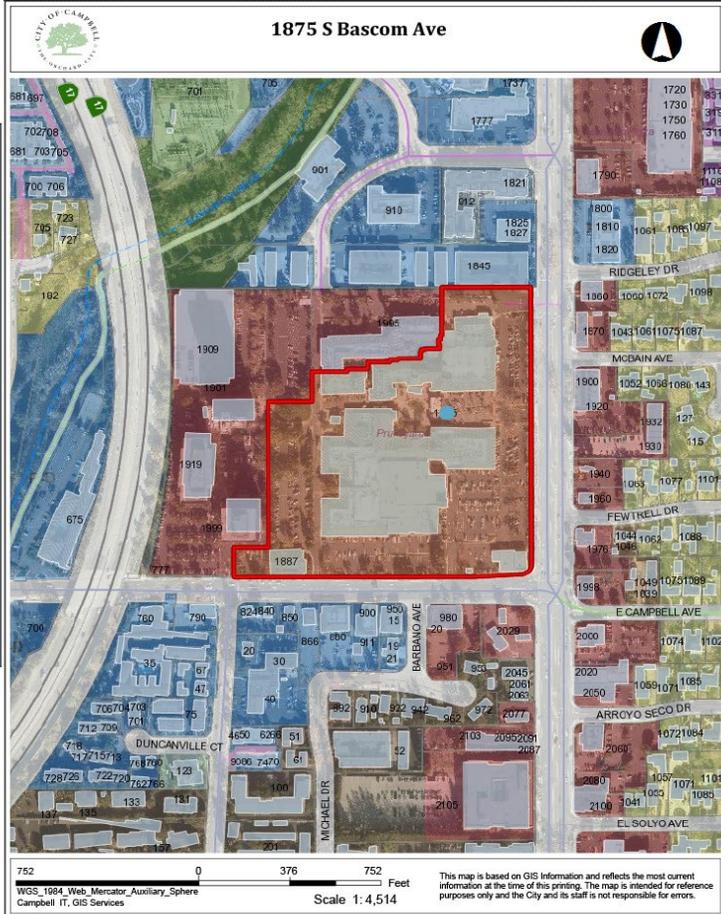


Location of Proposed Project




City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

March 31, 2023

The Community Development Director will be rendering a decision on the following project.

Project Address: 1875 S. Bascom Ave., Ste. 210
Zoning | Area Plan: C-2-O | Pruneyard Master Use Permit
Neighborhood Association(s): N/A
File No.: PLN-2022-155
APN: 288-04-028
Applicant: Scott Daves
Property Owner: Pruneyard Regency LLC
Application Type: Architectural Modification

Project Planner: Daniel Fama, Senior Planner
Email Contact: daniel.fama@campbellca.gov
Phone Contact: (408) 866-2193

Project Description:

Exterior façade improvements to Pruneyard building 'R5,' to accommodate a new tenant, the Shade Store, and to allow an alternative placement of a "specialty sign" to face East Campbell Avenue.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **March 31, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **April 10, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español





ARCHITECT OF RECORD:
 MATTHEW REISKIN
 6200 LENOX ROAD
 BETHESDA, MD 20817
 PH: 240-205-0762
 CHANEISKIN@YAHOO.COM

SEAL:
 ARCHITECT: MATTHEW REISKIN, I
 HEREBY CERTIFY THAT THIS
 DRAWING WAS PREPARED BY ME
 OR UNDER MY DIRECT
 SUPERVISION AND THAT I AM A
 DULY REGISTERED/LICENSED
 ARCHITECT UNDER THE LAWS OF
 THE STATE OF CALIFORNIA

CA ARCHITECTURAL REG. No: C30220

	03.02.2023	BID SET
⚠	12.20.2022	BUILDING DEPARTMENT COMMENTS
⚠	11/20/2022	CLIENT REVISIONS
	11/17/2022	ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/11/2022	LL REVIEW SET

THE SHADE STORE

PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210
 AREA: 1,558 SF
 SHEET TITLE:

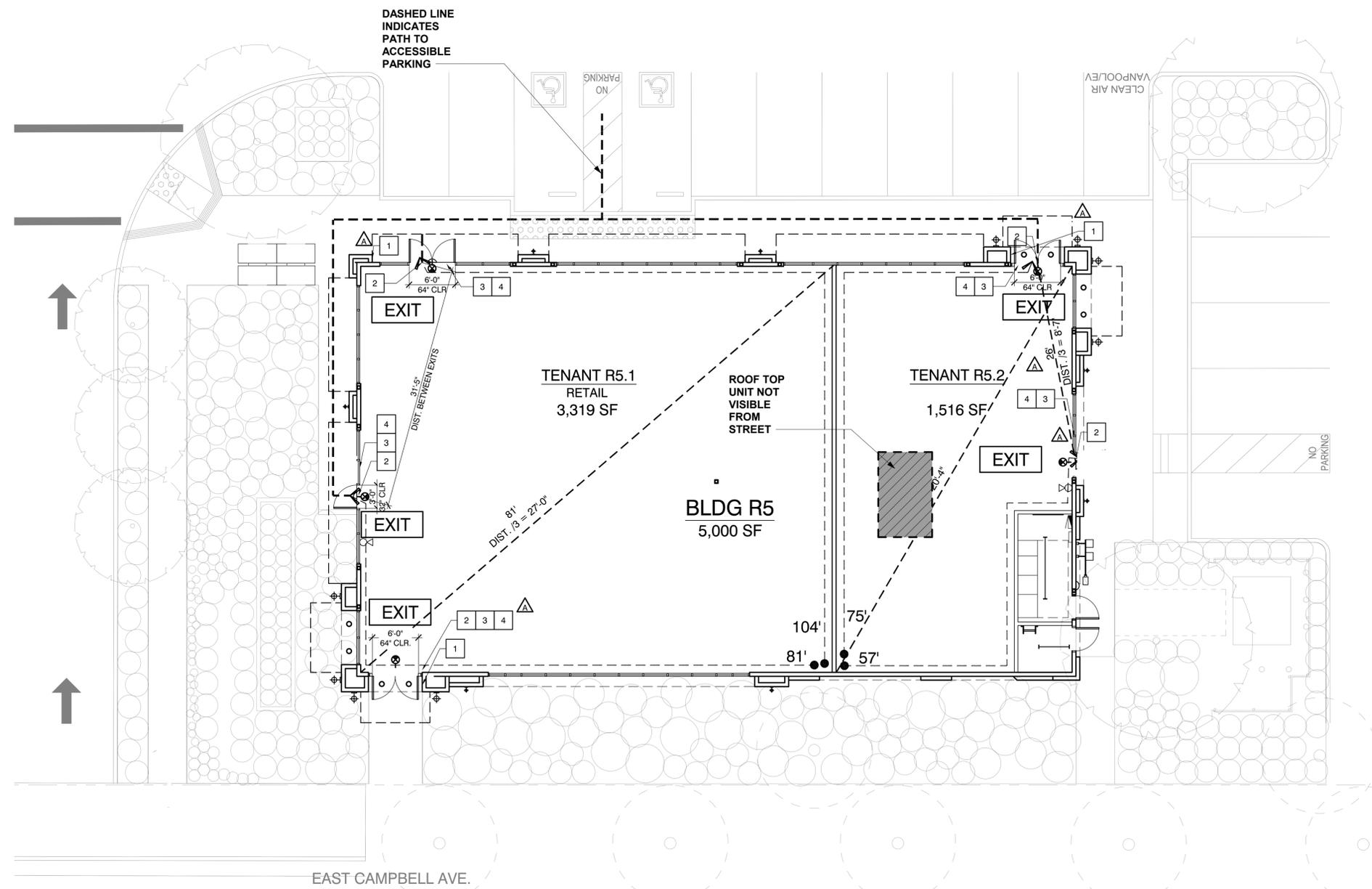
SITE PLAN

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: AM
 REVIEWED BY: MR
 SHEET NO:

CS-102

NOTE:

1. SITE PLAN PROVIDED BY LANDLORD BASE BUILD ARCHITECT FOR REFERENCE PURPOSES ONLY
2. NO PROPOSED CHANGE TO NUMBER OF PARKING SPACES OR LAYOUT. ALL ACCESSIBLE PARKING EXISTING TO REMAIN.
3. NO PROPOSED WORK TO MODIFY PARKING OR THE SITE. IF AUTHORITY HAVING JURISDICTION FINDS ANY CONDITIONS ON SITE TO BE INACCESSIBLE, IT IS LANDLORDS RESPONSIBILITY TO ADDRESS.



1 SITE
 N.T.S.



GENERAL CONDITIONS
STANDARD AIA GENERAL CONDITIONS
THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT NO. A-201, PAGES 1 - 24 INCLUSIVE, 2017 EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS, ARE HEREBY MADE A PART OF THIS SPECIFICATION TO THE SAME EXTENT AS IF FOUND HEREIN.

THIS DOCUMENT IS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS.

COPIES OF THE AIA GENERAL CONDITIONS (IF NOT BOUND HEREIN) MAY BE EXAMINED OR OBTAINED AT THE ARCHITECT'S OFFICE. MODIFICATIONS TO THE GENERAL CONDITIONS ARE ACCOMPLISHED BY THE SUPPLEMENTARY CONDITIONS INCLUDED IN THE PROJECT MANUAL.

PROJECT GENERAL REQUIREMENTS
SPECIFICATION EXPLANATION
IN SOME SECTIONS, THESE SPECIFICATIONS ARE OF THE STREAMLINE TYPE AND INCLUDE INCOMPLETE SENTENCES. OMISSION OF WORDS OR PHRASES SUCH AS "CONTRACTOR SHALL" ARE INTENTIONAL. OMITTED WORDS OR PHRASES SHALL BE SUPPLIED BY INFERENCE IN THE SAME MANNER AS THEY ARE WHEN A "NOTE" OCCURS ON THE DRAWINGS.

WHENEVER THE WORDS "APPROVED", "DIRECTED", "INSPECTED" OR SIMILAR WORDS OR PHRASES ARE USED, IT SHALL BE ASSUMED THAT THE WORDS "BY ARCHITECT" FOLLOW.

INTENT & COMPLETENESS
FURNISH AND INSTALL ALL ITEMS REQUIRED AND PERFORM ALL WORK REQUIRED WHETHER OR NOT SPECIFICALLY REFERRED TO HEREIN. THE INTENT IS FOR THE FURNISHING AND INSTALLATION OF THE ENTIRE ITEMS AS REQUIRED WHICH SHALL INCLUDE PARTS AND ITEMS ORDINARILY PROVIDED AND ESSENTIAL FOR COMPLETENESS. WITH THIS INTENT FOR COMPLETENESS, THE CONTRACTOR SHALL INCLUDE ALL THE REQUIRED MATERIAL, TRADES AND WORK AS REQUIRED FOR COMPLETENESS.

SHOP DRAWINGS
SHOP DRAWINGS PREPARED BY SUBCONTRACTORS SHALL BE CHECKED FOR COORDINATION AND CONTRACT REQUIREMENTS BY THE CONTRACTOR. A NOTE SHALL APPEAR ON THE SHOP DRAWINGS STATING THAT THE CONTRACTOR HAS MADE THIS CHECK. SHOP DRAWINGS NOT SO CHECKED AND NOTED WILL BE RETURNED TO THE CONTRACTOR WITHOUT BEING EXAMINED BY THE ARCHITECT. WHERE ERRORS, DEVIATIONS OR OMISSIONS ARE DISCOVERED LATER, THEY SHALL BE MADE GOOD BY THE CONTRACTOR IRRESPECTIVE OF ANY APPROVAL OF ANY SHOP DRAWINGS BY THE ARCHITECT.

THIS CONTRACTOR SHALL CLEARLY NOTE ON THE SHOP DRAWINGS WHERE THEY DO NOT CONFORM TO PLANS OR SPECIFICATIONS. THE ARCHITECT'S REVIEW OF SHOP DRAWINGS WILL NOT RELIEVE THE CONTRACTOR FROM ERRORS, OMISSIONS OR CHANGES NOT SO POINTED OUT IN WRITING.

ALL FABRICATION, ERECTION, SETTING, ETC., SHALL BE PERFORMED FROM REVIEWED SHOP DRAWINGS ONLY. EVERY COPY OF A SHOP DRAWING USED AT THE PROJECT SHALL BEAR THE ARCHITECT'S ACTION STAMP.

THE ARCHITECT AND/OR HIS CONSULTANTS WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON SHOP DRAWINGS AS STIPULATED IN THE GENERAL CONDITIONS AIA DOCUMENT A201.

THE CONTRACTOR SHALL SEND AT LEAST FIVE (5) COPIES OF SHOP DRAWINGS, ONE DIGITAL AND (5) SAMPLES IF APPLICABLE, PERTAINING TO ARCHITECTURAL WORK TO THE ARCHITECT OR THE ARCHITECT'S CONSULTANT.

SUBSTITUTION OF MATERIALS
EACH BIDDER REPRESENTS THAT THE BID IS BASED UPON THE MATERIALS AND EQUIPMENT DESCRIBED IN THE BIDDING DOCUMENTS.

WHEN ONE OR SEVERAL PRODUCTS, BRANDS OR MANUFACTURERS ARE SPECIFIED WITHOUT THE WORDS "OR EQUAL" OR "APPROVED EQUAL" WRITTEN THEREAFTER, ANY ONE OF THE PRODUCTS, BRANDS OR MANUFACTURERS SO SPECIFIED SHALL BE THE ONE ON WHICH THE BID IS TO BE OFFERED AND NO SUBSTITUTIONS OFFERED BY THE CONTRACTOR WILL BE RECOGNIZED.

WHEN ONE OR SEVERAL PRODUCTS, BRANDS OR MANUFACTURERS ARE SPECIFIED AND THE WORDS "OR EQUAL" OR "APPROVED EQUAL" ARE WRITTEN THEREAFTER, ANY ONE NAMED WILL BE ACCEPTABLE. IF THE CONTRACTOR DESIRES TO USE ANY OTHER PRODUCT, BRAND OR MANUFACTURER WHICH THEY DEEM TO BE EQUAL TO THE ONE SPECIFIED, THEY SHALL MAKE A WRITTEN REQUEST TO THE ARCHITECT AND SUBMIT NECESSARY INFORMATION TO ESTABLISH THE EQUIVALENCY OF THE PRODUCT OFFERED. THE AWARDABLE EQUIVALENCY OF ALL EQUIVALENT PRODUCTS SHALL BE DETERMINED BY THE ARCHITECT, WITH BURDEN OF PROOF A RESPONSIBILITY OF THE CONTRACTOR.

NON-DISCRIMINATION IN EMPLOYMENT
DURING THE PERFORMANCE OF THIS CONTRACT, THE CONTRACTOR AND ALL SUBCONTRACTORS AGREE THAT THEY WILL NOT DISCRIMINATE AGAINST ANY EMPLOYEE OR APPLICANT FOR EMPLOYMENT BECAUSE OF RACE, CREED, COLOR OR NATIONAL ORIGIN AND THAT THEY WILL COMPLY WITH ALL PROVISIONS OF LOCAL, STATE AND FEDERAL LAW, AND OF THE RULES, REGULATIONS AND RELEVANT ORDERS OF THE DEPARTMENT OF LABOR.

OSHA
ALL WORK, MATERIALS, METHODS AND EQUIPMENT IF REQUIRED BY LAW TO COMPLY SHALL COMPLY WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT INCLUDING ALL CURRENT REVISIONS THERETO.

ALL WORK, MATERIALS, METHODS AND EQUIPMENT IF REQUIRED BY LAW TO COMPLY SHALL COMPLY WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT INCLUDING ALL CURRENT REVISIONS THERETO.

MANUFACTURER'S DIRECTIONS

THE CONTRACTOR SHALL FOLLOW MANUFACTURER'S DIRECTIONS FOR INSTALLATION, TESTING AND OPERATION OF ALL APPARATUS AND EQUIPMENT IN ALL CASES WHERE FURTHER DIRECTIONS OR INSTRUCTIONS ARE NOT COVERED IN POINTS SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATIONS.

TYPICAL DETAILS

WHERE A TYPICAL OR REPRESENTATIVE DETAIL IS SHOWN ON THE PLANS, THIS DETAIL SHALL CONSTITUTE THE STANDARD IN WORKMANSHIP AND MATERIALS THROUGHOUT CORRESPONDING PARTS OF THE BUILDING AND WHERE NECESSARY, THE CONTRACTOR SHALL BE REQUIRED TO ADAPT SUCH DETAIL FOR USE IN SAID CORRESPONDING PARTS OF THE BUILDING, SAID ADAPTATION, HOWEVER, SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

REFERENCE STANDARDS

ALL REFERENCE TO CODES, SPECIFICATIONS AND STANDARDS REFERRED TO IN THE SPECIFICATIONS OR SHOWN ON THE DRAWINGS SHALL MEAN AND INTEND TO BE THE LATEST EDITION, AMENDMENT AND REVISION OF SUCH REFERENCE STANDARD IN EFFECT AS OF THE DATE OF THESE SPECIFICATIONS AND DRAWINGS.

ABBREVIATIONS

REFERENCE TO A TECHNICAL SOCIETY, INSTITUTION, ASSOCIATION OR GOVERNMENTAL AUTHORITY IS MADE IN THE SPECIFICATIONS IN ACCORDANCE WITH THE FOLLOWING ABBREVIATIONS:

ACI	AMERICAN CONCRETE INSTITUTE
AIA	AMERICAN INSTITUTE OF ARCHITECTS
AIA	AMERICAN INSURANCE ASSOCIATION
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
BOCA	BUILDING OFFICIALS AND CODE ADMINISTRATORS
CRSI	CONCRETE REINFORCING STEEL INSTITUTE
NEC	NATIONAL ELECTRIC CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS
	UNDERWRITERS' LABORATORIES, INC
USNI	UNITED STATES NATIONAL INSTITUTE

EXISTING SERVICES

LOCATIONS OF EXISTING SERVICES MUST BE VERIFIED BY EACH CONTRACTOR INVOLVED. THESE LINES IN GENERAL HAVE BEEN SHOWN BUT THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATIONS AS NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR THE CORRECTNESS OF SAME.

PATCHING DAMAGED WORK

EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE THAT IS CAUSED BY HIS WORK OR WORKMEN TO THE WORK OF OTHERS PATCHING OR REPLACING OF THE DAMAGED WORK SHALL BE DONE BY THE CONTRACTOR WHO ORIGINALLY INSTALLED THE WORK AS DIRECTED BY THE ARCHITECT, BUT THE COST OF SAME SHALL BE PAID BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.

COOPERATION

GENERAL CONTRACTOR, ALL OTHER CONTRACTORS AND ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ALL ADJACENT WORK AND SHALL COOPERATE WITH ALL OTHER TRADES IN ORDER TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR STORAGE OF THEIR MATERIALS.

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING THE GENERAL CONTRACTOR ADEQUATE INFORMATION REQUIRED FOR THE INSTALLATION OF HIS WORK AND THEY SHALL REIMBURSE THE GENERAL CONTRACTOR FOR ANY ADDITIONAL WORK MADE NECESSARY DUE TO HIS FAILURE TO PROVIDE THIS INFORMATION OR TO PROVIDE IT ON TIME.

JOB MEETINGS

JOB MEETINGS SHALL BE HELD AT THE CALL OF THE OWNER'S PROJECT MANAGER BEFORE WORK BEGINS ON THE PROJECT AND WHEN REQUIRED THEREAFTER. THE CONTRACTOR OR HIS OFFICIAL REPRESENTATIVE SHALL BE PRESENT AT THESE MEETINGS.

TESTING

PROVIDE REQUIRED INSPECTION AND TESTING SERVICES AS SPECIFIED OR AS REQUIRED, AND SHALL BE BY INDEPENDENT AGENCIES. NEITHER INSPECTION AND/OR TEST RESULTS NOR FAILURE THEREOF TO DISCLOSE DEFICIENCIES RELIEVES CONTRACTOR OF RESPONSIBILITY TO COMPLY WITH REQUIREMENTS OF CONTRACT DOCUMENTS. PROVIDE SERVICES TO INSPECTION AND TESTING AGENCIES, INCLUDING TAKING AND DELIVERY OF SAMPLE, PATCHING WORK AND SIMILAR ASSISTANCE. REQUIRE ENGAGED AGENCIES TO PERFORM INDICATED TESTING AND SUBMIT REPORTS PROMPTLY, AND TO REPORT SIGNIFICANT OBSERVATIONS HAVING AN IMPORTANT BEARING ON THE WORK, TO THE ARCHITECT BY THE MOST EXPEDITIOUS MEANS POSSIBLE.

SHORING AND BRACING

THE GENERAL CONTRACTOR SHALL SHORE AND BRACE WALLS, INCLUDING FOUNDATIONS, FLOORS, ROOFS, ETC., WHERE REQUIRED FOR PROTECTION AGAINST DAMAGE AND SAFETY REASONS AND WHERE REQUIRED FOR THE INSTALLATION OF ANY WORK.

BROKEN GLASS

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BROKEN OR DAMAGED GLASS. AFTER SAME IS INSTALLED AND THEY SHALL REPLACE ALL SUCH GLASS BEFORE FINAL COMPLETION AND ACCEPTANCE OF THE WORK WITHOUT COST TO THE OWNER.

TEMPORARY TOILETS

TOILETS ARE IN THE BUILDING. TOILETS FOR WORKMEN WILL BE DESIGNATED BY THE OWNER'S PROJECT MANAGER. THE CONTRACTOR, HIS SUBCONTRACTORS, AND WORKMEN WILL USE THIS TOILET.

TEMPORARY WATER SUPPLY

WATER IS IN THE BUILDING AND WILL BE SUPPLIED BY OWNER

TEMPORARY LIGHTING AND POWER

LIGHT AND POWER IS IN THE BUILDING AND WILL BE SUPPLIED BY THE OWNER

TEMPORARY HEAT

HEAT IS IN THE BUILDING AND WILL BE SUPPLIED BY THE OWNER

TEMPORARY ENCLOSURES, PROTECTION, ETC.

THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER TIGHT ENCLOSURES AND DOORS AS REQUIRED TO PROTECT ALL WORK FROM WEATHER AND VANDALISM AND TO PROVIDE TEMPORARY DUST TIGHT PARTITIONS AT THE INTERIOR WHERE SHOWN, REQUIRED AND/OR AS DIRECTED BY OWNER'S PROJECT MANAGER.

STORAGE OF MATERIALS

INTERIOR SPACE FOR STORAGE OF MATERIALS IS LIMITED. THE OWNER WILL DESIGNATE A STORAGE AREA. EXTERIOR STORAGE IS NOT ALLOWED.

DEBRIS & GARBAGE

REMOVE DEBRIS AND GARBAGE FROM THE BUILDING DAILY. A DUMPSTER WILL BE PERMITTED. OWNER'S PROJECT MANAGER WILL DESIGNATE THE LOCATION OF THE DUMPSTER. ALL DEBRIS IS TO BE REMOVED FROM THE SITE AND PROPERLY REMOVED ACCORDING TO THE LANDLORD AND LOCAL AUTHORITY REQUIREMENTS.

SUPPLEMENTARY CONDITIONS

THE FOLLOWING SUPPLEMENTS MODIFY, CHANGE, DELETE FROM OR ADD TO THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AIA DOCUMENT A-201, PAGES 1 TO 24, 2017 EDITION, WHERE ANY ARTICLE OF THE GENERAL CONDITIONS IS MODIFIED OR ANY PARAGRAPH, SUB-PARAGRAPH OR CLAUSE THEREOF IS MODIFIED OR DELETED BY THESE SUPPLEMENTS. THE UNALTERED PROVISIONS OF THAT ARTICLE, PARAGRAPH, SUB-PARAGRAPH OR CLAUSE SHALL REMAIN IN EFFECT.

3.1 DEFINITION

THE TERM "GENERAL CONTRACTOR OR G.C." AS EMPLOYED HEREIN, REFERS TO THE CONTRACTOR FOR GENERAL CONSTRUCTION WORK.

4.1 ARCHITECT

WHERE THE WORD "ARCHITECT" OCCURS IN THE SPECIFICATIONS, IT REFERS TO:

MATTHEW REISKIN
6200 LENOX ROAD
BETHESDA, MD 20817
PH: 240-205-0762
CHANREISKIN@YAHOO.COM

3.6 TAXES

THE CONTRACTOR SHALL ACCEPT EXCLUSIVE LIABILITY AND HOLD THE OWNER HARMLESS FOR PAYMENTS OF SOCIAL SECURITY TAXES, UNEMPLOYMENT INSURANCE CONTRIBUTIONS OR OTHER TAXES MEASURED BY WAGES OF EMPLOYEES ATTRIBUTABLE TO OR PERFORMING THE WORK HEREIN MENTIONED OR DESCRIBED AND SHALL BE RESPONSIBLE FOR THE PAYMENTS OF ALL SALES, EXCISE AND GROSS RECEIPTS TAXES.

3.7 PERMITS, FEES AND NOTICES

THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, (INCLUDING THE BUILDING PERMIT; FEES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, CERTIFICATE OF OCCUPANCY SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.

CONTRACTOR SHALL COMPLY WITH ALL STATE LAWS, MUNICIPAL ORDINANCES AND ALL RULES AND REGULATIONS OF SAFETY, HEALTH, PUBLIC OR OTHER AUTHORITIES CONTROLLING OR LIMITING METHODS, MATERIALS TO BE USED OR OTHER ACTIONS OF THOSE EMPLOYED IN THIS KIND OF WORK.

5.2 AWARD OF SUBCONTRACTS

THE LIST OF THE NAMES OF SUBCONTRACTORS MUST BE SUBMITTED WITHIN 30 DAYS OF THE DATE OF THE CONTRACT AND IF THE CONTRACTOR NEGLECTS TO DO SO, THIS WILL BE CAUSE FOR WITHHOLDING ANY PAYMENTS DUE TO THE CONTRACTOR UNTIL SUCH LIST IS SUBMITTED.

THE CONTRACTOR SHALL MAKE NO CONTRACTS OR COMMITMENTS OF CONDITIONAL CONTRACTS WITH ANY SUBCONTRACTOR, WITHOUT FIRST HAVING OWNERS ACCEPTANCE OF THE SUBCONTRACTOR.

9.3 APPLICATIONS FOR PAYMENT

APPLICATION FOR PAYMENT SHALL BE MADE ON AIA DOCUMENT G-702 AND G703, LATEST EDITION AND MUST BE SIGNED AND NOTARIZED.

9.6 PROGRESS PAYMENTS

THE OWNER WILL MAKE MONTHLY PAYMENTS IN ACCORD WITH "ARTICLE 9.5 - PROGRESS PAYMENTS", AT NINETY (90) PERCENT OF THE VALUE.

9.10 FINAL COMPLETION AND FINAL PAYMENT

FINAL PAYMENT IN ACCORD WITH "ARTICLE 9.10 - FINAL PAYMENT" WILL BE DUE SIXTY (60) DAYS AFTER ISSUANCE OF THE FINAL CERTIFICATE FOR PAYMENT BY THE ARCHITECT.

THE CONTRACTOR SHALL SUBMIT AN AFFIDAVIT OF PAYMENT OF DEBTS & CLAIMS ON AIA DOCUMENT G706.

THE CONTRACTOR SHALL SUBMIT AN AFFIDAVIT OF RELEASE OF LIENS ON AIA DOCUMENT G706A.

10.2 SAFETY OF PERSONS AND PROPERTY

ERECT AND MAINTAIN AROUND ALL EXCAVATED AREAS TEMPORARY FENCES, INCLUDING LIGHTS WHERE NECESSARY, TO PROTECT PERSONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SAVE THE OWNER AND ARCHITECT "SAFE AND HARMLESS" FROM ANY CLAIMS ARISING FROM ANY ACCIDENT RESULTING FROM HIS FAILURE TO PROVIDE AND MAINTAIN SUCH FENCES AND LIGHTS.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR SAFETY PRECAUTIONS, SAFETY OF THE WORKERS AND PUBLIC, AND PROGRAMS IN CONNECTION WITH SAFETY IN RELATION TO THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, PRODUCT MANUFACTURERS OR ANY OTHER PERSONS, PRODUCTS OR TOOLS, PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN A SAFE MANNER.

IF THE CONTRACTOR ENCOUNTERS ASBESTOS, LEAD PAINT, OR ANY HAZARDOUS MATERIALS IN THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL CEASE WORK AND THE OWNER WILL BE RESPONSIBLE FOR HIRING AN INDUSTRIAL SPECIALIST TO PERFORM THE ASBESTOS WORK AND/OR REMOVAL OF THE HAZARDOUS MATERIALS. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR ASBESTOS AND/OR HAZARDOUS WASTE OR MATERIALS, AND SHALL NOT BE HELD LIABLE FOR ANY CLAIMS INVOLVING ASBESTOS OR HAZARDOUS MATERIALS.

11.1 CONTRACTOR'S LIABILITY INSURANCE

CERTIFICATES OF INSURANCE SHALL BE FURNISHED AND FILED IN TRIPPLICATE, BEFORE ANY WORK IS STARTED. THE CERTIFICATE SHALL PROVIDE FOR 15 DAYS PRIOR WRITTEN NOTICE TO THE OWNER OF POLICY CANCELLATION OR OF MATERIAL CHANGE. IF REQUESTED, A CERTIFIED COPY OF THE POLICIES MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW.

MINIMUM LIMITS REQUIRED FOR COVERAGE SHALL BE AS FOLLOWS:

COMPREHENSIVE GENERAL LIABILITY INSURANCE (BROAD FORM) INCLUDING:

COMPREHENSIVE FORM
PREMISES OPERATIONS
EXPLOSION & COLLAPSE HAZARD
UNDERGROUND HAZARD
PRODUCTS/COMPLETED OPERATIONS
CONTRACTOR
GENERAL CONTRACTORS
BROAD FORM PROPERTY DAMAGE
PERSONAL INJURY BODILY INJURY, INCLUDING DEATH \$1,000,000.00 EACH PERSON,
\$1,000,000.00 EACH OCCURRENCE
PROPERTY DAMAGE \$500,000.00 EACH OCCURRENCE, \$500,000.00 AGGREGATE

COMPREHENSIVE AUTOMOBILE LIABILITY INSURANCE INCLUDING:

ANY AUTO
ALL OWNED AUTOS (PRIV. PASS.)
ALL OWNED AUTOS (OTHER THAN PRIV. PASS.) HIRED AUTOS
NON-OWNED AUTOS BODILY INJURY, INCLUDING DEATH \$1,000,000.00 EACH PERSON,
\$1,000,000.00 EACH OCCURRENCE
PROPERTY DAMAGE \$500,000.00 EACH OCCURRENCE, \$500,000.00 AGGREGATE

WORKMEN'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE
WORKMEN'S COMPENSATION INSURANCE - STATUTORY; AMOUNTS AND COVERAGE AS REQUIRED BY LAW OF THE PLACE OF BUILDING.

EMPLOYER'S LIABILITY - COVERAGE B. STATUTORY; AMOUNTS AND COVERAGE AS REQUIRED BY LAW OF THE PLACE OF BUILDING.

UMBRELLA

THE CONTRACTOR SHALL HAVE EXCESS LIABILITY IN UMBRELLA FORM IN THE MINIMUM AMOUNT OF \$3,000,000.00 FOR BODILY INJURY AND PROPERTY DAMAGE.

COMPLETED OPERATIONS

CONTRACTOR SHALL PAY FOR AND MAINTAIN COMPLETED OPERATIONS INSURANCE FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER.

MANDATORY REQUIREMENTS

ALL LIABILITY COVERAGE SHALL BE ON AN OCCURRENCE BASIS.

THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY RESPONSIBILITY SHOULD A LOSS OCCUR THAT IS GREATER THAN THE MINIMUM INSURANCE LIMITS SPECIFIED HEREIN. COVERAGE UNDER THE COMPREHENSIVE GENERAL LIABILITY INSURANCE FOR THE CONTRACTUAL LIABILITY SHALL HAVE THE FOLLOWING "HOLD HARMLESS CLAUSE" WRITTEN INTO THE POLICY IN ITS ENTIRETY. THIS CONTRACTUAL LIABILITY INSURANCE SHALL BE SHOWN ON THE CERTIFICATE OF INSURANCE.

THE CONTRACTUAL LIABILITY INSURANCE SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

"CONTRACTOR AGREES THAT THEY SHALL INDEMNIFY, HOLD HARMLESS AND DEFEND THE OWNER, THE ARCHITECT, THEIR OFFICERS, AGENTS, SERVANTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL LIABILITY FOR LOSS, DAMAGE OR EXPENSE (INCLUDING COST AND ATTORNEYS FEES) WHICH THE OWNER, HIS ARCHITECT, THEIR OFFICERS, AGENTS, SERVANTS AND EMPLOYEES MAY SUFFER OR FOR WHICH THE OWNER, HIS ARCHITECT, THEIR OFFICERS, AGENTS, SERVANTS AND EMPLOYEES MAY BE HELD LIABLE BY REASON OF BODILY INJURY (INCLUDING DEATH) TO ANY PERSON OR DAMAGE TO ANY PROPERTY ARISING OUT OF OR IN ANY MANNER CONNECTED WITH THE OPERATIONS TO BE PERFORMED UNDER THIS CONTRACT WHETHER OR NOT DUE IN WHOLE OR IN PART TO ANY ACT, OMISSION OR NEGLIGENCE OF THE OWNER, THE ARCHITECT, THEIR OFFICERS, AGENTS, SERVANTS OR EMPLOYEES, EXCEPT THAT THE OBLIGATIONS OF THE CONTRACTOR UNDER THIS HOLD HARMLESS CLAUSE SHALL NOT EXTEND TO THE LIABILITY OF THE ARCHITECT, HIS AGENTS OR EMPLOYEES ARISING OUT OF (1) THE PREPARATION OR APPROVAL OF MAPS, DRAWINGS, OPINIONS, REPORTS, SURVEYS, CHANGE ORDERS, DESIGNS OR SPECIFICATIONS, OR (2) THE GIVING OF OR THE FAILURE TO GIVE DIRECTIONS OR INSTRUCTIONS BY THE ARCHITECT, HIS AGENTS, OR EMPLOYEES PROVIDED SUCH GIVING OR FAILURE TO GIVE IS THE PRIMARY CAUSE OF THE INJURY OR DAMAGE."

ALL INSURANCE REQUIRED UNDER THIS SECTION SHALL BE CARRIED WITH AN INSURER AUTHORIZED TO DO BUSINESS IN THE STATE THE PROJECT IS OCCUPYING, BY THE DEPARTMENT OF BANKING AND INSURANCE.

SHOULD ANY INSURANCE POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE OR EXPIRE, THE ISSUING COMPANY SHALL MAIL TEN (10) DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER.

11.2 OWNER'S LIABILITY INSURANCE

THE OWNER SHALL BE RESPONSIBLE FOR PURCHASING AND MAINTAINING ITS OWN LIABILITY INSURANCE INCLUDING PROTECTIVE LIABILITY INSURANCE COVERING CLAIMS WHICH MAY ARISE FROM OPERATIONS UNDER THE CONTRACT.

11.3 PROPERTY INSURANCE BUILDER'S RISK

THE CONTRACTOR SHALL PURCHASE AND MAINTAIN PROPERTY INSURANCE UPON THE ENTIRE WORK AT THE SITE TO THE FULL INSURABLE VALUE THEREOF. ON PROJECTS THAT CONSIST OF INTERIOR ALTERATIONS, OR WORK ON PART OF AN EXISTING BUILDING, THE INSURANCE SHALL BE IN THE FORM OF AN "INSTALLATION FLOATER". "BUILDER'S RISK" INSURANCE SHALL BE FOR NEW BUILDINGS OR FOR A TOTAL RENOVATION TO AN ENTIRE EXISTING BUILDING. THIS INSURANCE SHALL INCLUDE THE INTERESTS OF THE OWNER, THE CONTRACTOR, SUBCONTRACTORS AND SUB-SUBCONTRACTORS IN THE WORK AND SHALL INSURE AGAINST THE PERILS OF FIRE, EXTENDED COVERAGE, VANDALISM AND MALICIOUS MISCHIEF.

THE CONTRACTOR SHALL DELIVER TRUE COPIES OF ALL INSURANCE POLICIES WITH THE OWNER BEFORE STARTING WORK AND SAID INSURANCE POLICIES SHALL BE SUBJECT TO OWNER'S APPROVAL FOR ADEQUACY OF PROTECTION. THE OWNER SHALL BE NAMED JOINTLY WITH THE CONTRACTOR IN ALL POLICIES.

THIS INSURANCE SHALL NOT RELEASE THE CONTRACTOR OF HIS OBLIGATION TO COMPLETE ACCORDING TO PLANS AND SPECIFICATIONS, THE PROJECT COVERED BY THE CONTRACT WITH THE OWNER AND THE CONTRACTOR AND HIS SURETY SHALL BE OBLIGATED TO FULL PERFORMANCE OF THE CONTRACTOR'S UNDERTAKING.

13.2 CORRECTION OF WORK

GUARANTEE-WARRANTY
THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN THE WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, UNLESS A LONGER PERIOD OF TIME IS SPECIFIED.

ALL GUARANTEES SHALL BECOME VALID AND OPERATIVE AS OF THE DATE OF SUBSTANTIAL COMPLETION. THIS GUARANTEE-WARRANTY SHALL BE WRITTEN ON CONTRACTOR'S LETTERHEAD AND SHALL BE SIGNED BY AN AUTHORIZED OFFICER AND NOTARIZED.

CLEANING UP AND PROJECT CLOSEOUT

CLEANING UP

ARTICLE 3.15 "CLEANING UP" OF THE AIA GENERAL CONDITIONS SHALL BE SUPPLEMENTED AS FOLLOWS:

DURING CONSTRUCTION, BROKEN MASONRY, RUBBISH, CARTONS, BOXES, ETC., WILL NOT BE PERMITTED TO ACCUMULATE BUT MUST BE PROMPTLY REMOVED BY CONTRACTOR CAUSING ACCUMULATION OF SAID CARTONS, RUBBISH, ETC.

THE GENERAL CONTRACTOR SHALL DO ALL PUMPING AS NECESSARY TO KEEP THE BUILDING AND PREMISES FREE FROM WATER AT ALL TIMES. SIDEWALKS, STREETS AND DRIVEWAYS SHALL BE KEPT CLEAN AND ORDERLY AT ALL TIMES.

AT COMPLETION OF WORK, THE GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN ALL ROOMS AND SPACES. CLEANING SHALL BE DONE BY PROFESSIONAL CLEANERS. ALL FLOORS SHALL BE THOROUGHLY VACUUM CLEANED. ALL DUST, SPOTS, STAINS, ETC., SHALL BE REMOVED FROM ALL FLOOR, WALL, AND CEILING SURFACES AND FROM ALL OTHER SURFACES AND MECHANICAL AND ELECTRICAL EQUIPMENT. ALL GLASS SHALL BE WASHED AND POLISHED BOTH SIDES. ALL TILE WORK SHALL BE SCRUBBED AND WASHED. ANY WORK NOT CLEANED TO THE SATISFACTION OF THE ARCHITECT OR OWNER MUST BE RECLEANED UNTIL SUCH APPROVAL IS OBTAINED.

AT COMPLETION ENTIRE EXTERIOR OF THE PREMISES SHALL BE SWEEPED AND CLEANED AND LEFT IN A NEAT AND ORDERLY CONDITION.

PROJECT CLOSEOUT

THE FOLLOWING DOCUMENTS SHALL BE DELIVERED TO THE ARCHITECT AT THE CLOSE OF THE PROJECT. FINAL PAYMENT MAY BE WITHHELD UNTIL THESE DOCUMENTS ARE SUBMITTED:

CERTIFICATE OF OCCUPANCY CONTRACTOR'S AFFIDAVIT OF RELEASE OF LIENS (AIA DOCUMENT G706) AND CERTIFICATE OF RELEASE OF LIENS (AIA DOCUMENT G706A) (AIA DOC. G706) ALL GUARANTEES AND WARRANTIES AS BUILD/RECORD DRAWINGS INSURANCE CERTIFICATE FOR COMPLETED OPERATIONS MAINTENANCE MANUALS AND INSTRUCTIONS.

PROCEDURE OF CONSTRUCTION

GENERAL REQUIREMENTS OF THE CONDITIONS OF THE CONTRACT AND OF DIVISION 1 OF THESE SPECIFICATIONS APPLY TO ALL WORK UNDER THIS SECTION.

SCOPE

PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES AND PERFORM ALL OPERATIONS REQUIRED FOR PROCEDURE OF CONSTRUCTION.

IT SHALL BE UNDERSTOOD BY ALL CONTRACTORS AND SUBCONTRACTORS THAT ALL OF THEIR OPERATIONS AT THE SITE MUST BE ARRANGED IN SUCH A MANNER THAT ALL DAILY FUNCTIONS OF THE EXISTING BUILDING SHALL CONTINUE WITHOUT INTERRUPTION AND WITH MINIMUM DISTURBANCE. ALL CONTRACTORS AND SUBCONTRACTORS SHALL INCLUDE AS PART OF THEIR CONTRACT ALL SERVICES, SCAFFOLDING, MATERIALS, LABOR, ETC., AS MAY BE REQUIRED TO AFFECT THIS UNINTERRUPTED SERVICE WITHOUT ADDITIONAL COST TO THE OWNER.

DURING ALL STAGES, ALL SERVICES AND UTILITIES SUCH AS LIGHTING, BURGLAR ALARM SYSTEM, TELEPHONES, HEATING AND COOLING AND TOILET FACILITIES SHALL BE KEPT IN OPERATION AT ALL TIMES.

ERECT AND MAINTAIN TEMPORARY FULL HEIGHT DUST TIGHT PARTITIONS, INCLUDING DOORS AS REQUIRED TO KEEP THE BUILDING OPERATIONS UNDISTURBED. AT COMPLETION OF NEED, REMOVE SAME AND RESTORE ANY DAMAGED SURFACES TO ORIGINAL CONDITIONS.

IT SHALL BE UNDERSTOOD THAT THE ABOVE OUTLINE OF STAGES ARE SUBJECT TO CHANGE IF THE OWNER'S INTEREST SO REQUIRES, OR IF JOB CONDITIONS PERMIT A TIME MORE SUITABLE TO BOTH OWNER AND CONTRACTOR, AT WHICH TIME A MEETING WILL BE HELD BETWEEN THE OWNER, ARCHITECT AND CONTRACTORS AND THE SCHEDULE REVISED ACCORDINGLY AND ALL CONTRACTORS SHALL AGREE TO ADHERE TO SAME.

OVERTIME

SHOULD JOB CONDITIONS REQUIRE THAT CERTAIN WORK MUST BE DONE DURING OVERTIME, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED:

THE ARCHITECT AND THE OWNER WILL STIPULATE WHAT PORTION OF THE WORK IS TO BE DONE DURING OVERTIME AND THE TIME OF THE OVERTIME.

NO OVERTIME WILL BE CREDITED UNLESS IT IS APPROVED BY THE ARCHITECT AND SIGNED TIME VOUCHERS ARE SUBMITTED. SIGNED TIME VOUCHERS SHALL BE SIGNED BY AN AUTHORIZED REPRESENTATIVE OR AGENT OF THE OWNER WHO SHALL BE PRESENT DURING THE ENTIRE EXTENT OF ALL OVERTIME.

THE ADDITIONAL COST OF AUTHORIZED OVERTIME LABOR IF ANY, WHICH WILL BE SUBJECT TO REIMBURSEMENT BY THE OWNER SHALL BE ONLY THE ACTUAL PREMIUM-INCREMENT AMOUNT EARNED BY SUCH CRAFTSMEN WHO ARE DULY AUTHORIZED BY THE OWNER AND DIRECTED BY THE CONTRACTOR TO WORK ON PREMIUM TIME, PLUS THE COMPULSORY PAYMENT MADE BY THE CONTRACTOR OR SUBCONTRACTORS, SUCH AS FEDERAL SOCIAL SECURITY AND UNEMPLOYMENT INSURANCE, STATE UNEMPLOYMENT AND TEMPORARY DISABILITY INSURANCE, COMPREHENSIVE PUBLIC LIABILITY, WORKMEN'S COMPENSATION, LOCAL PAYROLL TAX, PAYROLL DUES & FUND, SMALL TOOLS, VACATION & HOLIDAY FUND, PENSION FUND, WELFARE FUND, TEMPORARY DISABILITY FUND, APPRENTICE FUND, INDUSTRY ADVANCEMENT FUND, INDUSTRY FUND AND NATIONAL BENEFIT FUND, EACH ONLY WHERE AND WHEN APPLICABLE, AND WHICH ARE DUE TO THE PREMIUM-INCREMENT AMOUNT OF THE PAYROLL. THE ONLY OVERHEAD PERMITTED WILL BE AN AMOUNT EQUAL TO 10% OF THESE COMPULSORY PAYMENTS.

PRESENT WORK

THE CONTRACTOR SHALL DO ALL REMOVING, PATCHING, PIECING OUT, REPAIRING AND REPLACING OF MATERIALS IN CONNECTION WITH PRESENT WORK WHERE SHOWN OR REQUIRED. THIS WORK SHALL CONFORM TO THE BASIC MATERIALS AND WORKMANSHIP SPECIFIED UNDER THE VARIOUS SECTIONS TO THE SPECIFICATIONS SO AS TO MAKE THE JOB COMPLETE.

ALL WORK SHALL BE CAREFULLY LAID OUT IN ADVANCE, AND WHERE REMOVING, PATCHING, PIECING OUT, CUTTING, CHASING, DRILLING, REPAIRING AND REPLACING OF PRESENT WORK IS NECESSARY FOR THE PROPER INSTALLATION OF NEW WORK, THIS WORK SHALL BE CAREFULLY DONE, AND ANY DAMAGE TO PRESENT WORK OR FINISHES SHALL BE REPAIRED TO MATCH EXISTING, BY SKILLED MECHANICS OF THE TRADES INVOLVED AT NO ADDITIONAL COST TO THE OWNER. ALL WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER BY WORKMEN SKILLED IN THEIR RESPECTIVE TRADES AND BE SUBJECT TO THE ARCHITECT'S APPROVAL.

REMOVALS, CUTTING, & PATCHING

GENERAL REQUIREMENTS OF THE CONDITIONS OF THE CONTRACT AND OF DIVISION 1 OF THESE SPECIFICATIONS APPLY TO ALL WORK UNDER THIS SECTION.

SCOPE

PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES AND PERFORM ALL OPERATIONS REQUIRED FOR ALL REMOVALS, CUTTING AND PATCHING AND RELATED WORK AS SHOWN ON THE DRAWINGS AND/OR SPECIFIED HEREIN.

EXAMINATION OF PREMISES

ALL CONTRACTORS SHALL VISIT THE PREMISES AND CAREFULLY EXAMINE PRESENT CONDITIONS AND ALL DRAWINGS TO DETERMINE THE EXTENT OF THE REMOVALS, CUTTING AND PATCHING THAT WILL BE REQUIRED. ALL EXISTING WORK NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS AND AS REQUIRED FOR THE PROPER COMPLETION OF THE PROJECT SHALL BE REMOVED WHETHER SPECIFICALLY CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS OR NOT.

WORK BY GENERAL CONTRACTOR

ALL REMOVALS EXCEPT AS HEREINAFTER SPECIFIED TO BE DONE BY THE MECHANICAL AND ELECTRICAL CONTRACTOR SHALL BE DONE BY THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF BOTH PRESENT AND NEW WORK AS REQUIRED TO ACCOMMODATE HIS OWN WORK AND AS REQUIRED TO ACCOMMODATE THE WORK OF THE MECHANICAL AND ELECTRICAL CONTRACTORS.

ALL REMOVED ITEMS EXCEPT THOSE

RESPONSIBILITY SCHEDULE

ANNOTATION SYMBOL LEGEND

DESCRIPTION	EXIST	G.C.		LANDLORD		TENANT / OWNER		NOT APPLICABLE	VENDOR	NOTES
		F	I	F	I	F	I			
GENERAL REQUIREMENTS										
GENERAL CONDITIONS		●	●							
PERMITS, FEES AND INSURANCE		●	●							
TEMPORARY UTILITIES		●	●							
PROFESSIONAL CLEANING		●	●							
CERTIFICATE OF OCCUPANCY		●	●							
BARRICADES/BARRIERS		●	●							
PROTECTION		●	●							
SITE WORK										
DUMPSTERS		●	●							
DEMOLITION		●	●							
CONC. SLAB										COORDINATE WITH LANDLORD PRIOR TO ANY DEMOLITION/DRILLING/TRENCHING
CONCRETE, CUTTING, CORING, & POUR BACK		●	●							
CONCRETE TOPPING/ LEVELING/ SLAB		●	●							
METALS										
METAL STUD FRAMING & DRYWALL		●	●							
MISCELLANEOUS STEEL		●	●							
+		●	●							
CARPENTRY										
FRT WALL BACKING/BLOCKING		●	●							
FRT BREAKROOM PLYWOOD BACKBOARD		●	●							FOR NETWORK RACK
THERMAL / MOISTURE										
INSULATION		●	●							AT EXTERIOR WALLS & RO
SPRAY-ON FIRE PROOFING (PATCH & REPAIR)		●	●							
---		●	●							
DOORS										
STOREFRONT DOOR(S)	●									
WOOD OR METAL DOORS & FRAMES		●	●							
EXIT DOOR(S) & FRAMES								●		
FINISH HARDWARE		●	●							
RE-KEY LOCKS								●		PROVIDE 7 SETS OF KEYS
LOCK BOX		●	●							GC. TO LEAVE LOCKBOX ON DOOR AND GC. TO PROVIDE LOCKBOX CODE TO OWNER
FINISHES										
STOREFRONT GLAZING SYSTEM/ FACADE	●									
PAINTING & DECORATING		●	●							BENJAMINMOORE.COM LOG INTO SITE TO PURCHASE. PROJECT MANAGER WILL PROVIDE LOG IN INFORMATION. G.C TO INSTALL AND SUPPLY
FLOORING TILES		●	●							
LVT-FLOORING		●	●							
LAY-IN CEILING		●	●							
GYP. BD. CEILING - SHOWROOM, RESTROOM		●	●							
ACT. CEILING - BACK OF HOUSE		●	●							
SPECIALTY ITEMS										
TOILET ACCESSORIES		●	●							SEE ENLARGED RESTROOM SHEET A-401 FOR ADDITIONAL INFO
EXTERIOR SIGNAGE						●	●			BLADE SIGNS, ILLUMINATED SIGNS, MAIN SIGNS ETC.
OPERATING HOURS GRAPHIC ON ENTRY DOOR						●	●			
MOTORIZED SHADES AT STOREFRONT SHOW WINDOW						●	●			
ACCESSIBILITY SIGNAGE		●	●							GRAY BACKGROUND G.C. TO COORDINATE COLOR SCHEME WITH ARCHITECT
EQUIPMENT										
REFRIGERATOR & MICROWAVE			●			●				
FIRE EXTINGUISHERS		●	●							
NETWORK RACK			●			●				
WATER COOLER		●	●							
SECURITY CAMERAS						●	●			
COMPUTER(S)						●	●			G.C. TO RECEIVE ONSITE. FURNISHED AND INSTALLED BY OWNER
FURNISHINGS										
MILLWORK - WORKSTATIONS, ISLANDS, WALL UNITS						●	●			MILLWORK CONTRACTOR
MILLWORK UNLOADING						●	●			MILLWORKER TO PROVIDE PRICING FOR UNLOADING AND UNCRATING OF MILLWORK
LUMI SHEETS - FOR WALL UNITS			●			●				UNLOAD, UNCRATE, ASSEMBLE, PLACE PER PLAN AND DIRECTION
DURATANS - FOR WALL UNITS			●			●				UNLOAD, UNCRATE, ASSEMBLE, PLACE PER PLAN AND DIRECTION
ACRYLIC - FOR WALL UNITS			●			●				UNLOAD, UNCRATE, ASSEMBLE, PLACE PER PLAN AND DIRECTION
WALL ART			●			●				UNLOAD, UNCRATE, PLACE PER PLAN AND DIRECTION BY OWNER. REP. PLACE AND INSTALL PER TSS. SPEC.
HARDWARE BOXES & DRAPERY HARDWARE			●			●				UNLOAD, UNCRATE, PLACE PER PLAN AND DIRECTION BY OWNER. REP. PLACE AND INSTALL PER TSS. SPEC.
OFFICE CHAIRS, STOOLS, & FILING CABINETS			●			●				UNLOAD, UNCRATE, PLACE PER PLAN AND DIRECTION BY OWNER. REP. PLACE AND INSTALL PER TSS. SPEC.
MISCELLANEOUS FURNITURE			●			●				UNLOAD, UNCRATE, PLACE PER PLAN AND DIRECTION BY OWNER. REP. PLACE AND INSTALL PER TSS. SPEC.
MISCELLANEOUS DECOR			●			●				UNLOAD, UNCRATE, PLACE PER PLAN AND DIRECTION BY OWNER. REP. PLACE AND INSTALL PER TSS. SPEC.
AREA RUGS			●			●				
OWNER PRODUCT			●			●	●			PRODUCT FOR GRIDS, WINDOWS, FREESTANDING WALL, ETC.
SPRINKLER										
SPRINKLER BRANCH PIPING	●		●	●						MODIFY AS REQUIRED FOR NEW DESIGN
SPRINKLER MAIN LINE	●		●	●						
SPRINKLER HEADS	●		●	●						MODIFY AS REQUIRED FOR NEW DESIGN
MECHANICAL										
MECHANICAL DIFFUSERS			●	●						
ROOF TOP UNITS			●	●						
HVAC CONTROL & SENSOR			●	●						ECOBEE THERMOSTAT/ WITH REMOTE SENSOR
MAIN DUCTWORK			●	●						
BRANCH DUCTWORK			●	●						
EXHAUST FAN			●	●						
ELECTRICAL										
MAIN DISTRIBUTION PANEL	●									
TENANT TRANSFORMER								●		
TENANT LOW VOLTAGE ELECTRICAL PANEL			●	●						
TENANT HIGH VOLTAGE ELECTRICAL PANEL								●		
INTERIOR EDGE-LIT SIGN						●		●		G.C. TO PROVIDE ELECTRICAL
DISPLAY LED LIGHTING						●		●		LED LIGHTING IN GRIDS, FIXTURES, VALANCES, DISPLAY, ETC. USE ONLY 4-WAY SPIDER CABLES WITH LED STRIP AND CONNECT NO MORE THAN 3 LED STRIPS PER TRANSFORMER
SPEAKERS						●		●		G.C. TO PROVIDE WIRING
LIGHT FIXTURES						●		●		
EXIT SIGNS						●		●		
EMERGENCY UNITS						●		●		
BURGLAR ALARM						●		●		KEY PAD TO BE SUPPLIED AND INSTALLED BY OWNER. G.C. TO PROVIDE POWER AND DATA
CONDUIT			●	●						
DISTRIBUTION			●	●						
MAIN WIRE			●	●						
PLUMBING										
WATER SUPPLY & WASTE MAIN LINE	●									MODIFY AS REQUIRED PER NEW DESIGN
PLUMBING FIXTURES			●	●						
WATER METER	●									
FIRE ALARM										
FIRE ALARM PANEL	●									
HORN STROBE(S)			●	●						
PULL STATION(S)			●	●						

SYMBOL	DESCRIPTION
	DETAIL CALLOUT
	SECTION CUT CALL OUT
	ELEVATION TAG
	KEY NOTE
	DOOR TAG
	DIMENSION STRING
	FINISH TAG
	CENTERLINE TAG



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CA ARCHITECTURAL REG. No: C30220

DATE	REVISION
03.02.2023	BID SET
12.20.2022	BUILDING DEPARTMENT COMMENTS
11/20/2022	CLIENT REVISIONS
11/17/2022	ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
11/11/2022	LL REVIEW SET



PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

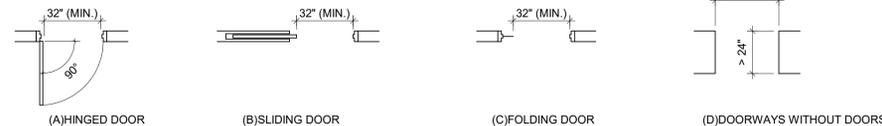
SPACE NO. 210
 AREA: 1,558 SF
 SHEET TITLE:
 RESPONSIBILITY
 SCHEDULE AND
 ANNOTATION SYMBOL
 LEGEND

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: RB
 REVIEWED BY: MR
 SHEET NO:

G-103

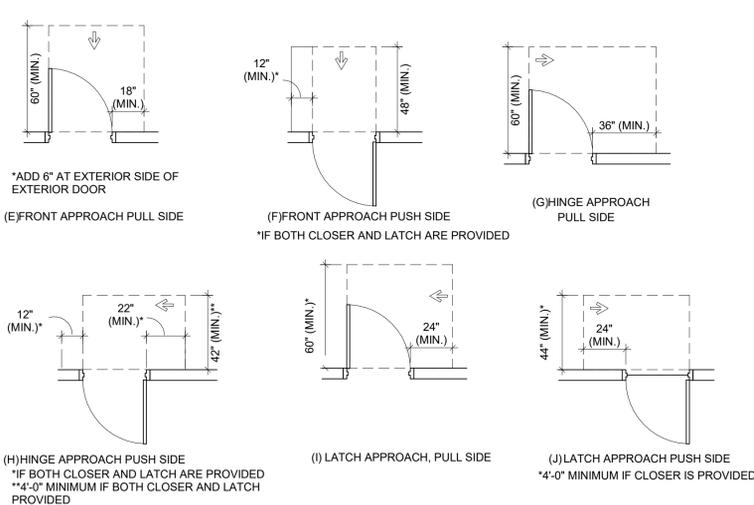
SECTION 11B-404.2.3 CLEAR WIDTH

FIGURE 404.2.2 CLEAR WIDTH OF DOORWAYS



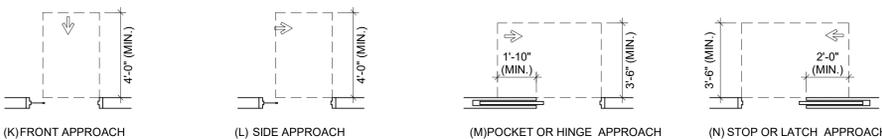
SECTION 11B-404.2.4 MANEUVERING CLEARANCES

FIGURE 11B-404.2.4.1 MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS AND GATES:



SECTION 11B-404.2.4.2 DOORWAYS WITHOUT DOORS OR GATES, SLIDING DOORS, AND FOLDING DOORS:

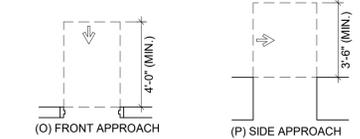
FIGURE 11B-404.2.4.2 WITHOUT DOORS OR GATES, SLIDING DOORS, AND FOLDING DOORS:



SECTION 404.2.3.4 DOORWAYS WITHOUT DOORS

DOORWAYS WITHOUT DOORS THAT ARE LESS THAN 36 INCHES IN WIDTH SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 404.2.3.2

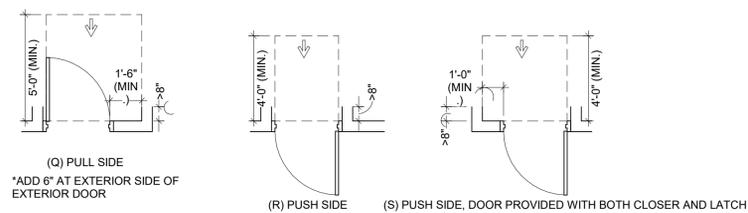
FIGURE 404.2.3.4 MANEUVERING CLEARANCE AT DOORWAYS WITHOUT DOORS



SECTION 11B-404.2.3.5 RECESSED DOORS AND GATES:

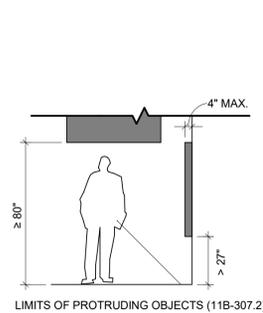
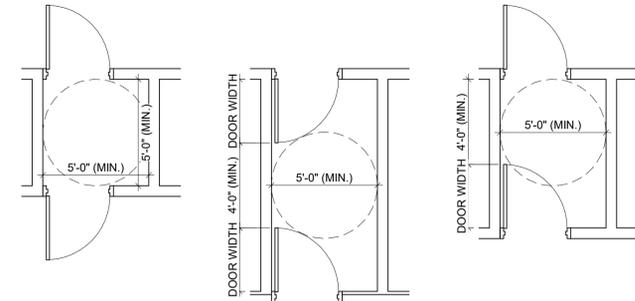
MANEUVERING CLEARANCES FOR FORWARD APPROACH SHALL BE PROVIDED WHEN ANY OBSTRUCTION WITHIN 18 INCHES OF THE LATCH SIDE OF THE INTERIOR DOORWAY, OR WITHIN 24 INCHES OF THE LATCH SIDE OF AN EXTERIOR DOORWAY, PROJECTS MORE THAN 8 INCHES BEYOND THE FACE OF THE DOOR, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR OR GATE

FIGURE 11B-404.2.4.3 MANEUVERING CLEARANCE AT RECESSED DOORS

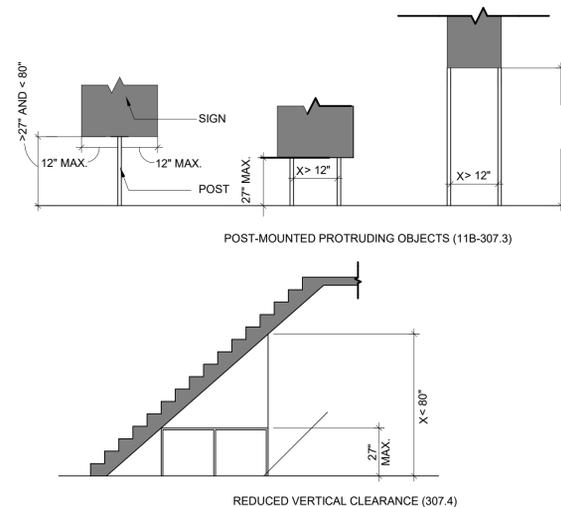


SECTION 11B-404.2.6 TWO DOORS IN SERIES AND GATES IN SERIES:

DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES AND GATES IN SERIES SHALL BE 48 INCHES MINIMUM PLUS THE WIDTH OF ANY DOORS OR GATES SWINGING INTO THE SPACE. THE SPACE BETWEEN THE DOORS SHALL PROVIDE A TURNING SPACE COMPLYING WITH SECTION 11B-304.



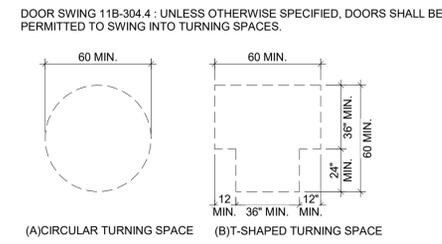
LIMITS OF PROTRUDING OBJECTS (11B-307.2)



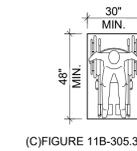
2 PROTRUDING OBJECTS (SECTION 11B-307)

1/4" = 1'-0"

SIZE OF TURNING SPACE: THE MINIMUM SPACE REQUIRED FOR A STANDARD WHEELCHAIR TO MAKE A 180-DEGREE TURN IS A CLEAR SPACE OF A 60 INCH DIAMETER OR A T-SHAPED SPACE. REFER TO THE TURNING SPACE DETAILS BELOW.



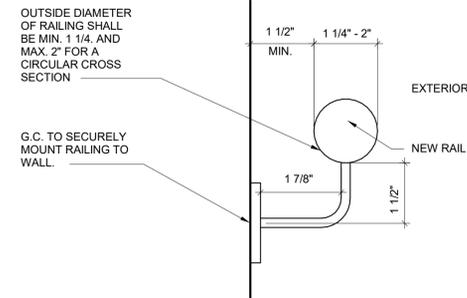
(A) CIRCULAR TURNING SPACE (B) T-SHAPED TURNING SPACE



(C) FIGURE 11B-305.3 CLEAR FLOOR OR GROUND SPACE

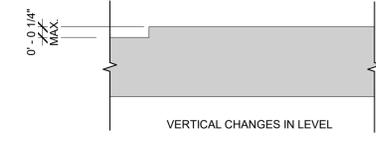
5 TURNING SPACE (SECTION 11B-304.3)

1/4" = 1'-0"

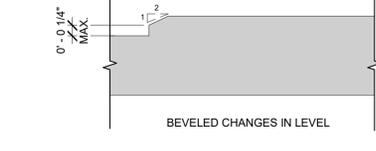


3 TYP. HAND RAIL CLEARANCE (11B-505)

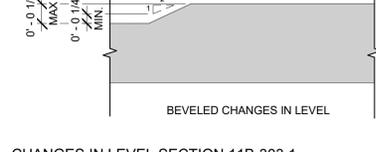
6" = 1'-0"



VERTICAL CHANGES IN LEVEL



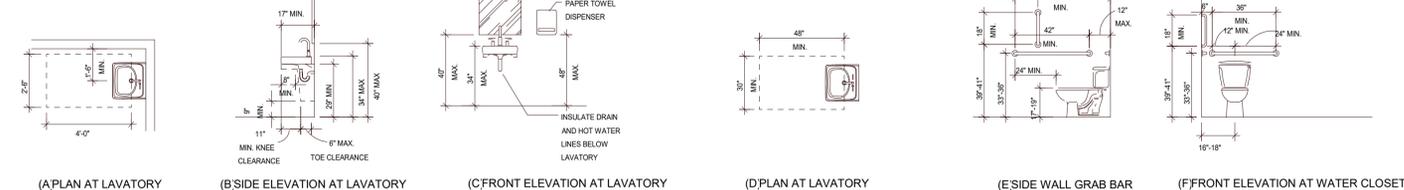
BEVELED CHANGES IN LEVEL



4 CHANGES IN LEVEL SECTION 11B-303.1

6" = 1'-0"

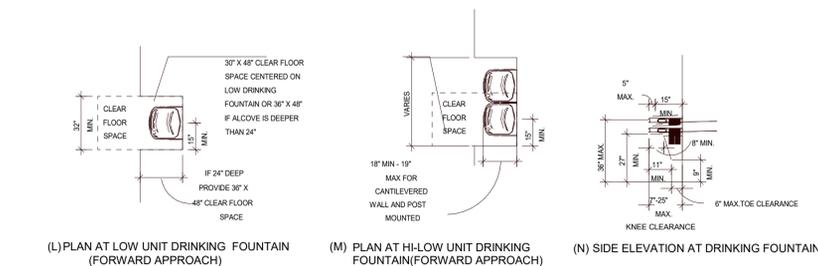
NOTE: DASHED LINES INDICATE DIMENSIONAL CLEARANCE OF OPTIONAL UNDER LAVATORY ENCLOSURE



(A) PLAN AT LAVATORY (B) SIDE ELEVATION AT LAVATORY (C) FRONT ELEVATION AT LAVATORY (D) PLAN AT LAVATORY (E) SIDE WALL GRAB BAR FOR WATER CLOSET (F) FRONT ELEVATION AT WATER CLOSET



(G) PRODUCT DISPENSER BELOW GRAB BAR (H) DISPOSAL UNIT LOCATION (I) MINIMUM WATERCLOSET CLEARANCES (J) WALL-HUNG WATER CLOSET-ADULT (K) FLOOR MOUNTED WATER CLOSETS-ADULT WALL-HUNG AND FLOOR MOUNTED WATER CLOSET-CHILDREN (L) PLAN AT LOW UNIT DRINKING FOUNTAIN (FORWARD APPROACH) (M) PLAN AT HI-LOW UNIT DRINKING FOUNTAIN (FORWARD APPROACH) (N) SIDE ELEVATION AT DRINKING FOUNTAIN



1 ADA ACCESSIBLE ROUTES (CHAPTER 11B 2019 CBC)

1/4" = 1'-0"

7 PLUMBING ELEMENTS AND FACILITIES (SECTION 601 CBC)

N.T.S.



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ARCHITECT UNDER THE LAWS OF
THE STATE OF CALIFORNIA

CA ARCHITECTURAL REG. No: C30220

	03.02.2023 BID SET
⚠	12.20.2022 BUILDING DEPARTMENT COMMENTS
⚠	11/20/2022 CLIENT REVISIONS
	11/17/2022 ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/11/2022 LL REVIEW SET



PROJECT LOCATION

THE SHADE STORE
1875 S BASCOM AVE,
CAMPBELL, CA 95008

SPACE NO. 210

AREA: 1,558 SF

SHEET TITLE:

ACCESSIBILITY DETAILS

PROJECT NO. 22-028

SCALE: AS NOTED

DRAWN BY: TJF

REVIEWED BY: MR

SHEET NO:

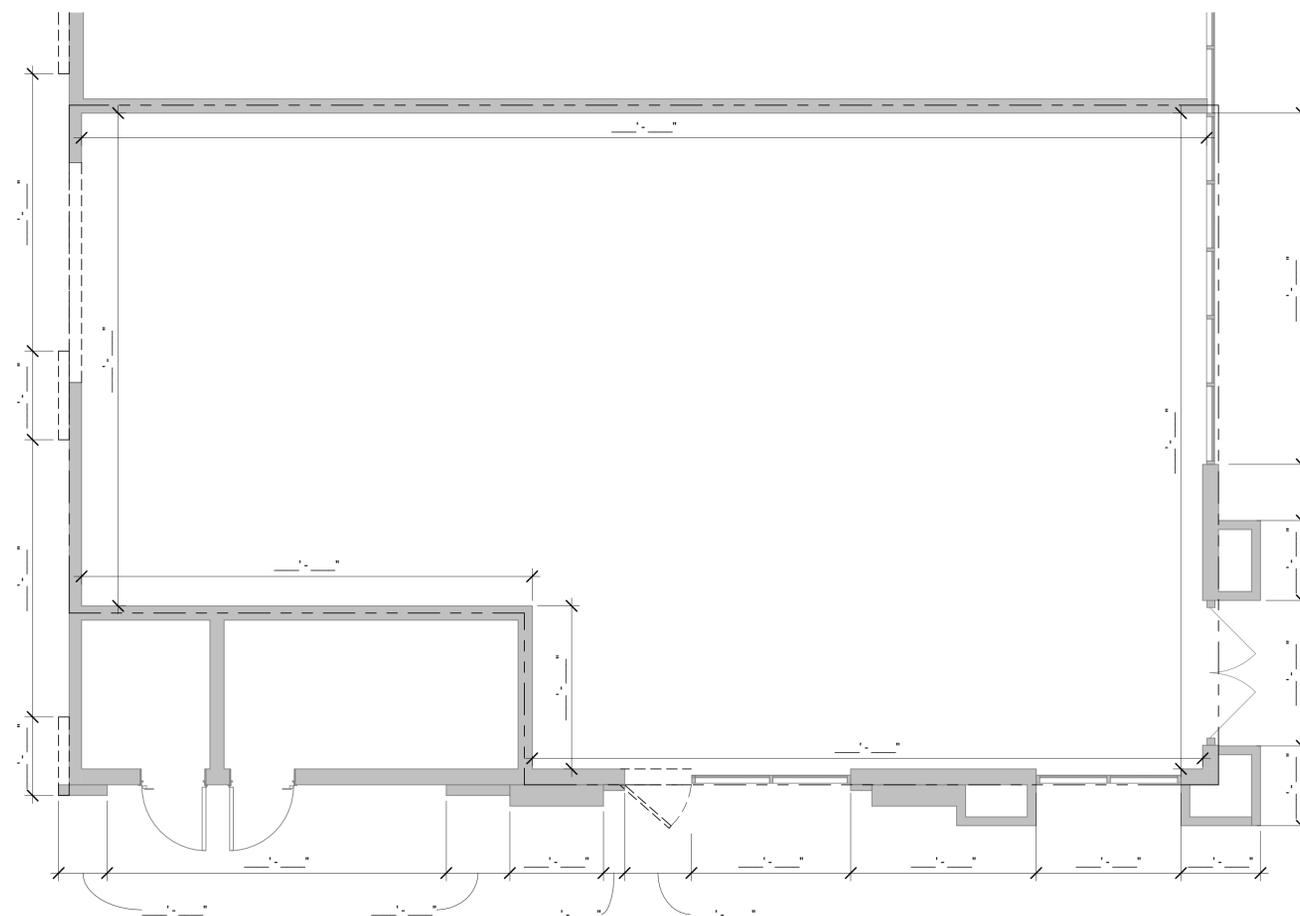


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	11/17/2022 ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/11/2022 LL REVIEW SET



1 EXISTING CONDITIONS FEILD VERIFICATION PLAN
 1/4" = 1'-0"

THE
SHADE
STORE

PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210

AREA: 1,558 SF

SHEET TITLE:

EXISTING CONDITIONS
DIMENSIONS

PROJECT NO. 22-028

SCALE: AS NOTED

DRAWN BY: RB

REVIEWED BY: MR

SHEET NO:

A-100

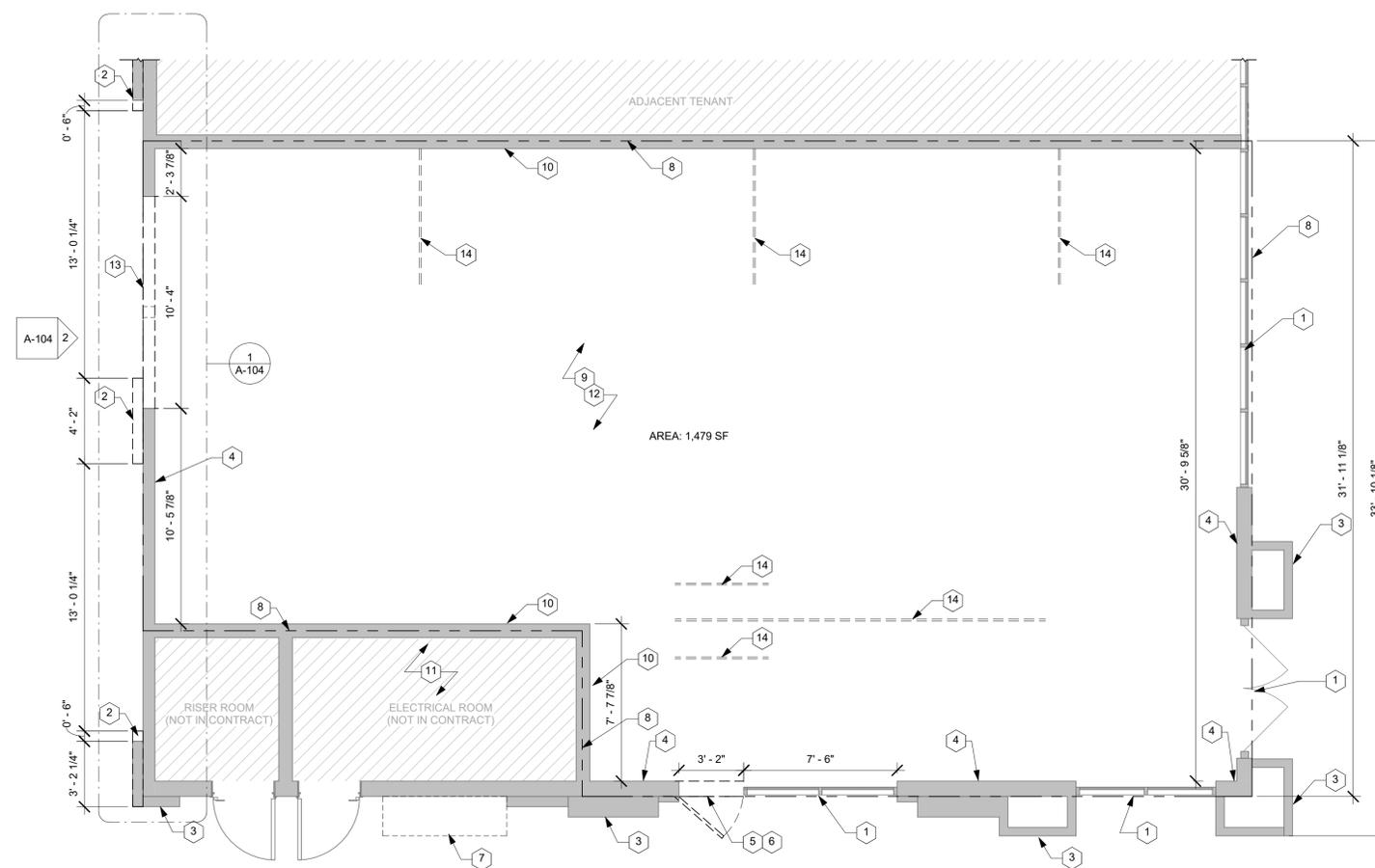
NOTES		DEMOLITION LEGEND	
KEY  • G.C. TO FILL IN EXISTING DIMENSIONS FOR ARCHITECT REVIEW PRIOR TO CONSTRUCTION.		SYMBOL	DESCRIPTION
			EXISTING PARTITION
			DEMOLITION PARTITION
			EXISTING DOOR
			EXISTING DOOR TO BE DEMOLISHED



ARCHITECT OF RECORD:
 MATTHEW REISKIN
 6200 LENOX ROAD
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 CHANEISKIN@YAHOO.COM

SEAL:
 ARCHITECT: MATTHEW REISKIN, I
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 OR UNDER MY DIRECT
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 THE STATE OF CALIFORNIA

CA ARCHITECTURAL REG. No: C30220



1 EXISTING CONDITIONS/DEMOLITION PLAN
 1/4" = 1'-0"

		03.02.2023 BID SET
⚠	12.20.2022 BUILDING DEPARTMENT COMMENTS	
⚠	11/20/2022 CLIENT REVISIONS	
	11/17/2022 ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL	
	11/11/2022 LL REVIEW SET	

THE SHADE STORE

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SPACE NO. 210

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 EXISTING CONDITIONS/DEMOLITION PLAN

PROJECT NO. 22-028

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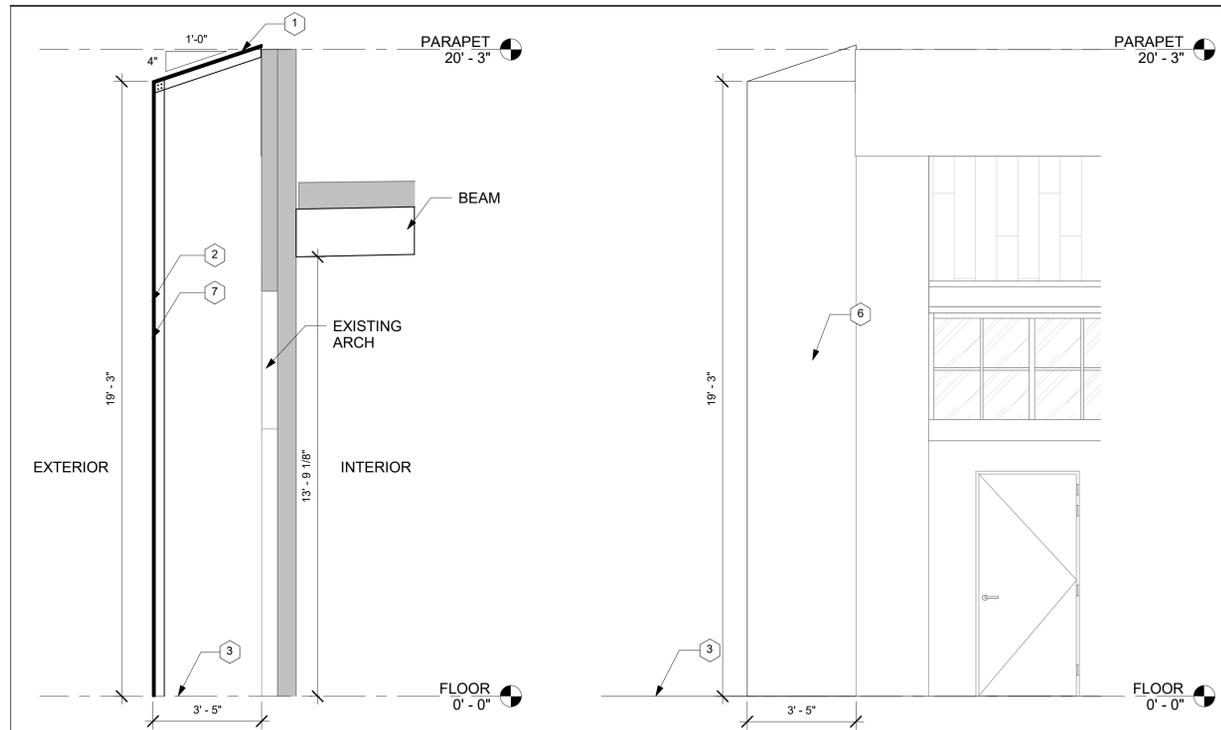
SHEET NO:

A-101

KEY NOTES	
SYMBOL	NOTES
1	EXISTING STOREFRONT DOORS AND GLAZING SYSTEM TO REMAIN. SEE SHEET A-121 FOR ADDITIONAL INFORMATION
2	EXISTING EXTERIOR FACADE BUILD OUT TO DEMOLISHED.
3	EXISTING EXTERIOR FACADE BUILD OUT TO REMAIN
4	UNFINISHED WALL - EXPOSED PLYWOOD. SEE SHEET A-121 FOR INFORMATION ON HOW TO FINISH FACE.
5	DOOR TO BE REMOVED AND NEW WINDOW TO INFILL. G.C. TO ENSURE INFILL TO MATCH EXISTING GLAZING.
6	G.C. TO COORDINATE WITH STOREFRONT VENDOR AND ENGINEER FOR CODE COMPLIANT INFILL OF DOOR OPENING.
7	GAS METER LOCATION
8	LEASELINE
9	EXISTING CONCRETE FLOOR SLAB TO REMAIN. G.C. TO PREP FOR NEW TILE FLOORING. REFER TO SHEET A-151 FOR ADDITIONAL INFORMATION.
10	EXISTING NON-RATED GYP. BD. DEMISING WALL TO REMAIN.

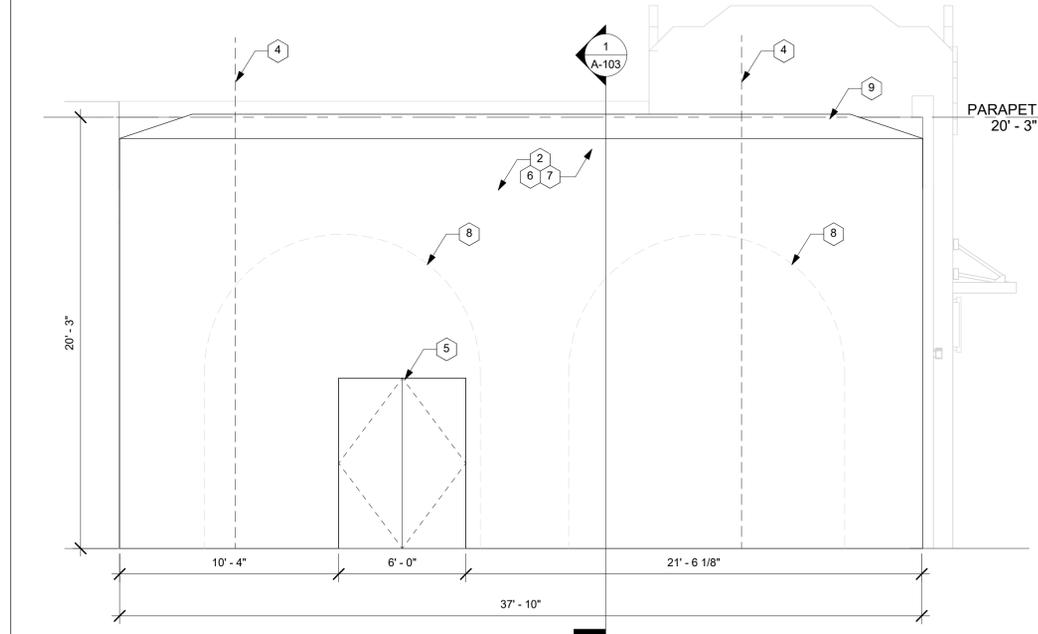
GENERAL DEMOLITION NOTES	
1.	ALL DOORS, WALLS, FIXTURES, ETC. SHOWN IN DASHED LINES ARE TO BE REMOVED AND DISPOSED OF UNLESS NOTED OTHERWISE.
2.	THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY OF ANY UNFORESEEN HAZARDS/CONDITIONS OF ANY KIND. ALL CONDITIONS AND DIMENSIONS ARE TO BE CHECKED FOR DISCREPANCIES AND THE ARCHITECT IS TO BE NOTIFIED. THERE MAY HAVE BEEN AREAS WHICH WERE NOT ACCESSIBLE AT THE TIME OF THE EXISTING CONDITIONS SITE VISIT AND MAY NEED FURTHER CONSIDERATION.
3.	NO ALTERATION TO THE EXISTING STRUCTURAL MEMBERS ARE ALLOWED.
4.	COORDINATE WITH THE LANDLORD OR REPRESENTATIVE FOR ANY AND ALL DEMOLITION REQUIREMENTS WHICH THEY MAY HAVE.
5.	FIRE SEPARATIONS BETWEEN TENANT SPACES ARE TO BE RETAINED DURING DEMOLITION AT ALL TIMES.
6.	THE GENERAL CONTRACTOR WILL RESTORE ANY DAMAGE DURING DEMOLITION TO THE ORIGINAL STATE BEFORE DEMOLITION STARTED.
7.	THE CONSTRUCTION SITE IS TO BE SEALED TIGHTLY AND ANY CONSTRUCTION BARRICADES SHALL BE REVIEWED WITH THE LANDLORD, PRIOR TO CONSTRUCTION.
8.	THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE LANDLORD IF ANY RELOCATION OF EXISTING SERVICE LINES SUCH AS SPRINKLER MAIN, DOMESTIC WATER, SEWER LINE, GAS LINE ETC. IS REQUIRED TO ACCOMMODATE THE NEW WORK.
9.	THE ADJACENT TENANT PROPERTY IS TO BE MAINTAINED DURING DEMOLITION AND IF ANYTHING IS DAMAGED DURING THE WORK, IT IS TO BE REPAIRED OR REPLACED AT THE GENERAL CONTRACTORS COST. THIS INCLUDES PROPERTY WITHIN THE LEASE OUTLINE DIMENSIONS WHICH PASSED THROUGH THE SPACE.
10.	ANY ABANDONED SERVICES OR UTILITIES SHALL BE REMOVED TO THE SOURCE AFTER REVIEW WITH THE LANDLORD AND/OR LOCAL AUTHORITIES.
11.	HORN STROBES ARE PRESENT IN THE SPACE BUT THERE IS NO PULL STATION. ALL WORK FOR THE FIRE ALARM SYSTEM IS TO BE COORDINATED WITH THE LL REQUIRED VENDOR TO DETERMINE IF PULL STATIONS ARE REQUIRED.

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PARTITION
	DEMOLITION PARTITION
	EXISTING DOOR
	EXISTING DOOR TO BE DEMOLISHED



1 BARRICADE SECTION
3/8" = 1'-0"

2 BARRICADE SOUTH ELEVATION
3/8" = 1'-0"

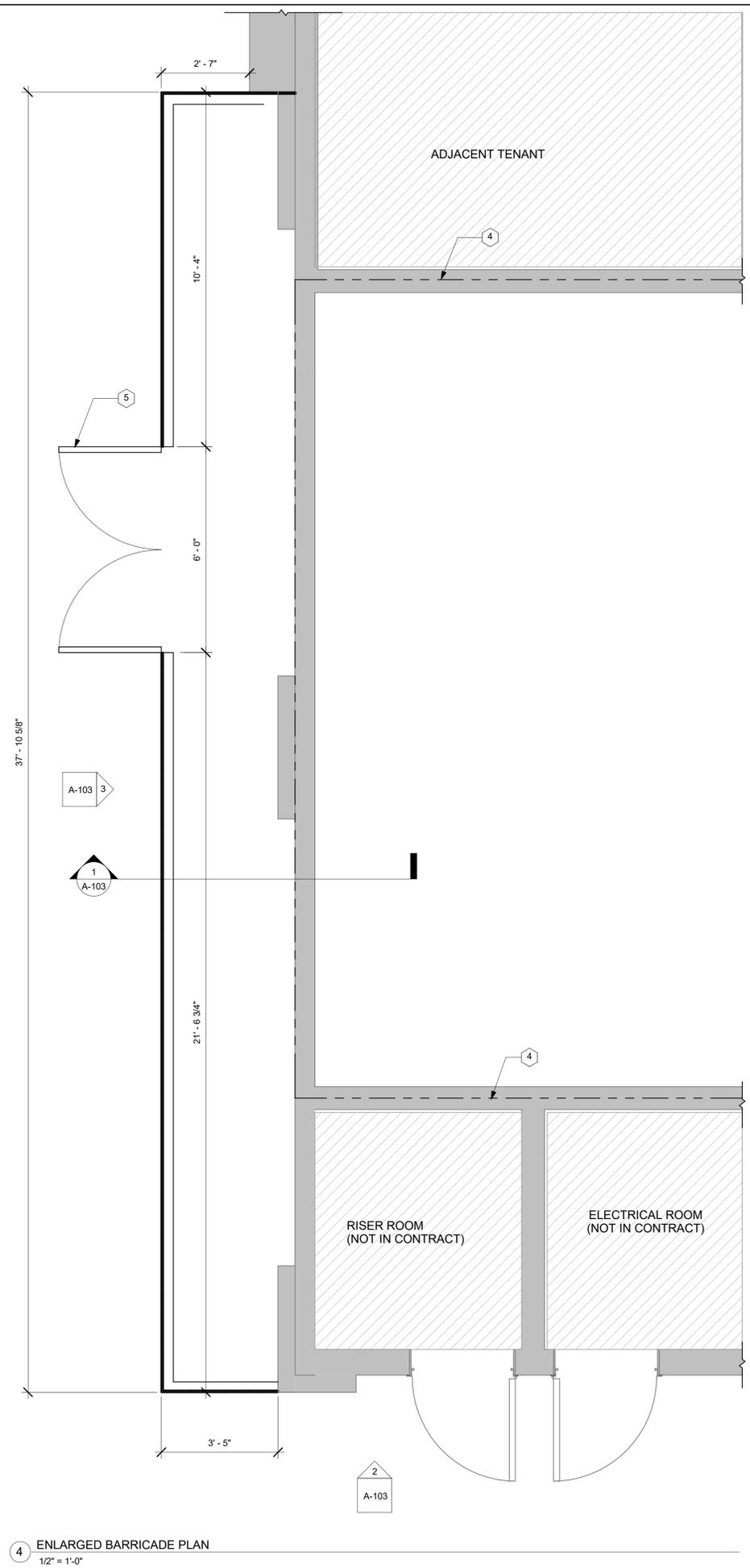


3 BARRICADE ELEVATION
1/4" = 1'-0"



BARRICADE NOTES	
1.	BARRICADE DOOR IS TO BE INSTALLED IN LINE WITH THE NEW PROPOSED STOREFRONT DOOR. COORDINATE WITH STOREFRONT DRAWINGS AS REQUIRED FOR BARRICADE DOOR PLACEMENT.
2.	ANY DAMAGE TO THE MALL FLOOR, EXISTING STOREFRONT FINISHES, LANDLORD FINISHES, ETC. SHALL BE REPAIRED.
3.	TEMPORARY CONSTRUCTION BARRICADE IS TO BE KEPT UP THROUGHOUT THE CONSTRUCTION PROCESS.
4.	BARRICADE IS TO BE INSTALLED SO THERE IS NO IMPACT ON ANY EASEMENT, ACCESSIBLE ROUTES, PATH OF TRAVEL ETC. ALL CIRCULATION BEING IMPACTED BY BARRICADE INSTALLATION SHALL BE COORDINATED WITH THE PROPERTY OWNER AND THE AHJ ACCORDINGLY TO ENSURE THAT THE BARRICADE INSTALLATION IS NOT NEGATIVELY IMPACTING THE SITE.
5.	BARRICADE DOORS ARE TO BE INSTALLED WITH A LOCK TO ENSURE SECURITY TO THE SITE DURING HOURS WORK IS NOT BEING PERFORMED.
6.	GENERAL CONTRACTOR IS TO USE THE LANDLORD/PROPERTY OWNER REQUIRED BARRICADE VENDOR IF APPLICABLE.
7.	GRAPHICS FOR THE BARRICADE SHALL BE APPROVED BY THE CLIENT, LANDLORD AND AHJ (IF REQUIRED) PRIOR TO INSTALLATION. GRAPHICS TO BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CLIENT. COORDINATE GRAPHIC INSTALLATION WITH PROJECT MANAGER WHEN TEMPERATURES ARE BELOW FREEZING.
8.	G.C. MUST COORDINATE PHASING OF BARRICADE WITH LANDLORD AND TENANT PRIOR TO CONSTRUCTION.
9.	G.C. TO COORDINATE AND APPLY FOR PERMITS INCLUDING, BUT NOT LIMITED TO, ANY CLOSURE OF SIDEWALK DUE TO BARRICADE INSTALLATION

KEY NOTES	
SYMBOL	NOTES
1	TOP OF BARRICADE TO BE ATTACHED TO S.F. FINISH. G.C. TO ENSURE MINIMAL DAMAGE TO EXISTING STOREFRONT MATERIAL.
2	G.C. TO PREP PLYWOOD AS REQUIRED FOR THE INSTALLATION OF BARRICADE GRAPHICS.
3	G.C. TO ENSURE NO DAMAGE TO EXISTING SIDEWALK DURING CONSTRUCTION/DEMOLITION. PATCH AND REPAIR ANY DAMAGE AS REQUIRED.
4	LEASELINE
5	A SET OF 3'-0" X 8'-0" LOCKING BARRICADE DOORS TO BE INSTALLED IN LOCATION OF NEW ARCHES. COORDINATE LOCATION OF DOOR WITH ARCH DRAWINGS. IF A LARGER DOOR IS REQUIRED, NOTIFY THE ARCHITECT OF THE CHANGE PRIOR TO THE INSTALLATION.
6	PAINT BARRICADE BENJAMIN MOORE ULTRA SPEC EXTERIOR, FLAT, WROUGHT IRON 2124-10.
7	1/2" PLYWOOD SHTG. WITH 600S162-54 STUDS AT 24" O.C.
8	DASHED LINE INDICATES EXISTING ARCH PROFILES BEYOND.
9	BARRICADE TO HAVE A FRAMED, WATERTIGHT LID TO ENSURE THAT NO WATER CAN INFILTRATE THE BARRICADE.



4 ENLARGED BARRICADE PLAN
1/2" = 1'-0"



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	11/17/2022
	11/11/2022 LL REVIEW SET

THE
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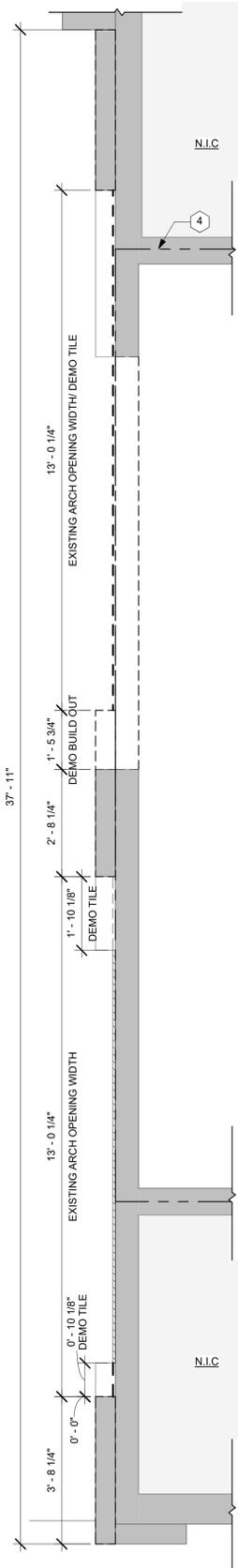
PROJECT LOCATION
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1875 S BASCOM AVE,
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SPACE NO. 210
AREA: 1,558 SF
SHEET TITLE:

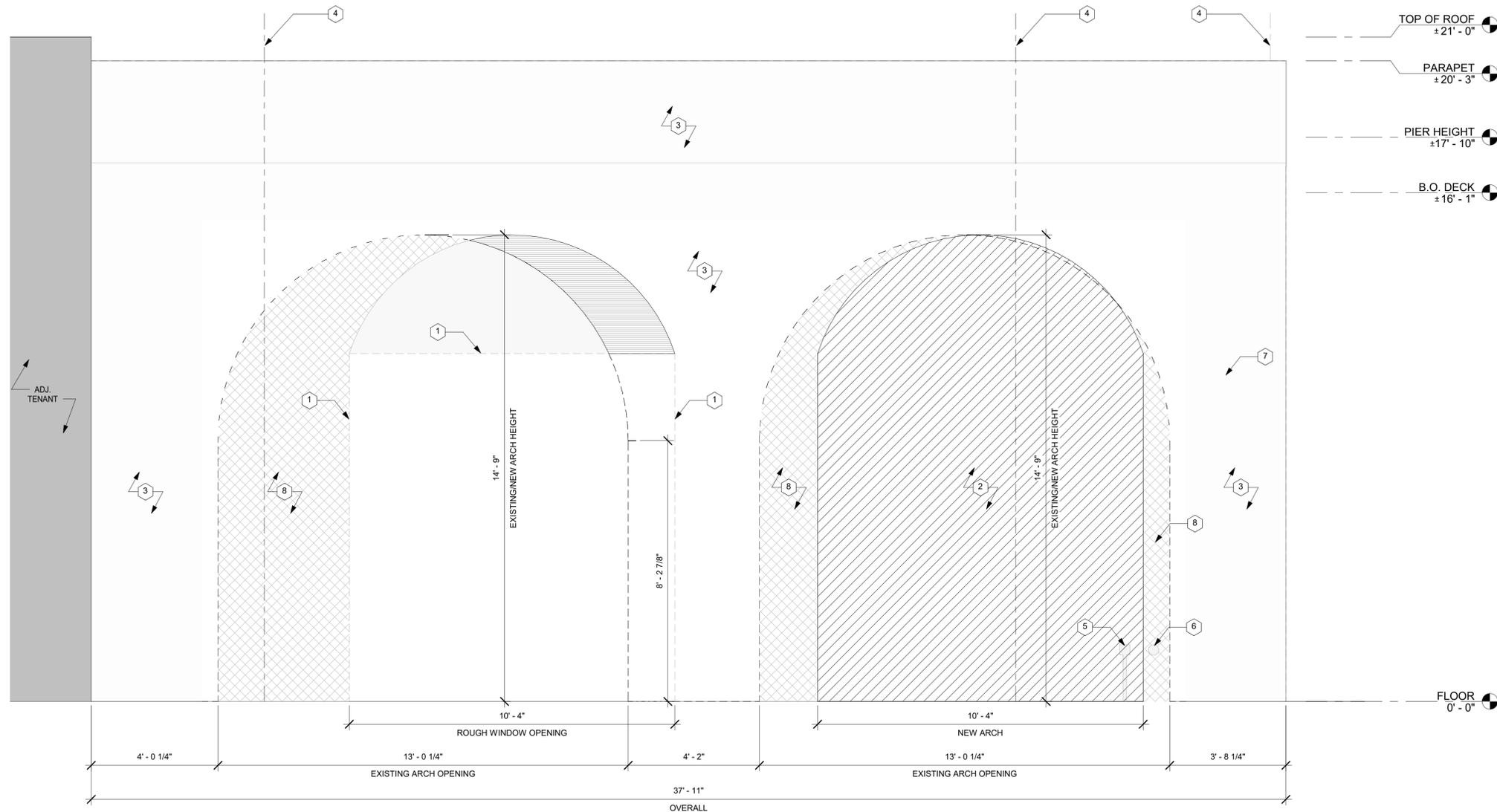
STOREFRONT BARRICADE
PLAN AND ELEVATIONS

PROJECT NO. 22-028
SCALE: AS NOTED
DRAWN BY: RB
REVIEWED BY: MR
SHEET NO:

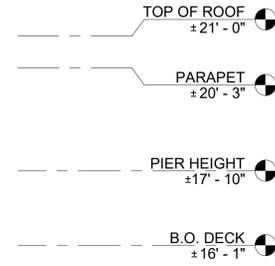
A-103



1 EXISTING CONDITIONS/DEMOLITION PLAN - Callout 1
1/2" = 1'-0"



2 EXISTING CONDITIONS/DEMOLITION ELEVATION
1/2" = 1'-0"



GENERAL DEMOLITION NOTES	
SYMBOL	NOTES
1	DASHED LINE INDICATED PORTION OF WALL TO BE DEMOLISHED FOR WINDOW OPENING
2	HATCH INDICATED EXISTING PORTION OF EXTERIOR FINISH TILE TO REMAIN.
3	EXISTING PLASTER FACADE TO REMAIN INTACT AS MUCH AS POSSIBLE TO ACHIEVE A FLUSH PLASTER FINISH AROUND INSET TILE ARCH AND WINDOW. G.C. TO REVIEW STRUCTURAL DRAWINGS AND CONFIRM IF ADDITIONAL DEMOLITION IS REQUIRED IN ORDER TO REINFORCE THE SHEAR WALL.
4	LEASELINE
5	EXISTING ELECTRICAL CONDUIT TO REMAIN. IF ANY MODIFICATIONS ARE REQUIRED, COORDINATE WITH THE LANDLORD AND UTILITY COMPANY BEFORE ANY WORK IS PERFORMED.
6	EXISTING FIRE SPRINKLER DRAIN TO REMAIN. IF ANY MODIFICATIONS ARE REQUIRED, COORDINATE WITH THE LANDLORD AND UTILITY COMPANY BEFORE ANY WORK IS PERFORMED.
7	IF REQUIRED, G.C. TO REMOVE AND REPLACE ORIENTATIONAL NUMBERS IF PORTION OF WALL IS NEEDED TO BE DEMOLISHED.
8	HATCH INDICATES AREA FOR G.C. TO DEMOLISH EXISTING TILE IN PREPARATION FOR NEW PLASTER INFILL.

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11.	HORN STROBES ARE PRESENT IN THE SPACE BUT THERE IS NO PULL STATION. ALL WORK FOR THE FIRE ALARM SYSTEM IS TO BE COORDINATED WITH THE LL REQUIRED VENDOR TO DETERMINE IF PULL STATIONS ARE REQUIRED.

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PARTITION
	DEMOLITION PARTITION
	EXISTING DOOR
	EXISTING DOOR TO BE DEMOLISHED



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	11/17/2022
	11/11/2022 LL REVIEW SET



PROJECT LOCATION
THE SHADE STORE
1875 S BASCOM AVE,
CAMPBELL, CA 95008

SPACE NO. 210

AREA: 1,558 SF

SHEET TITLE:

DEMOLITION EXTERIOR WALL PLAN AND ELEVATION

PROJECT NO. 22-028

SCALE: AS NOTED

DRAWN BY: RB

REVIEWED BY: MR

SHEET NO:

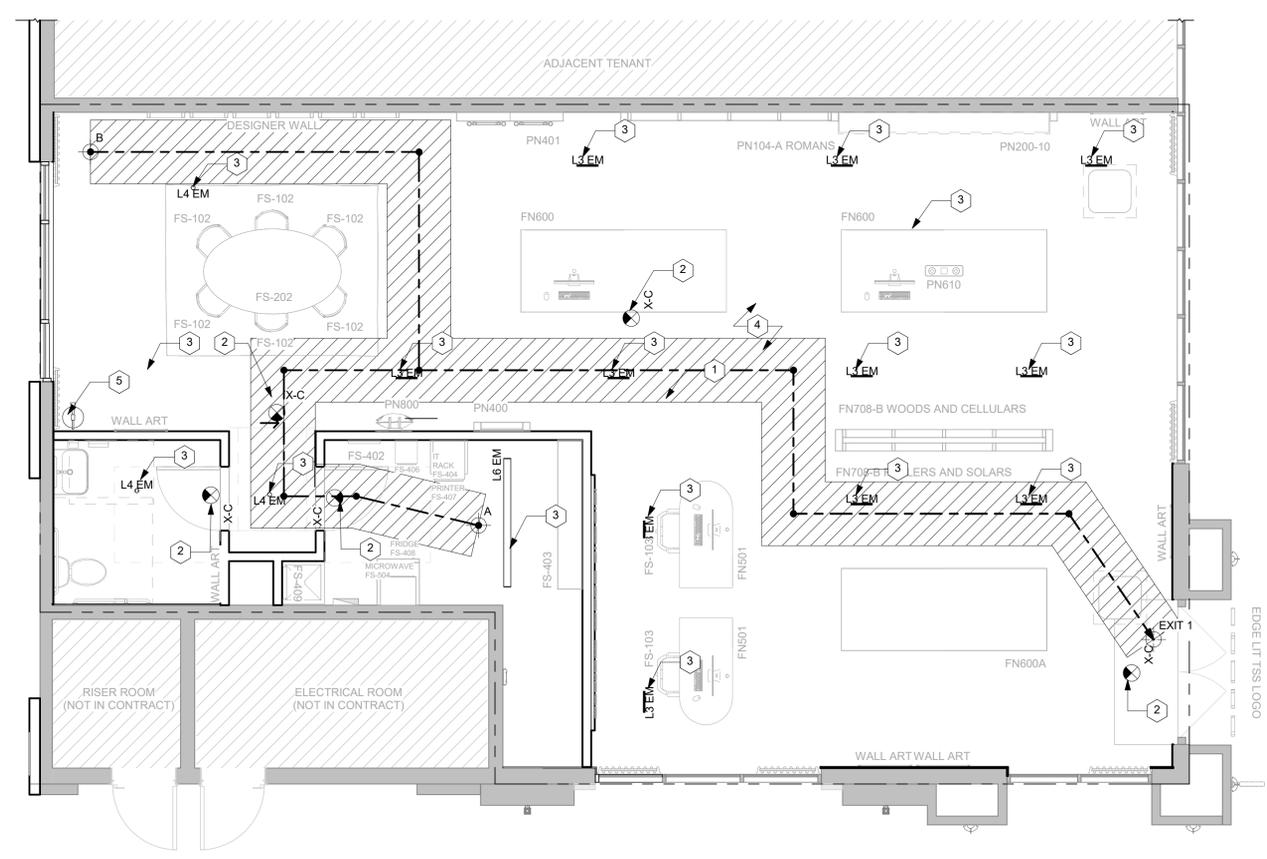
A-104



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1 LIFE SAFETY PLAN
 1/4" = 1'-0"

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PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210

AREA: 1,558 SF

SHEET TITLE:

LIFE SAFETY PLAN

PROJECT NO. 22-028

SCALE: AS NOTED

DRAWN BY: RB

REVIEWED BY: MR

SHEET NO:

A-111

EGRESS ANALYSIS

START POINTS	END POINTS	PATH	PATH LENGTH
A	EXIT 1	A TO EXIT 1	66' - 2"
B	EXIT 1	B TO EXIT 1	70' - 3 1/2"

EGRESS REQUIREMENTS:
 NUMBER OF EXITS REQUIRED (FBC TABLE 1006.3.3(2)): 1
 NUMBER OF EXITS PROVIDED: 1
 MAXIMUM TRAVEL DISTANCE ALLOWED (SPRINKLERED): 75'
 MAXIMUM TRAVEL DISTANCE PROVIDED: 70' - 3 1/2"
 REQUIRED EGRESS WIDTH: 0.2 INCHES PER OCCUPANT (1005.3.2) X 22 OCCUPANTS = 4.4'

EGRESS ANALYSIS LEGEND

TAG	SYMBOL	DESCRIPTION
---		FIRE EXTINGUISHER
XC		EXIT SIGN
EL		EMERGENCY LIGHT (BACK OF HOUSE)
EL		EMERGENCY LIGHT (SALES FLOOR)
---		EGRESS POINT
		PATH OF TRAVEL

KEY NOTES

SYMBOL	NOTES
1	HATCHED AREA DENOTES 36" MIN. PATH OF EGRESS. ACCESSIBLE PATH IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
2	INTERNALLY ILLUMINATED EXIT SIGN. EXIT SIGN TO HAVE A 90 MINUTE BATTERY BACK UP. SEE SCHEDULE FOR ADDITIONAL INFORMATION
3	EMERGENCY LIGHT TO BE INSTALLED WITH 90 MINUTE BACK UP BATTERY. SEE SCHEDULE FOR ADDITIONAL INFORMATION. COORDINATE EXACT LOCATION WITH ENGINEERING DRAWINGS.
4	THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOTCANDLE (11 LUX) AT THE WALKING SURFACE.
5	FIRE EXTINGUISHERS PROVIDED AND INSTALLED BY G.C. G.C. TO COORDINATE EXACT LOCATION AND QUANTITIES WITH THE FIRE MARSHAL IN THE FIELD, AS REQUIRED. SEE FIRE SAFETY DRAWINGS FOR MORE INFORMATION. FINAL LOCATION TO BE REVISED AND APPROVED BY OWNER.
6	---
7	---
8	---
9	---

LIFE SAFETY NOTES

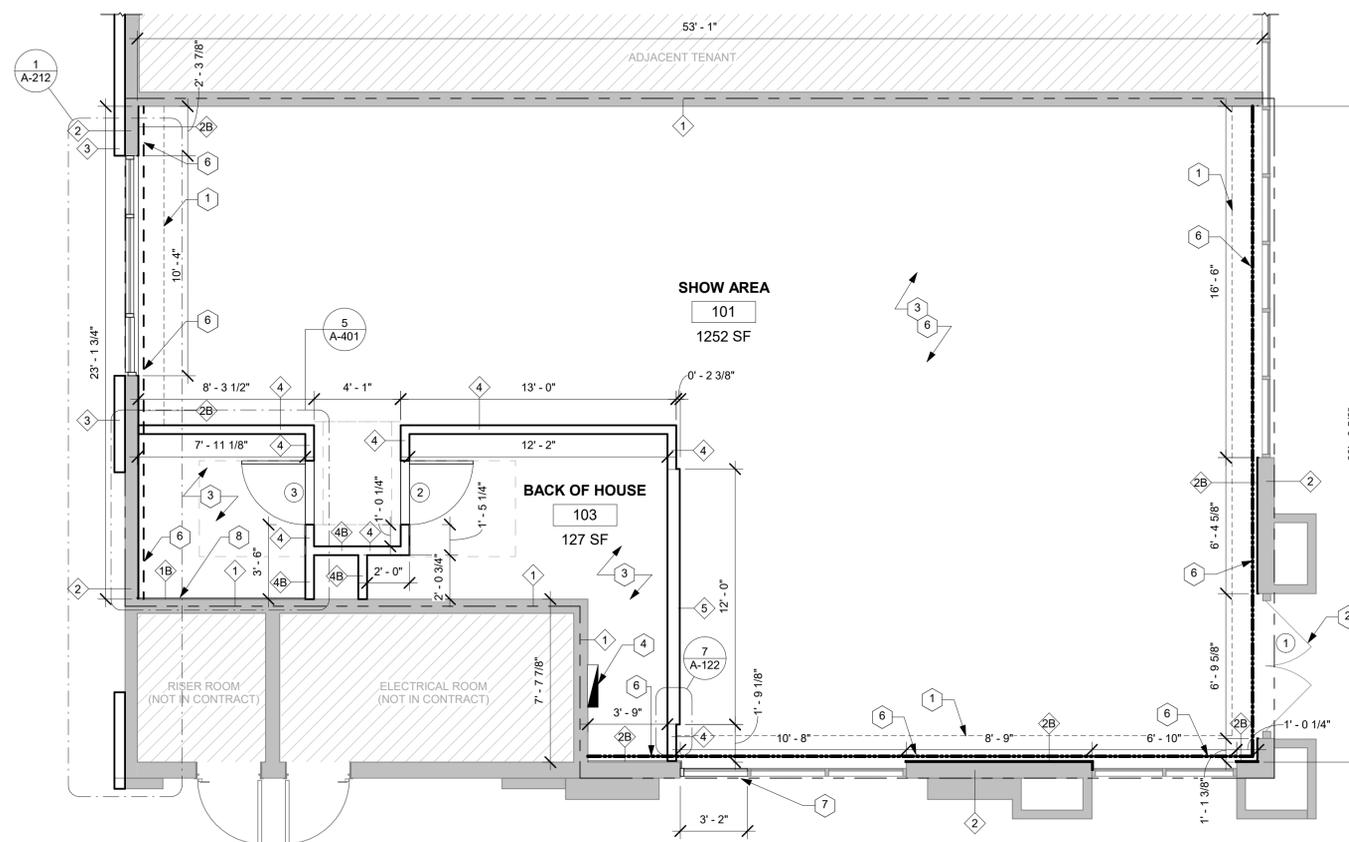
- ALL MODIFICATIONS TO THE FIRE ALARM & FIRE SPRINKLER SYSTEM MUST BE PERFORMED BY THE BUILDING REQUIRED VENDORS. G.C. TO CONTRACT W/ VENDORS DIRECTLY
- FIRE ALARM & FIRE SPRINKLER PERMIT TO BE FILED SEPARATELY. FIRE ALARM & FIRE SPRINKLER DWGS ARE NOT BEING REVIEWED WITH THIS SUBMISSION.



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1 CONSTRUCTION PLAN
 1/4" = 1'-0"

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CONSTRUCTION PLAN

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: AM
 REVIEWED BY: MR
 SHEET NO:

A-121

DOOR SCHEDULE

MARK	DOOR TYPE	THICKNESS	WIDTH	HEIGHT	NEW (N) EXISTING (E)	DOOR MATERIAL	CLEARANCE PUSH PULL	HARDWARE GROUP	LOCKSET	RATING
1	Glazed Doors & Entrances	0' - 1 3/4"	6' - 1 5/8"	8' - 0"	E	METAL/GLASS	1F/G-104(PUSH) 1E/G-104(PULL)	1		
2	Interior Doors	0' - 1 3/4"	3' - 0"	7' - 0"	N	HOLLOW METAL	1I/G-104(PUSH) 1E/G-104(PULL)	2	PRIVACY	N/A
3	Interior Doors	0' - 1 3/4"	3' - 0"	7' - 0"	N	HOLLOW METAL	1I/G-104(PUSH) 1E/G-104(PULL)	2	PRIVACY	N/A

HARDWARE GROUP

HARDWARE 1:

CUSTOM THE SHADE STORE LOGO METAL DOOR HANDLE
 DOOR HARDWARE TO BE SUBMITTED IN STOREFRONT SHOP DRAWINGS FOR OWNER REVIEW AND APPROVAL.

HARDWARE 2:

HINGE: STANLEY F179
 CLOSERS: NORTON 8501 BF (HANDICAPPED TYPE)
 WALL BUMPERS (WB): GLYNN - JOHNSON 60W
 FLOOR STOP (FS): GLYNN - JOHNSON FB13
 LOCK GUARD: IVES 180
 LEVER: SCHLAGE BROADWAY (BRW-622)
 MATTE BLACK

CLOSER ALWAYS TO BE PLACED ON NON SHOWROOM SIDE OF DOOR

RATED DOOR GASKET: LORIENT ES994 (AT FIRE RATED DOORS ONLY)
 PRIVACY LOCKSET.

ALL DOOR HARDWARE INCLUDING HINGES, CLOSERS, ETC. TO BE MATTE BLACK FINISH.

GENERAL NOTES

- ALL DOOR LANDINGS & CLEARANCE SHALL BE LEVELED TO HAVE A SLOPE NO GREATER THAN 1:48.
- LANDINGS ON EITHER SIDE OF A DOOR SHALL BE AT THE SAME LEVEL WITH A MAX ELEVATION CHANGE OF 1/2" COMPLIANT WITH DETAIL 4/G-104
- LANDING SIZE AT DOORS IS DETERMINED BY THE REQUIRED ADA CLEARANCES PER THE ICC A117.1-2009 AND THE MINIMUM REQUIRED LANDING SIZE PER 2018 NEVADA BUILDING CODE, WHICHEVER IS THE MORE STRINGENT CODE.
- ALL BLOCKING FOR ALL WALL MOUNTED CABINETS, FIXTURES, ECT. SHALL BE FRT PLYWOOD. G.C. TO COORDINATE ALL BLOCKING LOCATIONS WITH CLIENT AS REQUIRED
- ON SHEET-ROCK WALLS ALL POWER MUST BE CONCEALED IN THE WALL. IF NOT POSSIBLE TO HIDE IN EXISTING WALL, THERE MUST BE ADDED A HAT CHANNEL AND A LAYER OF 5/8" GYP. BD.
- THE G.C. MUST FINISH NEW AND EXISTING GYP. BD. CEILINGS AND BACK OF HOUSE INTERIOR WALLS TO BE LEVEL 4 FINISH, ALL WALLS IN SALES FLOOR TO BE LEVEL 5.

CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR

KEY NOTES

SYMBOL	NOTES
1	LINE INDICATES NEW SOFFIT ABOVE.
2	EXISTING STOREFRONT SYSTEM AND DOOR TO REMAIN WITH NEW PULLS. VERIFY IF NEW HANDLES CAN BE INSTALLED ON EXISTING DOORS. SEE SHEET A-211 FOR ADDITIONAL INFORMATION.
3	G.C. TO LEVEL EXISTING CONCRETE SLAB IN PREPARATION FOR NEW FLOORING. COORDINATE WITH FLOORING INSTALL INSTRUCTIONS FOR EXACT REQUIREMENTS.
4	NEW ELECTRICAL PANELS FURNISHED AND INSTALLED BY G.C.. SEE ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION
5	ALL HUNG ITEMS (FIXTURES, CEILING, DUCTWORK, ETC.) MUST BE HUNG FROM THE STRUCTURE OR EXISTING ADDED FRAMEWORK ABOVE PROVIDED AS PART OF TI WORK; NOTHING IS TO BE ATTACHED TO THE UNDERSIDE OF THE DECK ABOVE.
6	DASHED LINE INDICATED EXPOSED PLYWOOD TO BE FINISHED WITH 5/8" GYP. BD. G.C. TO USE MOISTURE RESISTANT GYP. BD. IN ALL WET AREAS.
7	G.C. TO FURNISH AND INSTALL NEW STOREFRONT GLAZING TO INFILL DOOR TO MATCH EXISTING. G.C. TO VERIFY THAT PROPOSED BID MATCHES EXISTING IN BOTH FINISH AND MANUFACTURER. A SITE VISIT BY BIDDING STOREFRONT VENDORS IS REQUIRED.
8	G.C. TO LAMINATE (1) LAYER OF 5/8" GYP. BD. OVER EXISTING RATED WALL IN RESTROOM AREA TO ENSURE RATING OF WALL IS MAINTAINED AND MOISTURE RESISTANT GYP. BD. IS BEING USED.
9	
10	
11	
12	

COLD-FORMED STEEL STUD LIMITING HEIGHT CHART

Interior Wall Limiting Heights - Non-Composite - Fully Braced



Interior Wall Limiting Heights - Non-Composite - Fully Braced



Table Notes

- Five pounds per square foot (psf), 7.5 psf, and 10 psf loads have not been reduced for strength or deflection checks; full lateral load is applied.
- Limiting heights are based on steel properties only (non-composite) without the contribution of sheathing to strength and stiffness of the assembly. Properly fastened sheathing is still required for members to be considered fully braced.
- Web crippling check based on 1" end bearing.
- Studs are assumed to be adequately braced at maximum spacing of L_v to develop full allowable moment.
- See page 5 for additional table notes.

Section	F _y (ksi)	L _v (in)	Spacing (in) oc	5 psf			7.5 psf			10 psf		
				L/120	L/240	L/360	L/120	L/240	L/360	L/120	L/240	L/360
162S125-18	33	29.0	12	9'0"	7'8"	6'8"	7'4"	6'4"	5'10"	6'4"	5'6"	5'4"
			16	7'9"	6'11"	6'1"	6'4"	5'11"	5'4"	5'6"	4'10"	4'3"
			24	6'4"	6'1"	5'4"	5'2"	4'8"	4'6"	4'6"	4'6"	4'3"
162S125-27	33	29.1	12	11'3"	8'11"	7'10"	9'8"	7'10"	6'10"	8'4"	7'1"	6'3"
			16	10'3"	8'2"	7'1"	8'4"	7'1"	6'3"	7'3"	6'5"	5'8"
			24	8'4"	7'1"	6'3"	6'10"	6'3"	5'5"	5'11"	5'8"	4'11"
162S125-30	33	29.2	12	11'8"	9'3"	8'1"	10'2"	8'1"	7'1"	8'1"	7'4"	6'5"
			16	10'7"	8'5"	7'4"	8'11"	7'5"	6'5"	7'9"	6'8"	5'10"
			24	8'11"	7'4"	6'5"	7'3"	6'5"	5'7"	6'4"	5'10"	5'1"
162S125-33	33	29.2	12	12'0"	9'6"	8'4"	10'6"	8'4"	7'3"	9'6"	7'7"	6'7"
			16	10'11"	8'8"	7'7"	9'6"	7'7"	6'7"	8'3"	6'11"	6'0"
			24	9'6"	7'7"	6'7"	7'10"	6'7"	5'9"	6'9"	6'0"	5'3"
250S125-18	33	29.0	12	11'8"	10'6"	9'2"	9'7"	9'2"	8'1"	8'3"	8'3"	7'4"
			16	10'2"	9'7"	8'4"	8'3"	8'3"	7'4"	7'2"	7'2"	6'8"
			24	8'3"	8'3"	7'4"	6'9"	6'9"	6'5"	5'10"	5'10"	5'10"
250S125-27	33	28.9	12	15'7"	12'4"	10'10"	12'9"	10'10"	9'5"	11'0"	9'10"	8'7"
			16	13'6"	11'3"	9'10"	11'0"	9'10"	8'7"	9'7"	8'11"	7'10"
			24	11'0"	9'10"	8'7"	9'0"	8'7"	7'6"	7'10"	7'10"	6'10"
250S125-30	33	28.9	12	16'1"	12'9"	11'2"	13'7"	11'2"	9'9"	11'10"	10'2"	8'10"
			16	14'5"	11'7"	10'2"	11'10"	10'2"	8'10"	10'3"	9'2"	8'1"
			24	11'10"	10'2"	8'10"	9'8"	8'10"	7'9"	8'4"	8'1"	7'0"
250S125-33	33	28.9	12	16'7"	13'2"	11'6"	14'6"	11'6"	10'1"	12'8"	10'6"	9'2"
			16	15'1"	12'0"	10'6"	12'8"	10'6"	9'1"	11'0"	9'6"	8'4"
			24	12'8"	10'6"	9'2"	10'4"	9'2"	8'0"	8'11"	8'4"	7'3"
250S125-43	33	28.9	12	18'1"	14'4"	12'6"	15'10"	12'6"	10'11"	14'4"	11'5"	9'11"
			16	16'5"	13'0"	11'5"	14'4"	11'5"	9'11"	13'0"	10'4"	9'0"
			24	14'4"	11'5"	9'11"	12'4"	9'11"	8'8"	10'5"	8'9"	7'11"
350S125-18	33	28.8	12	13'9"	13'9"	12'11"	11'3"	11'3"	10'7"	9'9"	9'9"	9'7"
			16	11'11"	11'11"	11'0"	9'9"	9'9"	9'7"	8'5"	8'5"	8'5"
			24	9'9"	9'9"	9'7"	7'11"	7'11"	7'11"	6'11"	6'11"	6'11"
350S125-27	33	28.7	12	18'6"	16'1"	14'0"	15'1"	14'0"	12'3"	13'1"	12'9"	11'1"
			16	16'0"	14'7"	12'9"	13'1"	12'9"	11'1"	11'4"	11'4"	10'1"
			24	13'1"	12'9"	11'1"	10'8"	10'8"	9'9"	9'3"	9'3"	8'10"
350S125-30	33	28.6	12	19'11"	16'7"	14'6"	16'3"	14'6"	12'8"	14'1"	13'2"	11'6"
			16	17'3"	15'0"	13'2"	14'1"	13'2"	11'6"	12'2"	11'11"	10'5"
			24	14'1"	13'2"	11'6"	11'6"	11'6"	10'0"	9'11"	9'11"	8'1"
350S125-33	33	28.6	12	21'5"	17'1"	14'11"	17'6"	14'11"	13'1"	15'2"	13'7"	11'10"
			16	18'7"	15'7"	13'7"	15'2"	13'7"	11'10"	13'2"	12'4"	10'9"
			24	15'2"	13'7"	11'10"	12'5"	11'10"	10'4"	10'9"	10'9"	9'5"
350S125-43	33	28.4	12	23'6"	18'8"	16'3"	20'6"	16'3"	14'3"	18'5"	14'10"	12'11"
			16	21'4"	16'11"	14'10"	18'5"	14'10"	12'11"	16'0"	13'5"	11'9"
			24	18'5"	14'10"	12'11"	15'1"	12'11"	11'4"	13'0"	11'9"	10'3"
350S125-54	50	22.9	12	25'1"	19'11"	17'5"	21'11"	17'5"	15'2"	19'11"	15'10"	13'10"
			16	22'10"	18'1"	15'10"	19'11"	15'10"	13'10"	18'1"	14'4"	12'7"
			24	19'11"	15'10"	13'10"	17'5"	13'10"	12'1"	15'10"	12'7"	11'0"
350S125-68	50	22.8	12	26'10"	21'4"	18'7"	23'5"	18'7"	16'3"	21'4"	16'11"	14'9"
			16	24'5"	19'4"	16'11"	21'4"	16'11"	14'9"	19'4"	13'5"	11'8"
			24	21'4"	16'11"	14'9"	18'7"	14'9"	12'11"	16'11"	13'5"	11'8"
362S125-18	33	28.8	12	14'0"	14'0"	12'6"	11'6"	11'6"	10'11"	9'11"	9'11"	9'11"
			16	12'2"	12'2"	11'4"	9'11"	9'11"	8'7"	8'7"	8'7"	8'7"
			24	9'11"	9'11"	9'11"	8'1"	8'1"	8'1"	7'0"	7'0"	7'0"
362S125-27	33	28.6	12	18'10"	16'6"	14'5"	15'5"	14'5"	12'7"	13'4"	13'1"	11'5"
			16	16'4"	15'0"	13'1"	13'4"	13'1"	11'5"	11'7"	11'7"	10'5"
			24	13'4"	13'1"	11'5"	10'11"	10'11"	10'0"	9'5"	9'5"	9'1"
362S125-30	33	28.6	12	20'3"	17'0"	14'10"	16'7"	14'10"	13'0"	14'4"	13'6"	11'10"
			16	17'7"	15'3"	13'6"	14'4"	13'6"	11'10"	12'5"	12'3"	10'9"
			24	14'4"	13'6"	11'10"	11'8"	11'8"	10'4"	10'2"	10'2"	9'4"
362S125-33	33	28.5	12	21'11"	17'7"	15'4"	17'10"	15'4"	13'5"	15'6"	14'0"	12'2"
			16	16'0"	16'0"	14'0"	15'6"	14'0"	12'8"	13'5"	12'8"	11'1"
			24	15'6"	14'0"	12'2"	12'8"	12'2"	10'8"	10'11"	10'11"	9'8"
362S125-43	33	28.4	12	24'2"	19'2"	16'9"	21'1"	16'9"	14'8"	18'10"	15'3"	13'4"
			16	21'11"	17'5"	15'3"	18'10"	15'3"	13'4"	16'4"	13'10"	12'1"
			24	18'10"	15'3"	13'4"	15'4"	13'4"	11'7"	13'4"	12'1"	10'7"

¹ Web height-to-thickness ratio exceeds 200. Web stiffeners are required at all support points and concentrated loads.
² "e" web stiffeners required at ends.
 See Table Notes on page 21.

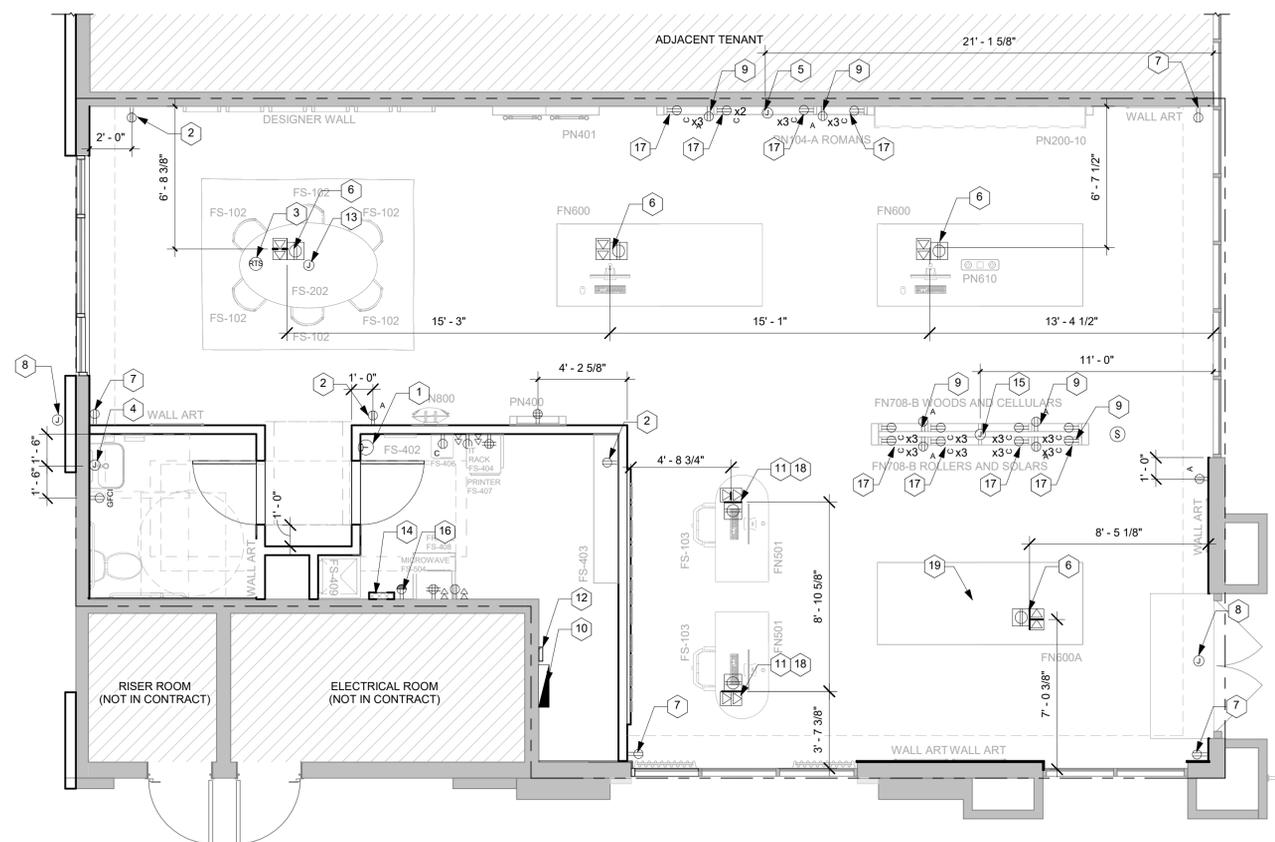
Section	F _y (ksi)	L _v (in)	Spacing (in) oc	5 psf			7.5 psf			10 psf		
				L/120	L/240	L/360	L/120	L/240	L/360	L/120	L/240	L/360
362S125-54	50	22.8	12	25'10"	20'6"	17'11"	22'7"	17'11"	15'8"	20'6"	16'3"	14'2"
			16	23'5"	18'7"	16'3"	20'6"	16'3"	14'2"	18'7"	14'2"	12'11"
			24	20'6"	16'3"	14'2"	17'11"	14'2"	12'5"	16'3"	12'11"	11'3"
362S125-68	50	22.7	12	27'7"	21'11"	17'5"	21'11"	17'5"	15'2"	21'11"	16'9"	14'8"
			16	25'1"	19'11"	17'5"	21'11"	17'5"	15'2"	19'11"	15'10"	13'10"
			24	21'11"	17'5"	15'2"	19'2"	15'2"	13'3"	17'5"	13'10"	12'1"
400S125-18 ¹	33	28.7	12	14'9"	14'9"	13'6"	12'1"	12'1"	11'9"	10'5"	10'5"	10'5"
			16	12'10"	12'10"	10'5"	10'5"	10'5"	9'6"	8'6"	8'6"	
			24	10'5"	10'5"	10'5"	8'6"	8'6"	8'6"	7'5"	7'5"	
400S125-27	33	28.5	12	19'11"	17'10"	15'7"	19'11"	15'7"	13'7"	14'7"	14'7"	14'7"
			16	17'3"	16'2"	14'2"	14'2"	14'1"	12'4"	12'2"	12'2"	
			24	14'1"	14'1"	12'4"	11'6"	11'6"	10'5"	9'11"	9'10"	
400S125-30	33	28.5	12	21'5"	18'5"	16'1"	18'1"	17'6"	16'1"	14'0"	14'0"	
			16	18'6"	16'8"	14'7"	15'2"	14'7"	12'9"	13'1"	13'1"	
			24	15'2"	14'7"	12'9"	12'9"	12'4"	11'2"	10'8"	10'8"	
400S125-33	33	28.4	12	23'2"	19'0"	16'7"	18'11"	16'7"	14'6"	16'4"	15'1"	
			16	20'0"	17'3"	15'1"	16'4"	15'1"	13'2"	14'2"	13'9"	
			24	16'4"	15'1"	13'2"	13'4"	13'2"	11'8"	11'7"	10'6"	
400S125-43	33	28.2	12	26'1"	20'9"	18'1"	22'10"	18'1"	15'10"	22'10"	18'5"	
			16	23'9"	18'10"	16'5"	19'11"	16'5"	14'4"	17'3"	16'11"	
			24	19'11"	16'5"	14'4"	16'3"	14'4"	12'7"	14'3"	13'1"	
400S125-54	50	22.7	12	27'11"	22'2"	19'4"	19'4"	19'4"	16'11"	22'2"	17'7"	
			16	25'4"	20'2"	17'7"	22'2"	17'7"	15'4"	19'4"	15'5"	
			24	22'2"	17'7"	15'4"	19'4"	15'4"	13'5"	17'7"	13'11"	
400S125-68	50	22.5	12	29'10"	23'8"	20'8"	26'1"	20'8"	18'1"	23'8"	18'10"	
			16	27'2"	21'6"	18'10"	23'8"	18'10"	16'5"	21'6"	16'5"	
			24	23'8"	18'5"	16'5"	20'8"	16'5"	14'4"	18'10"	14'11"	
500S125-27 ¹	33	27.9	12	23'10"	22'10"	20'2"	19'6"	19'6"	17'5"	16'10"	15'11"	
			16	20'8"	20'8"	18'5"	16'10"	16'10"	15'11"	14'7"	14'7"	
			24	16'10"	16'10"	15'11"	13'9"	13'9"	13'9"	11'11"	11'11"	
550S125-30	33	27.9	12	25'8"	23'9"	21'0"	21'0"	20'8"	18'2"	18'2"	16'6"	
			16	22'3"	21'6"	18'11"	18'2"	18'2"	16'6"	15'9"	14'11"	
			24	18'2"	18'2"	16'6"	14'10"	14'10"	14'4"	12'10"	12'10"	
550S125-33	33	27.6	12	27'6"	24'8"	21'6"	22'8"	21'6"	18'10"	18'0"	17'1"	
			16	2								



ARCHITECT OF RECORD:
 MATTHEW REISKIN
 6200 LENOX ROAD
 BETHESDA, MD 20817
 PH: 240-205-0762
 CHANEISKIN@YAHOO.COM

SEAL:
 ARCHITECT: MATTHEW REISKIN, I
 HEREBY CERTIFY THAT THIS
 DRAWING WAS PREPARED BY ME
 OR UNDER MY DIRECT
 SUPERVISION AND THAT I AM A
 DULY REGISTERED/LICENSED
 ARCHITECT UNDER THE LAWS OF
 THE STATE OF CALIFORNIA

CA ARCHITECTURAL REG. No: C30220



1 POWER PLAN
 1/4" = 1'-0"

KEY NOTES	
SYMBOL	NOTES
1	NEW THERMOSTAT, COORDINATE WITH ENGINEERING DRAWINGS AS REQUIRED.
2	CONVENIENCE OUTLET. LUTRON - BRILLIANT WHITE ARCHITECTURAL MATTE
3	REMOTE THERMOSTAT SENSOR. SENSOR TO BE MOUNTED TO UNDERSIDE OF CONFERENCE TABLE. COORDINATE WITH MEP DRAWINGS.
4	WALL RECESSED J-BOX FOR SCONCE LIGHTING ABOVE MIRROR.
5	WALL RECESSED J-BOX TO PROVIDE POWER TO DUPLEX OUTLETS WITHIN MILLWORK.
6	G.C. TO CONFIRM EXACT LOCATION OF FLOOR OUTLET WITH OWNER BEFORE TRENCHING AND INSTALLATION, TYP.
7	POWERS FOR ROLLERS TO BE MOUNTED 18" BELOW FINISHED FACE OF POCKET CEILING AT STOREFRONT GLAZING. SEE 4/A-141 FOR MORE INFORMATION.
8	J-BOX FOR EXTERIOR LIT SIGNAGE LOCATED ABOVE GYP CEILING. COORDINATE W/ SIGN LOCATION
9	LETTER(S) A & C INDICATE DUPLEX OUTLETS WITHIN MILLWORK, SEE CORRESPONDING MILLWORK SHEET FOR ADDITIONAL INFORMATION.
10	G.C. TO FURNISH AND INSTALL NEW ELECTRICAL EQUIPMENT. COORDINATE WITH ENGINEERING DRAWINGS AS REQUIRED FOR ALL EQUIPMENT REQUIREMENTS
11	G.C. TO PULL WHIP FROM FLOOR FOR DATA AND POWER AT CONSULTANT DESKS. G.C. TO CONFIRM EXACT LOCATION OF POWER AND DATA WHIPS WITH OWNER BEFORE TRENCHING AND INSTALLATION, TYP.
12	TIME CLOCK TO BE LOCATED IN BACK ROOM. COORDINATED WITH ENGINEERING DRAWINGS AS REQUIRED
13	J-BOX ABOVE CEILING FOR PENDANT LIGHTING. COORDINATE EXACT LOCATION IN THE FEILD SO PENDANT LIGHT CAN BE CENTERED OVER TABLE.
14	SWITCH BANK
15	FLOOR MOUNTED J-BOX. G.C. TO CONFIRM EXACT LOCATION WITH THE SHADE STORE BEFORE TRENCHING AND INSTALLING.
16	DEDICATED OUTLET FOR ALARM PANEL @42" KEY PAD NO HIGHER THAN 48". RUN LOW VOLTAGE WIRE TO THE ALARM PANEL HIDDEN IN WALLS AND ABOVE CEILING. COORDINATE EXACT MOUNTING HEIGHT WITH KEY PAD HEIGHT. NO BUTTON ON KEY PAD TO BE ABOVE 48" AFF.
17	RECESSED 'C' OUTLET AT EACH GRID WINDOW.
18	POWER TO RUN THROUGH FIXTURE LEGS.
19	GROMMET FOR MOTORIZATION TRAY WIRING

SYMBOL LEGEND	
SYMBOL	NOTES
	CONVENIENCE RECEPTACLE
	ELECTRICIAN MUST LEAVE 6" MC/BX TAILS AT THE DUPLEX. OUTLET TO BE MOUNTED HORIZONTALLY AT TOP OF WOOD GRID. CUT OUT TO BE INSTALLED AT THE BOTTOM OF VALANCE. USE LOW PROFILE DUPLEXES ON TOP OF THE VALANCES AND PLUGS WHERE THE CORD IS ATTACHED SIDEWARD, TO MAKE SURE ALL CORDS ARE HIDDEN WITHIN THE VALANCE
	DEDICATED OUTLET ON GFCI BREAKER FOR DRINKING FOUNTAIN. COORDINATE WITH MANUFACTURES SPECS FOR EXACT MOUNTING HEIGHT
	DUPLEX OUTLET FOR IPAD INSTALLED HORIZONTALLY AS CLOSE TO THE FLOOR AS POSSIBLE.
	GROUND FAULT CIRCUIT INTERRUPTER. GFCI OUTLET AT RESTROOM SINK @ 40" AFF.
	DEDICATED RECEPTACLE
	NEW QUAD RECEPTACLE
	DUPLEX
	FLOOR DUPLEX-RECESSED
	CEILING MOUNTED JUNCTION BOX - RECESSED
	WALL MOUNTED JUNCTION BOX - RECESSED
	THERMOSTAT
	NEW DATA
	NEW FLOOR MOUNTED DATA
	REMOTE THERMOSTAT SENSOR

POWER NOTES	
1.	ALL FACEPLATES INCLUDING SWITCHES, DIMMERS, RECEPTACLES, ETC. SHOULD BE LUTRON - BRILLIANT WHITE ARCHITECTURAL MATTE. NO SUBSTITUTION ALLOWED.
2.	G.C. TO COORDINATE ALL TRENCHING OR CORE DRILLING WITH LANDLORD OPERATIONS MANAGER PRIOR TO ANY WORK BEING DONE IN THE FIELD. CONFIRM IF X-RAY IS REQUIRED.
3.	ALL CONVENIENCE RECEPTACLES TOP BE MOUNTED AT 15" AFF. U.N.O.
4.	POWER SHOWN IN THIS PLAN IS FOR LOCATION AND DESIGN INTENT ONLY.
5.	G.C. TO COORDINATE WITH AN ELECTRICAL CONTRACTOR FOR ALL WIRING AND TRENCHING REQUIREMENTS.
6.	SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
7.	CORDS AND STEMS ON CHANDELIERS AND PENDANTS MUST BE REPLACED BY ELECTRICIAN TO ACCOMMODATE FOR THE CEILING HEIGHT IF NECESSARY. CONDUITS AND LOCATION OF BOX HALF WAY DOWN IS NOT ACCEPTABLE.
8.	THE POWER AND DATA JACK IN THE FLOOR BELOW THE ISLAND SHOULD MOVE 6" FURTHER BACK / AWAY FROM THE DRAWER FRONTS, TO ACCORDANT AN EASIER RUN FOR THE WIRES ALONG THE BACKBOARD.
9.	WHEN THE LIGHT TRACKS ARE SUSPENDED FROM THE CEILING THEY SHOULD HANG IN RODS SPACE APP. 4" APART, NOT INSTALLED TO A STRUT. WHERE THE ROD MEETS THE CEILING THERE SHOULD BE A SMALL WASHER TIGHT TO THE ROD WHICH HIDES AND PROTECTS THE HOLE IN THE SHEET ROCK.
10.	ALL RECESSED FLOOR MOUNTED POWER AND DATA AT MILLWORK TO BE INSTALLED SO FACE OF BOX IS FLUSH WITH THE SLAB. G.C. TO INSTALL RATED FLOOR BOXES IN RATED FLOOR ASSEMBLIES.
11.	ANY PENETRATIONS THROUGH THE BASE OF THE BUILDING CONTINUOUS INSULATION SYSTEM (DOW THERMAX) NECESSARY FOR THE INSTALLATION OF EXTERIOR JUNCTION BOXES SHALL BE REPAIRED/SEALED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

	03.02.2023	BID SET
⚠	12.20.2022	BUILDING DEPARTMENT COMMENTS
⚠	11/20/2022	CLIENT REVISIONS
	11/17/2022	ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/11/2022	LL REVIEW SET



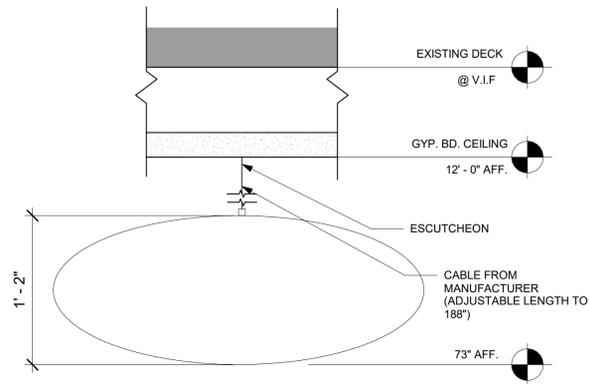
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 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

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 AREA: 1,558 SF
 SHEET TITLE:

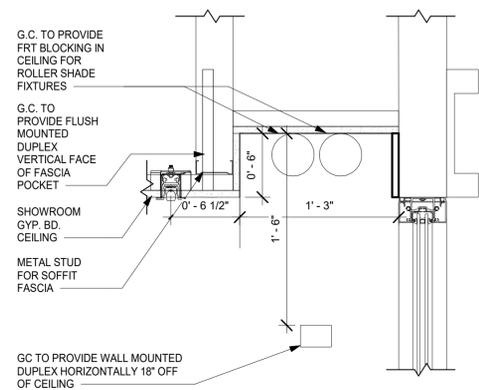
POWER PLAN

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: RB
 REVIEWED BY: MR
 SHEET NO:

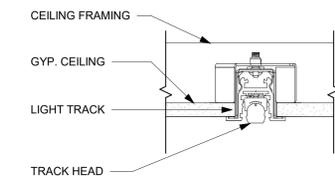
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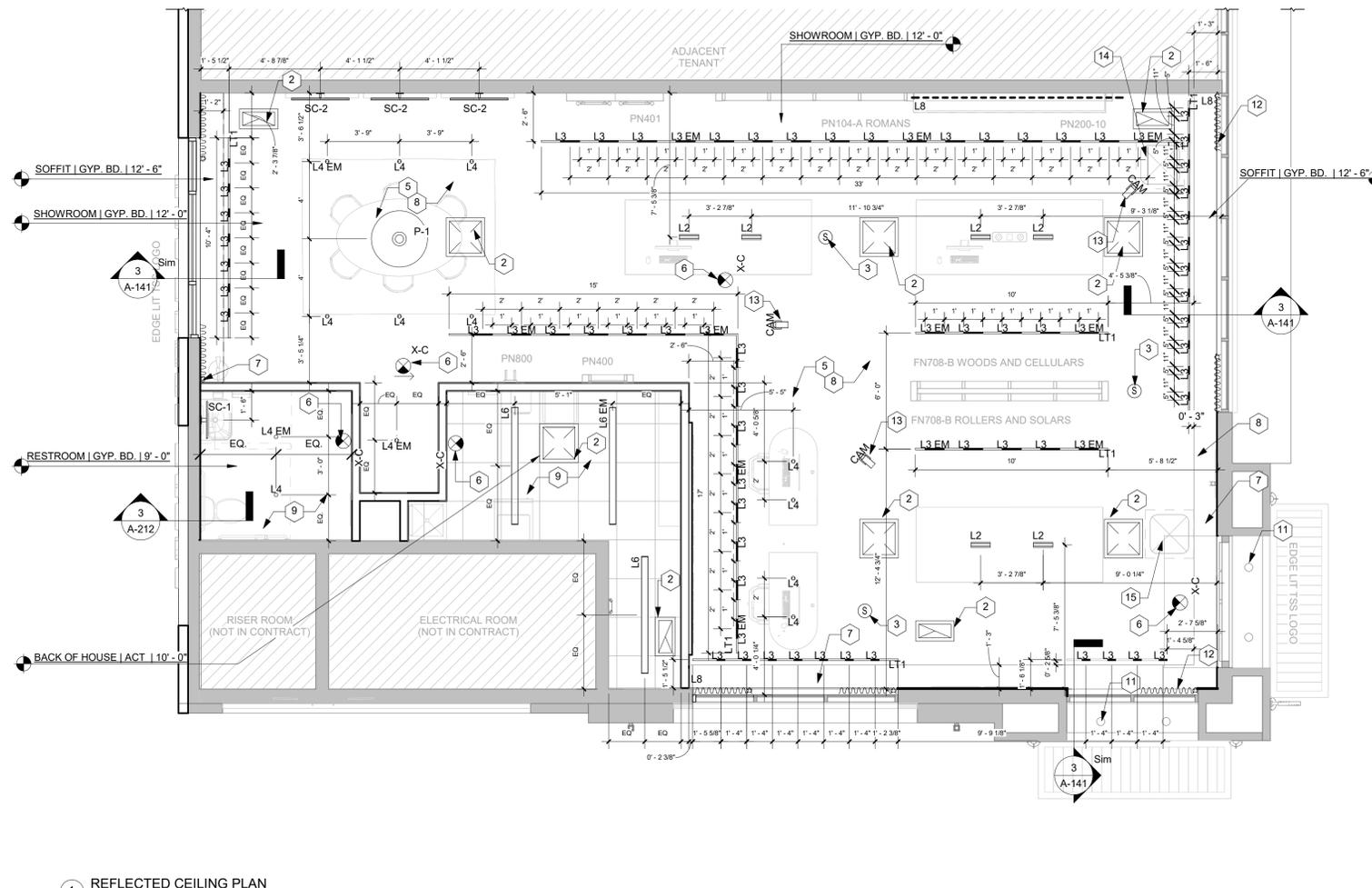
2 P-1 PENDANT LIGHT DETAIL
1 1/2" = 1'-0"



3 SECTION THROUGH ROLLER SHADES AT STOREFRONT
1 1/2" = 1'-0"



4 RECESSED MOUNTED TRACK AT GYP. BD. CEILING DETAIL
3" = 1'-0"



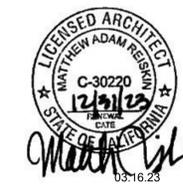
1 REFLECTED CEILING PLAN
1/4" = 1'-0"

CEILING NOTES

1. TRACK LIGHTING TO BE RECESSED IN @ GYP. CEILING. G.C. TO LOCATE TRACK HEADS EXACTLY PER DRAWINGS.
2. FIXTURES IN ACT TO BE MOUNTED IN CENTER OF TILE. UNLESS OTHERWISE NOTED.
3. FIRE ALARM AND SPRINKLER VENDOR TO SUBMIT DRAWINGS TO THE AHJ FOR ALL WORK BEING DONE.
4. COORDINATE WITH ENGINEERING DRAWINGS FOR ALL MECHANICAL DUCT ROUTING
5. SECURITY CAMERA TO BE SURFACE MOUNTED TO CEILING ABOVE
6. SEE DETAILS ON SHEET A-143 FOR SEISMIC ACT AND GYP. BD. CEILING DETAILS AND SPECIFICATIONS

KEY NOTES

SYMBOL	NOTES
1	NEW EMERGENCY LIGHT. SEE SPEC ON CEILING SCHEDULE / A-142
2	NEW DIFFUSERS. SEE ENGINEERING DRAWINGS FOR EXACT LOCATIONS AND SPECIFICATIONS.
3	NEW SPEAKER. SEE SPEC ON CEILING SCHEDULE/A-142
4	NEW 360 CAMERA. SEE SPEC ON CEILING SCHEDULE/A-142
5	SEE SPRINKLERS AND FIRE ALARM SYSTEM DRAWINGS FOR ADDITIONAL INFORMATION ON SPECIFICATIONS.
6	NEW EXIT SIGN WITH 90 MINUTE BACK UP. SEE CEILING SCHEDULE FOR MORE DETAILS.
7	G.C. TO PROVIDE BLOCKING FOR ROLLER SHADES DISPLAY AT NEW STOREFRONT SOFFIT. SEE 3/A-142 FOR MORE INFORMATION
8	NEW GYP. BOARD CEILING
9	NEW ACT CEILING. SEE SPEC ON CEILING SCHEDULE/A-142
11	EXISTING EXTERIOR LIGHTING ON LL ELECTRICAL PANEL TO REMAIN.
12	NEW PENDANT LIGHT. SEE 2/A-142 FOR MORE INFORMATION.
13	NEW SECURITY CAMERA SEE SPEC ON CEILING SCHEDULE A-142
14	ACCESS PANEL FOR SIGNAGE POWER AND RTU TO BE PROVIDED AS REQUIRED.
15	ACCESS PANEL FOR WATER SHUTOFF AND WATER METER TO BE PROVIDED AS REQUIRED.



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⚠	11/20/2022 CLIENT REVISIONS
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	11/17/2022
	11/11/2022 LL REVIEW SET

THE SHAD STORE

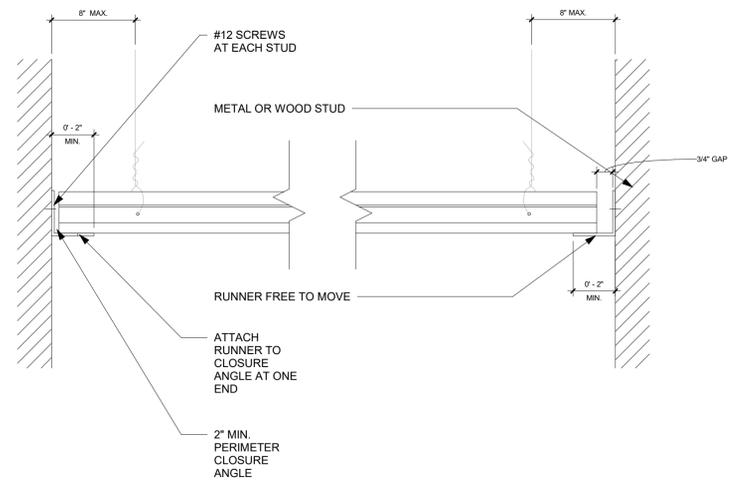
PROJECT LOCATION
THE SHADE STORE
1875 S BASCOM AVE,
CAMPBELL, CA 95008

SPACE NO. 210
AREA: 1,558 SF
SHEET TITLE:

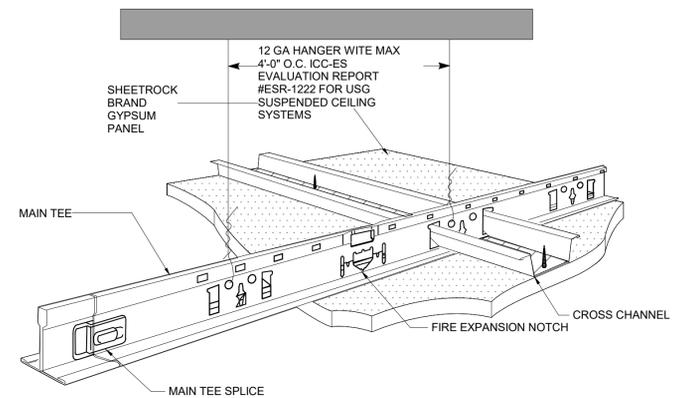
REFLECTED CEILING PLAN

PROJECT NO. 22-028
SCALE: AS NOTED
DRAWN BY: RB
REVIEWED BY: MR
SHEET NO:

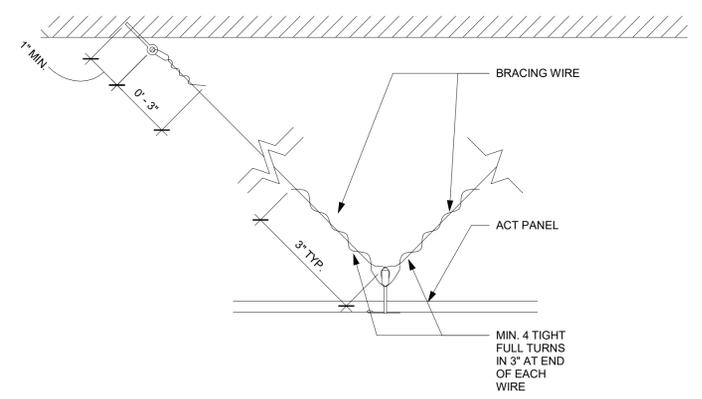
A-141



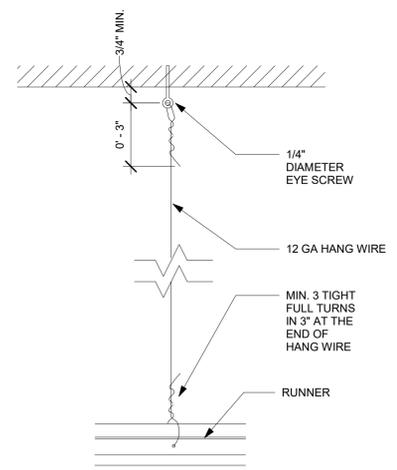
3 CEILING PERIMETER TRACK DETAIL
3" = 1'-0"



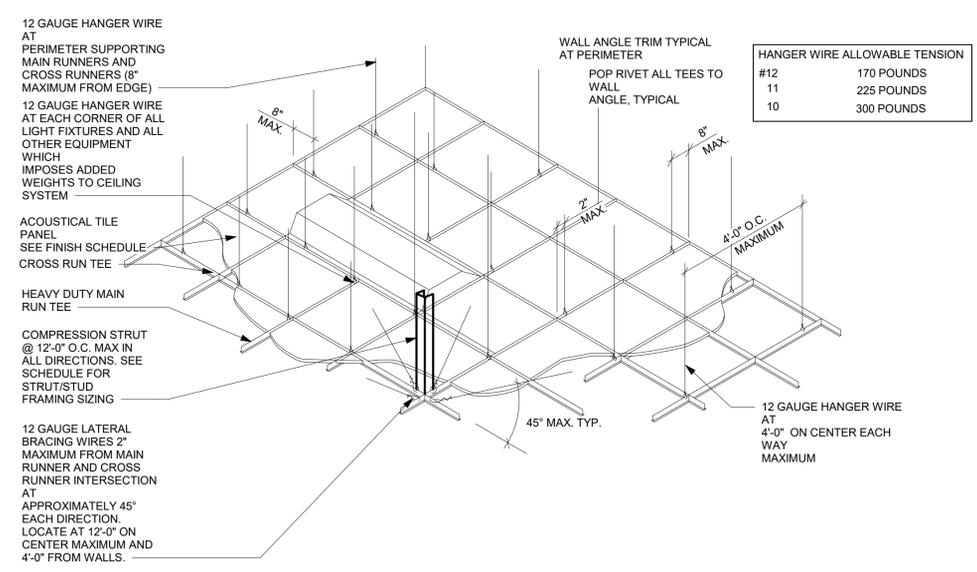
1 TYP. SUSPENDED CEILING DETAIL
1" = 1'-0"



4 BRACING WIRE TIE DETAIL
3" = 1'-0"



5 HANG WIRE DETAIL
3" = 1'-0"



COMPRESSION STRUT/STUD SCHEDULE			
MAX ALLOWABLE STRUT LENGTH	USG DONN COMPRESSION STRUT	EMT COMPRESSION STRUT	METAL STUD FRAMING
2' - 6"	VSA 18/30	1/2"	250S125-18
4' - 0"	VSA 30/48	1/2"	250S125-18
5' - 0"	VSA 48/84	3/4"	250S125-18
6' - 6"	VSA 48/84	1"	250S125-18
7' - 0"	VSA 48/84	1 1/4"	250S125-18
8' - 6"	VSA 84/102	1 1/4"	356S162-33
10' - 0"	VSA 102/120	1 1/2"	356S162-33
12' - 0"	VSA 120/144	2"	356S162-33
17' - 0"	---	---	(2) 356S162-33 (DETAIL A)
18' - 6"	---	---	(2) 356S162-33 (DETAIL A)

ARMSTRONG ACT SIESMIC RX SUSPENSION SYSTEM TO BE USED. INSTALL THE SYSTEM PER THE MANUFACTURERS SPECIFICATIONS TO ENSURE THAT ALL OF THE PROVISIONS OF THE 2019 ACT CBC ARE MET. IF SUBSTITUTIONS ARE MADE G.C. IS TO CONFIRM THAT THE ASSEMBLY AND INSTALLATION METHODS COMPLY WITH ALL CODES, AND THE SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT PRIOR TO PURCHASE AND INSTALLATION.

2 TYP. ACT GRID DETAIL
N.T.S.



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PROJECT LOCATION
THE SHADE STORE
1875 S BASCOM AVE,
CAMPBELL, CA 95008

SPACE NO. 210
AREA: 1,558 SF
SHEET TITLE:

CEILING PLAN DETAILS

PROJECT NO. 22-028

SCALE: AS NOTED

DRAWN BY: AM

REVIEWED BY: MR

SHEET NO:

A-143



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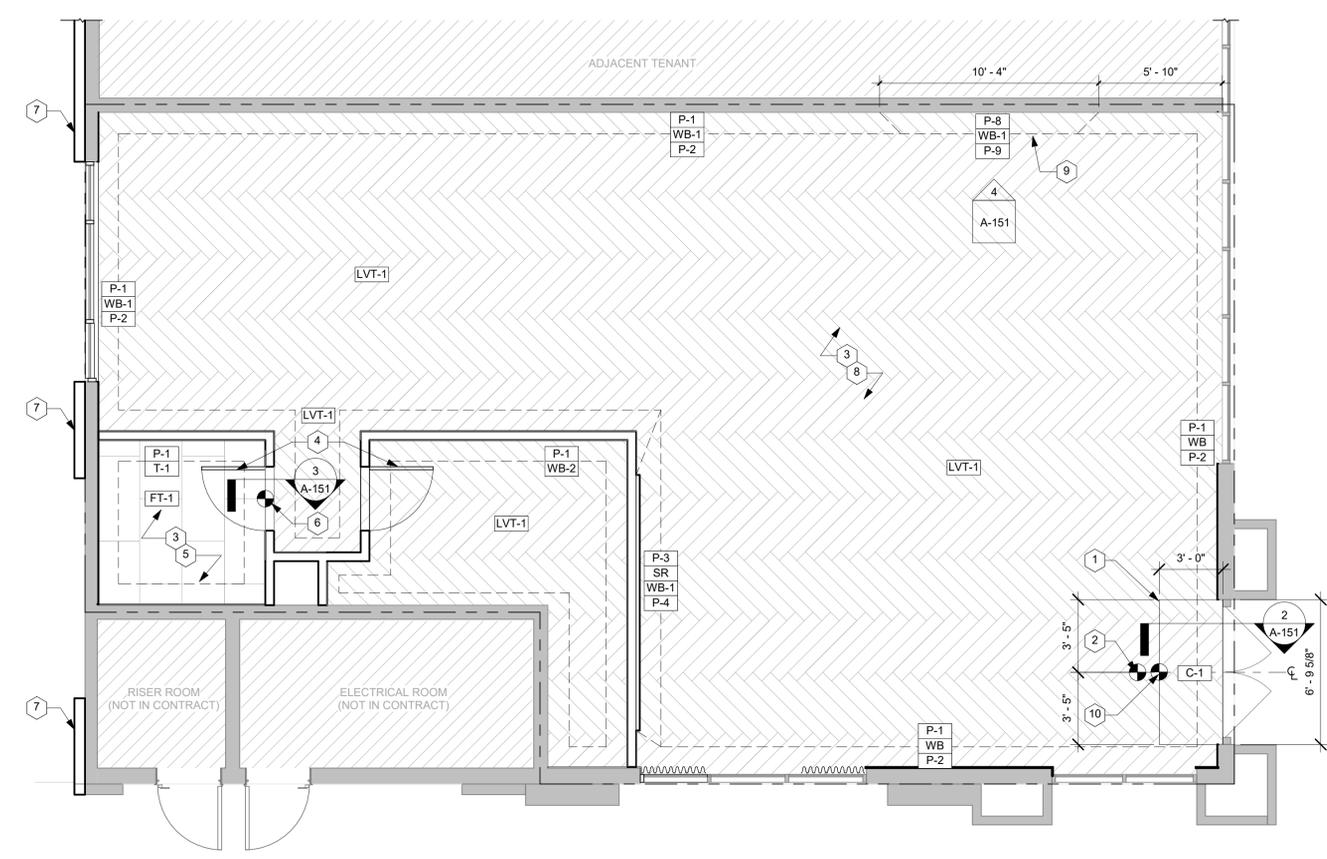
PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210
 AREA: 1,558 SF
 SHEET TITLE:

FINISH PLAN AND FINISH SCHEDULE

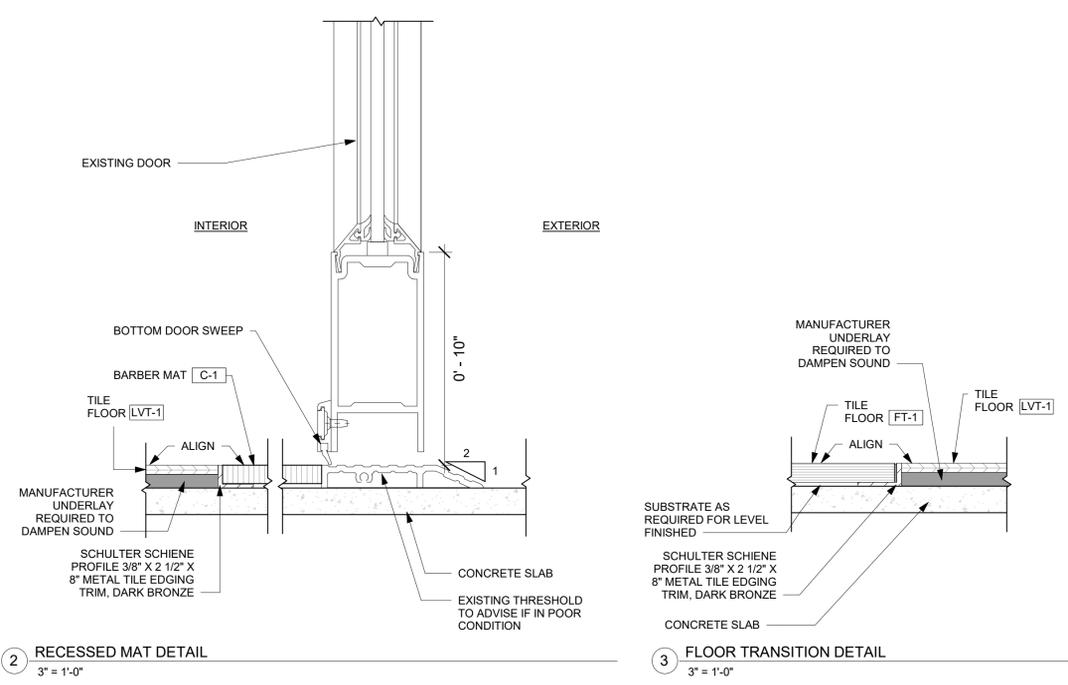
PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: RB
 REVIEWED BY: MR
 SHEET NO:

A-151



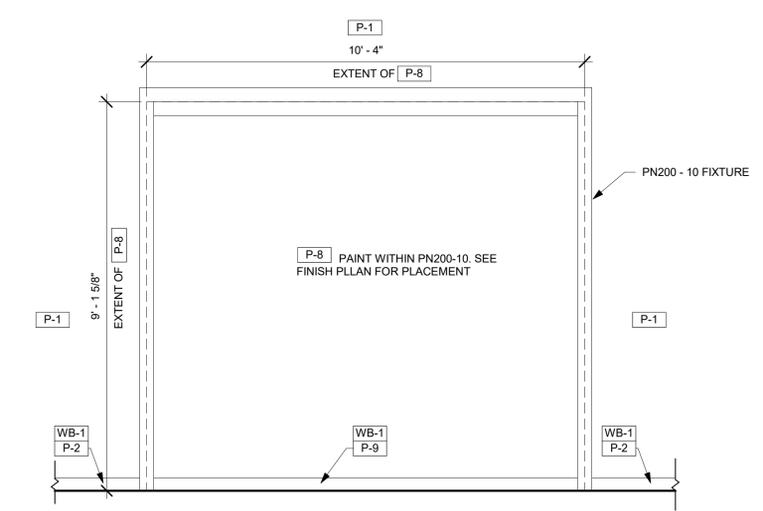
1 FINISH PLAN
 1/4" = 1'-0"

FINISH SCHEDULE						
SYMBOL	DESCRIPTION	MANUFACTURER	FINISH	COLOR	PRODUCT	LOCATION
P-1	INTERIOR PAINT	BENJAMIN MOORE	MATTE	FROSTINE AF-5	AURA INTERIOR PAINT - MATTE (0522)	ALL WALLS (WITH THE EXCEPTION OF WHERE WALLS ARE TAGGED AS P-3 OR P-6)
P-2	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	FROSTINE AF-5	ULTRA SPEC SCUFF-X 0487	1/2" BASEBOARDS ON ALL WALLS TAGGED AS P-1. BACK OF HOUSE AND RESTROOM DOOR TRIM.
P-3	INTERIOR PAINT	BENJAMIN MOORE	CUSTOM VENETIAN PLASTER	STONE HEARTH 984	AURA INTERIOR PAINT-MATTE (0522)	"CUSTOM MADE SIMPLE" WALL
P-4	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	STONE HEARTH 984	ULTRA SPEC SCUFF-X-SEMI-GLOSS (0487)	1/2" BASEBOARDS ON THE SHADE STORE'S (P-3) "CUSTOM MADE SIMPLE" WALL ONLY
P-5	INTERIOR CEILING PAINT	BENJAMIN MOORE	ULTRA FLAT	FROSTINE AF-5	WATERBOURNE CEILING PAINT - ULTRA FLAT (0508-1X)	GYP. BOARD CEILINGS
P-6	INTERIOR PAINT	BENJAMIN MOORE	MATTE	NIGHT SHADE	AURA INTERIOR PAINT-MATTE	WALL BEHIND P200-11 DRAPERY UNIT
P-9	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	NIGHT SHADE	ULTRA SPEC SCUFF-X-SEMI-GLOSS (0487)	1/2" BASEBOARDS BEHIND P200-10 DRAPERY UNIT. BACK OF HOUSE DOOR AND RESTROOM DOOR, BESIDES DOOR TRIM.
SR	REVEALS	STOCKTON PRODUCTS	---	---	X: 5/8" Y: 3/8" STOCKTON EXTRUDED DRUM WALL REVEAL WITH VENT SLOTS	"CUSTOM MADE SIMPLE" WALL REVEALS. SEE INTERIOR ELEVATIONS.
FT-1	PORCELAIN TILE	ROBUSTO STONEWORK	MATTE	HAMILTON IVORY	24"x48" GROUT: 89 SMOKE GRAY - LATICRETE, 1/16" THICK, 1/8" GROUT JOINT	24" X 48" FLOOR TILES IN RESTROOM.
C-1	BERBER SUPREME	MODERN PATH FIXTURES	TBD	NATURAL	---	STOREFRONT ENTRY
WB-1	4" X 1/2" WOOD BASE	---	---	---	1/2" THICK STOCK	WOOD BASE TO BE SCRIBED TO THE FLOOR
WB-2	RUBBER BASE	ARMSTRONG	---	43 SILK	---	BACK OF HOUSE, ALL AREAS TAGGED WITH VCT-1 FLOORING
LVT-1	LVT TILES	ROBUSTO STONEWORK	---	SWISS LIGHT BROWN	ID# 21-0043	7"x48" HERRINGBONE PATTERN IN SHOWROOM, VESTIBULE AND BOH. G.C. TO INCLUDE MANUFACTURER UNDERLAYMENT IN ORDER TO DAMPEN SOUND
VCT-1	VINYL TILES	ARMSTRONG IMPERIAL TEXTURE	---	TAUPE	STANDARD EXCELON 51901	BACK OF HOUSE
PL-1	7/8" CEMENT PLASTER	SANTA BARBARA	---	"AGREEABLE GRAY"	SHERWIN WILLIAMS #SW7029	BACK FACADE - TO MATCH EXISTING
PL-2	EXISTING STONE VENEER CERAMIC	CERAMICHE	---	---	ENGINEERED STONE VIBE, QUERCIA, VERTICAL BOND	EXTERIOR TILES



2 RECESSED MAT DETAIL
 3" = 1'-0"

3 FLOOR TRANSITION DETAIL
 3" = 1'-0"



4 PN200-10 FINISH ELEVATION
 1/2" = 1'-0"

FINISH NOTES		KEY NOTES	
SYMBOL	NOTES	SYMBOL	NOTES
1.	ALL INTERIOR WALLS AND CEILING FINISHES ARE TO BE OF A CLASS C RATING OR BETTER PER 2018 INTERNATIONAL BUILDING CODE TABLE 803.11	1	BERBER MAT, REFER TO DETAIL 2/A-151. FLOOR MATERIAL AT THE ENTRY DOOR IS TO HAVE A SLOPE OF NO MORE THAN 1:48. G.C. TO NOTIFY ARCHITECT IF PROPER FLOOR SLOPE CANNOT BE ACHIEVED.
2.	INTERIOR WALLS ON SHOWROOM FLOOR AND IN VESTIBULE MUST BE LEVEL 5 FINISH. INTERIOR WALLS IN BACK OF HOUSE AND CEILING TO RECEIVE LEVEL 4 FINISH.	2	START POINT OF HERRINGBONE PATTERN
3.	ALL FLOOR FINISHES SHALL COMPLY WITH 2018 INTERNATIONAL BUILDING CODE WITH SECTION 804.2	3	GYP. CEILING TO BE PAINTED [P-5]
4.	ALL MATERIALS REQUIRED TO HAVE A CERTAIN RATING SHALL HAVE DOCUMENTATION SHOWING COMPLIANCE WITH ALL THE APPROPRIATE CODES.	4	RESTROOM DOOR AND BACK OF HOUSE DOOR TO BE PAINTED [P-9] RESTROOM AND BACK OF HOUSE DOOR TRIM TO BE PAINTED [P-2]
5.	CONTRACTOR REQUIRED TO PURCHASE PAINT THROUGH BENJAMIN MOORE NATIONAL ACCOUNTS PROGRAM. (SHOPNATIONALACCOUNTS.BENJAMINMOORE.COM) COORDINATE WITH OWNER CONSTRUCTION MANAGER.	5	TILE PATTERN TO BE INSTALLED 1/2 RUNNING BOND
6.	G.C. TO VERIFY ANY LEVEL CHANGE IN EXISTING CONDITION SLAB PRIOR TO FLOORING INSTALL. G.C. TO ENSURE A LEVEL SURFACE PROVIDED PER THE FLOORING MANUFACTURER SPECIFICATIONS PRIOR TO FLOORING INSTALLATION.	6	FT-2 TILE TO BE CUT AS TRANSITION TILE @ RESTROOM DOOR THRESHOLD
		7	G.C. TO ENSURE NEW PAINT @ NEW PLASTER FINISH MATCHES THE EXACT COLOR OF THE EXISTING PLASTER FINISH. TEST PRIOR TO PAINTING ALL NEW PLASTER. IF PAINT DOES NOT MATCH EXACTLY, ALERT THE OWNER'S TEAM AND THE ARCHITECT. G.C. TO PROVIDE ALTERNATIVE PRICING FOR PAINTING NEW AND EXISTING PLASTER @ REAR FACADE IN THE AREA OF WORK
		8	BASEBOARDS MITERED ON ALL EXTERIOR AND INTERIOR CORNERS.
		9	G.C. TO CONFIRM FINAL LOCATION OF DRAPERY UNIT PRIOR TO PAINTING. PAINT TO BE APPLIED BEHIND FIXTURE ONLY.
		10	START POINT OF TILE FLOORING. GROUT JOINT OF FULL TILES CENTERED ON WALK OFF MAT



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THE
SHADE
STORE

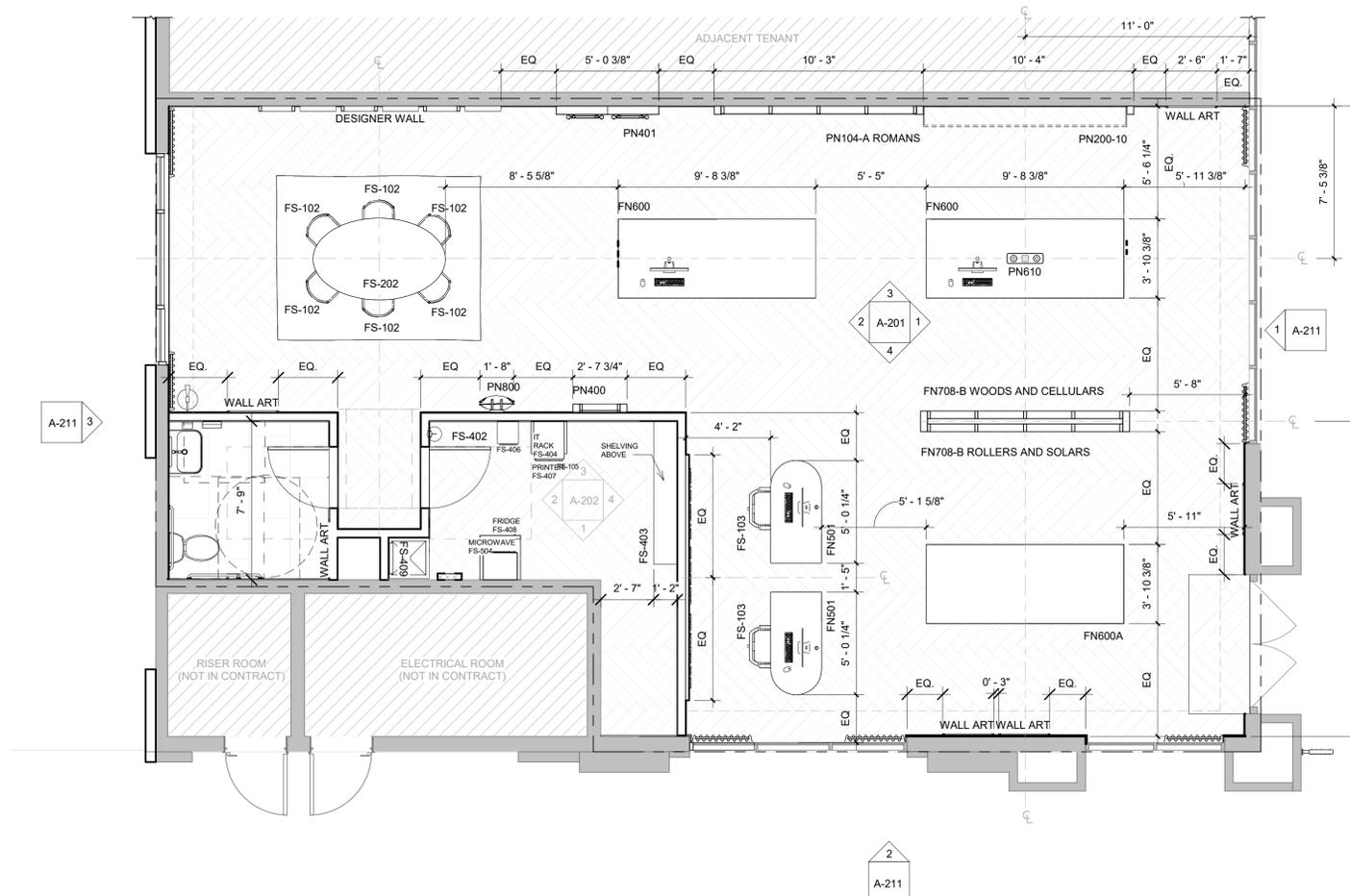
PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210
 AREA: 1,558 SF
 SHEET TITLE:

FIXTURE PLAN

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: RB
 REVIEWED BY: MR
 SHEET NO:

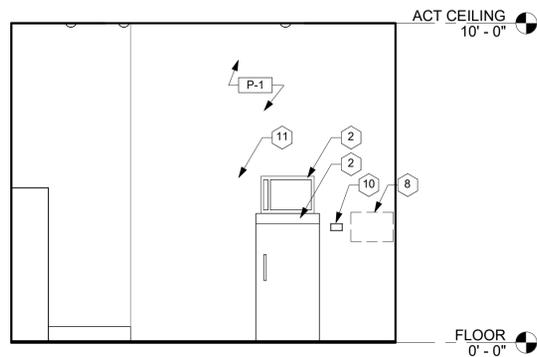
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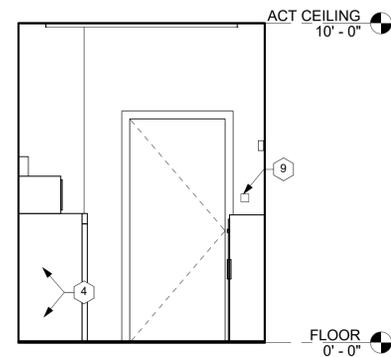
1 FIXTURE PLAN
 1/4" = 1'-0"

FIXTURE SCHEDULE			
TAG #	FIXTURE	QTY.	COMMENTS
FN501	DC DESK	2	SUPPLIED BY MILLWORKER
FN600	ISLAND	2	SUPPLIED BY MILLWORKER
FN600A	ISLAND	1	SUPPLIED BY MILLWORKER
FN708-B	WOODS + CELLULARS/ ROLLERS + SOLARS	1	SUPPLIED BY MILLWORKER
P200-10	VALANCE	1	SUPPLIED BY MILLWORKER
PN104-A	ROMANS	1	SUPPLIED BY MILLWORKER
PN400	OUTSIDE MOUNT	1	SUPPLIED BY MILLWORKER
PN401	HARDWARE DISPLAY	1	SUPPLIED BY MILLWORKER
PN800	PILLOW DISPLAY	1	SUPPLIED BY MILLWORKER
FS-102	CONFERENCE TABLE CHAIR	6	SUPPLIED BY OWNER
FS-202	CONFERENCE TABLE	1	SUPPLIED BY OWNER
FS-301	AREA RUG	1	SUPPLIED BY OWNER
FS-402	COAT HOOK (BOH)	1	SUPPLIED BY OWNER
FS-403	14" SHELVING SYSTEM (BOH)	1	SUPPLIED BY OWNER
FS-404	IT RACK (BOH)	1	SUPPLIED BY OWNER
FS-405	MICROWAVE(BOH)	1	SUPPLIED BY OWNER
FS-406	WATER COOLER	1	SUPPLIED BY OWNER
FS-407	PRINTER (BOH)	1	SUPPLIED BY OWNER
FS-408	REFRIGERATOR (BOH)	1	SUPPLIED BY OWNER
FS-409	UTILITY HOLDER (BOH)	1	SUPPLIED BY OWNER
WALL ART	30" X 42"	5	SUPPLIED BY OWNER
WALL ART 2	20" X 40"	1	SUPPLIED BY OWNER

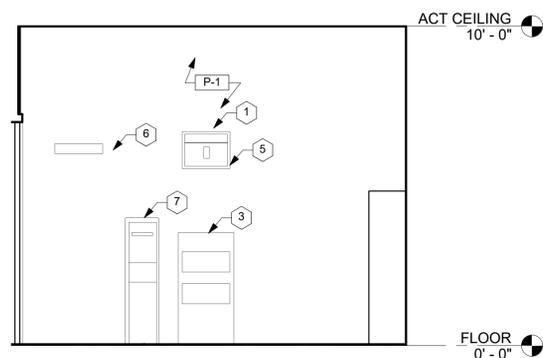
FIXTURE NOTES	
1.	ALL MILLWORK TO BE FURNISHED AND INSTALLED BY THE MILLWORK CONTRACTOR.
2.	G.C. TO COORDINATE BLOCKING REQUIREMENTS WITH MILLWORK SHOP DRAWINGS PRIOR TO INSTALLATION.
3.	LEVELERS AT BASE OF MILLWORK TO BE SET A LOWEST POSSIBLE SETTING, WHILE ENSURING FIXTURE IS LEVELLED.



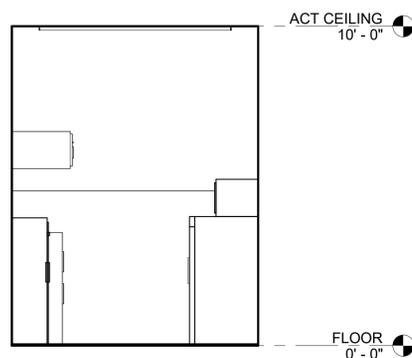
1 BOH ELEVATION 1
3/8" = 1'-0"



2 BOH ELEVATION 2
3/8" = 1'-0"



3 BOH ELEVATION 3
3/8" = 1'-0"



4 BOH ELEVATION 4
3/8" = 1'-0"

ELEVATION NOTES

- 1. ALL BLOCKING TO BE FRT
- 2. FOR MILLWORK DETAILS SEE SHEETS A-301 THROUGH 311

KEY NOTES

SYMBOL	NOTES
1	G.C. TO SECURE 3/4" PLYWOOD TO EXISTING WALL FRAMING FOR MOUNTING IT RACK. PLYWOOD TO BE PAINTED TO MATCH WALL.
2	FRIDGE/MICROWAVE
3	PRINTER
4	MOP SINK / UTILITY HOLDER
5	B.O. IT RACK TO BE MOUNTED @ 5'-6" AFF
6	COATRACK
7	WATER COOLER
8	SWITCH BANK
9	THERMOSTAT
10	DEDICATED OUTLET FOR FIRE ALARM PANEL
11	SHELVING UNIT
12	
13	



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THE
SHADE
STORE

PROJECT LOCATION
THE SHADE STORE
1875 S BASCOM AVE,
CAMPBELL, CA 95008

SPACE NO. 210
AREA: 1,558 SF
SHEET TITLE:

INTERIOR ELEVATIONS

PROJECT NO. 22-028
SCALE: AS NOTED
DRAWN BY: RB
REVIEWED BY: MR
SHEET NO:

A-202

KEY NOTES

SYMBOL	NOTES
1	EDGE-LIT WHITE FACE WITH SHIMMER BRONZE SIDES LETTER LOGO. COORDINATE WITH SIGN VENDORS FOR EXACT DIMENSIONS
2	ADJACENT TENANT STOREFRONT TO REMAIN UNDISTURBED.
3	EXISTING STOREFRONT GLAZING TO REMAIN. G.C. TO INSPECT FOR ANY DAMAGED AREAS AT THE START OF CONSTRUCTION. NOTIFY OWNER OF ANY DAMAGES AND REPAIR TO MEET NEW OWNER STOREFRONT STANDARDS. REPAIRS TO BE REVIEWED AND APPROVED BY OWNER'S DESIGN TEAM.
4	NEW STOREFRONT GLAZING FRAME AND INSULATED STOREFRONT GLASS BY STOREFRONT VENDOR TO MATCH EXISTING STOREFRONT. ALL DIMENSIONS OF GLAZING FRAME AND GLASS TO BE FIELD VERIFIED. G.C. TO VERIFY THAT PROPOSED BID MATCHES EXISTING IN BOTH FINISH AND MANUFACTURER. A SITE VISIT BY BIDDING STOREFRONT VENDORS IS REQUIRED.
5	NEW BLADE SIGN BY THE SHADE STORE SIGN VENDOR. G.C. TO ALIGN WITH TOP OF STOREFRONT FRAME.
6	NEW GLAZING FRAME AND GLASS TO MATCH EXISTING STOREFRONT SYSTEM COLOR AND MANUFACTURER.
7	---
8	---
9	---
10	---
11	---
12	---
13	---



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THE SHADE STORE

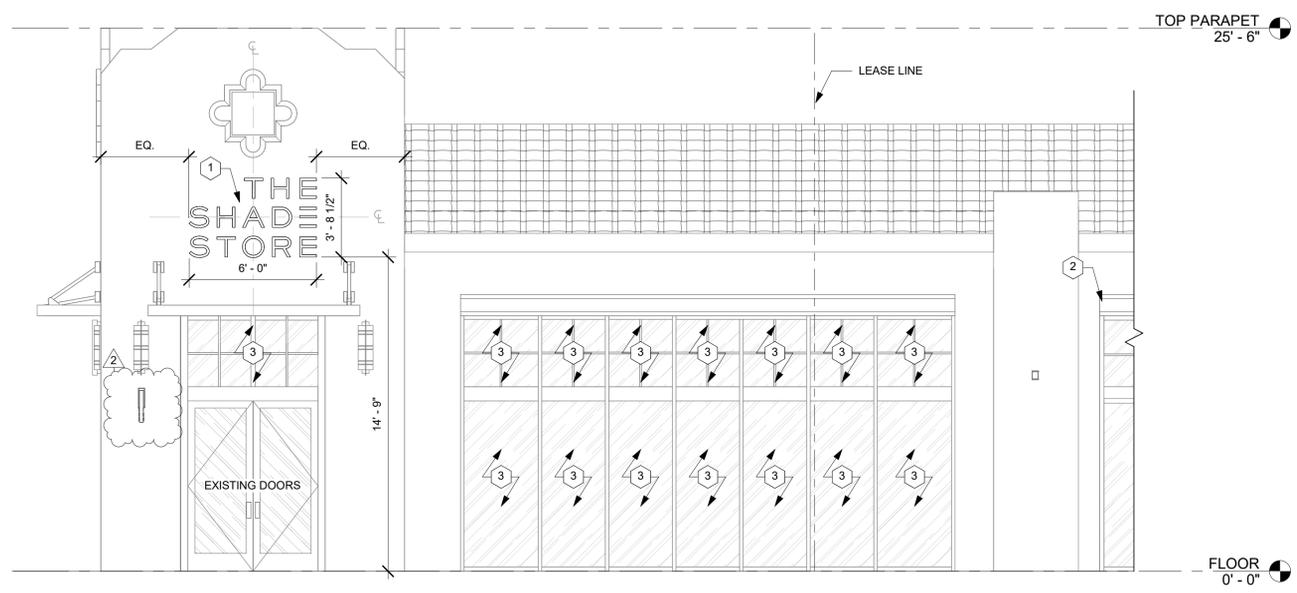
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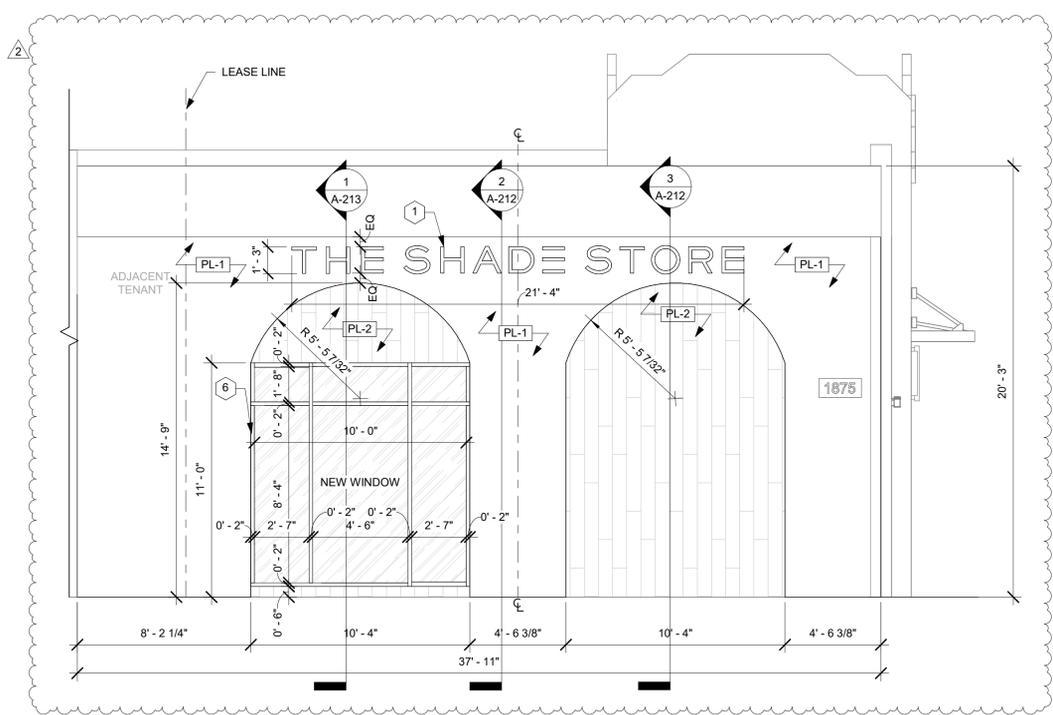
EXTERIOR ELEVATIONS

PROJECT NO. 22-028
 SCALE: AS NOTED
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 REVIEWED BY: MR
 SHEET NO:

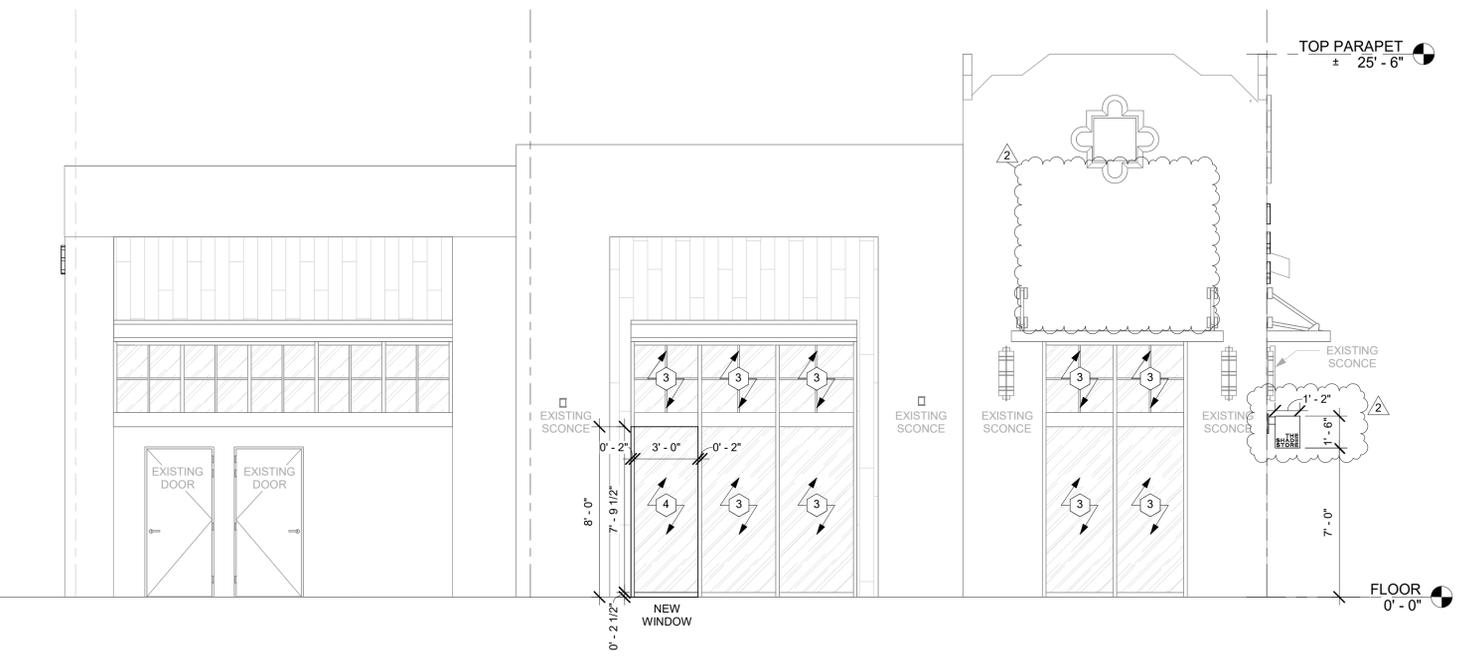
A-211



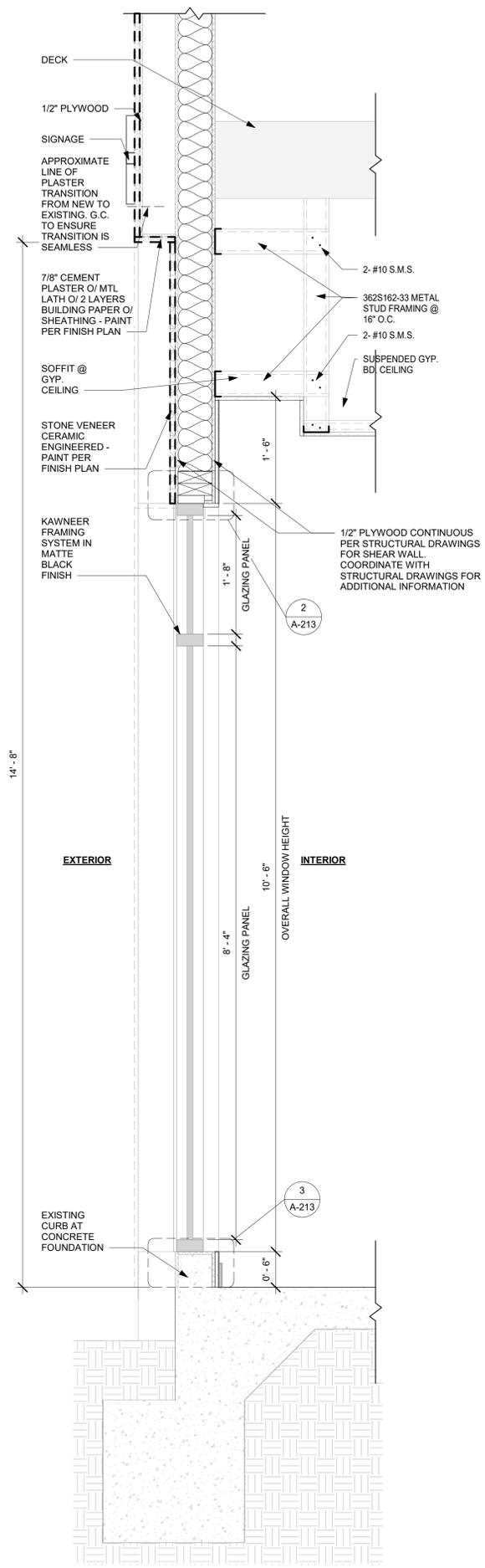
1 STOREFRONT ELEVATION
 1/4" = 1'-0"



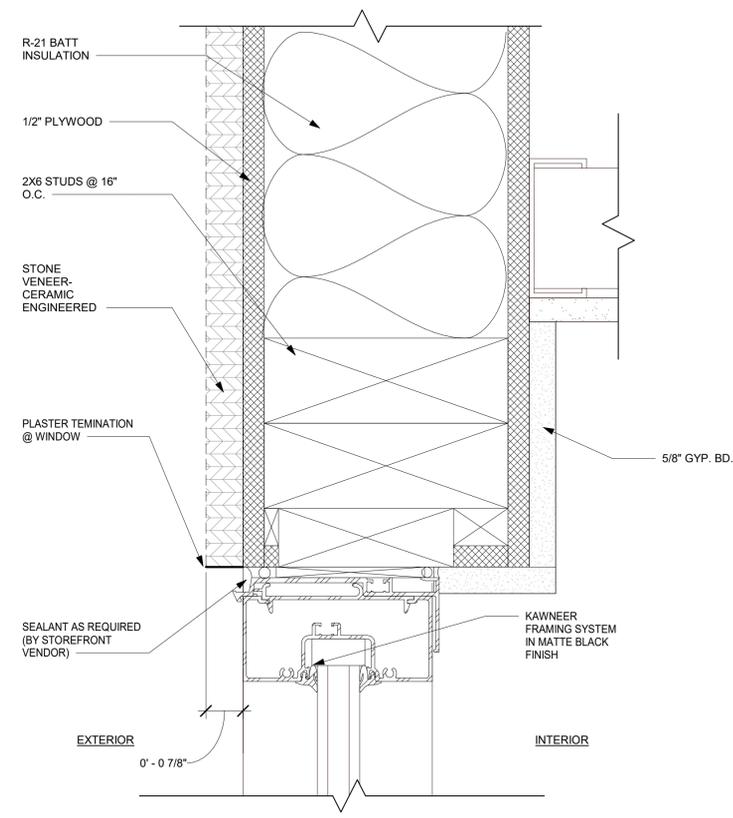
3 BACK ELEVATION
 1/4" = 1'-0"



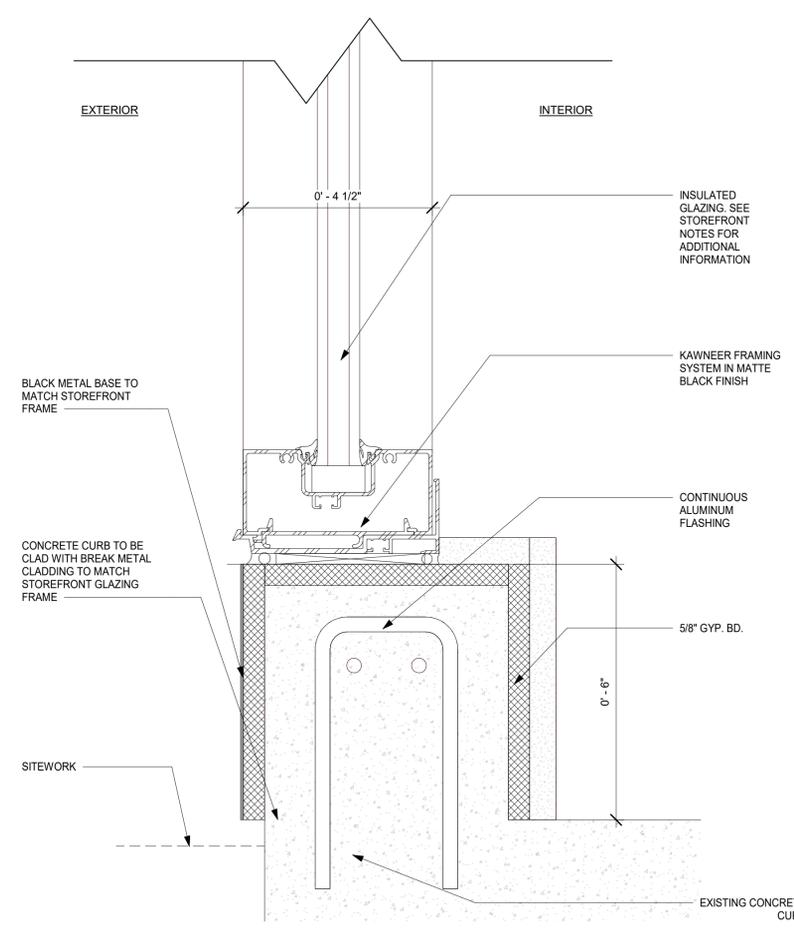
2 STOREFRONT SIDE ELEVATION
 1/4" = 1'-0"



1 SECTION THROUGH GLAZING SYSTEM
1" = 1'-0"



2 SILL FLASHING AT HEAD DETAIL
6" = 1'-0"



3 STOREFRONT CURB DETAIL
6" = 1'-0"



ARCHITECT OF RECORD:
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SEAL:
ARCHITECT: MATTHEW REISKIN, I
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CA ARCHITECTURAL REG. No: C30220

		03.02.2023 BID SET
Δ	12.20.2022	BUILDING DEPARTMENT COMMENTS
Δ	11/20/2022	CLIENT REVISIONS
	11/17/2022	ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/11/2022	LL REVIEW SET

THE
SHADE
STORE

PROJECT LOCATION
THE SHADE STORE
1875 S BASCOM AVE,
CAMPBELL, CA 95008

SPACE NO. 210
AREA: 1,558 SF
SHEET TITLE:

EXTERIOR SECTIONS AND
DETAILS

PROJECT NO. 22-028
SCALE: AS NOTED
DRAWN BY: AM
REVIEWED BY: MR
SHEET NO:

A-213



RENDERING 1: FRONT CORNER



RENDERING 2: SIDE ELEVATION



RENDERING 3: REAR ARCH CORNER



RENDERING 4: REAR ELEVATION



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	11/17/2022 ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/11/2022 LL REVIEW SET

THE
 SHADE
 STORE

PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210
 AREA: 1,558 SF
 SHEET TITLE:

EXTERIOR RENDERINGS

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: AM
 REVIEWED BY: MR
 SHEET NO:

A-214



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	11/17/2022	ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/11/2022	LL REVIEW SET

THE SHADE STORE

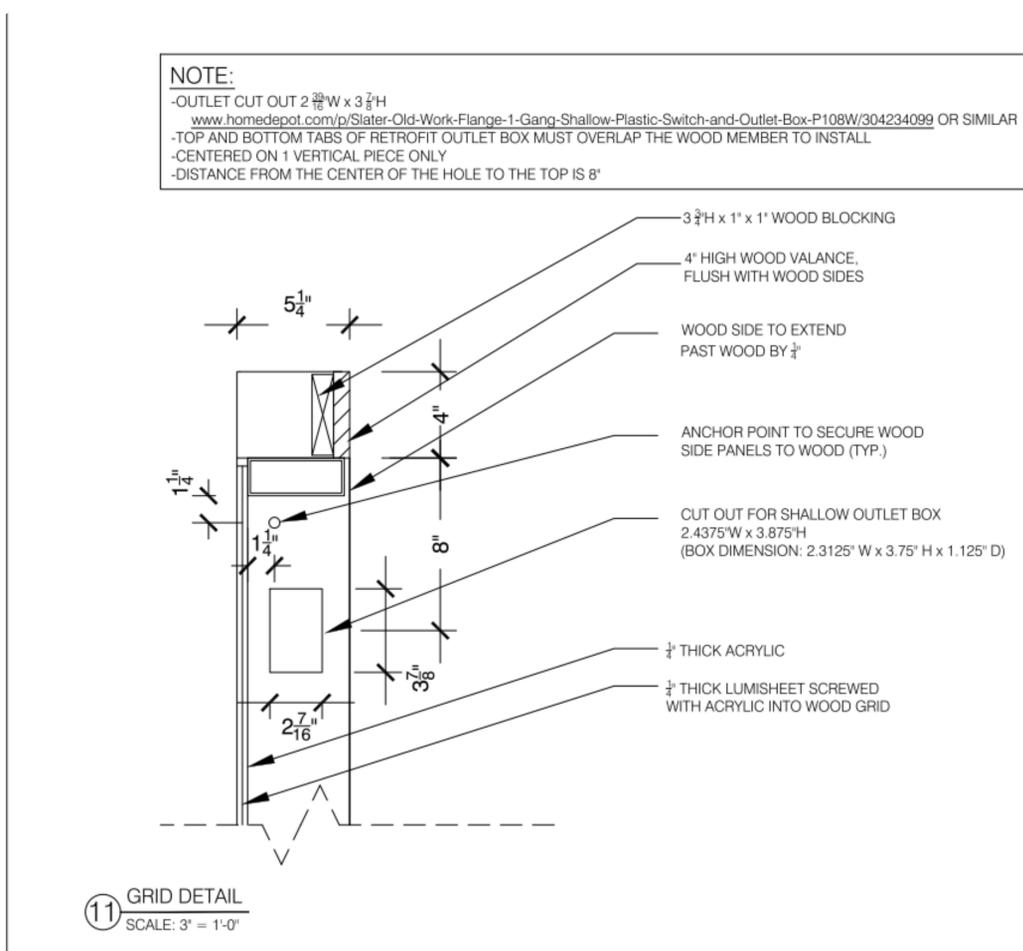
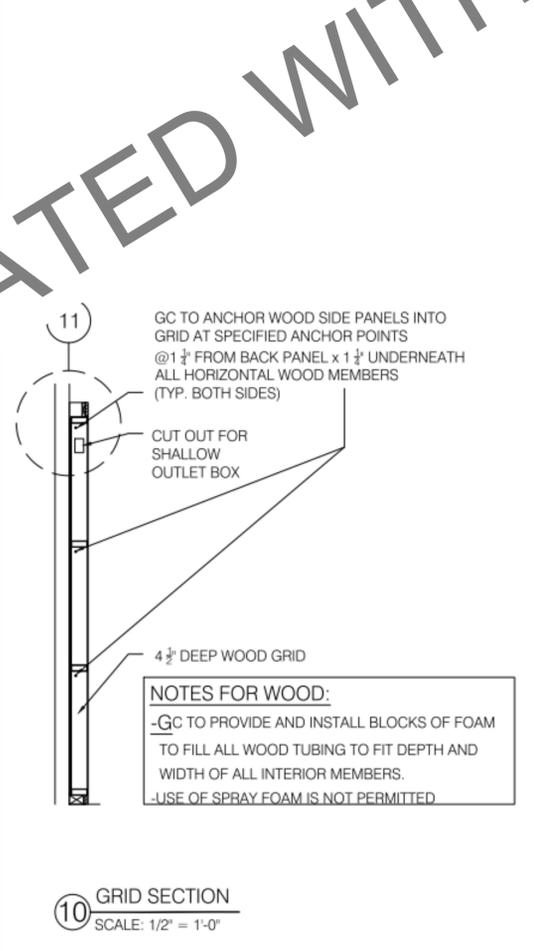
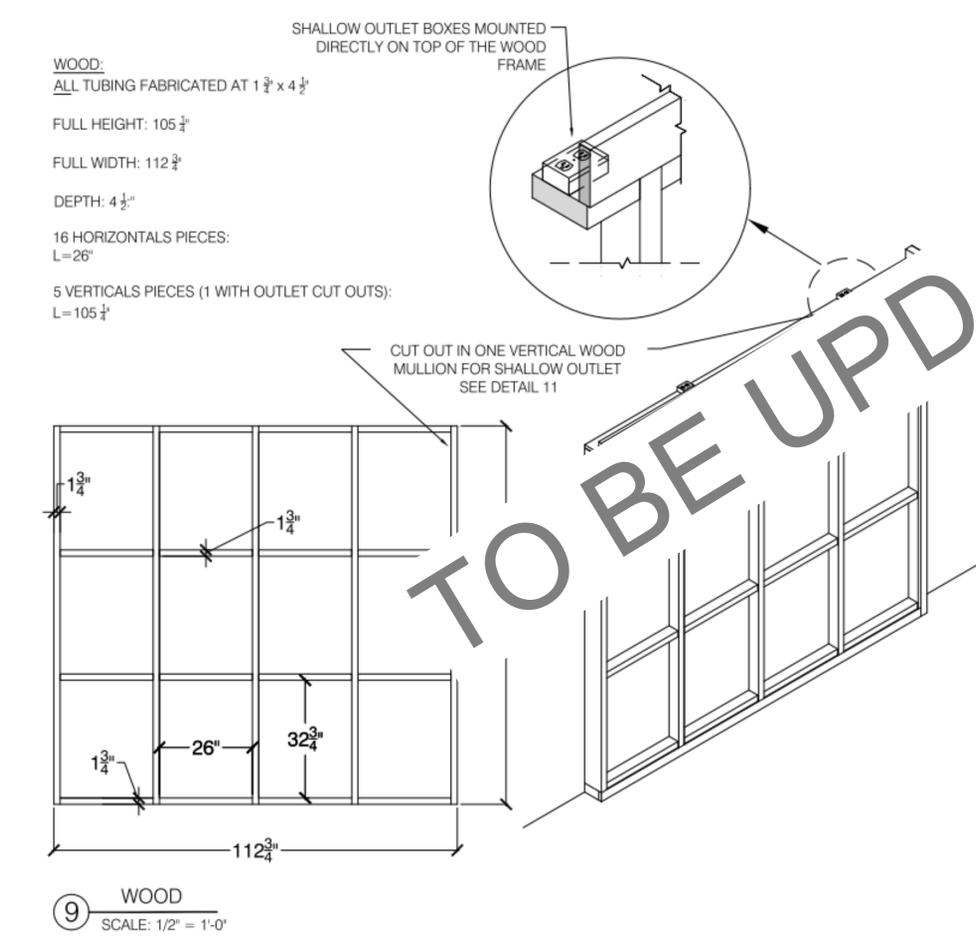
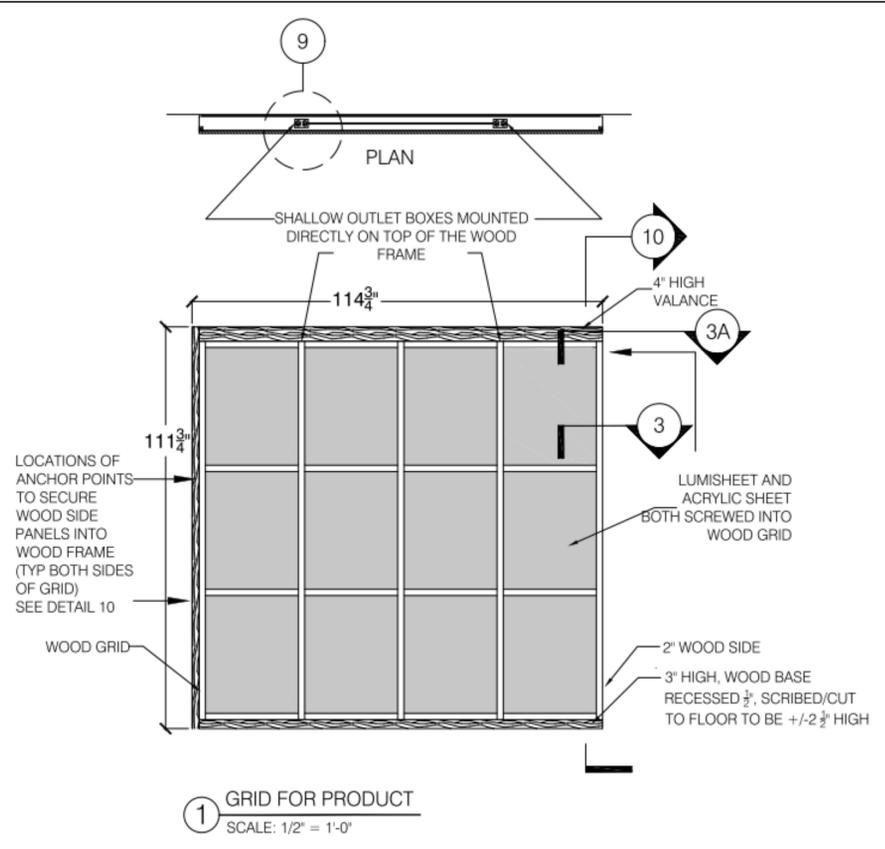
PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210
 AREA: 1,558 SF
 SHEET TITLE:

P104-L MILLWORK
 DETAILS (PROVIDED BY
 OWNER)

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: RB
 REVIEWED BY: MR
 SHEET NO:

A-303





ARCHITECT OF RECORD:
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	ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/17/2022
	11/11/2022 LL REVIEW SET

THE
SHADE
STORE

PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210

AREA: 1,558 SF

SHEET TITLE:
 P104-L MILLWORK
 DETAILS (PROVIDED BY
 OWNER)

PROJECT NO. 22-028

SCALE: AS NOTED

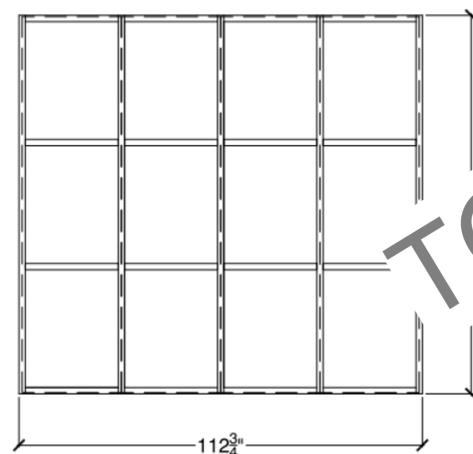
DRAWN BY: RB

REVIEWED BY: MR

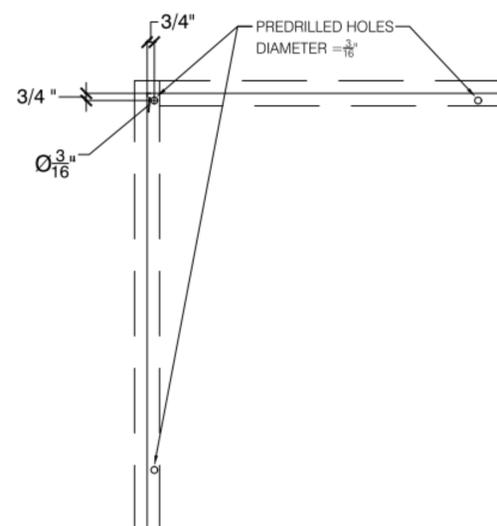
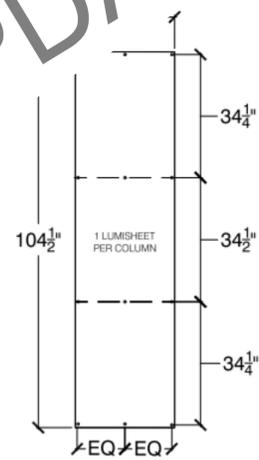
SHEET NO:

A-303B

TO BE UPDATED WITH 2023 FIXTURES



LUMISHEET:
 4 SHEETS
 FROM THE EDGES
 THE VERTICAL SIDE AS
 EQUALLY SPACED HOLES ON THE
 HORIZONTAL SIDES AND ACROSS SIDES
 AND DASHED LINES

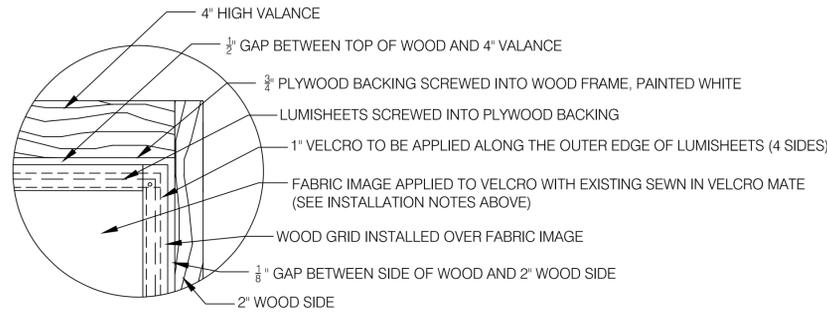


7 LUMISHEETS
 SCALE: 1/2" = 1'-0"

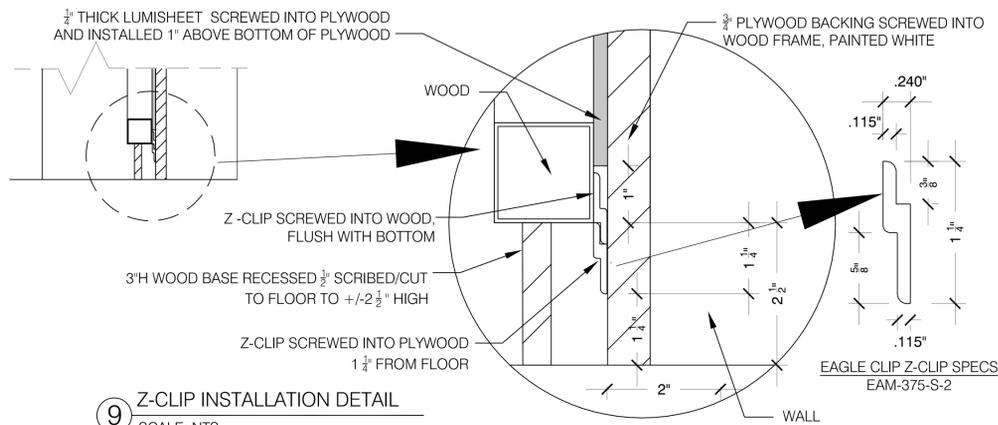
8 LUMISHEET HOLE DETAIL
 NTS

FABRIC INSTALLATION INSTRUCTIONS:

1. ATTACH FABRIC IMAGE STARTING IN UPPER LEFT CORNER
2. ATTACH TOP FROM LEFT TO RIGHT, THEN DOWN LEFT SIDE, BOTTOM LEFT TO RIGHT AND THEN RIGHT SIDE
3. STRETCH AS NEEDED, ENSURING IMAGE DOES NOT BECOME DISTORTED AND 'STRAIGHT LINES' DO NOT APPEAR WAVY
4. IF IMAGE OR LINES APPEAR DISTORTED REMOVE AND REAPPLY FABRIC
5. INSTALL WOOD GRID OVER FABRIC
6. CHECK ALL FOUR CORNERS TO ENSURE VELCRO STITCHING IS NOT VISIBLE PAST WOOD
7. IF STITCHING IS VISIBLE REMOVE WOOD AND REAPPLY FABRIC IMAGE



8 FABRIC INSTALLATION DETAIL
SCALE: 2" = 1'-0"



9 Z-CLIP INSTALLATION DETAIL
SCALE: NTS

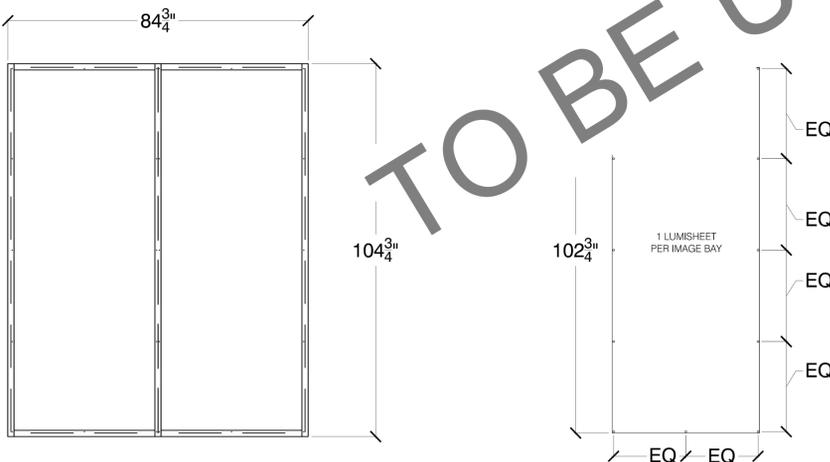
LUMISHEET:
2 SHEETS - 41 1/2" x 102 3/4"

PREDRILLED HOLES
DIAMETER = 3/8"

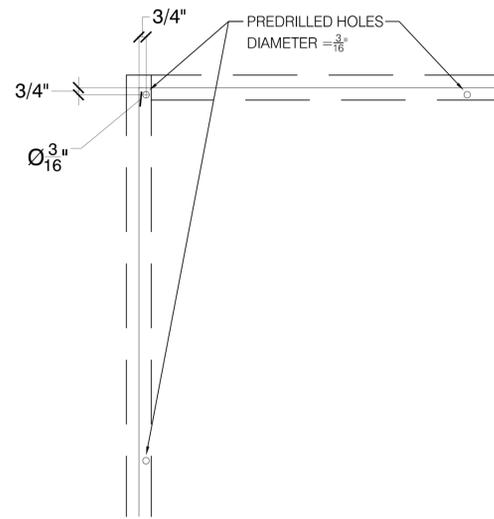
CENTER OF HOLE 3/8" FROM THE EDGES

5 EQUALLY SPACED HOLES ON THE VERTICAL SIDE

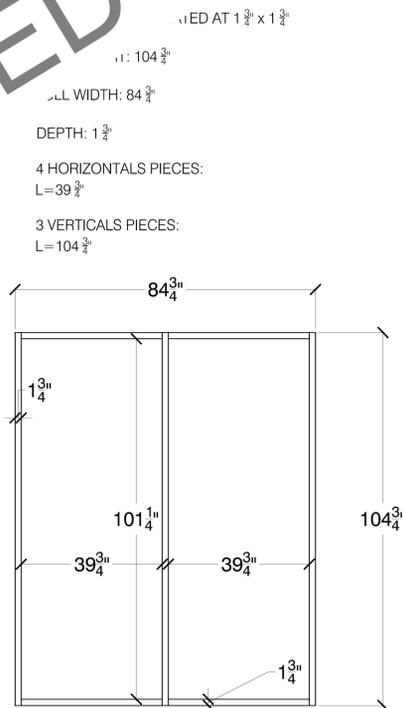
3 EQUALLY SPACED HOLES ON THE HORIZONTAL SIDE



12 LUMISHEETS
SCALE: 1/2" = 1'-0"



11 LUMISHEET HOLE DETAIL
NTS



13 WOOD
SCALE: 1/2" = 1'-0"

TO BE UPDATED WITH 2023 FIXTURES



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	11/11/2022	LL REVIEW SET

THE SHADE STORE

PROJECT LOCATION
THE SHADE STORE
1875 S BASCOM AVE,
CAMPBELL, CA 95008

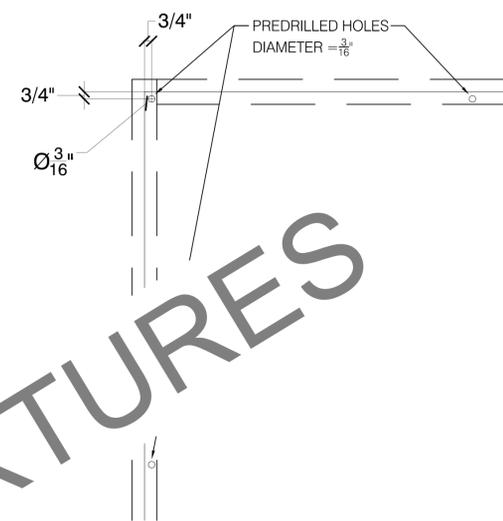
SPACE NO. 210
AREA: 1,558 SF
SHEET TITLE:

P302 A & L MILLWORK
DETAILS (PROVIDED BY
OWNER)

PROJECT NO. 22-028
SCALE: AS NOTED
DRAWN BY: RB
REVIEWED BY: MR
SHEET NO:

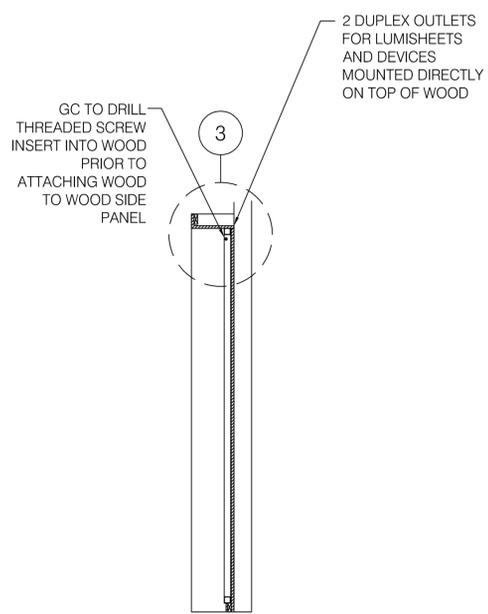
A-306

TO BE UPDATED WITH 2023 FIXTURES



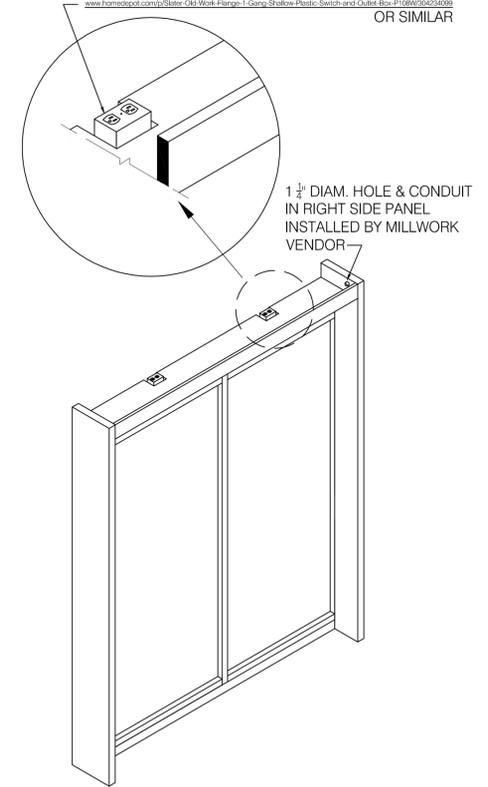
11 LUMISHEET HOLE DETAIL
NTS

NOTES FOR WOOD:
 -GC TO PROVIDE AND INSTALL BLOCKS OF FOAM TO FILL ALL WOOD TUBING TO FIT DEPTH AND WIDTH OF ALL INTERIOR MEMBERS.
 -USE OF SPRAY FOAM IS NOT PERMITTED



14 SIDE SECTION
SCALE: 1/2" = 1'-0"

SHALLOW OUTLET BOXES MOUNTED DIRECTLY ON TOP OF THE WOOD FRAME. CUT OUT FOR OUTLETS IN BOTTOM OF VALANCE BY MILLWORK VENDOR - 4"W x 2.5" D
 GC TO INSTALL SHALLOW OUTLET BOXES:
www.homedepot.com (State: CA) (Work: Fixtures) (Category: Shallow Plastic Switch and Outlet Box) (Filter: 0000000000) OR SIMILAR



15 ISOMETRIC
SCALE: 1/2" = 1'-0"



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	ARCHITECTURAL MODIFICATION PERMIT SUBMITTAL
	11/17/2022
	11/11/2022 LL REVIEW SET

THE SHADE STORE

PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210

AREA: 1,558 SF

SHEET TITLE:

P302 A & L MILLWORK DETAILS (PROVIDED BY OWNER)

PROJECT NO. 22-028

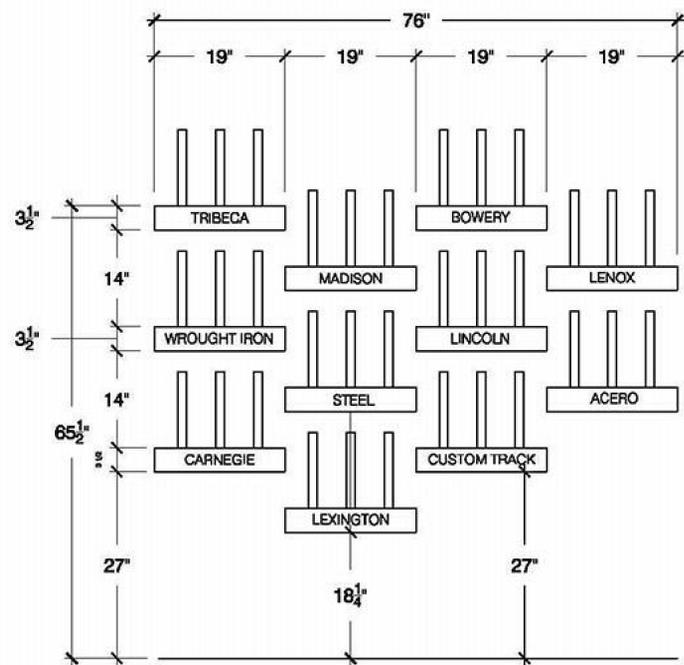
SCALE: AS NOTED

DRAWN BY: RB

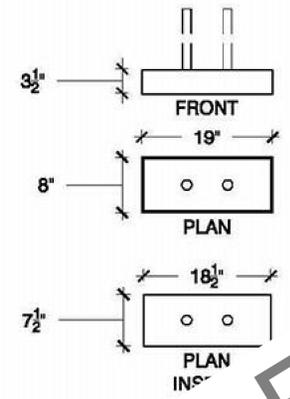
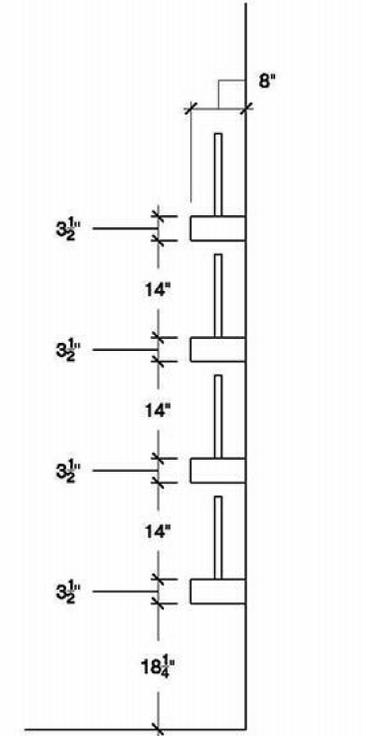
REVIEWED BY: MR

SHEET NO:

A-306B



INSTALLATION NOTE:
 WHEN APPLICABLE 'CUSTOM MADE SIMPLE' SIGN TO BE MOUNTED ABOVE HARDWARE BOXES.
 SEE ELEVATIONS FOR PLACEMENT AND MOUNTING INSTRUCTIONS.

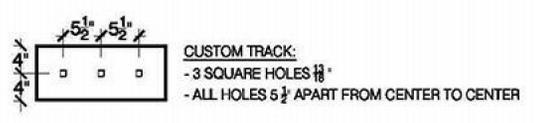
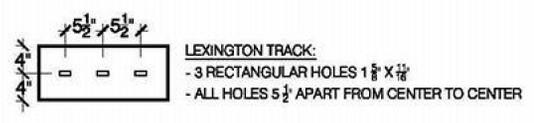
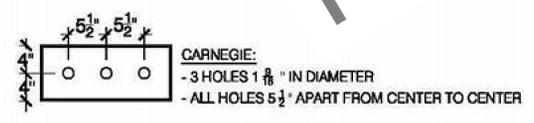
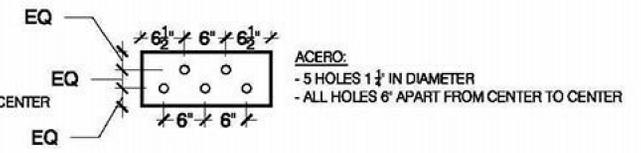
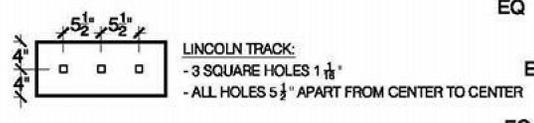
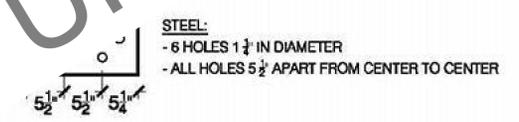
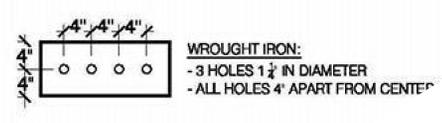
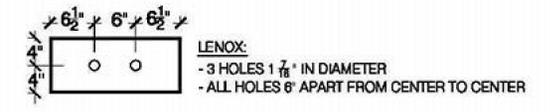
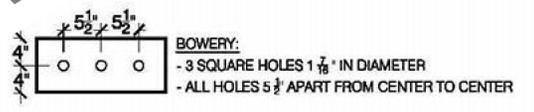
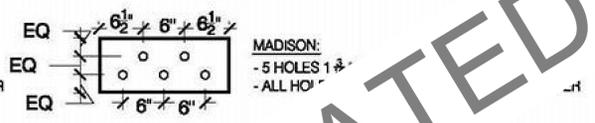
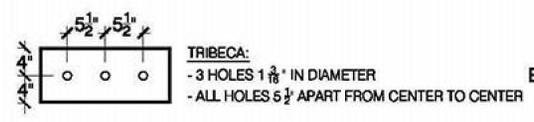


... WITH HOLES
 ... EACH HARDWARE
 ...
 BOX IS SECURED TO WALL WITH SCREWS THROUGH THE BACK OF THE BOX GC TO PROVIDE BLOCKING IN WALL BEHIND DISPLAY
 MDF INSERT AT BOTTOM OF BOX WITH HOLES THAT MATCH TOP INSERT

1 ELEVATION

2 SIDE ELEVATION

3 DETAILS



4 HARDWARE COLLECTIONS



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		11/11/2022	LL REVIEW SET



PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210
 AREA: 1,558 SF
 SHEET TITLE:

P400-3 MILLWORK
 DETAILS (PROVIDED BY
 OWNER)

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: RB
 REVIEWED BY: MR
 SHEET NO:



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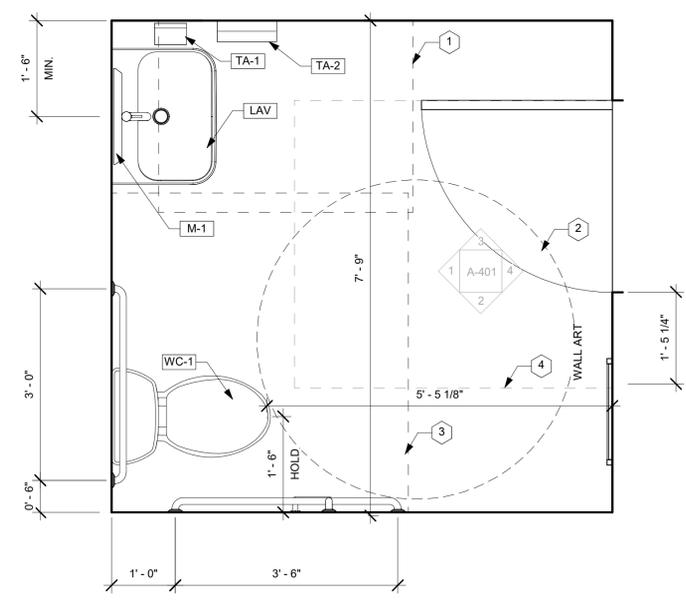
PROJECT LOCATION
 THE SHADE STORE
 1875 S BASCOM AVE,
 CAMPBELL, CA 95008

SPACE NO. 210
 AREA: 1,558 SF
 SHEET TITLE:

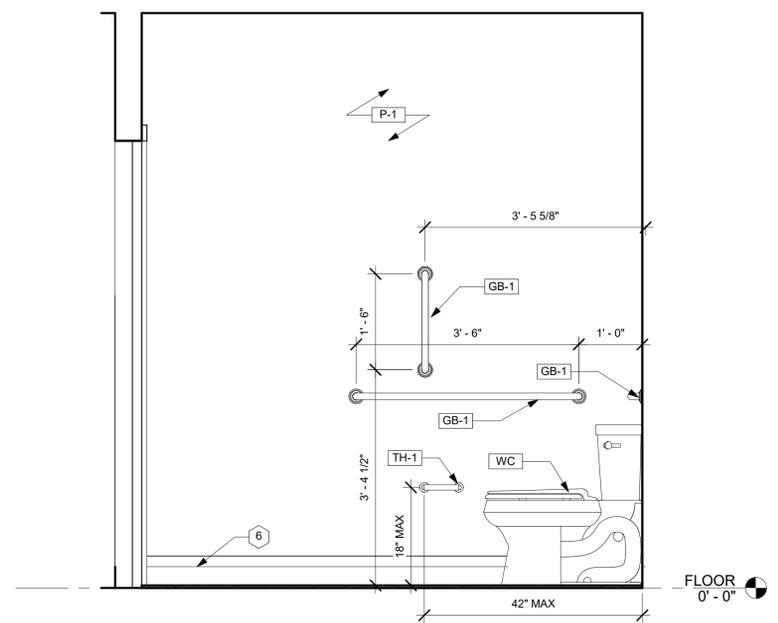
ENLARGED RESTROOM
 PLAN AND ELEVATIONS

PROJECT NO. 22-028
 SCALE: AS NOTED
 DRAWN BY: RB
 REVIEWED BY: MR
 SHEET NO:

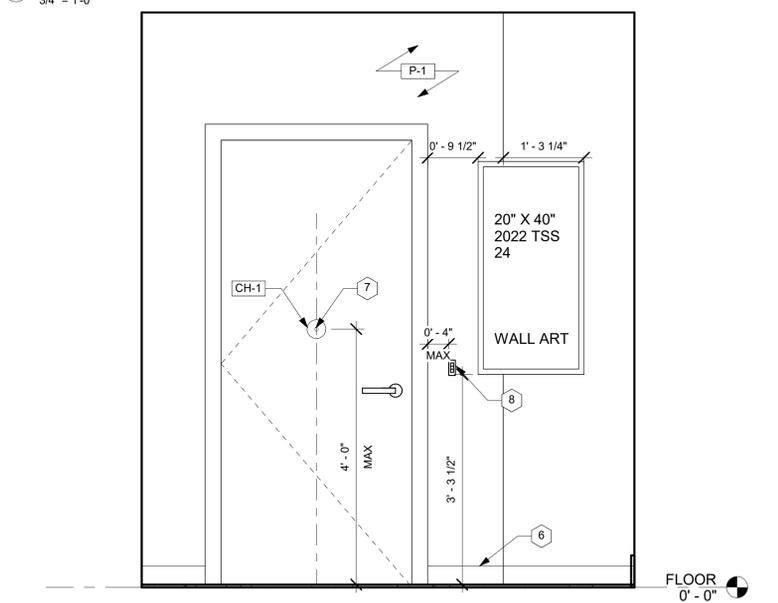
A-401



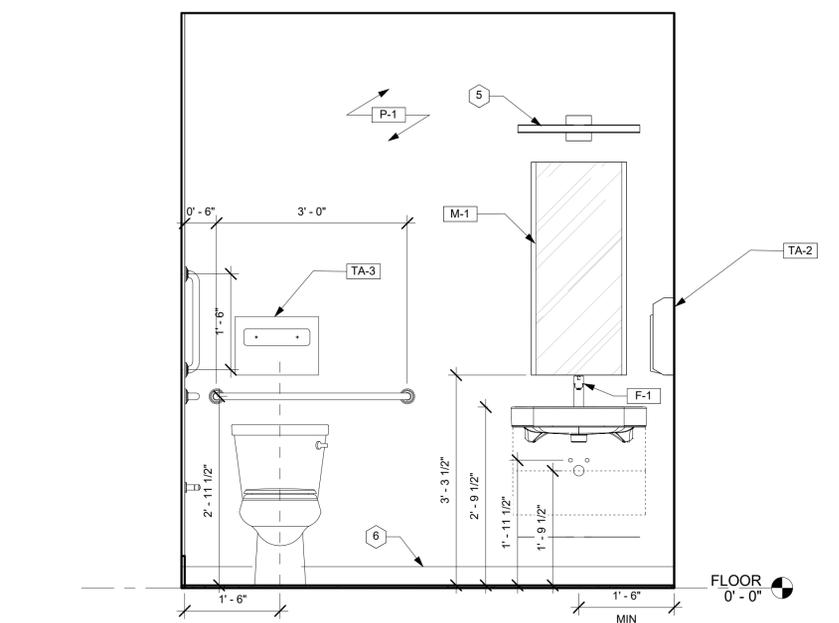
5 ENLARGED RESTROOM PLAN
 3/4" = 1'-0"



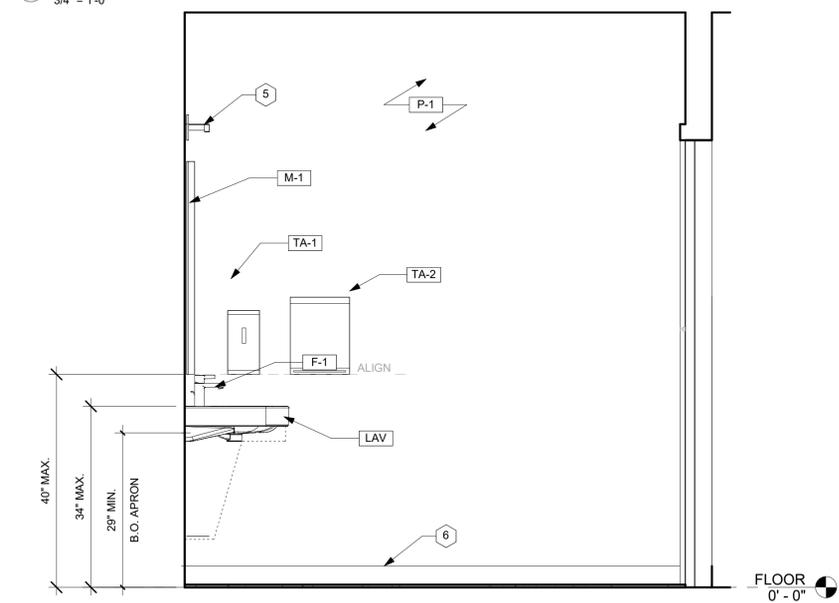
2 RESTROOM ELEVATION 2
 3/4" = 1'-0"



4 RESTROOM ELEVATION 4
 3/4" = 1'-0"



1 RESTROOM ELEVATION 1
 3/4" = 1'-0"



3 RESTROOM ELEVATION 3
 3/4" = 1'-0"

PLUMBING SCHEDULE						
SYMBOL	ITEM	SPEC	VENDOR	PART #	ACCESSORIES	NOTES
WC	ADA FLOOR MOUNTED TOILET	KOHLER HIGHLINE COMFORT HEIGHT TWO PIECE ELONGATED 28 GPD CHAIR HEIGHT TOILET, WHITE, KOHLER WLLWORTH HIGHLINE TOILET TRIP LEVER, MATTE BLACK; KOHLER LUSTRA ELONGATED TOILET SEAT K-4650, WHITE	KOHLER	K-3999-0 OR K-3999-RA-0	TRIP LEVER - K-9379-BL TOILET SEAT - K-4650	G.C. TO SUPPLY
LAV	ADA LAVATORY	DURAVIT HAPPY D WALL MOUNT CERAMIC BATHROOM SINK	SUPPLY.COM	2318650000		G.C. TO SUPPLY
F-1	FAUCET	SINGLE HANDLE BATHROOM FAUCET (BLACK)	DELTA	DELTA #559LF-BLMPU FAUCET WITH SINGLE HANDLE	.5 GPM AERATOR - RP73806	G.C. TO SUPPLY
M-1	MIRROR	FRAME-LESS RECTANGULAR 18"W X 40"H BEVELED MIRROR	LAMPS PLUS	STYLE# P1403		G.C. TO SUPPLY
TH-1	TOILET PAPER HOLDER	KOHLER KUMIN TOILET TISSUE HOLDER, MATTE BLACK	KOHLER	K-24546-BL		G.C. TO SUPPLY
GB-1	ADA GRAB BAR	KOHLER KUMIN ADA GRAB BAR, MATTE BLACK; LENGTH AS REQUIRED.	KOHLER	K-24549-BL; K-24551-BL; K-22824-BL		G.C. TO SUPPLY
TA-1	SOAP PUMP	COASTWIDE PROFESSIONAL J-SERIES AUTOMATIC HAND SOAP DISPENSER, 1200 ML, BLACK	STAPLES	CWJAS-B-CC		OWNER TO SUPPLY G.C. TO INSTALL
TA-2	PAPER TOWEL DISPENSER	ALPINE INDUSTRIES STAINLESS STEEL NICKEL BRUSHED C-FOLD MULTIFOLD PEPPER TOWEL DISPENSER	ALPINE INDUSTRIES	480-AN		G.C. TO SUPPLY G.C. TO INSTALL
TA-3	TOILET SEAT COVER DISPENSER	ASI 0477-SM-41- MATTE BLACK TOILET SEAT COVER DISPENSER- SURFACE MOUNTED	CHOICEBUILDERS OULUTIONS.COM	SKU: 10-0477-SM-41		G.C. TO SUPPLY G.C. TO INSTALL
CH-1	COAT HOOK	LIBERTY 2-1/32" SINGLE POST WALL HOOK, MATTE BLACK	HOME DEPOT	#B29527C-FB-C		G.C. TO SUPPLY G.C. TO INSTALL

KEY NOTES	
SYMBOL	NOTES
1	30" X 48" CLEARANCE @SINK STARTING @CENTERLINE OF TRAP
2	5'-0" TURNING RADIUS
3	56"X60" CLEARANCE @ ADA WATER CLOSET
4	DOOR CLEARANCE PER SHEET G-104
5	WALL SCONCE - SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION
6	T-1 TILE BASE. SEE FINISH PLAN FOR ADDITIONAL INFORMATION
7	SURFACE MOUNT HOOK
8	OCCUPANCY SENSOR
9	
10	
11	

GENERAL NOTES	
•	INSULATE WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS.
•	PIECES OF WALL ART. G.C. TO COORDINATE WITH CLIENT FOR ADDITIONAL INFORMATION.