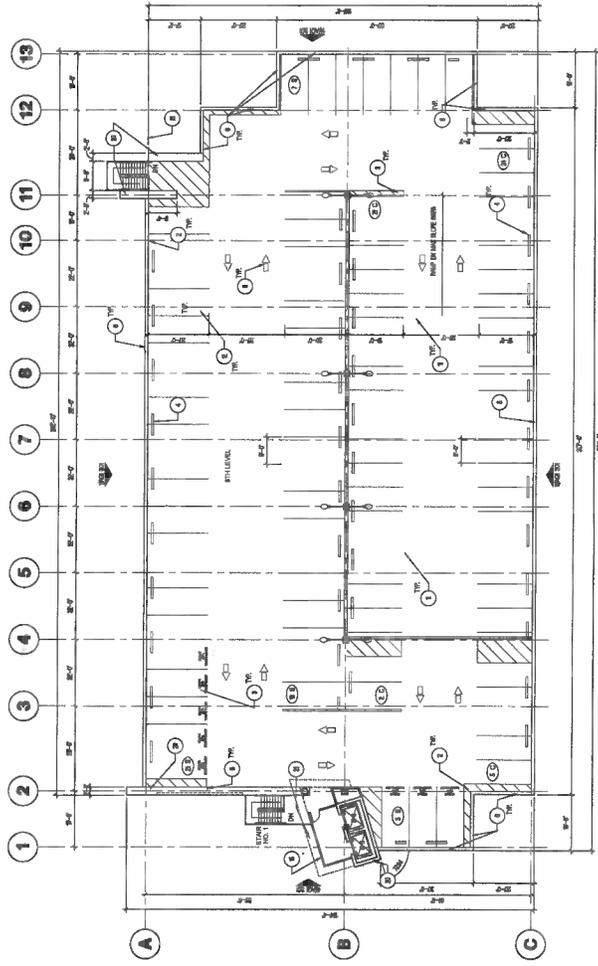


KEY NOTES
SEE THE GENERAL NOTES FOR DETAILS

- 1) CONCRETE COLUMN - 18" DIA. UNLESS NOTED OTHERWISE
- 2) CONCRETE COLUMN - 18" DIA.
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- 100) CONCRETE COLUMN - 18" DIA.

PARKING PROVIDED

STANDARD
STANDARD
STANDARD
STANDARD



1 GARAGE - SEVENTH LEVEL PLAN

SCALE: 1/8" = 1'-0"



A Planning Application Package For
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 11/11/11
DESCRIPTION: PLANNING APPLICATION
PROJECT NO.: 111111

DATE: 11/11/11
DESCRIPTION: PLANNING APPLICATION
PROJECT NO.: 111111

DATE: 11/11/11
DESCRIPTION: PLANNING APPLICATION
PROJECT NO.: 111111



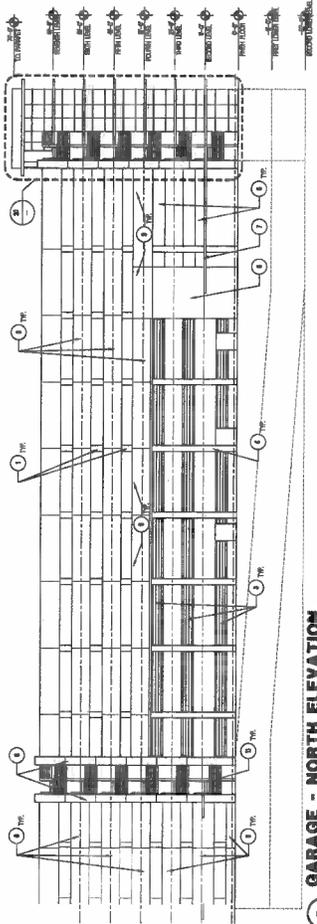
ARCTE
ARCHITECTURAL TECHNOLOGIES
WWW.ARCTEARCH.COM

2000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
PHONE: 303.733.1234 FAX: 303.733.1235
BY PROJECT: 303.733.1234
BY OFFICE: 303.733.1234
BY AREA: 303.733.1234
BY PHONE: 303.733.1234
BY FAX: 303.733.1235
BY EMAIL: INFO@ARCTEARCH.COM
BY WEBSITE: WWW.ARCTEARCH.COM
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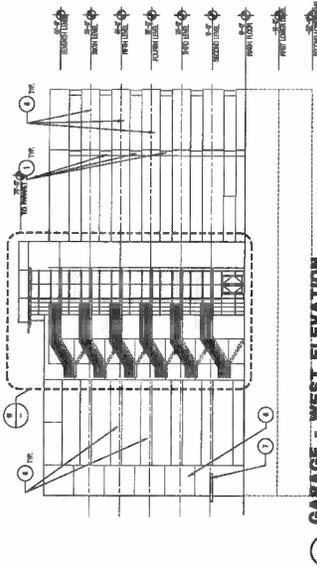
A Planning Application Package For:
CREEKSIDE
Creekside Way
Campbell, CA

DATE: _____
DESCRIPTION: PLANNING APPLICATION PACKAGE
FIELD: CAMPBELL, CA

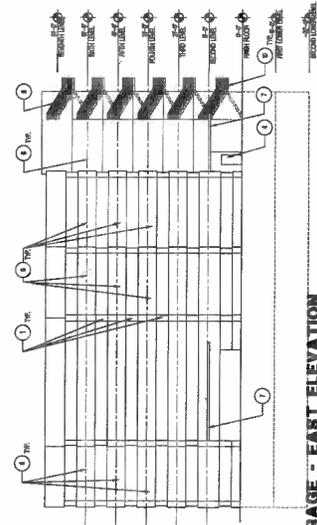
SCALE: EXTERIOR ELEVATIONS
AG1 3.01
PROJECT NO.: 123



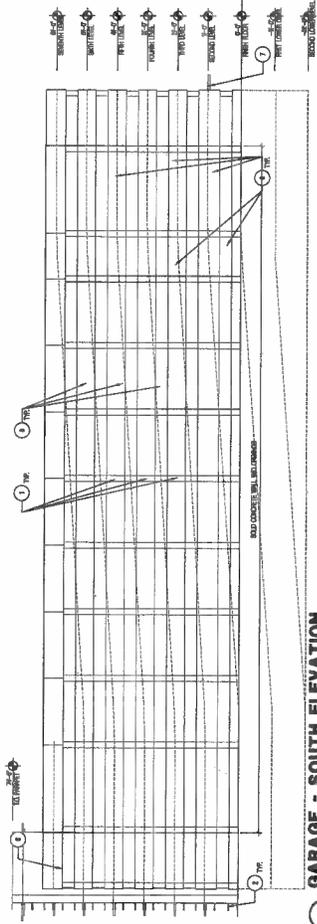
9 GARAGE - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



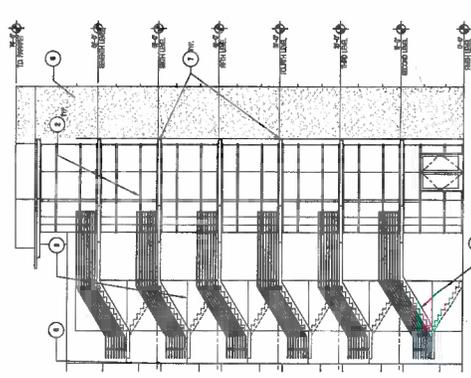
6 GARAGE - WEST ELEVATION
SCALE: 1/8" = 1'-0"



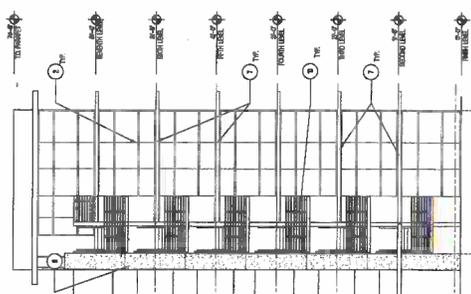
14 GARAGE - EAST ELEVATION
SCALE: 1/8" = 1'-0"



11 GARAGE - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



16 GARAGE WEST ELEVATION
SCALE: 1/8" = 1'-0"



20 GARAGE NORTH ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

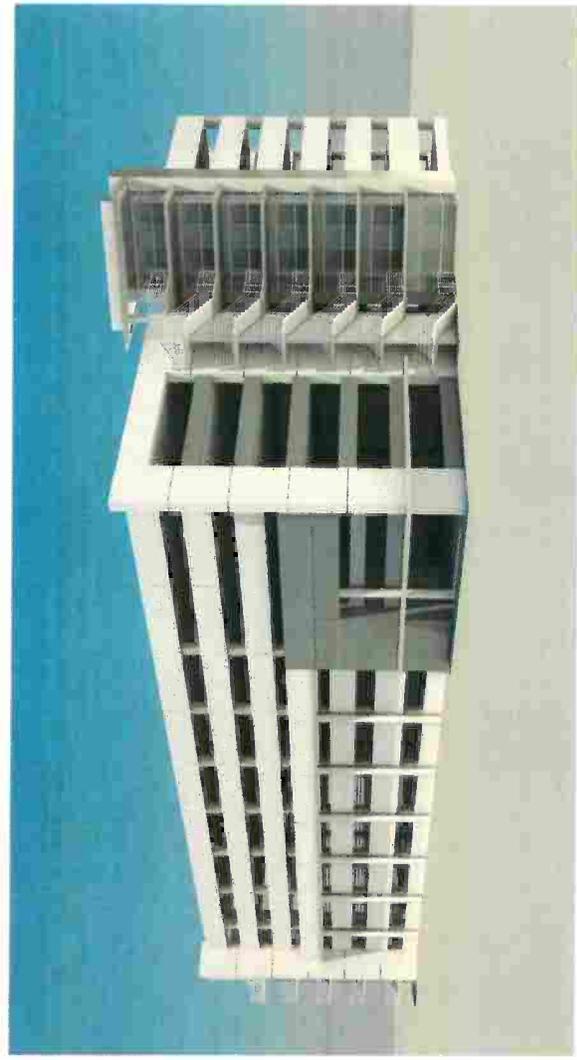
- 1 CONCRETE COLUMN - FINISH
- 2 REBAR
- 3 ALUMINUM BRACES
- 4 1/2" IS STEEL PIPE COLUMN
- 5 NOT USED
- 6 COMPACT METAL FINISH STEEL DECK WITH BRIMS
- 7 CONCRETE FLOOR
- 8 CONCRETE FLOOR PANELS - FINISH
- 9 CONCRETE FLOOR WITH CONCRETE REINFORCEMENT AND INSULATION, FINISH AND FINISH
- 10 CONCRETE FLOOR WITH METAL BRIMS, REBAR AND WITH STEEL PIPE WITH FINISH STEEL BRIMS AND JOISTS TO MATCH EXISTING ALUMINUM BRIMS



1 GARAGE 1 WEST ELEVATION
 SCALE: 3/8" = 1'-0"



2 GARAGE 1 NORTH ELEVATION
 SCALE: 3/8" = 1'-0"



3 GARAGE 1 EXTERIOR RENDERING
 SCALE: NOT TO SCALE

A Planning Application Package For:
CREEKSIDE: 1-STORY OFFICE BUILDING
 Creekside Way
 Campbell, California

HAMILTON CAMPBELL, LLC



CREEKSIDE: 1-STORY OFFICE BUILDING
 Creekside Way
 Campbell, California



PROJECT NUMBER: 123335-06

A Planning Application Package For:

DRAWING INDEX AND ISSUE DATES

- PRELIMINARY OR PENDING PLANS
- REVISIONS TO PREVIOUS ISSUE
- ◆ MODIFICATIONS SINCE PREVIOUS ISSUE

ISSUE DATES AND DESCRIPTIONS	DATE	DESCRIPTION
COVER SHEET	08/14/14	COVER SHEET
CIVIL	08/14/14	CONCEPTUAL CIVIL & LANDSCAPE PLAN CIVIL CIVIL PHOTOMOUNT ENGINEERING CONTROL PLAN
LANDSCAPE	08/14/14	CONCEPTUAL LANDSCAPE PLAN LANDSCAPE LANDSCAPE
ARCHITECTURAL	08/14/14	EXISTING SITE PHOTOS ARCHITECTURAL ARCHITECTURAL ARCHITECTURAL ARCHITECTURAL ARCHITECTURAL ARCHITECTURAL ARCHITECTURAL ARCHITECTURAL ARCHITECTURAL ARCHITECTURAL

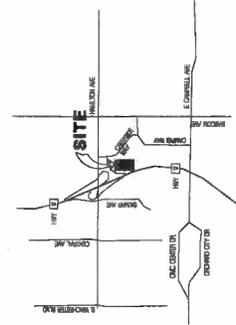
PROJECT TEAM

- DEVELOPER**
 SOUTHWEST DEVELOPMENT COMPANY
 10000 SOUTHWEST AVENUE
 SUITE 100
 CAMPBELL, CA 95008
- CONTRACTOR**
 SOUTHWEST CONSTRUCTION
 10000 SOUTHWEST AVENUE
 SUITE 100
 CAMPBELL, CA 95008
- ARCHITECT**
 ARCTEC ARCHITECTURAL TECHNOLOGIES
 10000 SOUTHWEST AVENUE
 SUITE 100
 CAMPBELL, CA 95008
- CIVIL**
 PHOTOMOUNT ENGINEERING
 10000 SOUTHWEST AVENUE
 SUITE 100
 CAMPBELL, CA 95008
- LANDSCAPE**
 LISA B. WINTERMANN
 10000 SOUTHWEST AVENUE
 SUITE 100
 CAMPBELL, CA 95008

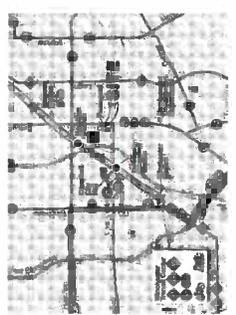
PROJECT DESCRIPTION

A PROPOSED 1-STORY OFFICE BUILDING WITH 10,000 SQUARE FEET OF LEASABLE AREA. THE PROPOSED BUILDING WILL BE SITED ON THE CORNER OF CREEKSIDE WAY AND CAMPBELL AVENUE. THE PROPOSED BUILDING WILL BE A 1-STORY OFFICE BUILDING WITH 10,000 SQUARE FEET OF LEASABLE AREA. THE PROPOSED BUILDING WILL BE SITED ON THE CORNER OF CREEKSIDE WAY AND CAMPBELL AVENUE.

VICINITY MAP



PUBLIC TRANSPORT MAP



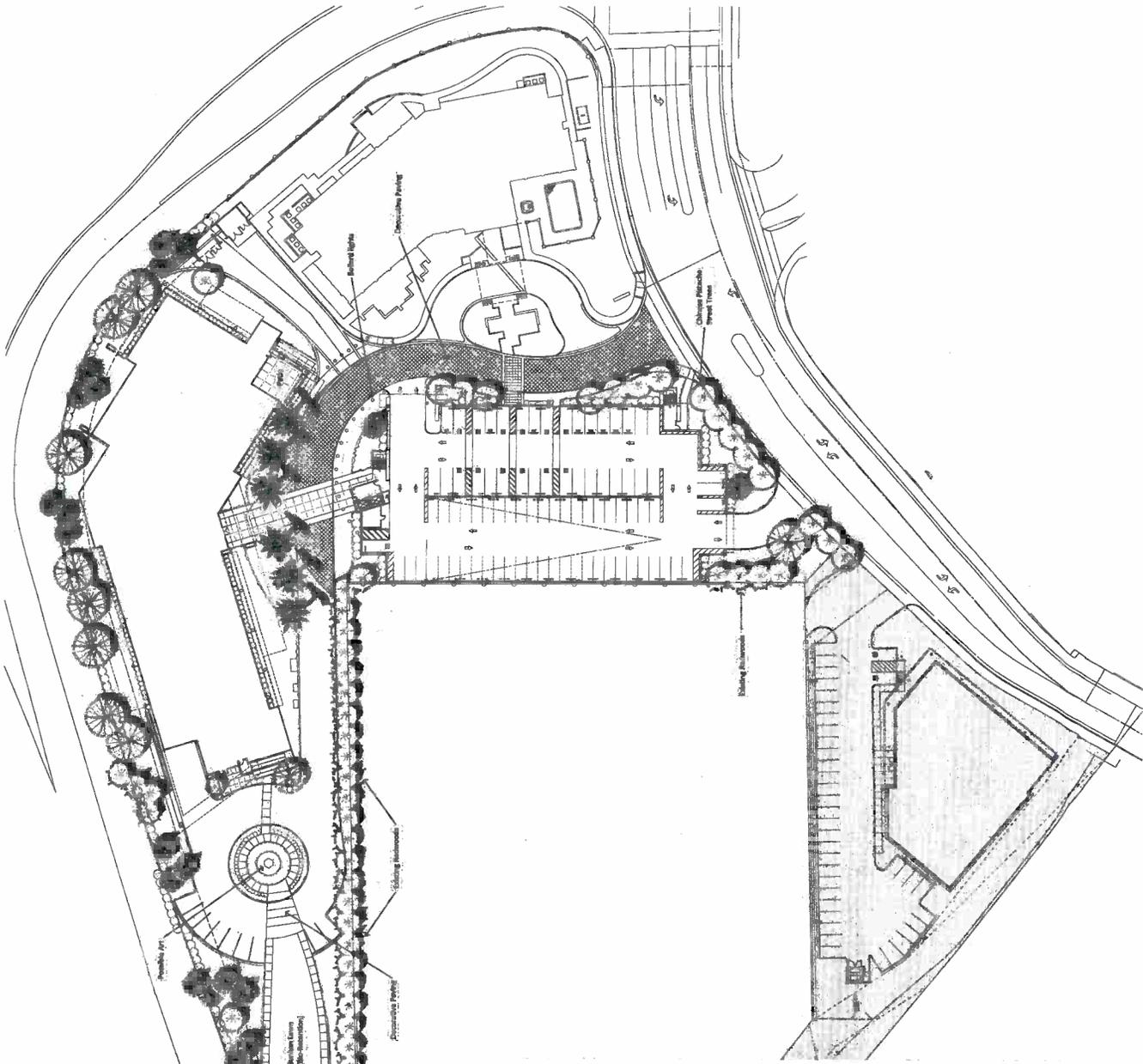


LENA B. WILSON/ARCHITECT
CREEKSIDE WAY
CAMPBELL, CA 95008
TEL: 408.254.1000
WWW.CREEKSIDEWAY.COM

A Planning Application Package For
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 02/20/08
DESCRIPTION:
PRELIMINARY ARCHITECTURE PLANS

887 P.04
L1.01
PROJECT NO.: 12255



Preliminary Plant Palette

- | Symbol | Description | Notes |
|--------|---------------------------------------------|-----------------------------|
| | California Anemone / Double Color (24" box) | |
| | Clare c. "Sun 18" | 1/16" scale Olive (24" box) |
| | Florida Anemone / Double Color (24" box) | |
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ARC TEC
ARCHITECTURAL TECHNOLOGIES
 WWW.ARCTEC.COM
 10000 WILLOW CREEK DRIVE
 SUITE 100
 CAMPBELL, CA 95008
 TEL: (415) 486-1000
 FAX: (415) 486-1001
 E: INFO@ARCTEC.COM

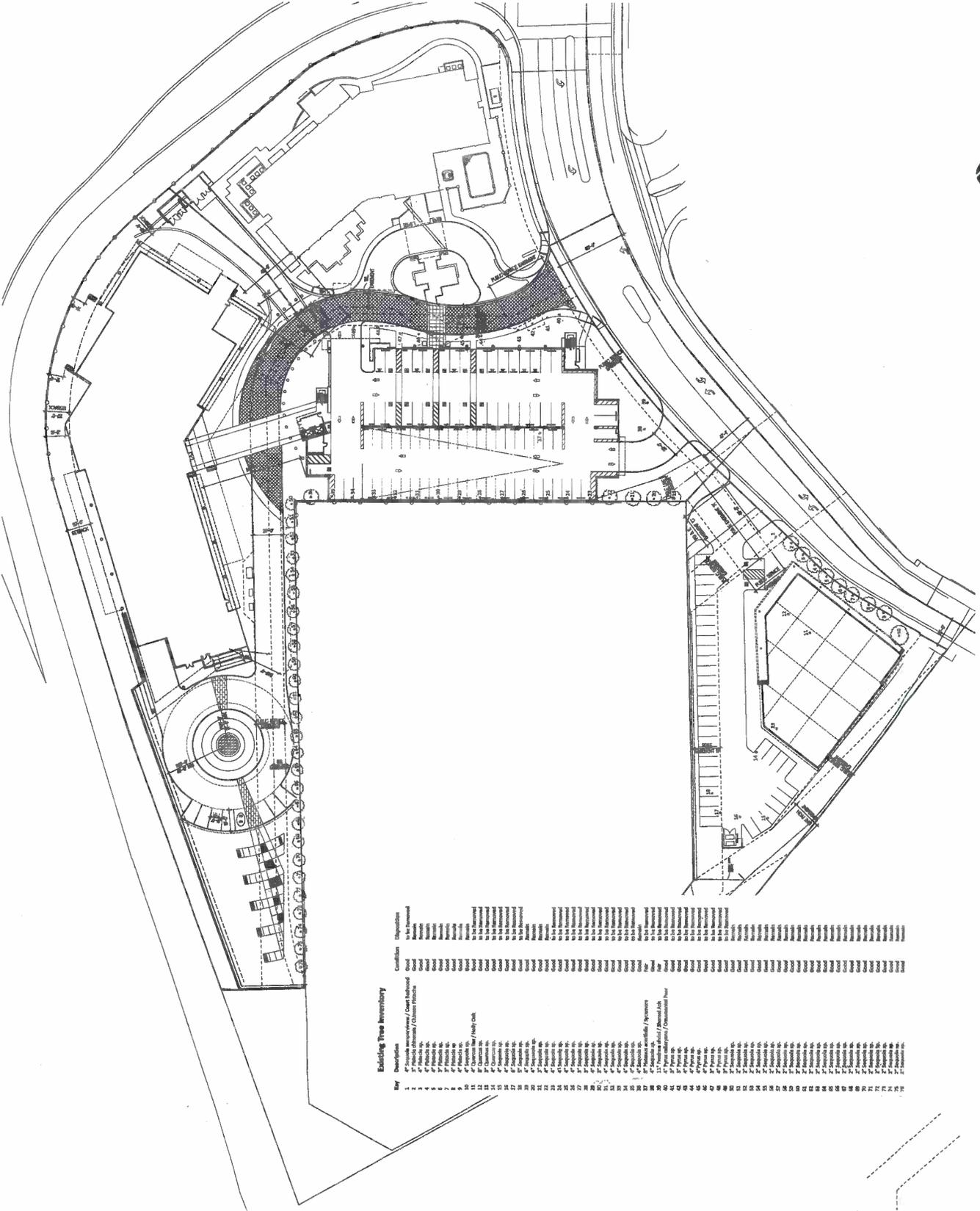
LEIGH B. WITTEKAMP
 LEAD ARCHITECT
 200 PASCADENE DRIVE, SUITE 200
 CAMPBELL, CA 95008
 TEL: (415) 486-1000
 FAX: (415) 486-1001
 E: LEIGH@ARCTEC.COM

A Planning Application Package For
CREEKSIDE: 1-STORY OFFICE BLDG
 Creekside Way
 Campbell, CA

DATE: 12/11/11
 DESCRIPTION: PLANNING APPLICATION

EXISTING TREE INVENTORY

L2.1
 PROJECT NO.: 12111111



Existing Tree Inventory

Tag	Description	Condition	Disposition
1	4" Spindle Juniper / Coast Redwood	Good	To be Retained
2	4" Florida Live Oak / Coast Redwood	Good	To be Retained
3	4" Florida Live Oak / Coast Redwood	Good	To be Retained
4	4" Florida Live Oak / Coast Redwood	Good	To be Retained
5	4" Florida Live Oak / Coast Redwood	Good	To be Retained
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68	4" Florida Live Oak / Coast Redwood	Good	To be Retained
69	4" Florida Live Oak / Coast Redwood	Good	To be Retained
70	4" Florida Live Oak / Coast Redwood	Good	To be Retained



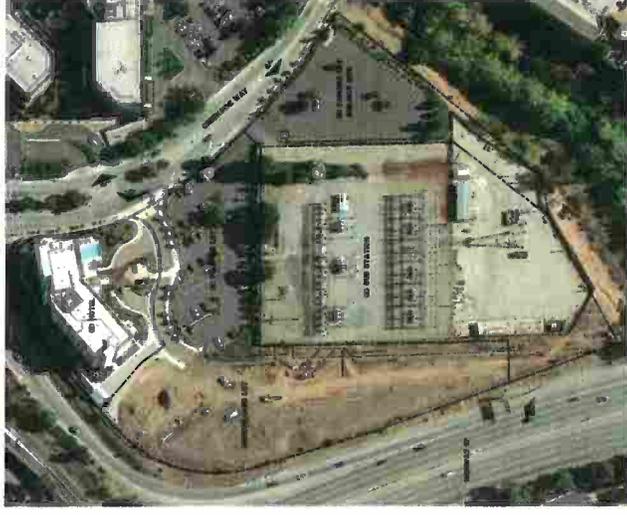
2 HOTEL PROPERTY NORTH OF SITE
SCALE: N/A



3 PROPERTY SOUTH OF SITE
SCALE: N/A



4 OFFICE PROPERTY EAST OF SITE
SCALE: N/A



1 ARIAL SITE PHOTO
SCALE: N/A

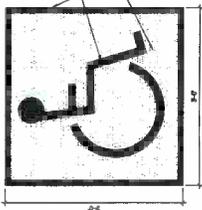
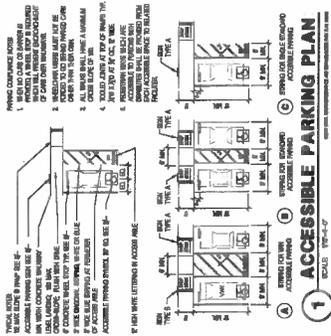


A Planning Application Package For:
CREEKSIDE: 1-STORY OFFICE BLDG
 Creekside Way
 Campbell, CA

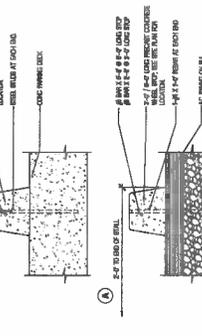
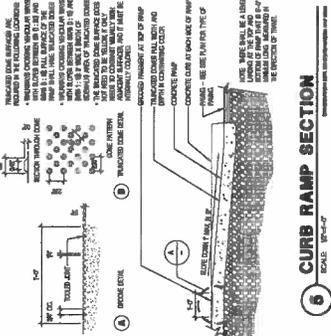
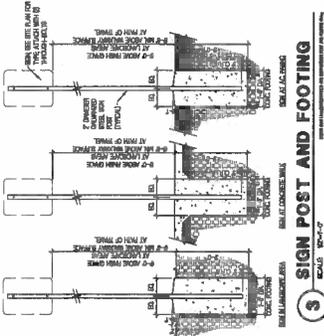
ARC TEC
 ARCHITECTURAL TECHNOLOGIES
 WWW.ARCTEC.COM
 10000 CREEKSIDE WAY
 CAMPBELL, CA 95008
 TEL: (925) 885-1100
 FAX: (925) 885-1101
 PROJECT NO. 12203X.01
 DATE: 02/20/08
 DRAWING NO. 0222
 SHEET NO. 01
 SCALE: N/A
 PROJECT NO. 12203X.01
 DATE: 02/20/08
 DRAWING NO. 0222
 SHEET NO. 01
 SCALE: N/A

DATE: 02/20/08
 DESCRIPTION: PLANNING APPLICATION PACKAGE
 PROJECT: CREEKSIDE: 1-STORY OFFICE BLDG

EXISTING SITE PHOTOS
A0.01
 PROJECT NO. 12203X.01



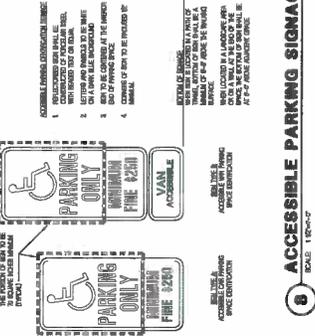
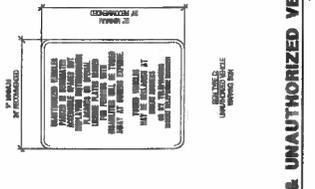
3 SIGN POST AND FOOTING
SCALE: 1/8" = 1'-0"



6 TRASH/RECYCLE ENCLOSURE - ELEV.
SCALE: 1/8" = 1'-0"



DATE	DESCRIPTION
11/20/13	PLANNING APPLICATION





ARC TEC
 ARCHITECTURAL TECHNOLOGIES
 10000 WILSON AVENUE, SUITE 100
 FARMERSVILLE, CALIFORNIA 92309
 TEL: (951) 942-1111
 FAX: (951) 942-1112
 WWW.ARCTEC.COM

PROJECT: CREEKSIDE 1-STORY OFFICE BLDG.
 ARCHITECT: ARCTEC
 DATE: 11/11/11
 DRAWING NO: 111111

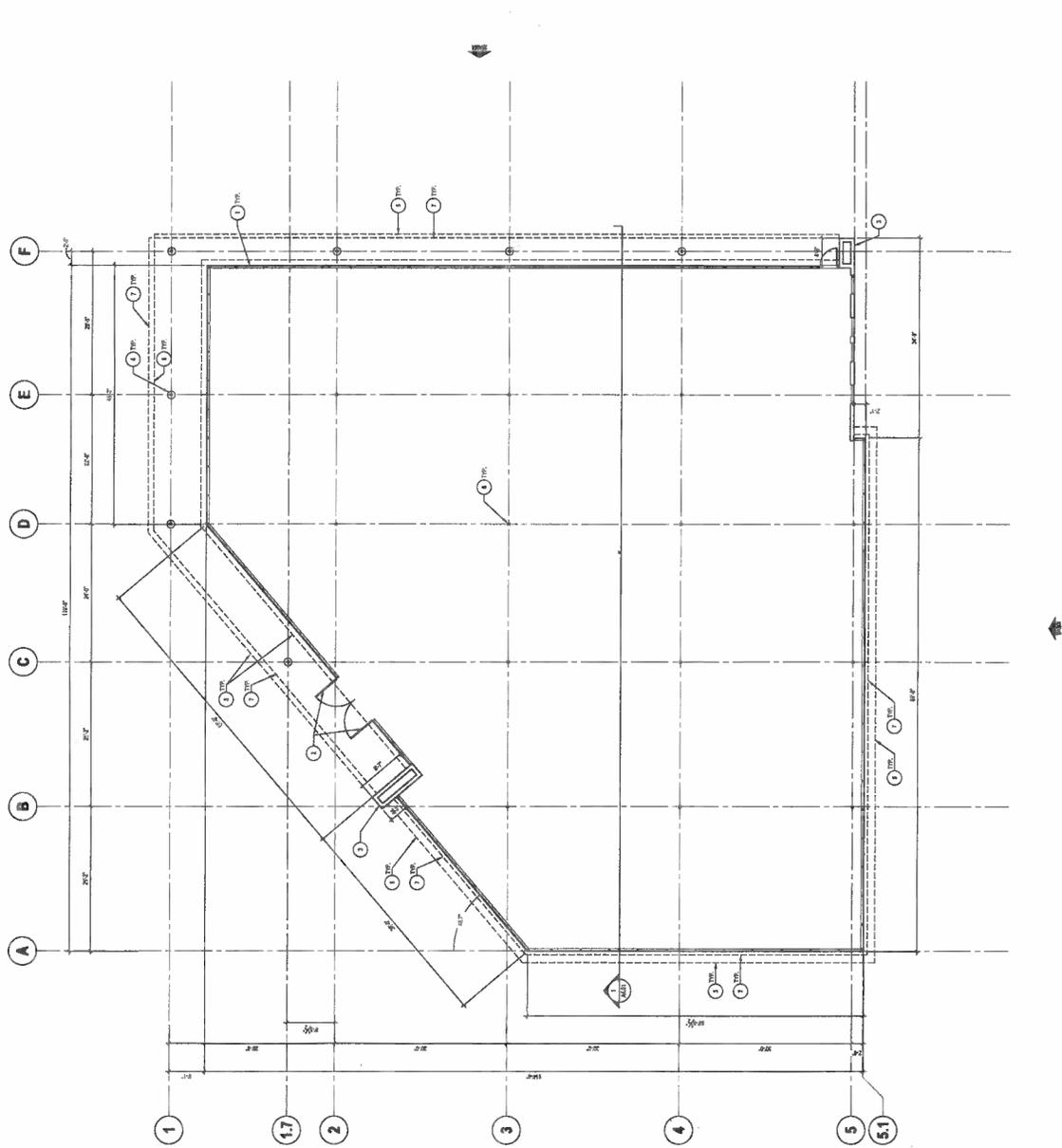
CREEKSIDE: 1-STORY OFFICE BLDG.
 Planning Application Package For
 Creekside Way
 Campbell, CA

DATE: 11/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]

FLOOR PLAN
A2.10
 PROJECT NO: 111111

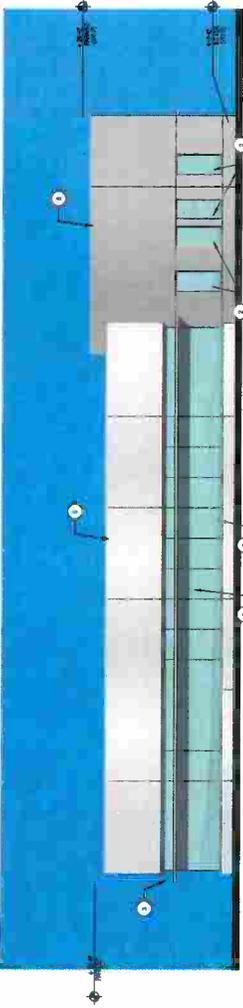
KEYNOTES

- 1) WALL TOP TO BOTTOM AT EXTERIOR FINISH CORNER
- 2) WALL TOP TO BOTTOM AT EXTERIOR FINISH CORNER
- 3) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 4) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 5) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 6) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 7) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 8) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 9) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 10) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 11) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 12) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 13) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 14) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 15) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 16) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 17) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 18) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 19) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL
- 20) CONCRETE, 4" THICK, OVER LOCAL FINISH - SEE DETAIL

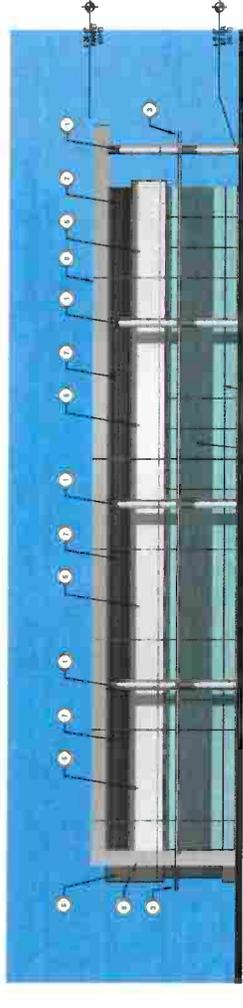


1 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

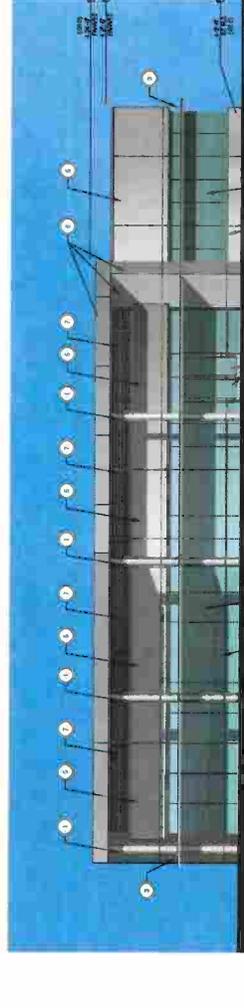
PRINTED PLANS INDICATE THE DATE AND SCALE OF THE ORIGINAL



1 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

- KEYNOTES**
- 1 PINKISH CLEAR ANODIZED ALUMINUM COLUMN COVERS
 - 2 ALUMINUM PANEL SYSTEM WITH GLAZING
 - 3 CLEAR ANODIZED ALUMINUM ENTRANCES
 - 4 PINKISH CLEAR ANODIZED ALUMINUM ENTRANCES
 - 5 PINKISH CLEAR ANODIZED ALUMINUM ENTRANCES
 - 6 CONCRETE SLAB, FINISH OVER METAL DECKING
 - 7 ALUMINUM PANEL SYSTEM WITH GLAZING

ARCTE
ARCHITECTURAL TECHNOLOGIES
ARCHITECTS

1000 BAYVIEW BLVD., SUITE 100
EMERYVILLE, OHIO 44029
TEL: 440.426.1000
WWW.ARCTEARCHITECTS.COM

PROJECT: CREEKSIDE 1-STORY OFFICE BLDG.
DATE: 10/20/2010
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
SCALE: 1/8" = 1'-0"

A Planning Application Package For:
CREEKSIDE: 1-STORY OFFICE BLDG.
Creekside Way
Campbell, CA

DATE: 10/20/2010
DESCRIPTION: PLANNING APPLICATION

EXTENSION: 10/20/2010

PROJECT NO.: A3.01
SHEET NO.: 1002



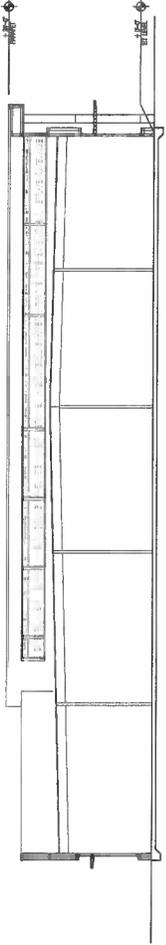
ARCTEC
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10000 Wilshire Blvd
Suite 1000
Beverly Hills, CA 90210
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Fax: 310.277.1001
www.arctec.com

A Planning Application Package For
CREEKSIDE: 1-STORY OFFICE BLDG
Creekside Way
Campbell, CA

DATE: 11/15/06
DESCRIPTION: PLANNING APPLICATION
CLIENT: PLANNING APPLICATION

STAIR/BUILDING SECTIONS
A4.01
PROJECT NO.: 120306.01



PROPOSED OFFICE BUILDING

1 LATITUDINAL SITE/BUILDING SECTION
SCALE: 1/4" = 1'-0"