

Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

March 14, 2023

The Community Development Director will be rendering a decision on the following project.

Project Address: 1184 Lovell Avenue

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): STACC

File No: PLN-2022-157

APN: 406-06-050

Applicant: Jack Lin

Property Owner: Michael Meng

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow a 1,056 square foot addition to an existing singlefamily dwelling.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **March 18, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 27, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español



GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAILS OR SPECIFY MATERIALS AND/OR MANUFACTURERS.
- THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUT-SHEETS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.
- FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE.
- ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE CONSTRUCTION DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER/ARCHITECT FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), NATIONAL ELECTRICAL CODE (NEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS, HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION.
- ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.
- NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
- THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWS SUCH STORAGE TO BE PLACED.
- GENERAL CONTRACTOR AND OWNER ARE REQUIRED TO SIGN THE STRUCTURAL SPECIAL INSPECTION FORM OF THE EXPOXY HOLDOWN ANCHOR BOLTS BEFORE THE BUILDING PERMIT IS ISSUED BY CITY.
- THE LIST OF DEFERRED ITEMS WILL PROVIDED ON THE COVER SHEET. THE DEFERRED ITEMS SHALL NOT BE CONSTRUCTED OR INSTALLED UNTIL REVIEWED AND APPROVED BY CITY.
- UNDER SPECIAL INSPECTION TITLE ALL WORK REQUIRING SPECIAL INSPECTION PER 2019 CBC CHAPTER R106.1.1 ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
- RETROFIT HOLDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S).

SCOPE OF WORK

- 1st FL. REAR ADDITION 1,056 SF. INCLUDES: (N) BEDROOM #2, (N) BATH #2, (N) DINING RM. AND (N) FAMILY RM.
- 1st FL. EXISTING HOUSE WITHOUT.
- DEMO. WALL OF EXISTING KITCHEN FOR ADDITION.
- NEW EXTERIOR FINISHED STUCCO FOR ADDITION AND PAINT TO MATCH EXISTING.
- RELATED ELECTRICAL, MECHANICAL AND PLUMBING WORK.
- (E) GAS METER TO REMAIN AND (E) ELECTRICAL METER 100 AMP TO REMAIN.
- (N) TANK W.H. IN GARAGE AND (E) WALL FURNACE TO REMAIN.
- (N) AC LOCATED AT THE UP-RIGHT CORNER BESIDES SIDEYARD SETBACK.
- (N) HEAT PUMP FOR NEW REAR ADDITION @ATTIC.
- (N) FIRE HYDRANT SYSTEMS FOR EXISTING AND NEW BUILDING.

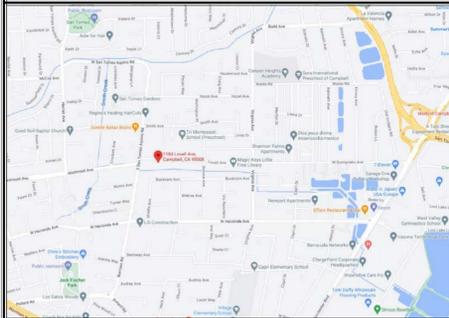
SYMBOLS

- | | | | |
|--|----------------------|--|---------------------|
| | COLUMN GRID LINE NO. | | EXISTING DOOR |
| | SECTION NO. | | DOOR NO. |
| | SECTION SHEET NO. | | DOOR SCHEDULE |
| | ELEVATION NO. | | INTERIOR ELEVATIONS |
| | ELEVATION SHEET NO. | | INDICATOR |
| | DETAIL NO. | | ROOM NAME |
| | DETAIL SHEET NO. | | FLOOR FINISH |
| | REVISION NO. | | |

BLDG DATA

SITE AREA:	0.2467	ACRES
	11,747	SQ. FT.
EXISTING BUILDING FLOOR AREA		
FLOOR AREA: 1st FL	825	SQ. FT.
FRONT PORCH (UNCOUNTED)	61	SQ. FT.
GARAGE (COUNTED)	274	SQ. FT.
TOTAL EXISTING FLOOR:	1,099	SQ. FT.
PROPOSED ADDITION FLOOR AREA:		
ADDITION AREA: (REAR)	1,056	SQ. FT.
TOTAL PROPOSED FLOOR	1,056	SQ. FT.
MAX. ALLOWED FLOOR AREA		
11,747 X 45% =	5,286.15	SQ. FT.
TOTAL FLOOR AREA (GARAGE INCLUDED)		
ADDITION AREA:	1,056	SQ. FT.
EXISTING:	1,099	SQ. FT.
1,056 + 1,099 =	2,155	SQ. FT.
F.A.R.: 2,155 / 11,747 =	18.35	% < 45%
(E) FRONT PORCH	61	SQ. FT.
2,155 + 61 =	2,216	SQ. FT.
COVERAGE: 2,216 / 11,747 =	18.86	% < 40%
LANDSCAPE AREA:	7,048	SQ. FT.
LANDSCAPING COVERAGE:	60	%
APN:	406-06-050	
ZONE:	R-1-6	
OCCUPANCY:	R-3/U	
CONSTRUCTION TYPE:	VB	
STORY (IES):	1	
AUTO. FIRE SPRINKLER:	YES	
DESIGN COMPLY WITH :		
CAMPBELL MUNICIPAL CODE.		
2019 CBC Ed.		
2019 CRC Ed.		
2019 CFC Ed.		
2019 CMC Ed.		
2019 CPC Ed.		
2019 CALIFORNIA ELECTRICAL CODE Ed.		
2019 CALIFORNIA TITLE 24 ENERGY STANDARDS		
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE Ed.		

VICINITY MAP



SHEET INDEX

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A2.1	PROPOSED 1ST FLOOR PLAN
A3.1	(E) & (N) FRONT ELEVATIONS
A3.2	(E) & (N) REAR ELEVATIONS
A3.3	(E) & (N) RIGHT ELEVATIONS
A3.4	(E) & (N) LEFT ELEVATIONS
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A3.6	SECTION
SP	SITE PHOTOGRAPH
SCCFC	SANTA CLARA COUNTY FIRE COMMENT
SCCFD	FIRE STANDARD DETAILS & SPECIFICATIONS

MR. MICHAEL MENG ADDITION & REMODEL

1184 IOVELL AVE., CAMPBELL, CA 95008-5920

Waste Management Standard Notes

- Provide **Waste Management** standard notes demonstrating a 65% reduction in construction waste, including:
- Construction wash-out water from concrete, mortar, tile, taping, and painting shall be done in a containment pool either portable or in a lined evaporative pit. Wash-out shall not enter the storm water system.
 - Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain paints, solvents, glues, taping compound, food products, or easily recyclable discards such as bottles, cans, plastics, or paper.
 - Remaining trash shall be limited to wood, drywall, roofing, and assorted metals and shall be covered with a waterproof tarp.
 - Trash shall be separated at an approved bay area disposal site such as Guadalupe Recycling. All trash is to be quickly hauled off site.
 - Trash shall be kept and keep with the permit documents, proof of recycle and disposal of the job site trash will be checked periodically and prior to final inspection or WVCR will deliver a roll-off debris box and sort the trash off site.

BE CONSIDERATE OF YOUR NEIGHBORS DURING YOUR CONSTRUCTION PROJECT.

HOURS OF CONSTRUCTION:
8 A.M. TO 5 P.M. Monday thru Friday
8 A.M. TO 12 P.M. Saturday
No construction Sundays & Holidays
(Contact the Building Inspection Division at (408) 866-2150)

NOISE LIMITS:
No environmental disruptive noises over 50dBA will be allowed. As common courtesy, please keep noise volume at a level that does not disturb neighbors.

VEHICLE PARKING:
No double parking on residential streets. Do not block adjacent driveways. Keep sidewalk clear and clean. Material storage not permitted in street.

LITTER:
Cover up litter and debris so it will not scatter to neighboring yards. Use trash receptacles on site. Keep streets and sidewalks clean for public use.

PLEASE POST ON JOB SITE. VIOLATORS MAY BE CITED!

WORKING HOUR.

8~5 Mon.-Fri.
9~3 Sat.
NO WORK ON SUNDAYS OR HOLIDAYS.

City of Campbell
WASTE MANAGEMENT PLAN

Project Address: _____
Permit No. _____

WMP REQUIRED BECAUSE PROJECT IS A

- Demolition ≥ 500 Sq. Ft.
- Construction/Remodel ≥ 2500 sq. ft.
- Construction/Remodel ≥ 2000 sq. ft.

INFORMATION AND SUPPORT:
City of Campbell
Public Works Dept.
701 N. 1st St.
Campbell, CA 95008
Mon.-Fri. 8:00 AM - 5:00 PM
Public Works Dept. - 408 866 2150

SECTION ONE: PERMIT APPLICATION

This Waste Management Plan (WMP) must be completed and approved to obtain a building permit. Separate WMPs must be completed for demolition and construction of the same site unless the Building Department requires only one permit.

Step 1: PROJECT INFORMATION - FILL OUT THE FOLLOWING INFORMATION

Applicant's Name: _____
Contact Phone Number: _____ Fax Number: _____
Check one: Owner Architect Builder Owner/Builder Other _____
Contractor: _____ Contact Phone Number: _____
Project Type: New Remodel Addition Demolition
Project Square Footage: _____
Project Description: _____
Estimated Completion Date: _____

Step 2: WASTE MANAGEMENT REQUIREMENTS

REQUIREMENTS: You are required to recycle or re-use 45% of all construction and demolition debris. I understand that I am required by the City of Campbell Municipal Code Section 6.12 to salvage, reuse, or recycle a minimum of 65% of all construction and demolition debris (C.D.). (initial)

J:\FORMS\Templates\Administrative\Waste Management Plan Form.docx

I understand that failure to meet the requirements of Municipal Code Section 6.12 shall constitute a misdemeanor, and shall be punishable by imprisonment in the county jail for up to 6 months, or a fine of up to \$1,000, or both. In addition, a stop order on the job or a delay of final approval may occur. (initial)

At the completion of this project, or more frequently if required, all receipts or other equivalent documentation from salvage, recycling and waste facilities will be provided to the City of Campbell Public Works Department and I understand that I may not be issued my final inspection unless all receipts and documentation are submitted to the City of Campbell Public Works Department. (initial)

Step 3: RECYCLING CONSTRUCTION AND DEMOLITION DEBRIS - ANSWER THE QUESTIONS BELOW

SAVING AND REUSE:
What materials will be salvaged? _____
Salvage Company (if applicable): _____
What materials will be reused on site? _____
How will this be documented? _____

MATERIAL TRANSPORTATION:
Will you be using a hauling company or hauling the material yourself? (Check one)
 West Valley Collection & Recycling Co. (WVCR) Self Haul
* Permit Applicant is required to contact WVCR (408-283-9250) to request construction and demolition debris box service.
All original receipts, weight tags and documentation for salvage, recycling, and disposal must be submitted.
 On Completion of project Other _____
DPW Approval: _____ Date: _____

SECTION TWO: FINAL REPORT APPROVAL

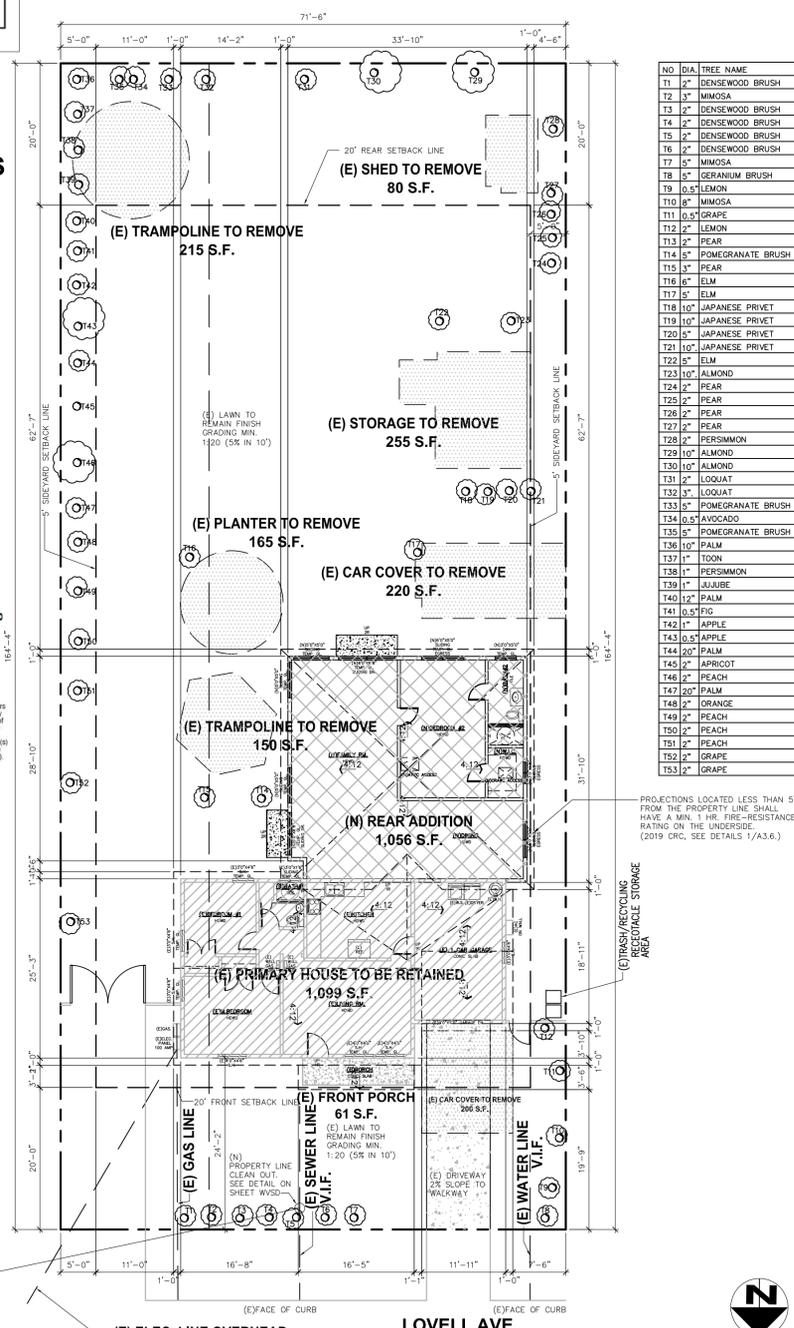
Please complete this section and have it approved by the Public Works Department no later than 30 days after completion of the demolition or construction project.
This section must be completed and signed, and all original receipts or other supporting documentation must be attached in order to receive final project approval.
 All original receipts or equivalent documentation for salvage, recycling, and disposal are hereby attached.
 This project has recycled at least 45% of all construction and demolition debris generated.
Applicant: _____ Date: _____
DPW Approval: _____ Date: _____

J:\FORMS\Templates\Administrative\Waste Management Plan Form.docx

PLAN REVIEW COMMENTS FROM SCC FIRE DEP AS NOTES:

Plan Review Comments:

- Fire Hydrant Systems Required:** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-3 and Group U occupancies equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 800 feet. (CFC Section 907.5.1). The residence exceeds the 400' maximum distance from the hydrant to the farthest exterior corner of the structure. (Fire sprinkler installation throughout the structure may be proposed in lieu of hydrant)
- Construction Site Fire Safety:** (As Noted on Sheet A1.1) All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.



NO.	DIA.	TREE NAME
T1	2"	DENSEWOOD BRUSH
T2	3"	MIMOSA
T3	2"	DENSEWOOD BRUSH
T4	2"	DENSEWOOD BRUSH
T5	2"	DENSEWOOD BRUSH
T6	2"	DENSEWOOD BRUSH
T7	2"	MIMOSA
T8	5"	GERANIUM BRUSH
T9	0.5"	LEMONGRASS
T10	8"	MIMOSA
T11	0.5"	GRAPE
T12	2"	LEMONGRASS
T13	2"	PEAR
T14	5"	POMEGRANATE BRUSH
T15	3"	PEAR
T16	6"	ELM
T17	5"	ELM
T18	10"	JAPANESE PRIVET
T19	10"	JAPANESE PRIVET
T20	5"	JAPANESE PRIVET
T21	10"	JAPANESE PRIVET
T22	5"	ELM
T23	10"	ALMOND
T24	2"	PEAR
T25	2"	PEAR
T26	2"	PEAR
T27	2"	PEAR
T28	2"	PERSIMMON
T29	10"	ALMOND
T30	10"	ALMOND
T31	2"	LOQUAT
T32	3"	LOQUAT
T33	5"	POMEGRANATE BRUSH
T34	0.5"	AVOCADO
T35	5"	POMEGRANATE BRUSH
T36	10"	PALM
T37	1"	TOON
T38	1"	PERSIMMON
T39	1"	JUJUBE
T40	12"	PALM
T41	0.5"	PECAN
T42	1"	APPLE
T43	0.5"	APPLE
T44	20"	PALM
T45	2"	APRICOT
T46	2"	PEACH
T47	20"	PALM
T48	2"	ORANGE
T49	2"	PEACH
T50	2"	PEACH
T51	2"	PEACH
T52	2"	GRAPE
T53	2"	GRAPE

CONTRACTOR:
T.B.D.

DRAFTER
JACK LIN
CSLB #1093710
EXPIRED: 07/31/2024
CELL: (408) 218-0587
EMAIL: fu333@yahoo.com
Jack Lin
SIGNED ON 02-13-23

OWNER:
MR. MICHAEL MENG
TEL: (669) 203-4241
EMAIL: mengm@yahoo.com

MR. MICHAEL MENG
ADDITION ONLY
1184 IOVELL AVE.
CAMPBELL, CA 95008-5920

TITLE SHEET & SITE PLAN

DATE: 04/05/22

JOB NO. _____

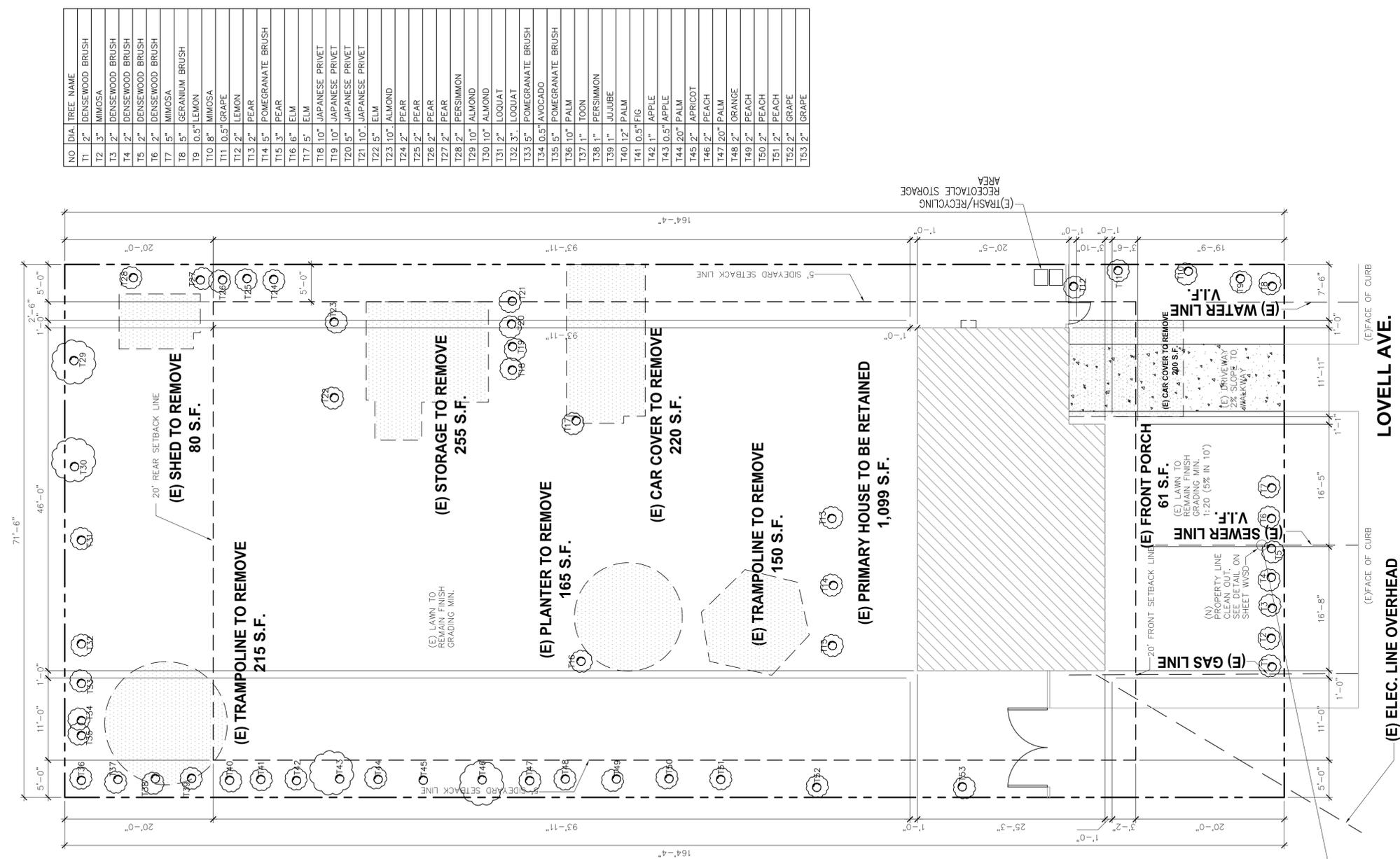
ISSUE & REVISION

DATE	REVISION
11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT
03/27/23	FIRE DETAILS

SHEET NO. **A1.1**

DRAWN BY: JL

SITE PLAN
SCALE: 1/12" = 1'-0"



NO	DIA.	TREE NAME
T1	2"	DENSEWOOD BRUSH
T2	3"	MIMOSA
T3	2"	DENSEWOOD BRUSH
T4	2"	DENSEWOOD BRUSH
T5	2"	DENSEWOOD BRUSH
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T8	5"	SERANUM BRUSH
T9	0.5"	LEMON
T10	8"	MIMOSA
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T12	2"	LEMON
T13	2"	PEAR
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T15	3"	PEAR
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T42	1"	APPLE
T43	0.5"	APPLE
T44	20"	PALM
T45	2"	PEACH
T46	2"	PEACH
T47	20"	PALM
T48	2"	ORANGE
T49	2"	PEACH
T50	2"	PEACH
T51	2"	PEACH
T52	2"	GRAPE
T53	2"	GRAPE

LEGEND

- PROPERTY LINE
- ROOF LINE
- SETBACK LINE
- EXISTING
- ACCESSORY STRUCTURE TRAMPOLINE TO REMOVE
- STORM WATER DRAINAGE
- WATTLES, STRAW AND FILTERS

STORM WATER MANAGEMENT NOTE:
 WATER SHALL BE FILTERED BY USE OF FIBER ROLL/WATTLES, SILT FENCES, ETC. AROUND THE AREA OF PROPOSED WORK &/OR RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
 (PER CALIF. GREEN SEC. 4106.2) WATER WILL NOT BE DIRECTED TO NEIGHBORING PROPERTIES OR TO THE PUBLIC STORM SYSTEM. INCLUDE WASH OUT AND TRUCK TIRE WASH PROVISIONS. UPON CONSTRUCTION COMPLETION, THE HOME'S WATER RETENTION PLAN SHALL USE ROOM OUTLETS AND DOWNSPOUTS TO DISCHARGE WATER INTO DRAINAGE PIPES THAT TERMINATE INTO DRYWELLS OR POP-UP EMITTERS OR RETENTION BASINS LOCATED IN THE MIDDLE OF THE FRONT AND/OR BACK YARDS.

NOTE FOR PROPERTY LINE CLEAN OUT: (W.V.S.D.) HAS REQUIRED A PROPERTY LINE CLEAN OUT. THE SEWER LINE MODIFICATION WILL BE REQUIRED INSPECTION FROM WUSD AND THE CITY OF CAMPBELL.

(E) SITE PLAN
 SCALE : 1/8" = 1'-0"



CONTRACTOR:
T.B.D.

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 CSLB #1093710
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 CELL: (408) 218-0587
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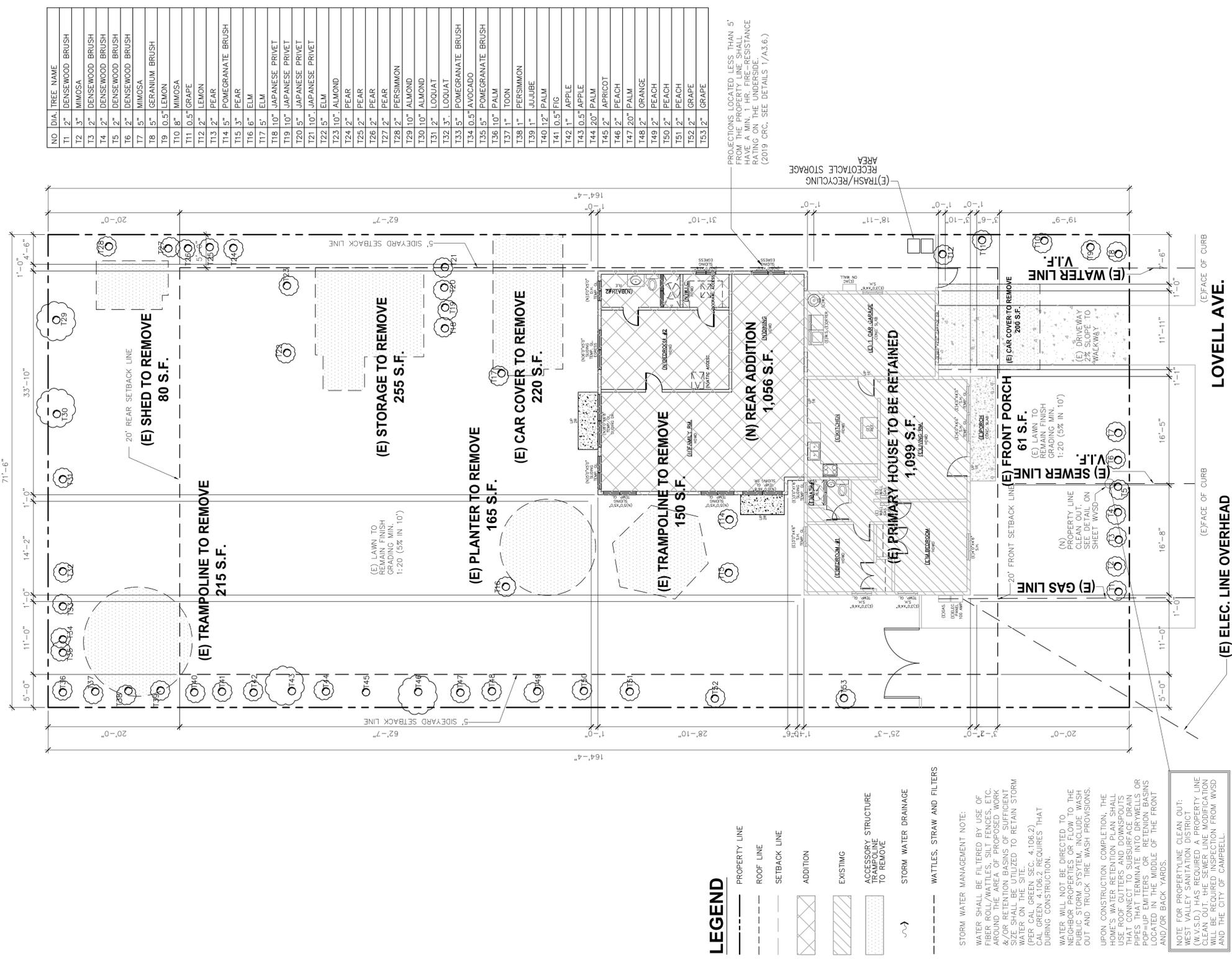
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ADDITION ONLY
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CAMPBELL, CA 95008-5920

EXISTING SITE PLAN REFERENCE

DATE:	04/05/22
JOB NO.	
ISSUE & REVISION	
11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

SHEET NO.
A1.2
 DRAWN BY: JL



2. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

(N) SITE PLAN
 SCALE : 1/8" = 1'-0"

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NEW SITE PLAN REFERENCE

DATE: 04/05/22

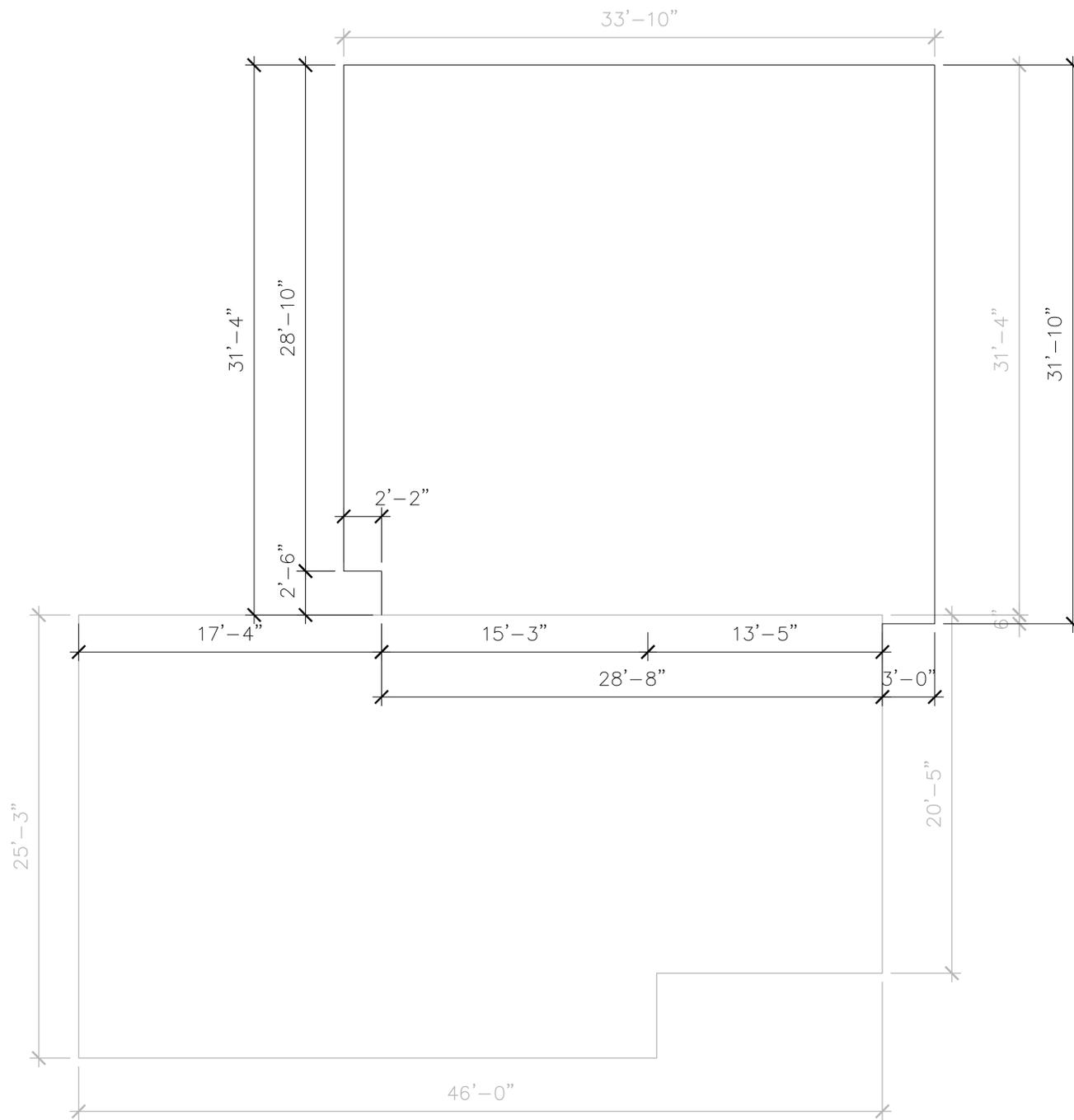
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ISSUE & REVISION

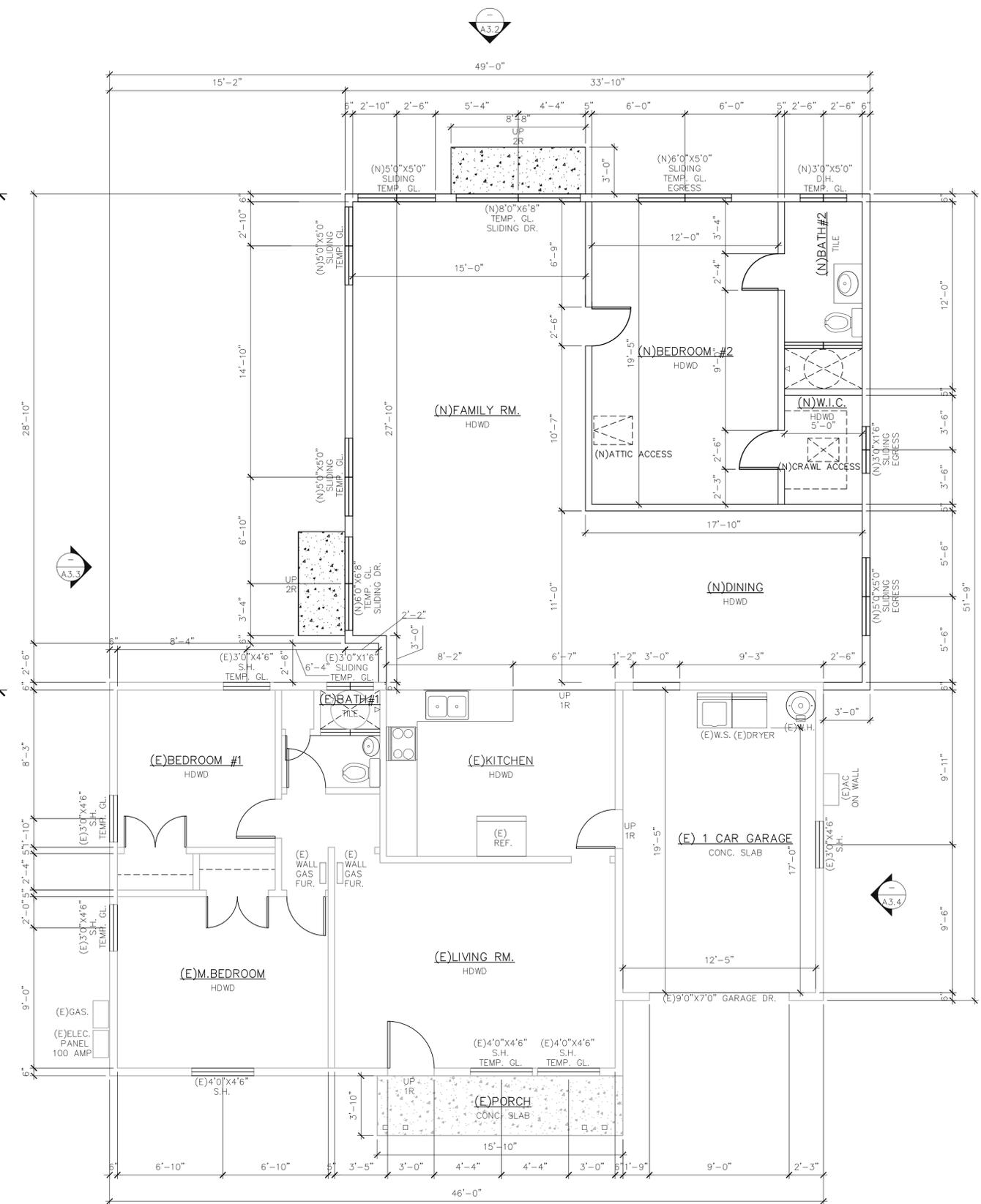
11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

SHEET NO.
A1.3

DRAWN BY: JL



ALL EXISTING EXTERIOR WALLS' LENGTH = 142'-6"
 EXISTING EXTERIOR WALL'S LENGTH COVERED BY ADDITION = 28'-8"
 $28'-8" / 142'-6" = 344" / 1,710" = 20.12\%$



(N) 1ST FLOOR PLAN
 SCALE : 1/4" = 1'-0"



CONTRACTOR:

T.B.D.

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1184 LOVELL AVE.
CAMPBELL, CA 95008-5920

PROPOSED
1st
FLOOR
PLAN

DATE: 04/05/22

JOB NO.

ISSUE & REVISION

DATE	REVISION
11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

SHEET NO.

A2.1

DRAWN BY: JL

CONTRACTOR:

T.B.D.

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1184 LOVELL AVE.
CAMPBELL, CA 95008-5920**

**(E) & (N)
FRONT
ELEVATIONS**

DATE: 04/05/22

JOB NO.

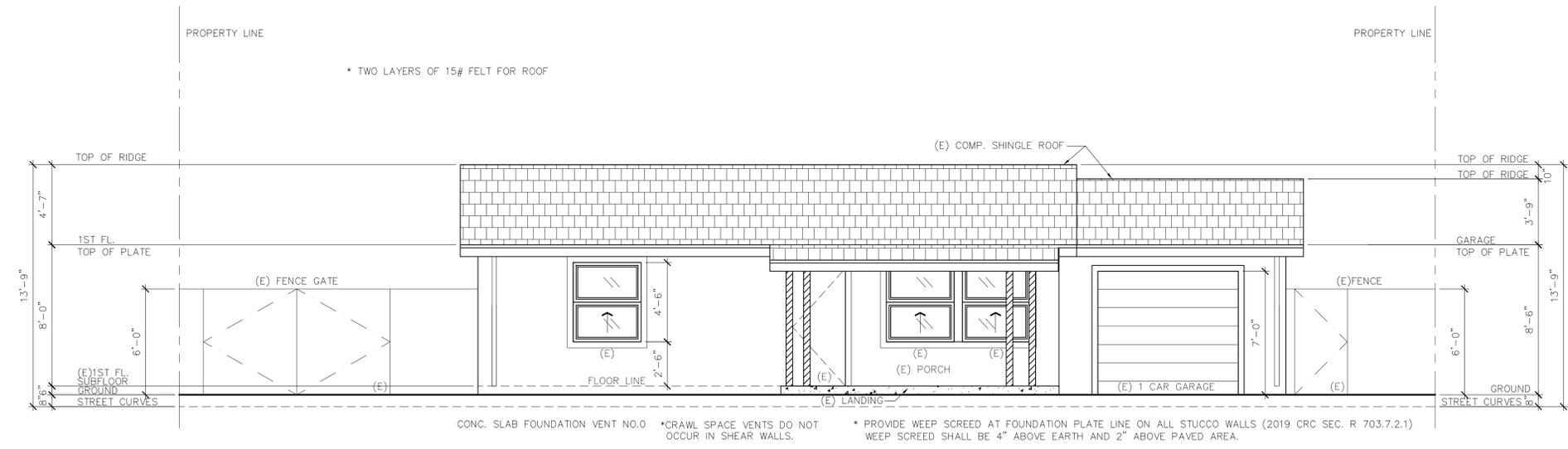
ISSUE & REVISION

11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

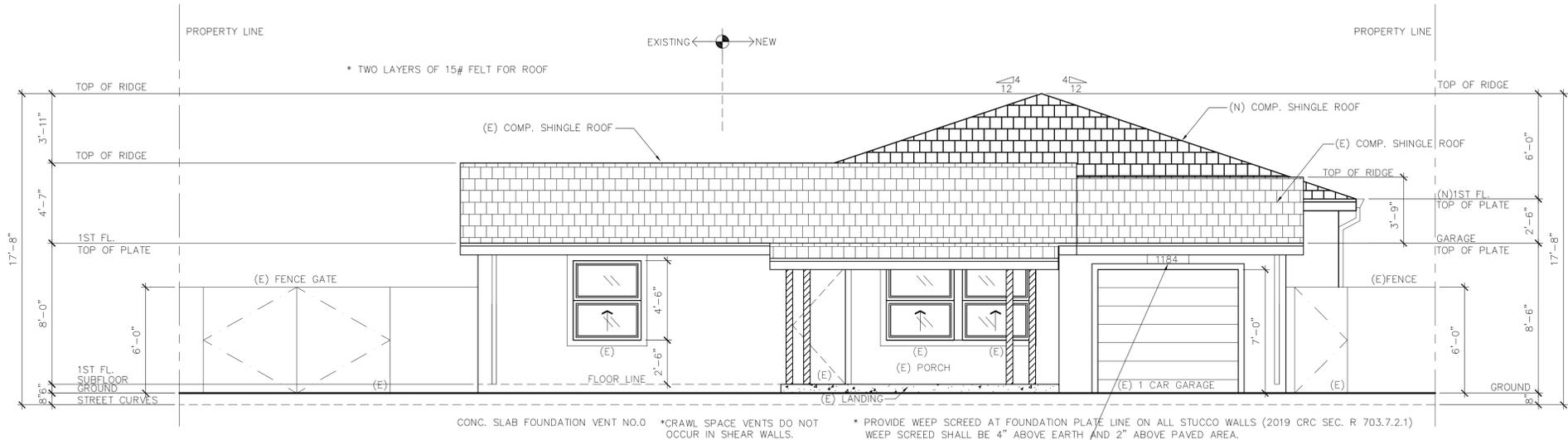
SHEET NO.

A3.1

DRAWN BY: JL



1 (E) NORTH ELEVATION (FRONT)
1/4"=1'-0"



2 (N) NORTH ELEVATION (FRONT)
1/4"=1'-0"

4. Address identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

CONTRACTOR:

T.B.D.

DRAFTER
JACK LIN
CSLB #1093710
EXPIRED: 07/31/2024
CELL: (408) 218-0587
EMAIL: fu333@yahoo.com

Jack Lin
SIGNED ON 02-13-23

OWNER:
MR. MICHAEL MENG
TEL: (669) 203-4241
EMAIL: mengm@yahoo.com

**MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920**

**(E) & (N)
REAR
ELEVATIONS**

DATE: 04/05/22

JOB NO.

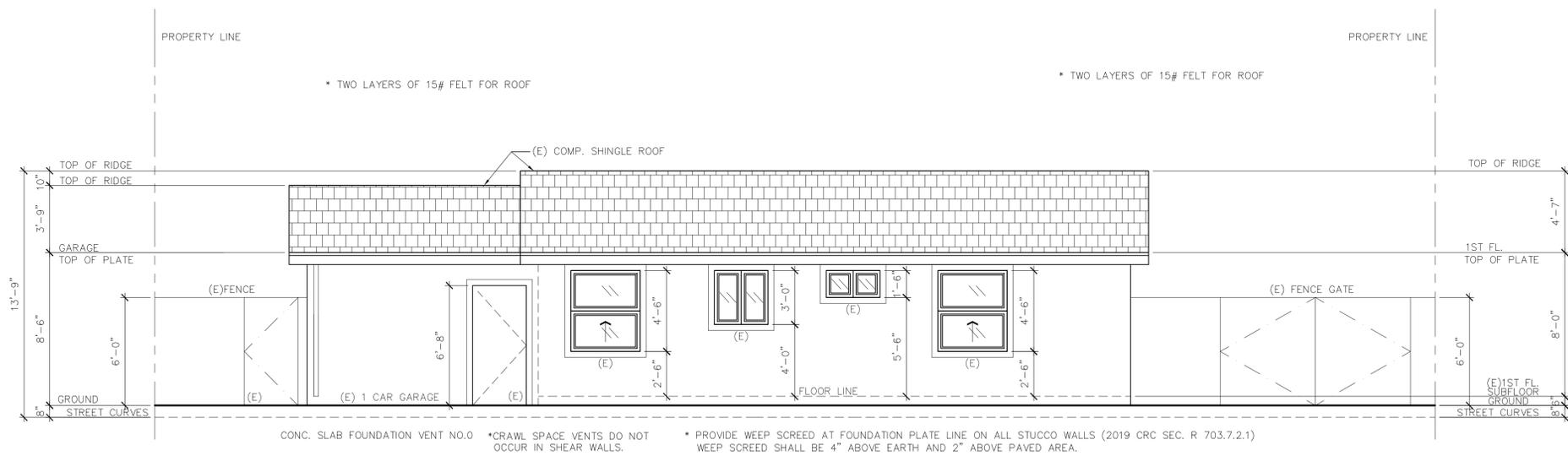
ISSUE & REVISION

11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

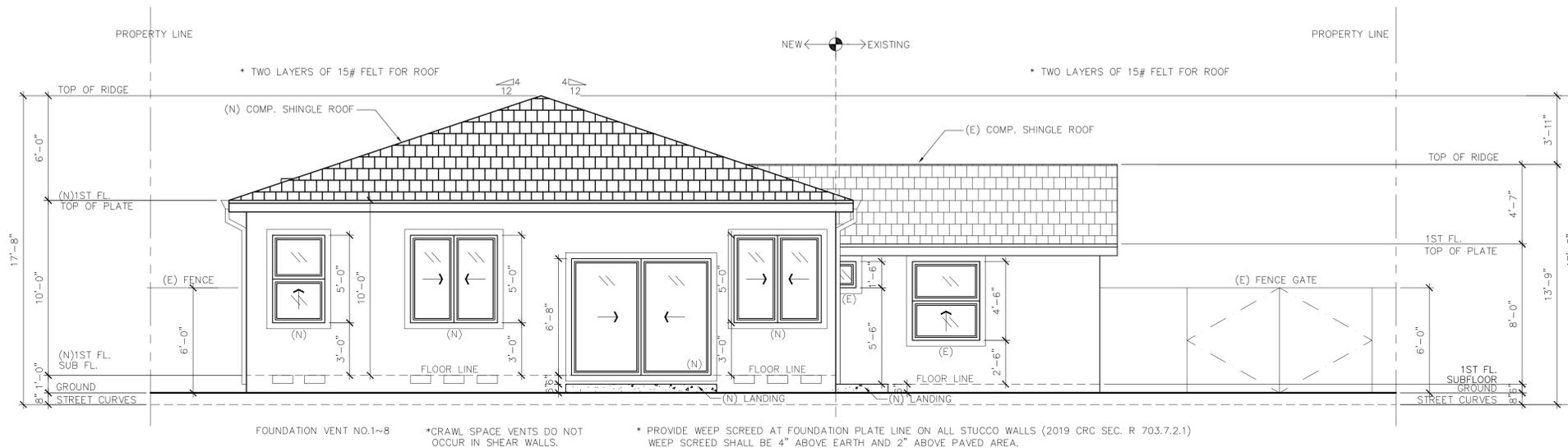
SHEET NO.

A3.2

DRAWN BY: JL



1 1/4"=1'-0" **(E) SOUTH ELEVATION (REAR)**



2 1/4"=1'-0" **(N) SOUTH ELEVATION (REAR)**

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**(E) & (N)
LEFT
ELEVATIONS**

DATE: 04/05/22

JOB NO.

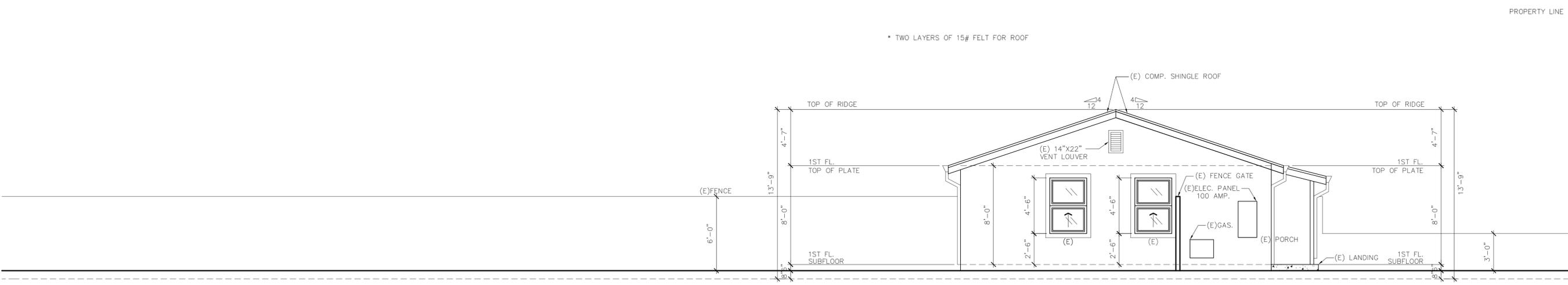
ISSUE & REVISION

11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

SHEET NO.

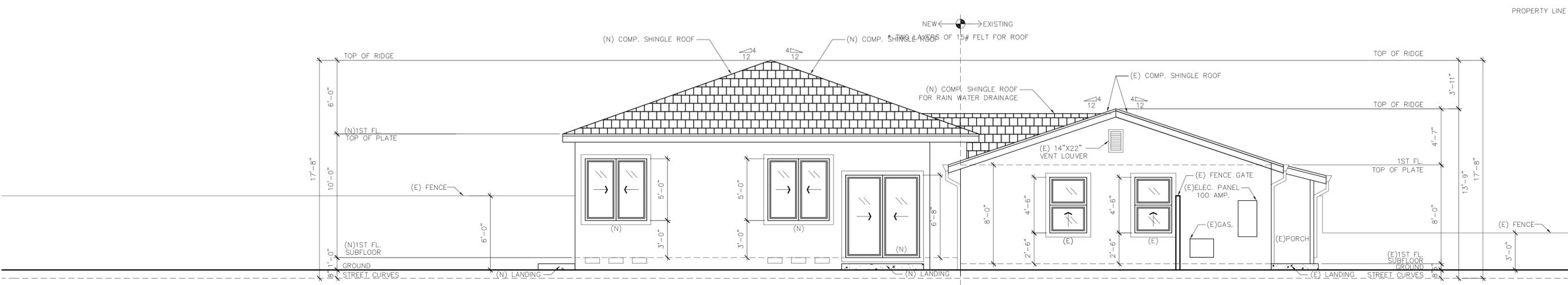
A3.3

DRAWN BY: JL



FOUNDATION VENT NO.9~12 *CRAWL SPACE VENTS DO NOT OCCUR IN SHEAR WALLS. * PROVIDE WEEP SCREED AT FOUNDATION PLATE LINE ON ALL STUCCO WALLS (2019 CRC SEC. R 703.7.2.1) WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.

1 1/4"=1'-0" **(E) EAST ELEVATION (LEFT)**



FOUNDATION VENT NO.9~14 *CRAWL SPACE VENTS DO NOT OCCUR IN SHEAR WALLS. * PROVIDE WEEP SCREED AT FOUNDATION PLATE LINE ON ALL STUCCO WALLS (2019 CRC SEC. R 703.7.2.1) WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.

2 1/4"=1'-0" **(N) EAST ELEVATION (LEFT)**

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**(E) & (N)
ROOF
PLANS**

DATE: 04/05/22

JOB NO.

ISSUE & REVISION

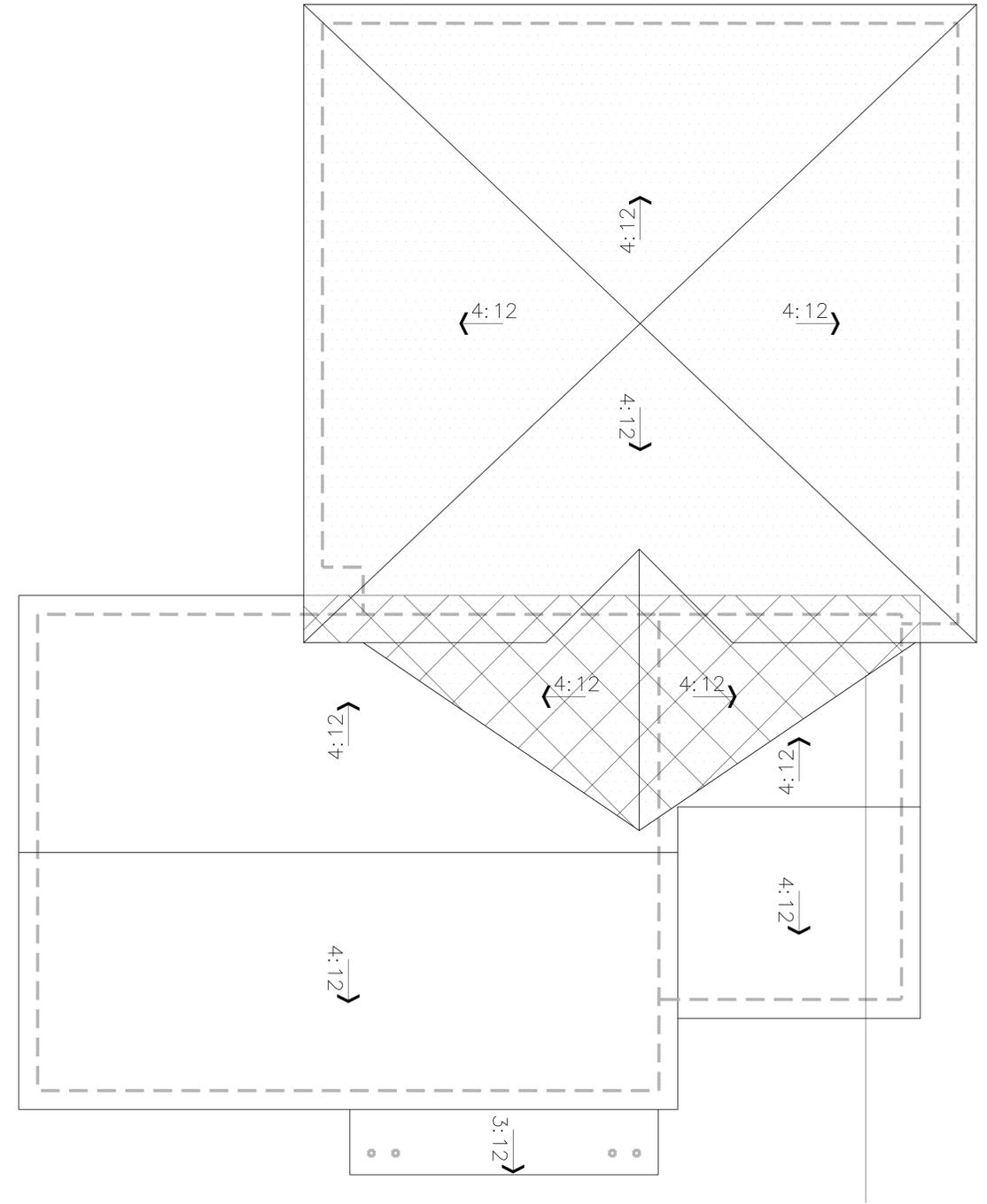
11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

SHEET NO.

A3.5

DRAWN BY: JL

(N) ROOF 1,359 SF.

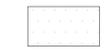


(N) ROOF COVER (E) ROOF 228 SF.

228 / 1,302 = 17.51 %

NOTES

- ALL ROOF'S PITCH ARE 4:12.
- ALL ROOF MATERIAL ARE COMP. SHINGLE ROOF.



(N) ROOF

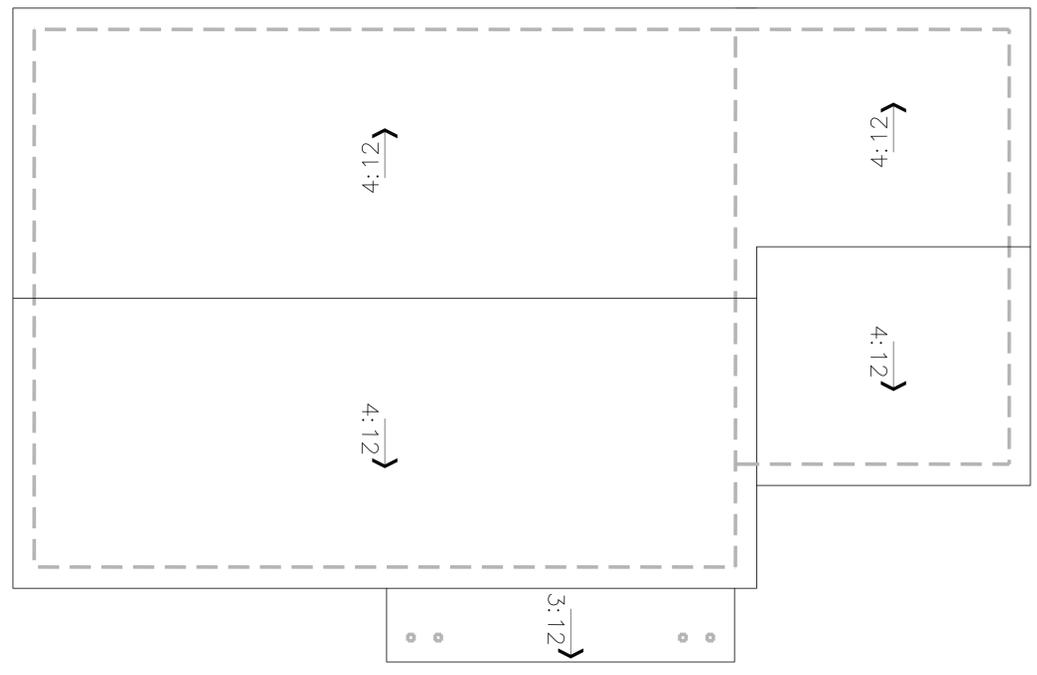


(N) ROOF COVER (E) ROOF



(N) ROOF REF.

(E) ROOF 1,302 SF.



NOTES

- ALL ROOF'S PITCH ARE 4:12.
- ALL ROOF MATERIAL ARE COMP. SHINGLE ROOF.



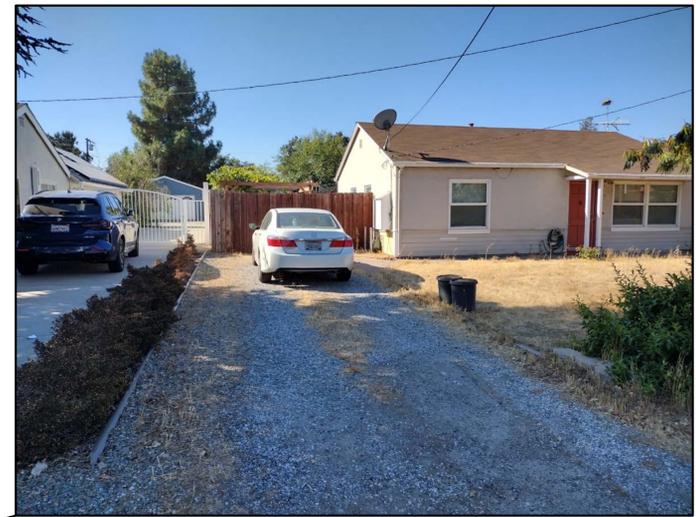
(E) ROOF REF.



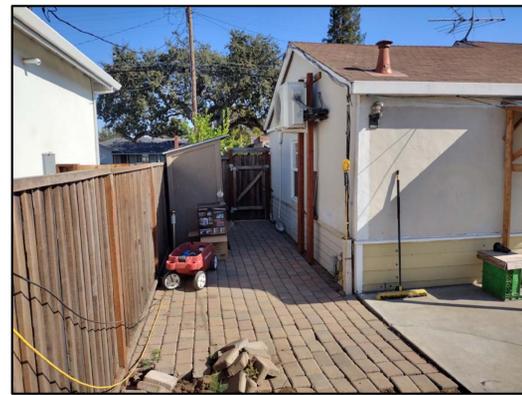
1



2



3



4



SITE



6



5



7



8



9



C



A



B

CONTRACTOR:

T.B.D.

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SITE PHOTOGRAPHY

DATE: 04/05/22

JOB NO.

ISSUE & REVISION

DATE	ISSUE & REVISION
11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

SHEET NO.

SP

DRAWN BY: JL

PLAN REVIEW No. 22 4478
 BLDG PERMIT No.

DEVELOPMENTAL REVIEW COMMENTS

Plans and Scope of Review:

This project shall comply with the following:

The California Fire (CFC) and Building (CBC) Code, 2019 edition, as adopted by the City of Campbell Municipal Code (CMC) and California Code of Regulations (CCR).

The scope of this project includes the following:

Proposed 1,056 SF addition to an existing 1,099 SF one-story single-family residence with attached garage.

Plans Status:

Plans are NOT APPROVED. Revise and resubmit drawings and provide a response letter addressing comments on this plan review. All comments having BOLD Font require correction prior to approval.

Plan Review Comments:

- 1. Fire Hydrant Systems Required:** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, onsite fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-3 and Group U occupancies equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet. [CFC, Section 507.5.1]. The residence exceeds the 400' maximum distance from the hydrant to the farthest exterior corner of the structure. (Fire sprinkler installation throughout the structure may be proposed in lieu of hydrant)
- 2. Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

City	PLANS	SPECS	NEW	RMDL	AS	OCCUPANCY	CONST. TYPE	Appl./clientName	DATE	PAGE
CBL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	R-3/U	VB	Jack Lin	12/20/2022	1 OF 2
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION		PROJECT TYPE OR SYSTEM					
1	2155		Residential Development		Addition					
NAME OF PROJECT			LOCATION							
SFR - MENG RESIDENCE			1184 Lovell Ave Campbell							
TABULAR FIRE FLOW		REDUCTION FOR FIRE SPRINKLERS	REQUIRED FIRE FLOW @ 20 PSI		BY					
1000			1000		Ip, Kenny					

Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga.

January 25, 2023

Jack Lin
 6805 Westmoor Wy
 San Jose, CA 95129

Reference: 1184 Lovell Ave., Campbell, CA
 APN: 406-06-050

Dear Mr. Lin:

Per a request, we conducted a computer simulation to determine fire flow availability at the referenced location. The purpose of the simulation is to determine if 1,000 GPM is available. The table below gives the results of the computer simulation, which are valid for one year from the date of the simulation. Elevations are interpolated from United States Geological Survey contours.

Hyd. No.	Location	GPM	Static PSI	Residual PSI
E-00992 Elev. = 234'	Lovell Ave., approx. 718' E. of San Tomas Aquino Rd.	1000	88	84

Date of Simulation: June 17, 2022

Determining the adequacy of fire protection from the information provided herein is the responsibility of those qualified to do so. San Jose Water Company undertakes to supply only such water at such pressure as may be available any time through the normal operation of its system. Section 774 of the Public Utilities Code limits the liability of the utility resulting from a claim regarding the provision or maintenance of an adequate water supply, water pressure, equipment or other fire protection facility or service

Sincerely,



Marty Henderson
 Engineering Support Supervisor

sjwater.com

1265 South Bascom Ave.
 San Jose, CA 95128

Email: Engineering_dept@sjwater.com

MH:mmr
 1184LovellAveHYD.doc

PLAN REVIEW No. 22 4478
 BLDG PERMIT No.

DEVELOPMENTAL REVIEW COMMENTS

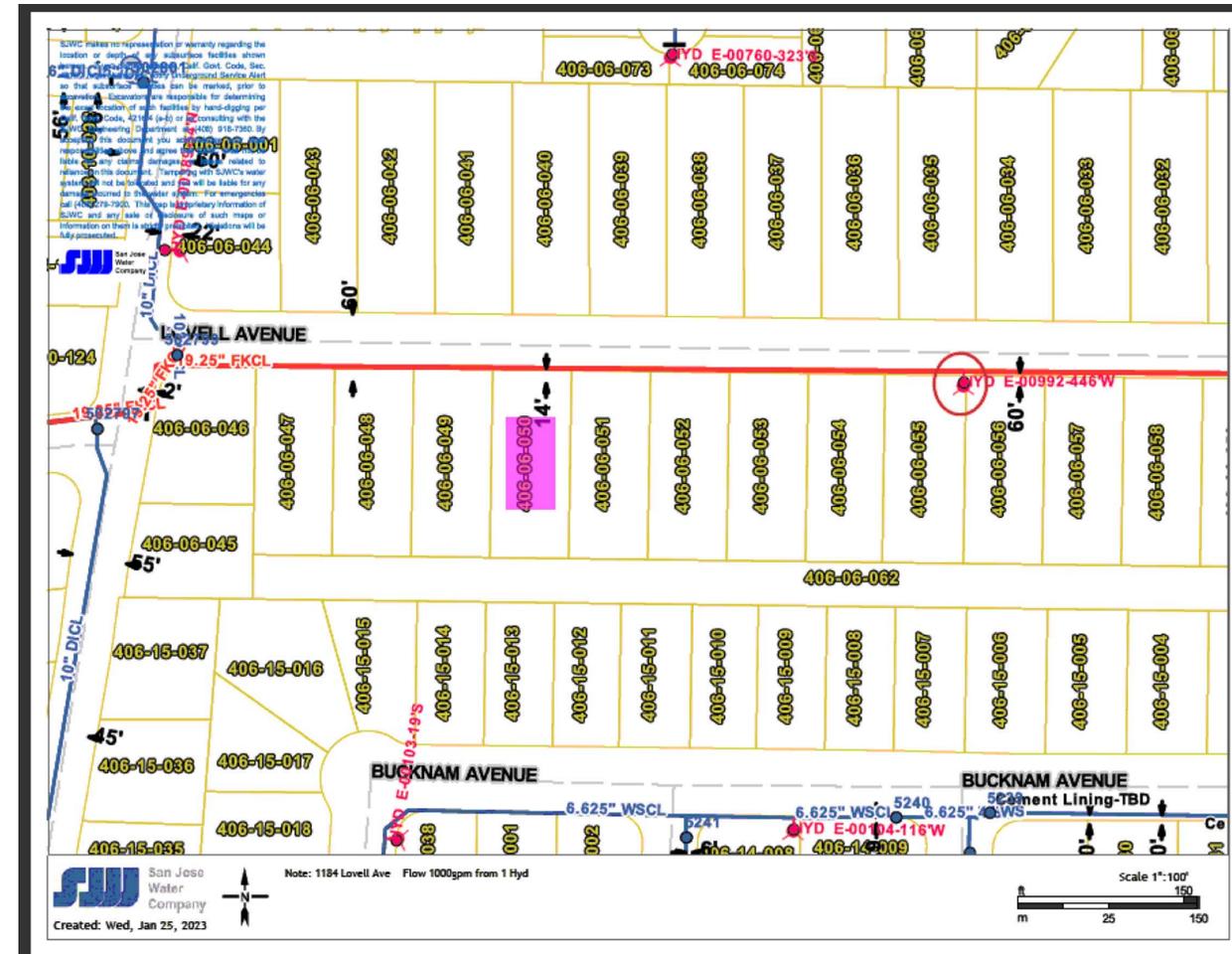
- 3. Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

- 4. Address identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

City	PLANS	SPECS	NEW	RMDL	AS	OCCUPANCY	CONST. TYPE	Appl./clientName	DATE	PAGE
CBL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	R-3/U	VB	Jack Lin	12/20/2022	2 OF 2
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION		PROJECT TYPE OR SYSTEM					
1	2155		Residential Development		Addition					
NAME OF PROJECT			LOCATION							
SFR - MENG RESIDENCE			1184 Lovell Ave Campbell							
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1000			1000		Ip, Kenny					

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T.B.D.

DRAFTER
 JACK LIN
 CSLB #1093710
 EXPIRED: 07/31/2024
 CELL: (408) 218-0587
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SANTA CLARA COUNTY FIRE COMENT

DATE: 04/05/22

JOB NO.

ISSUE & REVISION

11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT

SHEET NO.

SCCFC

DRAWN BY: JL



**FIRE DEPARTMENT
SANTA CLARA COUNTY**
14700 Winchester Blvd., Los Gatos, CA, 95032-1818
(408) 378-4010 • (408) 378-9342 Fax • www.sccfd.org



STANDARD DETAILS & SPECIFICATIONS

SUBJECT: Construction Site Fire Safety

Spec No.	SI-7
Rev. Date	04/30/09
Eff. Date	12/17/02
Approved By	_____
Page _____	of _____

SCOPE

This Standard is intended to prescribe minimum safeguards for new building construction, demolition or significant building alteration projects in order to provide a reasonable degree of safety to life and property from fire. This Standard is based on the provisions for fire safety during building construction or demolitions as set forth in the 2007 California Fire Code Chapter 14 and National Fire Protection Association Standard 241. This Standard shall not be construed to be in lieu of other applicable State or Federal laws and regulations related to construction site safety. The general contractor (or other designee of the building owner) shall be responsible for compliance with the provisions of this Standard. When the term "shall" is used in this Standard, it means a mandatory requirement.

REQUIREMENTS

I. Fire Protection Plan

A written Fire Protection Plan shall be developed for significant or complex construction projects at the discretion of the fire department. The plan shall be approved by the fire department prior to proceeding past foundation work for new buildings or commencement of demolition work in alteration projects. The written plan shall be consistent with the fire safety precautions as specified in this Standard. The general contractor is responsible for carrying out the provisions of the Fire Protection Plan and communicating it to all subcontractors. Additionally, the Fire Marshal shall be notified of any change affecting the utilization of information contained in the Fire Protection plan. The Fire Protection Plan shall include the following:

- A. Procedures for reporting emergencies to the Fire department.
- B. Procedures for emergency notification, evacuation and /or relocation of all persons in the building under construction and on the site.
- C. Procedures for hot work operations, management of hazardous materials and removal of combustible debris and maintenance of emergency access roads.
- D. Floor plans identifying the locations of exits, exit stairs, exit routes and portable fire extinguishers.
- E. Site plans identifying the designated exterior assembly areas for each evacuation route.
- F. Site plans identifying required fire apparatus access roadways and on-site fire hydrants.

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Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga.

G. The name and contact phone number of the person(s) responsible for compliance with the Fire Protection Plan.

II. General Safety Requirements

A. **Fire Department Access Roadways:** All construction sites shall be accessible by fire department apparatus by means of roadways having an all-weather driving service of not less than 20ft. of unobstructed width. The roads shall have the ability to withstand the live loads of fire apparatus, and have a minimum 13ft. 6 in. of vertical clearance. Dead end fire access roads in excess of 150 ft. in length shall be provided with approved turnarounds.

When approved by the Chief, temporary access roadways may be utilized until such time that the permanent roadways are installed. As a minimum, the roadway shall consist of a compacted sub base and six (6) inches of road base material (Class 2 aggregate base rock) both compacted to a minimum 95%. The perimeter edges of the roadway shall be contained and delineated by curb and gutter or other approved method. The use of geotextile reinforcing fabric underlayment or soils lime-treatment may be required if so determined by the project civil engineer. Provisions for surface drainage shall also be provided where necessary. The integrity of the roadway shall be maintained at all times.

Key boxes: Key boxes and /or approved padlocks shall be required when necessary for access through locked gates or structures.

- B. **Fire hydrants:** Where underground water mains and hydrants are required for the building(s) under construction, they shall be installed, completed, and in service prior to combustible construction materials accumulating on site.
- C. **Telephone service:** Provisions shall be provided at the construction site for emergency notification of the fire department via telephone. The street address of the construction site shall be posted adjacent to the telephone, along with the number for the public safety answering point.
- D. **Premises identification:** The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved.
- E. **Combustible debris:** Wood, cardboard, packing material, form lumber and similar combustible debris shall not be accumulated within buildings. Such debris, rubbish and waste material shall be removed from buildings on a daily basis.

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F. **Oily rags:** Oily rags and similar material shall be stored in metal or other approved containers equipped with tight-fitting covers.

C. **Temporary heating equipment:** Temporary heaters, such as those that are LPG fueled, shall be listed and shall be installed, used, and maintained in accordance with the manufacturer's instructions (See LPG storage and use requirements below). Heating devices shall be secured properly and kept clear from combustible materials. Refueling operations shall be conducted in an approved manner.

H. **Smoking:** Smoking is prohibited anywhere inside or on the roof of new buildings under construction or in the project work area of buildings undergoing alteration. A suitable number of "No Smoking" signs shall be posted to ensure that smoking is controlled.

I. **Vehicle parking:** All vehicles shall be parked a minimum of 20 feet from new buildings under construction.

Exceptions: 1. Vehicles that are temporarily parked for loading/unloading or other construction related operations. Such vehicles shall not be left unattended.

2. Private vehicles may be parked in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

J. **Combustible material storage:** Combustible construction materials shall be stored a minimum of 20 feet from buildings under construction or undergoing remodel.

Exceptions: 1. Materials that are staged for installation on a floor level.

2. When approved by the Fire Department, materials may be stored in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

III. Fire Protection Systems

A. **Fire Sprinkler Systems:** Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon as possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be

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installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

For buildings equipped with fire sprinkler systems that are undergoing alterations, the sprinkler system(s) shall remain in service at all times except when system modifications are necessary. Fire sprinkler systems undergoing modifications shall be returned to service at the end of each workday unless otherwise approved by the fire department. The General contractor or his /her designee shall check the sprinkler control valve(s) at the end of each workday to confirm that the system has been restored to service.

B. **Standpipes:** Where standpipes are required, the standpipes shall be installed when the progress of construction is not more than 35 ft. in height above the lowest level of the fire department access. Standpipes shall be provided with fire department hose connections and outlets at accessible locations adjacent to usable stairs. The standpipe system shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring. Each floor shall be provided a 2 1/2-inch valve outlet for fire department use. Where construction height requires installation of a Class III standpipe, fire pumps and water main connections shall be provided to serve the standpipe.

C. **Fire Extinguishers:** Portable fire extinguishers shall be provided and shall be mounted on a wall or post at each usable stairway and such that the travel distance to any extinguisher does not exceed 75 ft. Mounting height to the top of the extinguisher shall not exceed 5 feet. Extinguishers shall not have less than a 2A10BC rating or as otherwise directed by the fire department. The general contractor shall ensure that an adequate number of individuals are trained in the proper use of portable fire extinguishers. Fire extinguishers shall also be located in storage sheds and contractor trailers.

D. **Fire Alarm Systems:** Fire alarm systems shall be maintained operational at all times during building alterations. When an alteration requires modification to a portion of the fire alarm system, the portion of the system requiring work shall be isolated and the remainder of the system shall be kept in service whenever practical. When it is necessary to shut down an entire fire alarm system a fire watch or other mitigation approved by the fire department shall be implemented by the general contractor until the system is returned to full service.

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IV. Means of Egress Requirements

A. **Minimum number of Exits:** All new buildings under construction shall have at least one unobstructed exit. All exits shall be identified on the Fire Protection Plan.

B. **Multi-Story Buildings:** Each level above the first story in new multi-story buildings shall be provided with at least two usable exit stairs after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls/windows are in place. Exit stairs in new and in existing, occupied buildings shall be lighted and maintained clear of debris and construction materials at all times.

Exception: For new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purposes of stairway construction (i.e., installation of gypsum board, painting, flooring, etc.).

C. **Assembly Points:** Designated exterior assembly points shall be established for all construction personnel to relocate to upon evacuation. The assembly points shall also be identified in the Fire Protection Plan.

V. Area Separation Walls

When area separation walls are required, the wall construction shall be completed (with all openings protected) immediately after the building is sufficiently weather-protected at the location of the wall(s).

VI. Special Operation Requirements

A. **Hot Work:** Hot work includes any work involving operations capable of initiating fires or explosions, including cutting, welding, brazing, soldering, grinding, thermal spraying, thawing pipe, torch applied roofing, or any other similar activity. The use of hot work equipment shall be in accordance with the following guidelines, including a pre-site inspection, fire watch and post inspection procedures.

1. **Pre-site Inspection:** An inspection of the hot work site shall be conducted by the General Contractor or his/her designee prior to hot work operations to ensure:

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Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga.

CONTRACTOR:

T.B.D.

DRAFTER

JACK LIN

CSLBD #1093710

EXPIRES: 07/31/2024

CELL: (408) 218-0587

EMAIL: fu333@yahoo.com

Jack Lin

SIGNED ON 02-13-23

OWNER:

MR. MICHAEL MENG

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**MR. MICHAEL MENG
ADDITION ONLY
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CAMPBELL, CA 95008-5920**

**FIRE STANDARD
DETAILS
&
SPECIFICATIONS**

DATE: 04/05/22

JOB NO.

ISSUE & REVISION

11/27/22	PLANN. PERMIT
02/13/23	FIRE COMMENT
03/27/23	FIRE DETAILS

△

SHEET NO.

SCCFD

DRAWN BY: JL

- (a) the hot work site is clear of combustibles or that combustibles are protected;
- (b) exposed construction is of noncombustible materials or that combustible materials are protected;
- (c) openings are protected;
- (d) there are no exposed combustibles on the opposite side of partitions, walls, ceilings, floors, etc.;
- (e) fire extinguishers are available, fully charged and operable; and
- (f) fire watch personnel are assigned, equipped and trained.

2. **Fire Watch:** The sole duty of fire watch personnel shall be to watch for the occurrence of fire during and after hot work operations. Individuals designated to fire watch duty shall have fire extinguishing equipment readily available and shall be trained in the use of such equipment. Personnel assigned to fire watch shall be responsible for extinguishing spot fires and communicating an alarm. Fire watch personnel shall be provided with at least one means for notification of the fire department. Hot work conducted in areas with vertical and horizontal fire exposures that cannot be observed by a single individual shall have additional personnel assigned to fire watches to ensure that all exposed areas are monitored.

3. **Post-inspection:** The fire watch shall be maintained a minimum of 30 minutes after the conclusion of the work to look out for leftover sparks, slag or smoldering combustibles.

B. **Asphalt and tar kettles:** Asphalt kettles shall not be located within 20 feet of any combustible material, combustible building surface or building opening. With the exception of thermostatically controlled kettles, an attendant shall be within 100 feet of a kettle when the heat source is operating. Ladders or similar obstacles shall not form a part of the route between the attendant and the kettle. Kettles shall be equipped with tight-fitting covers. A minimum 3A 40-B:C rated portable fire extinguisher shall be located within 30 feet of each asphalt kettle when the heat source is operating. Minimum 3A 40-B:C rated portable fire extinguishers also shall be located on roofs during asphalt coating operations.

C. **Motor Equipment:** Motorized equipment including internal-combustion-powered construction equipment shall be used in accordance with the following:

- 1) Equipment shall be located so that exhausts do not discharge against combustible materials.
- 2) When possible, exhausts should be piped to the outside of the building.

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- 3) Equipment shall not be refueled while in operation.
- 4) Fuel for equipment shall be stored in an approved area outside of the building.

(Ref: CFC Articles 87 & 13 – also 49,79 and 11)

VII. Hazardous Materials

A. **Liquefied Petroleum Gas (LP-Gas) - Storage and use shall comply with the following:**

- 1. Propane containers may be used in buildings under construction or undergoing major renovation as a fuel source for temporary heating for curing concrete, drying plaster and similar applications in accordance with the following:
 - (a) Heating elements (other than integral heater-container units) shall be located at least 6 feet from any LP-Gas container.
 - (b) Integral heater-container units specifically designed for the attachment of the heater to the container, or to a supporting standard attached to the container, may be used provided they are designed and installed so as to prevent direct or radiant heat application to the LP-Gas container.
 - (c) Blower and radiant type units shall not be directed toward any LP-Gas container within 20 feet.
 - (d) Heat producing equipment shall be installed with clearance to the combustibles in accordance with the manufacturer's installation instructions.
 - (e) Cylinders shall comply with DOT cylinder specifications and shall be secured in an upright position.
 - (f) Regulators shall be approved for use with LP-Gas. Fittings shall be designed for at least 250 psig service pressure.
 - (g) Hose shall be designed for a working pressure of at least 350 psig (unless limited to 5 psig) and shall be a maximum of 6 feet in length.
 - (h) Portable heaters shall be equipped with an approved automatic device to shut off the flow of gas to the main burner and to the pilot in the event of flame extinguishment or combustion failure. Portable heaters with an input of more than 50,000 Btu/hr shall be equipped with either a pilot that must be proved before the main burner can be turned on or an approved electronic ignition system.

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- 2. In addition to the above, for LPG storage/use in buildings undergoing alteration and that are fully or partially occupied, the following shall also apply:
 - (a) Specific approval must be obtained from the fire department prior to bringing LP-Gas containers on-site.
 - (b) The maximum water capacity of individual containers shall be 5-gallon water capacity and the number of containers in the building shall not exceed the number of workers assigned to using the LP-Gas.
 - (c) Containers having a water capacity greater than 2 1/2 lb. [1 quart] shall not be left unattended.

B. Storage, Use and Dispensing of Flammable and Combustible Liquids

- 1. Storage areas for flammable and combustible liquids shall be kept free of weeds and extraneous combustible material. Open flames and smoking are prohibited in flammable or combustible liquid storage areas.
- 2. Tanks and containers shall be marked with the name of the product and FLAMMABLE-KEEP FIRE AND FLAME AWAY. Tanks (containers in excess of 60 gallons) shall also be labeled KEEP 50 FEET FROM BUILDINGS.
- 3. Metal containers for Class I or II liquids shall be in accordance with DOT requirements or shall be of an approved design. Discharge devices shall not cause an internal pressure on the container. Individual containers shall not be interconnected and shall be kept closed when not in use.
- 4. Secondary containment or a means of spill control, drainage control, and diking is required for large containers (such as 55 gallon drums) and tanks as approved by the fire department.
- 5. Plans for the installation/use of any aboveground storage tank (containers greater than 60 gallons) shall be submitted to the fire department for review and permit prior to the proposed tank arriving at the site.

C. Compressed Gases

- 1. Gas cylinders shall be marked with the name of the contents.
- 2. Gas cylinders shall be stored upright and secured to prevent falling.
- 3. When not in use, valve protective caps shall be in place.
- 4. Gas cylinders shall be protected against physical damage.
- 5. When stored, gas cylinders shall be separated from each other based on their hazard classes.
- 6. Combustible materials shall be kept a minimum of 10 feet from gas containers.
- 7. Gas cylinders shall not be placed near elevators, unprotected platform edges or other areas where they would drop more than 2 feet.

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