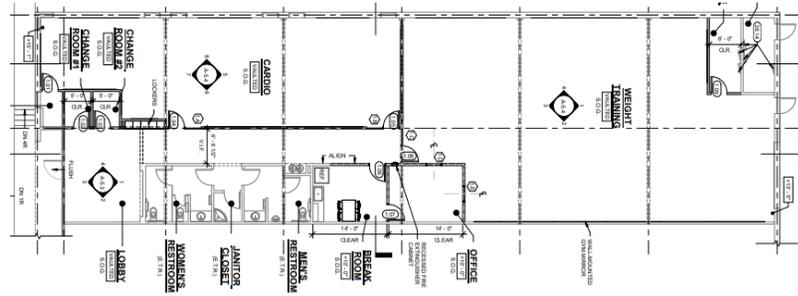


Location of Proposed Project



City of Campbell
 70 North First Street
 Campbell, CA 95008-1423

Project Image



Courtesy Notice

Dear Campbell Resident,

April 20, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 490 Division Street

Zoning | Area Plan: C-M | N/A

Neighborhood Association(s): N/A

Council District: 1

File No: PLN-2023-72

APN: 424-33-105

Applicant: Move It Silicon Valley

Property Owner: South Bay Development (Jim Mair)

Application Type: Conditional Use Permit

Project Planner: Tracy Tam, Associate Planner

Email Contact: tracyt@campbellca.gov

Phone Contact: (408) 871-5103

Project Description:

To allow a new studio (i.e. fitness training) use in an existing building.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



MOVE IT SILICON VALLEY

CONDITIONAL USE PERMIT SET

490 DIVISION ST, CAMPBELL, CA 95008

PROJECT INFORMATION

PROJECT DIRECTORY

OWNER
MOVE IT SILICON VALLEY
1190 DELL AVE.
CAMPBELL, CA 95008
(408) 399-8900

ARCHITECT
BRAD COX ARCHITECT, INC.
1155 MERIDIAN AVE., SUITE 208
SAN JOSE, CA 95125
(408) 838-3667

ATTN: MARK FREDERICK
movit@msn.com

ATTN: XU-CHEN WANG
xu-chen@bradcoarchitect.com
(669) 699-6442

PROJECT MANAGER
FEECE GROUP LLC
2714 W KINGSLEY RD SUITE H,
GARLAND, TX 7504
(408) 398-2356

GENERAL CONTRACTOR
CITADEL INC
75 E. SANTA CLARA ST., SUITE 600
SAN JOSE, CA 95113
(408) 914-5929

ATTN: DOUGLAS FEECE
dfeece@fecegroup.com

ATTN: EVAN QUINN
evan@citadelgc.com

BRAD COX
Architect
inc
community
residential

Brad Cox, Architect, Inc.
LEED AP, AIA
(408) 838-3667
1155 MERIDIAN AVENUE, SUITE 208
SAN JOSE, CA 95125



PROJECT DATA

ASSESSOR'S PARCEL NUMBER	424-33-105
OCCUPANCY	GROUP B
TYPE OF CONSTRUCTION	TYPE III-B
USE	INDUSTRIAL
ZONING	C-M
GROSS LOT SIZE (ACRES)	4.55
TOTAL NEW AREA ADDED (SQ. FT.)	0
(E) FLOOR AREA REMODELED (SQ. FT.)	5,100
LOCATED IN WUI AREA	NO
LOCATED IN FLOOD ZONE	NO / ZONE X
EXISTING SPRINKLERS	YES

	EXISTING	TOTAL PROPOSED	ALLOWED/REQUIRED
SETBACKS:			
FRONT	(ETR)	(ETR)	20'-0"
REAR	(ETR)	(ETR)	10'-0"
RIGHT	(ETR)	(ETR)	10'-0"
LEFT	(ETR)	(ETR)	10'-0"
HEIGHT (FEET)	(ETR)	(ETR)	45'-0"
STORIES	1	1	N/A

PROJECT DESCRIPTION

THIS PROJECT INCLUDES A TENANT IMPROVEMENT TO CHANGE THE EMPTY WARM SHELL SPACE TO BECOME A PERSONAL EXERCISE SPACE FOR "MOVE IT SILICON VALLEY" WHICH PROVIDES APPOINTMENT-ONLY, ONE-ON-ONE PERSONAL TRAINING WITH TWO STUDIOS FOR PERSONAL TRAINING: WEIGHTS AND CARDIO. THE TENANT WILL MAKE FULL USE OF THE FULLY ACCESSIBLE TOILET ROOMS, JANITOR CLOSET, ENTRY, AND PARKING, AS PROVIDED UNDER PREVIOUS MASTER BUILDING PERMIT SET.

DEFERRED SUBMITTALS

- MODIFICATION TO EXISTING AUTOMATIC SPRINKLER CONFIGURATION.

SHEET INDEX

ARCHITECTURAL	
A-1.0	COVER SHEET
A-2.0	SITE PHOTOGRAPHY
A-3.0	SITE PLAN & ACCESSIBILITY
A-5.0	FLOOR PLAN - DEMOLITION
A-5.1	FLOOR PLAN - NEW, NOTES & SCHEDULES
A-5.2	LIGHTING & REFLECTED CEILING PLAN
A-5.3	BUILDING SECTIONS
A-5.4	INTERIOR ELEVATIONS
A-5.5	EGRESS PLAN

MOVE IT SILICON VALLEY
CONDITIONAL USE PERMIT SET
 490 DIVISION ST, CAMPBELL, CA 95008

IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
NO.	DATE	DESCRIPTION
04/05/23		CUP SUBMITTAL

04/05/23
DATE

COVER SHEET

A-1.0
SHEET

THIS DRAWING AND THE INFORMATION ENCLOSED HEREIN IS THE PROPERTY OF THE ARCHITECT, BRAD COX, ARCHITECT, INC. 2021

ABBREVIATIONS

A.B.	ANCHOR BOLT	G.A.	GALVE	RE.M.	REMOVE
A.C.	ASPHALT CONCRETE	GALV.	GALVANIZED	RAD.	RADIUS
ACOUS	ACOUSTICAL	GB.	GRAB BAR	R.D.	ROOF DRAIN
A.D.	AREA DRAIN	GLS.	GLASS	R.E.	RIM ELEVATION
ADJ.	ADJUSTABLE	GRD.	GRADE	R.EV.	REVISION
ALUM.	ALUMINUM	G.S.	GALVANIZED STEEL	RSR.	RISER
∠	ANGLE	GYP.	GYP/STUM	REINF.	REINFORCING
@	AT	GYP.	GYP/STUM	RM.	ROOM
A.P.	ACCESS PANEL	G.S.M.	GALVANIZED SHEET METAL	REQ.	REQUIRED
ARCH.	ARCHITECT	H.B.	HOSE BIBB	R.H.	RIGHT HAND
BRD.	BOARD	H.C.	HOLLOW CORE	R.O.	ROUGH OPENING
BET.	BETWEEN	HDR.	HEADER	RWD.	REDWOOD
BLDG.	BUILDING	HDW.	HARDWARE	RWL.	RAIN
BLKG.	BLOCKING	HORIZ.	HORIZONTAL	LEADER	LEADER
B.M.	BENCH MARK	HR.	HOUR	SNK.	SINK
BOT.	BOTTOM	HT.	HEIGHT	S.C.	SOLID CORE
B.S.	BOTH SIDES	HWD.	HARDWOOD	S.D.	SASH DIMENSION
BSMT.	BASEMENT	H.M.	HOLLOW MTL.	S.D.	SECOND DWELLING
B.W.	BOTH WAYS	SDU	SECOND DWELLING UNIT	SHT.	SHEET
CAB.	CABINET	I.D.	INSIDE DIAMETER	SHTG.	SHEETING
COL.	CHALK BOARD	INCL.	INCLUDE	SIM.	SIMILAR
CER.	CERAMIC	INSUL.	INSULATION	S.M.	SHEET METAL
CFL.	COUNTER FLASHING	INT.	INTERIOR	SPEC.	SPECIFICATION
C.B.	CATCH BASIN	INV.	INVERT	SQ.	SQUARE
CBLT.	COUNTER BOLT	JAN.	JANITOR	S.S.	STAINLESS STEEL
C.	CENTER LINE	J.H.	JOIST HANGER	S/S	STRUCTURAL
C.G.	CORNER GUARD	K.D.	KILN DRIED	S/S	STRUCTURAL
CH.	CHANNEL	LVR.	LOUVER	STR.	STORAGE
CHT.	CEILING HEIGHT	LAM.	LAMINATED	STL.	STEEL
CONST.	CONSTRUCTION	LAV.	LAVATORY	SUS.	SUSPENDED
CEILING	CEILING	L.D.	LOUVER DIMENSION	TRD.	TREAD
C.I.	CAST IRON	LAM.	LAMINATED PLASTIC	T.B.	TACKBOARD
C.J.	CONSTRUCTION JOINT	PLAST.	PLASTIC	T.C.	TOP OF CURB
CLR.	CLEAR	M.	MEN	TEL.	TELEPHONE
COL.	COLUMN	MAS.	MASONRY	T&G.	TONGUE & GROOVE
COM.	COMMON	MAX.	MAXIMUM	T.J.	TOP OF JOIST
CONC.	CONCRETE	M.B.	MACHINE BOLT	TRPL.	TRIPLE
CONT.	CONTINUOUS	MECH.	MECHANICAL	TYP.	TYPICAL
CORR.	CORRUGATED	M.E.	METAL EDGE	TEMP.	TEMPERED
CTRSK.	COUNTERSINK	MTL.	METAL	U.L.	UNDERWRITERS LABEL
C.A.H.R.	CLEAR ALL HEART CERAMIC TILE	MFR.	MANUFACTURER	U.O.S.	UNLESS OTHERWISE SHOWN
C.T.	CERAMIC TILE	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
D.	DRAIN	MISC.	MISCELLANEOUS	V.C.T.	VINYL COMPOSITION TILE
DBL	DOUBLE	M.L.	MACHINE LATH	V.B.	VINYL BASE
DET.	DETAIL	MUL.	MULLION	V.I.F.	VERIFY IN FIELD
DF.	DOUGLAS FIR	M.S.	MACHINE SCREW	V.G.	VERTICAL GRAIN
D.F.	DRINKING FOUNTAIN	M.T.	METAL THRESHOLD	V.C.P.	VERTICAL CLAY PIPE
DIA.	DIAMETER	N.	NORTH	V.T.R.	VENT TO ROOF
DIAG.	DIAGONAL	N.I.C.	NOT IN CONTRACT	V.T.W.	VENT TO WALL
DIM.	DIMENSION	NO.	NO.	W/	WITH
DR.	DOOR	NOM.	NOMINAL	W.C.	WINDOW CLOSET
D.S.	DOWNSPOUT	NTS.	NOT TO SCALE	W.D.	WINDOW DIMENSION
DWG.	DRAWING	OBSC.	OBSCURE	W.D.	WOOD
EA.	EACH	O.C.	ON CENTER	W.P.	WATERPROOF
EB.	EXPANSION BOLT	O.D.	OUTSIDE DIAMETER/	W.S.	WOOD SCREW
E.J.	EXPANSION JOINT	O.F.	OVERFLOW DRAIN	WSCT.	WAINSCOT
EL.	ELEVATION	O.F.S.	OUTSIDE FACE OF	W.W.F.	WELDED WIRE FABRIC
ELEC.	ELECTRICAL	OPP.	OPPOSITE		
ELEV.	ELEVATOR	PARTN.	PARTITION		
EMER.	EMERGENCY	P.B.	PANIC BOLT		
EQUIP.	EQUIPMENT	P.L.	PLATE LINE		
(E)	EXISTING	PLAS.	PLASTER		
EXH.	EXHAUST	P.L.	PROPERTY LINE		
EXP.	EXPOSED	PLWD.	PLYWOOD		
EXT.	EXTERIOR	P.T.	PRESSURE TREATED		
EQ.	EQUAL	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR		
F.A.	FIRE ALARM	QT.	QUARRY TILE		
F.B.	FACE BRICK				
F.D.	FLOOR DRAIN				
F.E.	FIRE EXTINGUISHER				
FIN.	FINISH				
FLR.	FLOOR				
FLRG.	FLOORING				
FND.	FOUNDATION				
F.O.C.	FACE OF CONCRETE				
F.O.F.	FACE OF FINISH				
F.O.S.	FACE OF STUD				
F.P.	FIRE PLACE				
FTG.	FOOTING	F.P.	FIXED GLASS		
FG.	FIXED GLASS	FTG.	FIXED GLASS		

GENERAL NOTES

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES IN THE CONSTRUCTION DRAWINGS PRIOR TO THE COMMENCEMENT OF ANY WORK, OR FINALIZATION OF CONTRACT PRICE.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN, COORDINATION, OR IMPLEMENTATION OF ANY WORK PERFORMED BY CONSULTANTS WHICH ARE NOT DIRECTLY RETAINED BY THE ARCHITECT.
- THE CONTRACTOR OR SUBCONTRACTOR WARRANTS ALL WORK TO BE PERFORMED AND ALL MATERIALS TO BE FURNISHED UNDER THIS CONTRACT AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP.
- CIVIL, SOIL AND STRUCTURAL ENGINEER'S SPECIFICATIONS TAKE PRECEDENCE OVER THE ARCHITECTURAL SPECS.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE FABRICATION, ERECTION AND/OR RELATIVE JOB SAFETY. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED SAFETY ORDERS AND WITH OSHA REQUIREMENTS.
- LAYOUT OF NEW WORK IS LARGELY BASED UPON RELATIONSHIPS TO EXISTING SITE AND/OR BUILDING CONDITIONS ALREADY PRESENT. ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK.
- THE GENERAL CONTRACTOR AND ALL THE CONTRACTOR'S RETAINED SUBCONTRACTORS ARE TO REVIEW THE DRAWINGS AND VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. AFTER SUCH, ANY OBSERVED CONDITIONS WHICH CONFLICT WITH THE INTENT OF CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR INTERPRETATION.
- THE OWNER AND/OR ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ADDITIONAL EXPENSES TO THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS IF THE CONDITION CAUSING THE EXPENSE COULD HAVE BEEN DISCOVERED ON SITE AND BY CONTRACT DOCUMENT REVIEW PRIOR TO THE COMMENCEMENT OF ANY WORK.
- PREFERENCE SHALL BE GIVEN TO THE WRITTEN DIMENSIONS OVER SCALED DIMENSIONS. THE CONSTRUCTION DOCUMENTS, GENERAL NOTES, AND SPECIFICATIONS ARE INTENDED TO AGREE AND SUPPLEMENT EACH OTHER. ANYTHING INDICATED IN ONE AND NOT IN THE OTHER SHALL BE EXECUTED AS IF IN BOTH. IN CASES OF DIRECT CONFLICT, THE MOST RESTRICTED SHALL GOVERN, AND THE CONTRACTOR IS TO SEEK INTERPRETATION BY THE ARCHITECT.
- REGARDLESS OF DIMENSIONS SHOWN, ALL NEW WORK SHALL ALIGN EXACTLY WITH EXISTING WITH RESPECT TO FLOOR ELEVATIONS, COLUMN CENTERLINES, WALL FACES ETC. (U.N.O.).
- THE ARCHITECT RETAINS OWNERSHIP OF ALL DESIGNS AND IDEAS PRESENTED IN THESE CONSTRUCTION DOCUMENTS AND THEY MAY NOT BE USED ON ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

BUILDING CODE

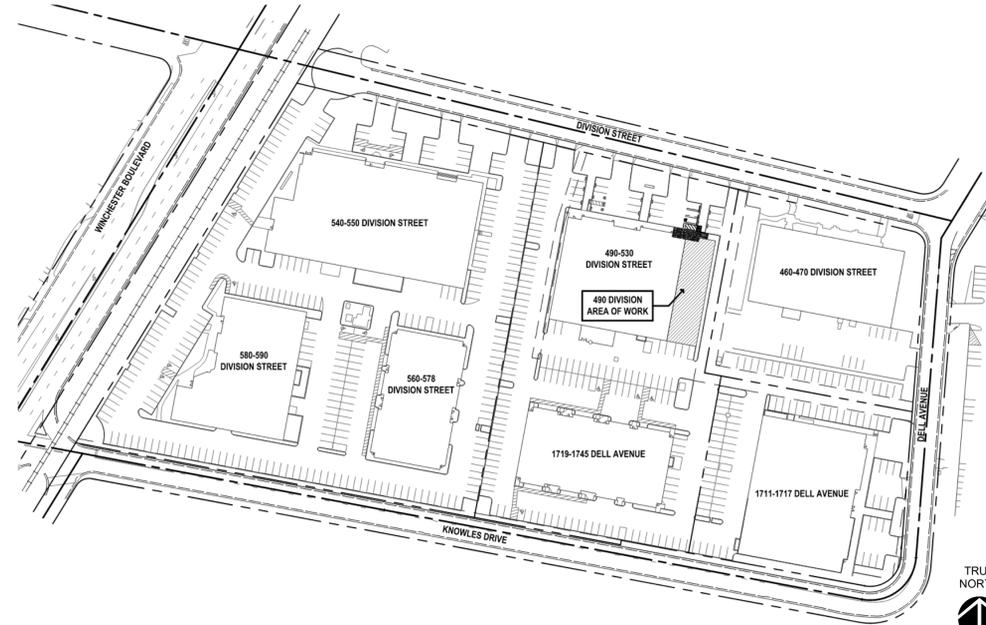
- ALL WORK PURSUANT TO THESE DRAWINGS SHALL COMPLY WITH ALL ORDINANCES AND REGULATIONS WHICH APPLY TO THE WORK AND SHALL IN ANY CASE CONFORM TO:
2022 CALIFORNIA BUILDING CODE, HISTORIC BUILDING CODE, AND EXISTING BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
AND LOCAL JURISDICTION CODES & ORDINANCES

POLLUTION

- CONTRACTOR SHALL ALLOW NO SILT, OIL, FUEL, CEMENT OR OTHER MAN MADE FLUIDS TO ENTER THE STORM DRAINAGE SYSTEM. KEEP CONSTRUCTION DEBRIS, PESTICIDES, ANTI-FREEZE, AND PAINT OUT OF THE STORM DRAIN. DO NOT CLEAN ANY CONCRETE TRUCKS OR MASONRY TOOLS ON THE STREET. DO NOT ALLOW CEMENT, CONCRETE OR SAND-FILLED WATER INTO STORM DRAINS, DITCHES, CREEKS OR SWALES.
- DO NOT ALLOW ANY SILT TO RUN OFF SITE DURING RAINS. USE SILT FENCES AND HAY BALE DIKES TO STOP ANY RUN-OFF. WASH MUD FROM TIRES BEFORE ENTERING CITY STREETS. COVER DIRT PILES WITH TARPS DURING RAINS. MOISTEN DRY EARTH DAILY TO PREVENT WIND EROSION. DO NOT ALLOW CEMENT TO BLOW IN THE WIND. WASH CEMENT FINES OF DRIVEWAY INTO DIRT AREAS, NOT GUTTER.
- DO NOT SPILL ANY HAZARDOUS MATERIAL ON SITE INCLUDING DIESEL OIL AND DIESEL FUEL. NEVER BURY ANY WASTE MATERIALS. FIX ALL LEAKING EQUIPMENT, CARS AND TRUCKS.
- IF RAIN IS POSSIBLE, DO NOT PLACE AC PAVING OR SLURRY. DO NOT GRADE WHEN RAINING. REMOVE BROKEN ASPHALT, CLEAN SPILLS WITH ABSORBENT MATERIALS, NEVER HOSE DOWN STREET OR DUMPSITE.

ENERGY

- ALL EXT. WINDOWS, SLIDING GLASS DOORS AND FRENCH DOORS MUST BE LABELED WITH CERTIFIED U-VALUE AND HAVE AN INFILTRATION CERTIFICATE.
- ALL JOINTS AND PENETRATIONS ARE TO BE CAULKED AND SEALED. EXPANDED URETHANE RECOMMENDED.
- DUCTS CONSTRUCTED, INSTALLED AND SEALED ARE TO COMPLY WITH ALL APPLICABLE CODES.
- EXHAUST FANS AND FAN SYSTEMS TO HAVE BACK DRAFT OR AUTOMATIC DAMPERS.
- MASONRY AND FACTORY BUILT FIREPLACES TO HAVE TIGHT FITTING CLOSEABLE METAL OR GLASS DOORS. PROVIDE OUTSIDE AIR.
- INSULATE ALL HOT WATER PIPING R-4. INSULATE 5' OF COLD WATER PIPE AT WATER HEATER. INSULATE ANY RECIRCULATION PIPES.
- HOT WATER HEATERS TO HAVE INTERIOR INSULATION PLUS EXTERIOR INSULATION - TO R-16 CERTIFIED BY CEC.
- INSTALL SHOWER HEADS AND FAUCETS CERTIFIED BY CEC.



1 SITE PLAN - OVERALL NOT TO SCALE

ENERGY

- RECESSED FIXTURES MUST BE LISTED AS AIR TIGHT AND IC (INSULATION COVERED) AND BE COVERED WITH INSULATION IN ATTIC.
- WHERE REQUIRED, HERS VERIFICATION FOR HVAC-DISTRIBUTION, HVAC-FAN SYSTEMS, AND IAQ FANS. PROVIDE THIRD PARTY VERIFICATION TO INSPECTOR PRIOR TO FINAL INSPECTION.
- IF HERS VERIFICATION IS REQUIRED, PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

SOIL & CIVIL

- BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.
- EXCAVATIONS, FILLS, AND UTILITIES FOR BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.N.O.
- CONTRACTOR SHALL CERTIFY IN WRITING THAT THE PAD, FINISH FLOOR HEIGHTS AND SETBACKS ARE CORRECT PRIOR TO FOUNDATION INSPECTION. IN LOCATIONS WHERE SITE CONDITIONS AND PLANS HAVE MINIMAL TOLERANCE, CONTRACTOR SHALL UTILIZE SURVEYING EQUIPMENT TO CONFIRM.

MISCELLANEOUS

- PROVIDE WOOD-EARTH SEPARATION PER ALL APPLICABLE CODES. KEEP DIRT 8" BELOW WOOD FRAMING MIN.
- VENEER SHALL COMPLY WITH ALL APPLICABLE CODES AND REQUIREMENTS FOR MATERIALS.
- ALL LUMBER, PLYWOOD, FIBERBOARD SHEETING, PARTICLEBOARD, AND STRUCTURAL GLUED LAMINATED TIMBER MUST BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY.
- ALL ROOFING AND SIDING MATERIALS (AS NOTED ON EXTERIOR ELEVATIONS) SHALL BE APPLIED IN STRICT CONFORMANCE WITH THE MANUFACTURERS WRITTEN RECOMMENDATIONS AND ALL APPLICABLE CODES.
- ROOF AND SIDING NAILS TO BE GALVANIZED PER ALL APPLICABLE CODES.
- PROVIDE POSITIVE 5% DRAINAGE AWAY FROM PERIMETER FOUNDATION WALLS FOR AT LEAST 10' (1:20), UNLESS NOTED OTHERWISE ON THE FOUND. GRADING AND DRAINAGE DRAWINGS.
- INSTALL FIRE STOPS PER ALL APPLICABLE CODES AT ALL FLOOR, CEILING, FURRED SPACES, AND AT 10' INTERVALS UP WALLS.
- PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS AS NOTED IN BUILDING CODE TABLES 4.504.0 AND 4.504.2.
- ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 4.504.2.4
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT THE EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS.

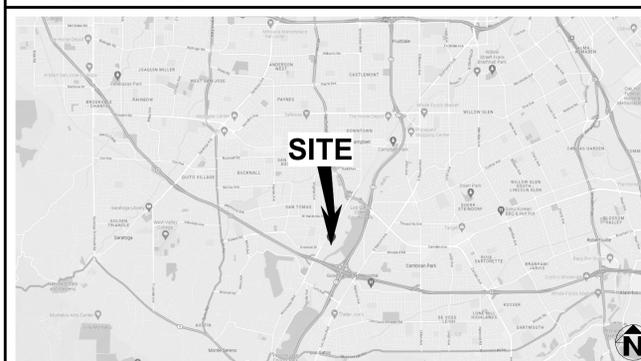
FLOOR AREA

	EXISTING	ADDITION	TOTAL PROPOSED
INCLUDED SPACES ¹			
FIRST FLOOR	5,503	0	5,503
TOTAL AREA	5,503 SF	0 SF	5,503 SF
F.A.R.	N/A		N/A
SPACES NOT INCLUDED ²			
SUBTOTAL	0 SF	0 SF	0 SF
TOTAL AREA	5,503 SF	0 SF	5,503 SF
ALLOWED FLOOR AREA:			

REGULATORY APPROVAL STAMP

THIS SET OF DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION, AND SHALL NOT BE PRESENT AT THE JOBSITE, UNLESS THIS COVER SHEET CONTAINS THE PERMIT STAMP OF APPROVAL FROM THE CORRESPONDING BUILDING DEPARTMENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CURRENT DOCUMENTS ON SITE, INCLUDING ANY APPROVED SUBSEQUENT REVISIONS TO THE PERMIT SET, ADDENDA, SHOP DRAWINGS, AND SUBMITTALS.

VICINITY MAP





511 DIVISION ST



489 DIVISION ST



541 DIVISION ST



470 DIVISION ST



492 DIVISION ST



**490 DIVISION ST
 PROJECT SITE**

MOVE IT SILICON VALLEY
CONDITIONAL USE PERMIT SET
 490 DIVISION ST, CAMPBELL, CA 95008

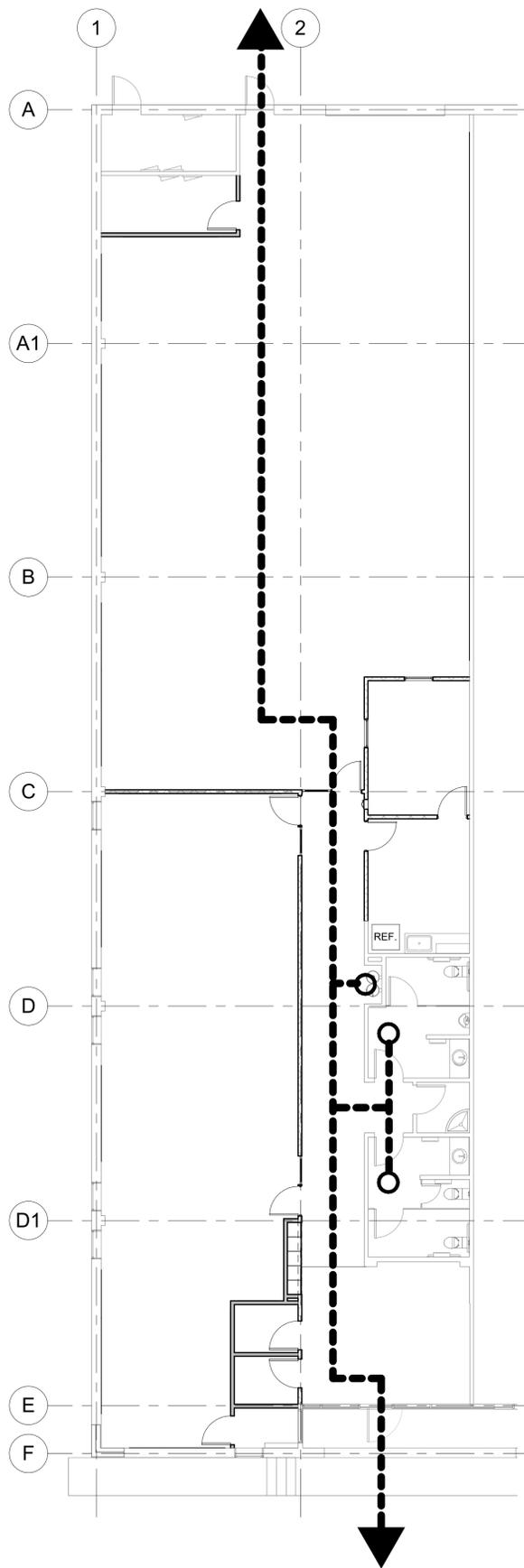
IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
NO.	DATE	DESCRIPTION
1	04/05/23	CUP SUBMITTAL

04/05/23
 DATE

SITE
 PHOTOGRAPHY

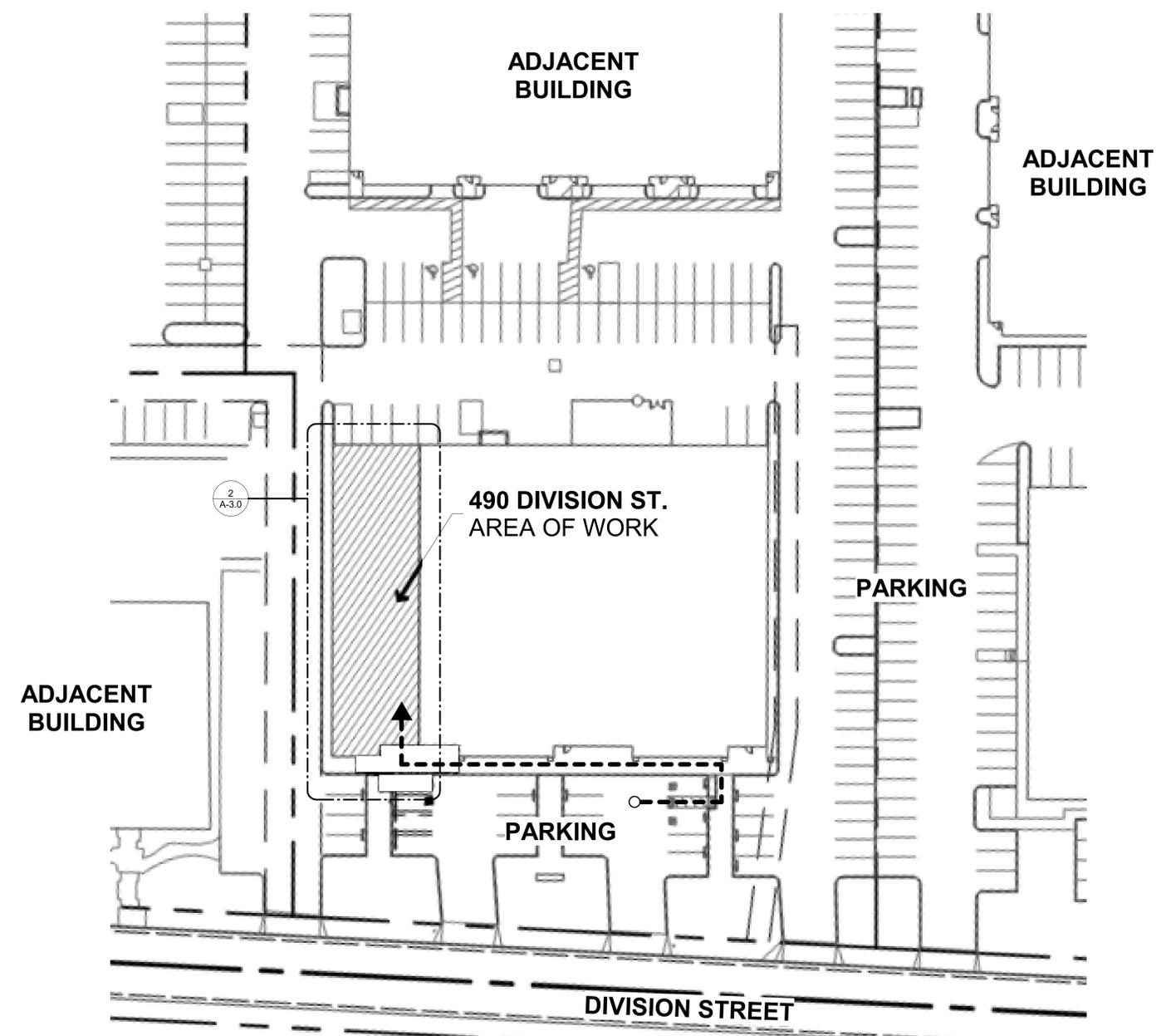
A-2.0
 SHEET



2 FLOOR PLAN - ACCESSIBILITY
1/8" = 1'-0"

SITE GENERAL NOTES

- CRC R401.3 DRAINAGE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 5 PERCENT, OR 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).
EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES (152 MM) OF FALL WITHIN 10 FEET (3048 MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.
- PRIOR TO INSTALLING FOUNDATION FORMWORK, AND PRIOR TO INSPECTION BY THE CITY, THE CONTRACTOR SHALL OBTAIN WRITTEN CERTIFICATION FROM A REGISTERED CIVIL ENGINEER CERTIFYING THAT ALL THE BUILDING SETBACKS, PAD DIMENSIONS, AND PAD ELEVATIONS ARE AS PER THE APPROVED PLANS.
- NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIP LINE OF ANY ORDINANCE PROTECTED TREES ON THE SITE.
- PROVIDE SEWAGE BACKFLOW DEVICE / CHECK VALVE PER SANITATION DISTRICT REQUIREMENTS.
- GENERAL CONTRACTOR TO DIRECT WATER FLOW TO VEGETATED/LANDSCAPED AREAS AND ALLOW STORM WATER TO PERCOLATE INTO THE SITE AS MUCH AS POSSIBLE.
- PRIOR TO INSTALLATION OF BUILDING PAD, INSURE THAT ALL GEOTECHNICAL ENGINEER REQUIREMENTS HAVE BEEN MET.



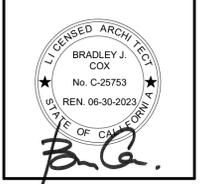
1 PARTIAL SITE PLAN & ACCESSIBILITY
1/32" = 1'-0"

SITE PLAN LEGEND:
 ACCESSIBLE PATH OF TRAVEL

REGULATORY APPROVAL STAMP

BRAD COX
Architect
 inc
 community
 residential

Brad Cox, Architect, Inc.
 LEED AP, AIA
 (408) 838-3667
 1155 MERRIDIAN AVENUE, SUITE #208
 SAN JOSE, CA 95125



MOVE IT SILICON VALLEY
 CONDITIONAL USE PERMIT SET
 490 DIVISION ST, CAMPBELL, CA 95008

IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

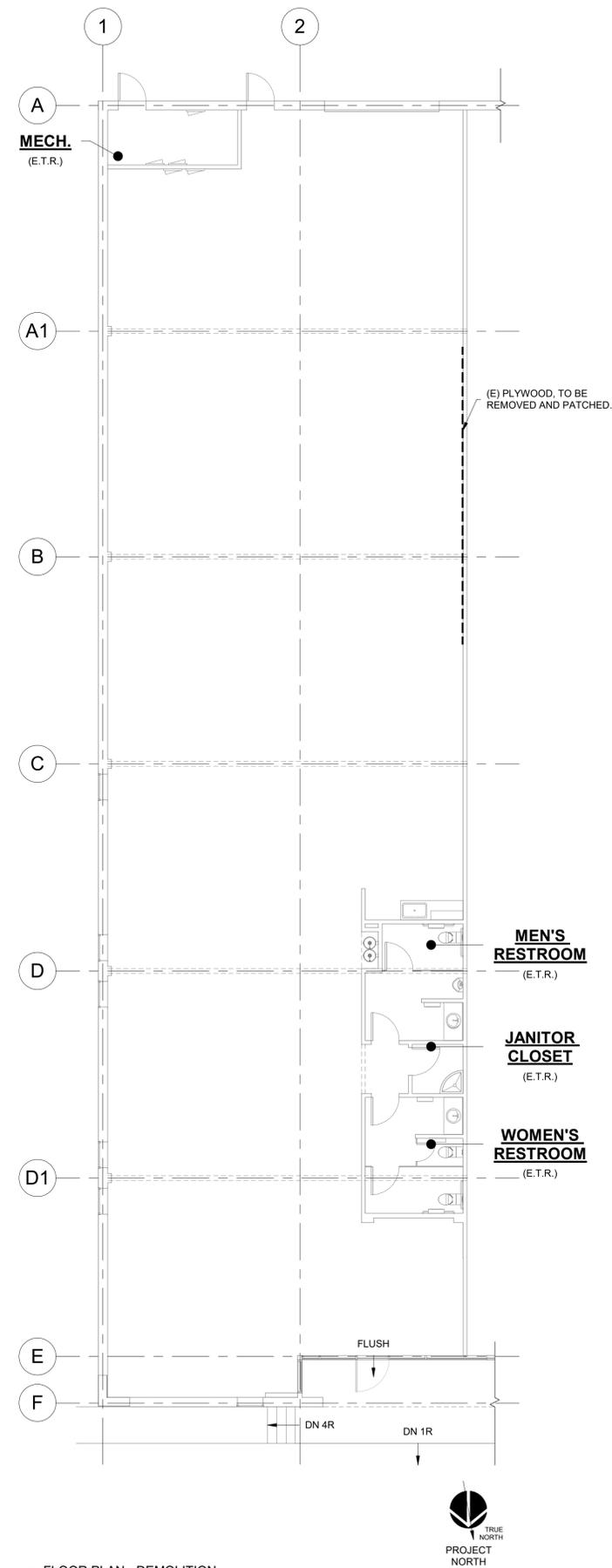
REVISIONS		
NO.	DATE	DESCRIPTION
1	04/05/23	CUP SUBMITTAL

04/05/23
DATE

SITE PLAN &
ACCESSIBILITY

A-3.0
SHEET

THIS DRAWING AND THE INFORMATION ENCLOSED HEREIN IS THE PROPERTY OF THE ARCHITECT BRAD COX, ARCHITECT, INC. 2023



1 FLOOR PLAN - DEMOLITION
1/8" = 1'-0"



KEYNOTES
NO. NOTE

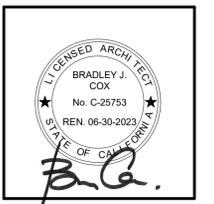
DEMOLITION PLAN GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL CAREFULLY COORDINATE DEMOLITION AND REMOVAL WITH NOTES AND DIMENSIONS INDICATING THE EXTENT AND NATURE OF NEW CONSTRUCTION SHOWN ELSEWHERE IN THESE DOCUMENTS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURELY SHORING IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVAL OF ANY EXISTING SUPPORTING STRUCTURES.
3. CAP-OFF ALL PLUMBING, GAS AND ELECTRICAL LINES AS REQUIRED.
4. THE GENERAL CONTRACTOR IS TO PROVIDE PROTECTION FOR ALL REMAINING CABINETS DURING CONSTRUCTION OPERATIONS.
5. THE GENERAL CONTRACTOR IS TO COORDINATE WITH OWNER ON ALL ITEMS TO BE SALVAGED.
6. SEE CONSULTANT DRAWINGS FOR ADDITIONAL INFORMATION.
7. COORDINATE WITH OWNER EQUIPMENT TO BE REMOVED AND REINSTALLED PRIOR TO DEMOLITION.
8. PROVIDE DEMOLITION ON ROOF AS REQUIRED TO COMPLETE SCOPE OF WORK.
9. WHERE APPLICABLE TO THE PROJECT, COORDINATE WITH HAZARDOUS MATERIALS REPORT FOR SPECIAL DEMOLITION REQUIREMENTS.

DEMOLITION PLAN LEGEND:

- EXISTING WALL TO REMAIN
- == WALL TO BE DEMOLISHED
- (E) XXXX EXISTING WINDOW OR DOOR TO REMAIN (WHERE "XXXX" INDICATES THE SIZE)
- (R) XXXX RETROFIT WINDOW OR DOOR TO BE REMOVED (WHERE "XXXX" INDICATES THE SIZE)

REGULATORY APPROVAL STAMP



MOVE IT SILICON VALLEY
CONDITIONAL USE PERMIT SET
 490 DIVISION ST, CAMPBELL, CA 95008

IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
NO.	DATE	DESCRIPTION
1	04/05/23	CUP SUBMITTAL

04/05/23
DATE

FLOOR PLAN -
DEMOLITION

A-5.0
SHEET

FLOOR PLAN GENERAL NOTES

- DIMENSIONS INDICATED AS (E) ARE +/- PER THE AS-BUILT SET OF PLANS. OTHER DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- ALL INTERIOR SURFACES IN THE AREA OF WORK ARE TO BE PATCHED OR REPAIRED TO MATCH (E) MATERIALS TO ACCOMMODATE THE WORK.
- ALL (E) SYSTEMS ARE TO BE FULLY OPERATIONAL AT COMPLETION OF PROJECT. NOTIFY ARCHITECT AND OWNER OF ANY (E) SYSTEMS WHICH ARE NOT FUNCTIONAL PRIOR TO COMMENCING WORK.
- (E) CEILING PATTERN, LIGHTING, AND MECHANICAL ITEMS ARE DIAGRAMMATIC. COORDINATE IN-FIELD LOCATIONS FOR SCOPE OF WORK. VERIFY WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO PROTECT ALL EXISTING ITEMS TO REMAIN. APPLY AND MAINTAIN PROTECTIVE PLASTIC SHEETING OR OTHER ACCEPTABLE FORMS OF PROTECTION ON ALL SURFACES TO REMAIN.
- SECURITY SYSTEM: COORDINATE WITH OWNER ANY MODIFICATIONS REQUIRED TO AN EXISTING HOME SECURITY SYSTEM, OR THE PROVISION OF A NEW SYSTEM.
- PROVIDE NEW INTERIOR DOORS AS INDICATED ON THE FLOOR PLAN. INCLUDE DOOR HARDWARE AND CASINGS. COORDINATE WITH OWNER AS TO WHICH EXISTING DOORS WILL BE REUSED.
- CABINETS AND COUNTER TOPS TO BE SELECTED BY OWNER.
- WALL FINISHES TO BE 5/8" GYPSUM BOARD, TYPICAL, UNLESS OTHERWISE NOTED. CONFIRM WITH OWNER WHICH (E) WALLS WILL BE DEMOLISHED AND/OR RE-FINISHED.
- FLOOR FINISH: THE CONTRACTOR IS TO CONFIRM THE FLOOR FINISH MATERIALS AND COLORS WITH THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- PAINT: THE CONTRACTOR IS TO CONFIRM PAINT TYPE AND COLORS WITH THE ARCHITECT AND OWNER PRIOR TO PAINTING.
- INSULATION: INSTALL INSULATION IN THE WALLS, FLOORS AND CEILING AS SPECIFIED IN THE TITLE-24 CALCULATIONS.
- MODIFY EXISTING MECHANICAL DUCTS AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- MODIFY EXISTING PLUMBING PIPING AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- REFER TO AND COORDINATE WITH ELECTRICAL, PLUMBING, AND MECHANICAL DRAWINGS FROM SUBS FOR ADDITIONAL SCOPE OF WORK AS APPLICABLE.

RESTROOM GENERAL NOTES

- THE FLOORS OF RESTROOMS SHALL HAVE SURFACES THAT ARE SMOOTH (NON-TEXTURED), NONABSORBENT, LIGHT COLORED, AND EASILY CLEANABLE (E.G., CERAMIC TILE, ETC.). THE MATERIAL SHALL EXTEND 4" UP SURROUNDING WALLS TO PROVIDE A CONTINUOUS INTEGRAL BASE.
- GRAB BARS SHALL HAVE A GRIPPING SURFACE WITH A DIAMETER OF 1-1/4" TO 2", AND BE LOCATED SUCH THAT THE SPACE BETWEEN THE WALL AND THE GRAB BAR IS 1-1/2" CLEAR.
- CONTROLS FOR ACCESSIBLE WATER CLOSETS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, AND A MAXIMUM OF 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.

TEMPERED GLAZING NOTES

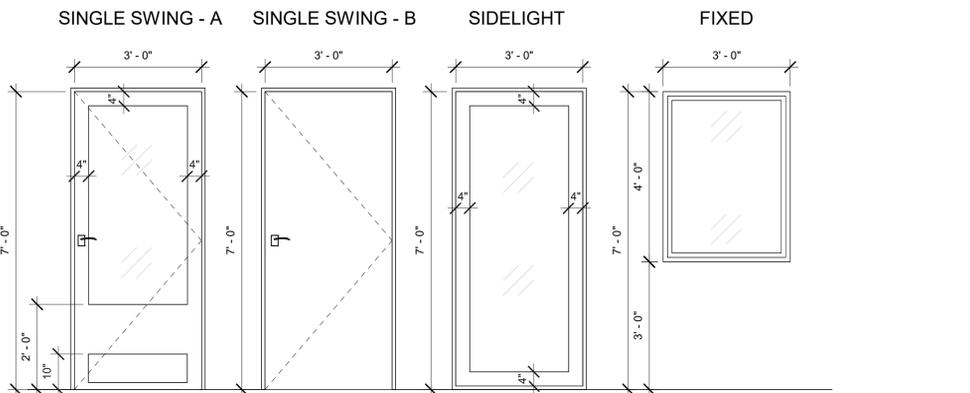
TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET; AND
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.
- GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 60 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE NOSE OF THE TREAD.

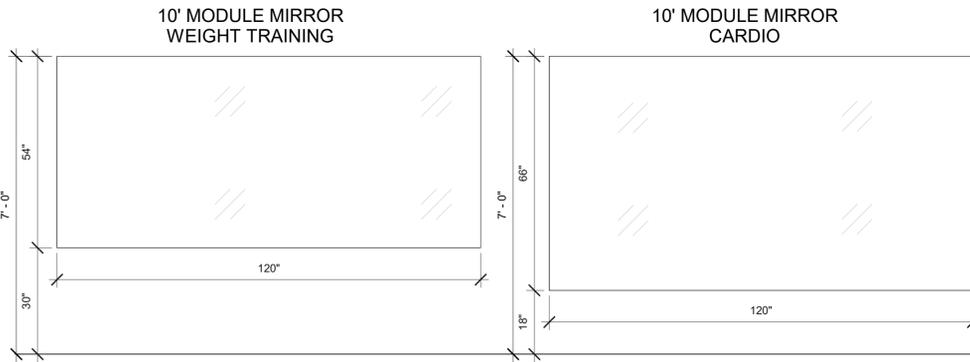
WINDOW SCHEDULE								
NO.	ROOM	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	FINISH	MATERIAL	COMMENTS
1.A	CARDIO	SIDELIGHT	3'-0"	7'-0"	7'-0"	AA	AL	TEMPERED GLASS
1.B	CARDIO	SIDELIGHT	3'-0"	7'-0"	7'-0"	AA	AL	TEMPERED GLASS
1.C	WEIGHT TRAINING	SIDELIGHT	3'-0"	7'-0"	7'-0"	AA	AL	TEMPERED GLASS
1.D	OFFICE	FIXED	3'-0"	4'-0"	7'-0"	AA	AL	TEMPERED GLASS
1.E	OFFICE	FIXED	3'-0"	4'-0"	7'-0"	AA	AL	TEMPERED GLASS

DOOR SCHEDULE								
NO.	ROOM	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	FINISH	FIRE RATING	COMMENTS
1.01	STORAGE	SINGLE SWING - B	3'-0"	7'-0"	7'-0"	AL	N/A	
1.02	CHANGING ROOM #1	SINGLE SWING - B	3'-0"	7'-0"	7'-0"	AL	N/A	
1.03	CHANGING ROOM #2	SINGLE SWING - B	3'-0"	7'-0"	7'-0"	AL	N/A	
1.04	CARDIO	SINGLE SWING - A	3'-0"	7'-0"	7'-0"	AL	N/A	TEMPERED GLASS
1.05	CARDIO	SINGLE SWING - A	3'-0"	7'-0"	7'-0"	AL	N/A	TEMPERED GLASS
1.06	BREAK ROOM	SINGLE SWING - A	3'-0"	7'-0"	7'-0"	AL	N/A	TEMPERED GLASS
1.07	OFFICE	SINGLE SWING - A	3'-0"	7'-0"	7'-0"	AL	N/A	TEMPERED GLASS
1.08	WEIGHT TRAINING	SINGLE SWING - A	3'-0"	7'-0"	7'-0"	AL	N/A	TEMPERED GLASS
1.09	STORAGE	SINGLE SWING - B	3'-0"	7'-0"	7'-0"	AL	N/A	

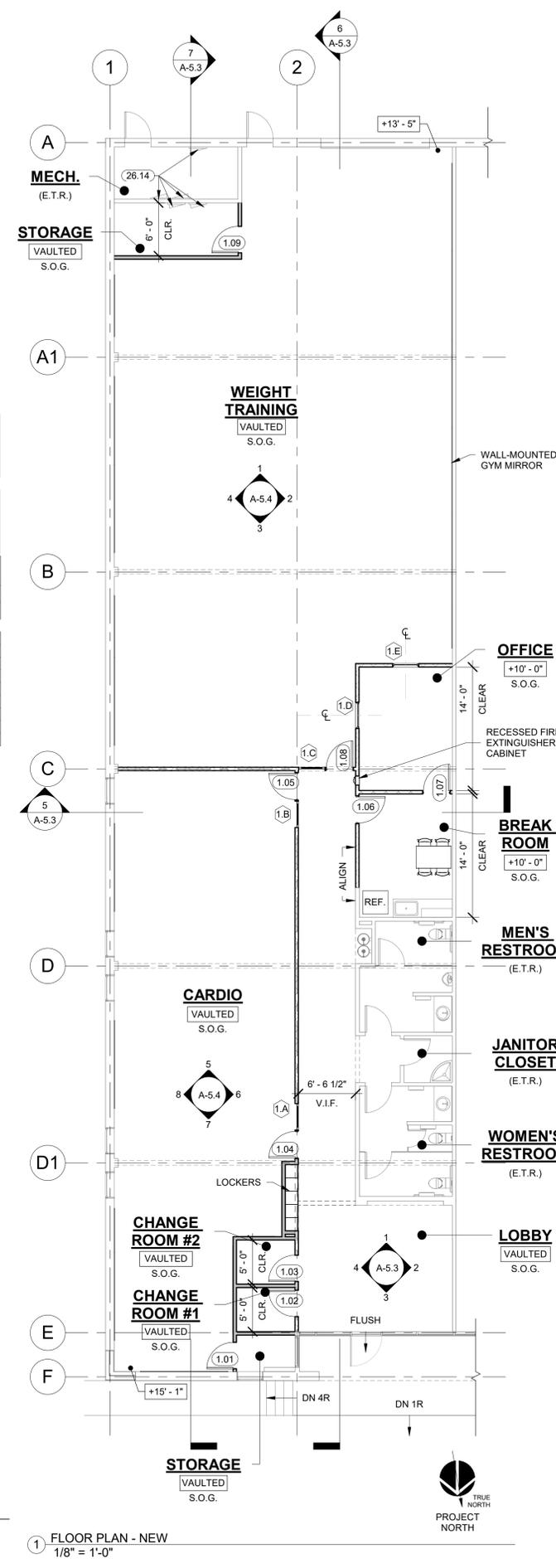
AA = ANODIZED ALUMINUM FINISH
 MA = MAPLE VENEER DOOR TO MATCH BUILDING STANDARD
 AL = ALUMINUM



3 DOOR & WINDOW TYPES
 1/2" = 1'-0"



2 MIRROR TYPES
 1/2" = 1'-0"



1 FLOOR PLAN - NEW
 1/8" = 1'-0"

KEYNOTES

NO.	NOTE
26.14	(E) MAIN ELECTRICAL PANEL TO REMAIN.

PROPOSED PLAN LEGEND:

- EXISTING WALL TO REMAIN
- NEW 3 5/8" METAL STUD WALL - 10' HEIGHT
- NEW 3 5/8" METAL STUD WALL - FULL HEIGHT
- NEW 1-HOUR RATED WALL TO BE ADDED, OR (E) WALL TO BE VERIFIED IN FIELD

REGULATORY APPROVAL STAMP

BRAD COX Architect inc
 community residential
 Brad Cox, Architect, Inc.
 LEED AP, AIA
 (408) 838-3667
 1155 MERIDIAN AVENUE, SUITE #208
 SAN JOSE, CA 95125

BRADLEY J. COX
 No. C-25753
 REN. 06-30-2023
 STATE OF CALIFORNIA

MOVE IT SILICON VALLEY
 CONDITIONAL USE PERMIT SET
 490 DIVISION ST, CAMPBELL, CA 95008

IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS

NO.	DATE	DESCRIPTION
04/05/23	CUP SUBMITTAL	

04/05/23
 DATE
 FLOOR PLAN - NEW, NOTES & SCHEDULES
A-5.1
 SHEET

THIS DRAWING AND THE INFORMATION ENCLOSED HEREIN IS THE PROPERTY OF THE ARCHITECT BRAD COX, ARCHITECT, INC. 2023



B.C.

MOVE IT SILICON VALLEY
CONDITIONAL USE PERMIT SET
490 DIVISION ST, CAMPBELL, CA 95008

IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
NO.	DATE	DESCRIPTION
04/05/23		CUP SUBMITTAL

04/05/23
DATE

LIGHTING & REFLECTED CEILING PLAN

A-5.2
SHEET

THIS DRAWING AND THE INFORMATION ENCLOSED HEREIN IS THE PROPERTY OF THE ARCHITECT BRAD COX, ARCHITECT, INC. 2023

LIGHTING PLAN GENERAL NOTES

GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF INTERIOR AND EXTERIOR LIGHT FIXTURES.
2. CONTRACTOR TO VERIFY LOCATION OF ALL LIGHTS AND SWITCHES WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
3. WALL SWITCHES TO BE LOCATED 42" ABOVE FINISH FLOOR, TYP., U.N.O.
4. SMOKE ALARMS ARE TO BE 110V WITH A BATTERY BACK-UP AND INTERCONNECTED - MUST BE AUDIBLE IN ALL SLEEPING AREAS.
5. CARBON MONOXIDE ALARMS: INSTALL PER CRC R315 AND INTERCONNECT WITH SMOKE DETECTORS. CARBON MONOXIDE ALARMS SHALL BE "LISTED" AS COMPLYING WITH UL 2034 AND UL 2075. CRC R315.3.
6. NEW PERMANENTLY INSTALLED LIGHTING SHALL COMPLY WITH 2016 CA ENERGY CODE SECTION 150(K) AND SHALL BE HIGH EFFICACY FIXTURES (E.G. L.E.D. OR FLUORESCENT) OR PROVIDE A DIMMER SWITCH OR BE CONTROLLED BY A VACANCY SENSOR (MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 110.99(b)) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON.
7. ALL PERMANENTLY INSTALLED HIGH EFFICACY LUMINARIES MUST BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINARIES.
8. RECESSED LIGHTING FIXTURES SHALL BE RATED AS AIR-TIGHT (AT) AND, WHEN INSTALLED IN CEILINGS SHALL HAVE AN APPROVED ZERO CLEARANCE INSULATION COVER (IC).
9. CONTRACTOR TO VERIFY LOCATION OF DOOR BELL CHIME AND MAKE SURE THAT IT FUNCTIONS PROPERLY AFTER THE COMPLETION OF THE ELECTRICAL SYSTEM.
10. SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAB (JOINT APPENDIX 8) COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAB-2016" OR "JAB-2016-E".
11. JAB COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS:
 - A. CEILING RECESSED DOWNLIGHT LUMINAIRES
 - B. LED LUMINAIRES WITH INTEGRAL SOURCES.
 - C. PIN-BASED LED LAMPS (I.E. MR16, AR-111, ETC.)
 - D. GU-24 BASED LED LIGHT SOURCES.
12. THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN FIVE FEET ABOVE THE FINISH FLOOR SHALL BE LIMITED TO NO MORE THAN THE NUMBER OF BEDROOMS. THESE BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL.
13. A COMPLETED CP2R-LTG-01-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

BATHROOMS

- B1. ALL LIGHTS IN THE POWDER ROOM OR BATHROOM SHALL BE HIGH EFFICACY LUMINAIRES.
- B2. AT LEAST ONE FIXTURES IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR (MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 110.99(b)) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON).

LAUNDRY ROOMS

- L1. ALL LIGHTS IN THE LAUNDRY ROOM SHALL BE HIGH EFFICACY LUMINAIRES.
- L2. AT LEAST ONE FIXTURES IN THE LAUNDRY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR (MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 110.99(b)) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON).

SHOWER

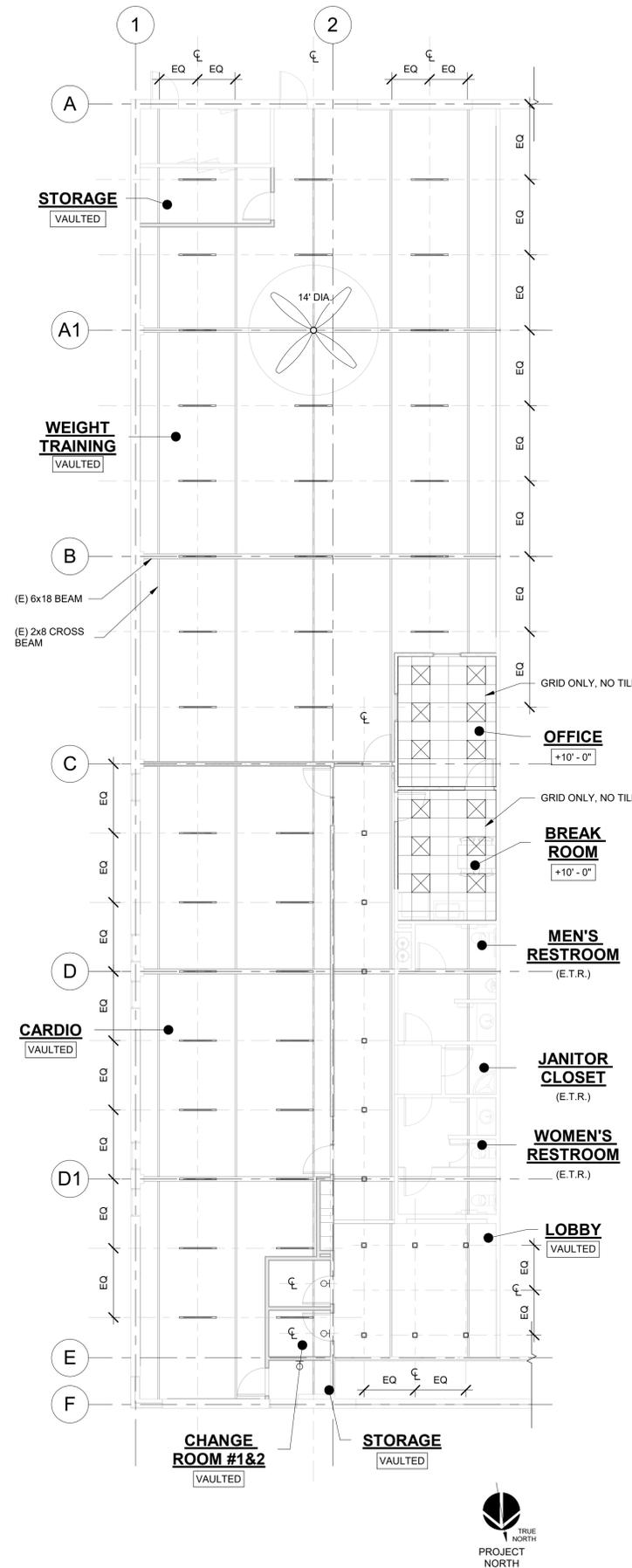
- SH1. THE FOLLOWING FIXTURES SHALL BE LISTED FOR A DAMP LOCATION OR A WET LOCATION WHEN SUBJECT TO SHOWER SPRAY: 1) LIGHTING FIXTURES LOCATED WITHIN THE TUB/SHOWER ENCLOSURE, AND 2) HANGING LIGHTING FIXTURES AND PADDLE FANS LOCATED WITHIN 3' HORIZONTALLY AND 8' VERTICALLY OF THE BATHTUB RIM/SHOWER STALL THRESHOLD. (CEC 410.4)

UTILITY ROOMS

- UT1. ALL LIGHTS IN THE UTILITY ROOM SHALL BE HIGH EFFICACY LUMINAIRES.
- UT2. AT LEAST ONE FIXTURE IN THE UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR (MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 110.99(b)) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON).

OUTDOORS

- O1. ALL OUTDOOR LIGHTS PERMANENTLY MOUNTED TO THE RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT ARE HIGH EFFICACY LUMINAIRES OR ARE TO BE CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL.
- O2. THE LIGHTS SHALL HAVE A MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING:
 - 1) PHOTOCONTROL AND MOTION SENSOR
 - 2) PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
 - 3) ASTRONOMICAL TIME SWITCH CONTROL
 - 4) ENERGY MANAGEMENT CONTROL SYSTEMS.



LIGHTING PLAN & RCP LEGEND:

- CEILING SURFACE FIXTURE
- WALL SURFACE MTD. FIXTURE A (letter denotes fixture type)
- CEILING RECESSED CAN
- CEILING WALL WASHER
- CEILING DIRECTIONAL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR, SD COMBO
- THERMOSTAT
- FAN HANGER OUTLET (Wire Two Switches)
- GARAGE DOOR OUTLET
- SPEAKER
- SINGLE POLE SWITCH
- SINGLE POLE DIMMER SWITCH
- SINGLE POLE THREE-WAY SWITCH
- SUPPLY AIR GRILLE
- RETURN AIR GRILLE
- EXHAUST FAN ABOVE CEILING WITH BACKDRAFT DAMPER
- EXHAUST FAN WITH LIGHT
- L.E.D. UNDER CABINET FIXTURE
- FLUOR. ROPE FIXTURE
- WEATHER PROOF
- EXTERIOR FLOOD LIGHT W/MOTION DETECTOR
- PENDANT LIGHT FIXTURE (Single Arm)
- EXIT LIGHT - CEILING MOUNTED
- EXIT LIGHT - WALL MOUNTED
- CEILING MOUNTED LED LIGHT FIXTURE
- CEILING MOUNTED LED LIGHT FIXTURE
- CEILING EXHAUST FAN/LIGHT COMBO W/FLOUR. FIXT. VENT TO OUTSIDE AIR
- CEILING FAN, LIGHT COMBO
- CEILING GAS HEATER
- GARAGE DOOR OPENER
- TRACK LIGHTING
- SPRINKLER
- JUNCTION BOX

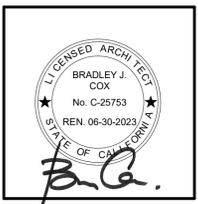
REGULATORY APPROVAL STAMP

1 REFLECT CEILING & LIGHTING PLAN
1/8" = 1'-0"



EXISTING TO REMAIN (NO WORK)

EXISTING TO REMAIN (NO WORK)



MOVE IT SILICON VALLEY
 CONDITIONAL USE PERMIT SET
 490 DIVISION ST, CAMPBELL, CA 95008

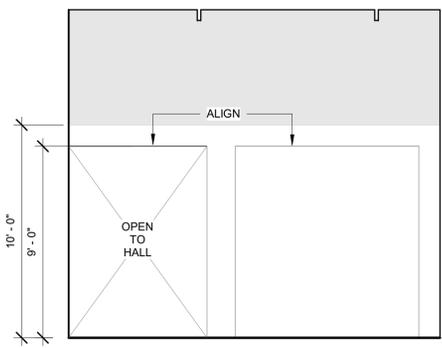
IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
NO.	DATE	DESCRIPTION

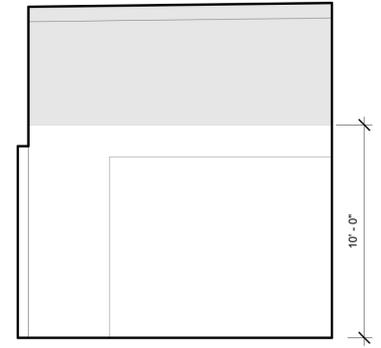
REGULATORY APPROVAL STAMP

04/05/23
 DATE

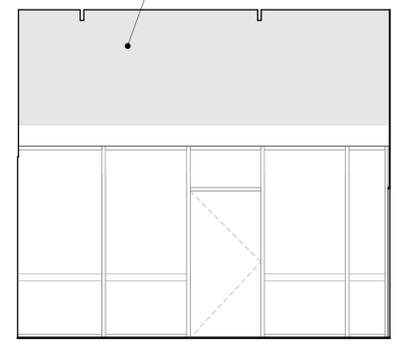
BUILDING SECTIONS & INTERIOR ELEVATION
A-5.3
 SHEET



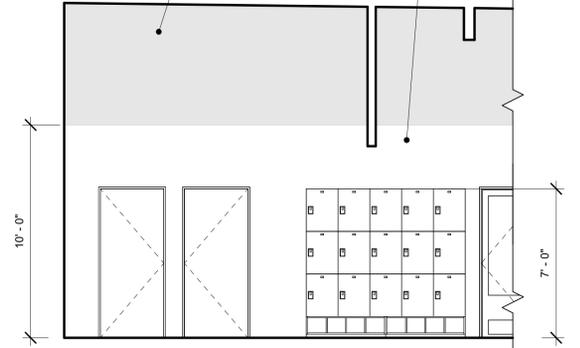
1 INTERIOR ELEVATION - LOBBY - SOUTH
 1/4" = 1'-0"



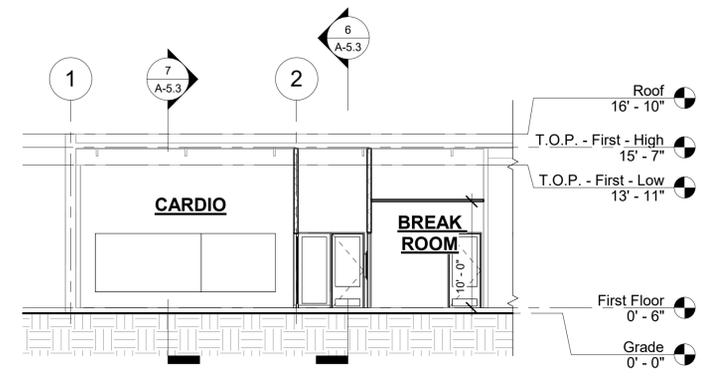
2 INTERIOR ELEVATION - LOBBY - WEST
 1/4" = 1'-0"



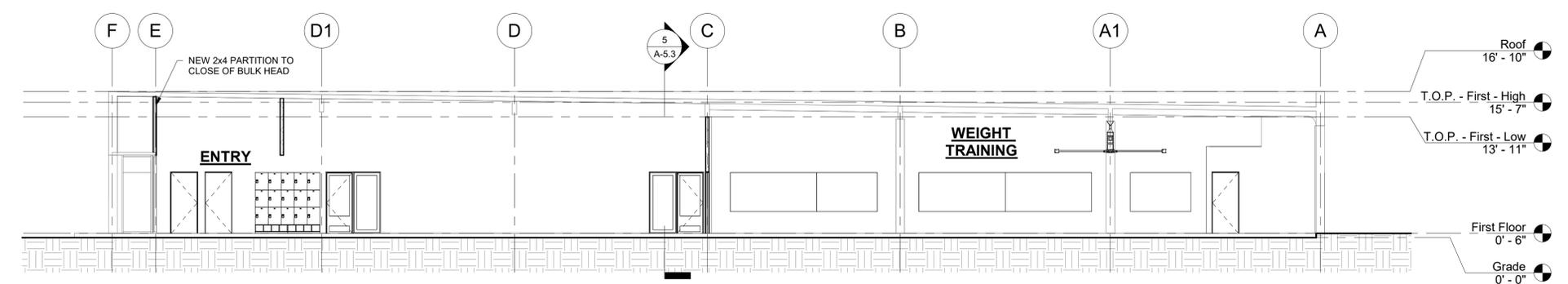
3 INTERIOR ELEVATION - LOBBY - NORTH
 1/4" = 1'-0"



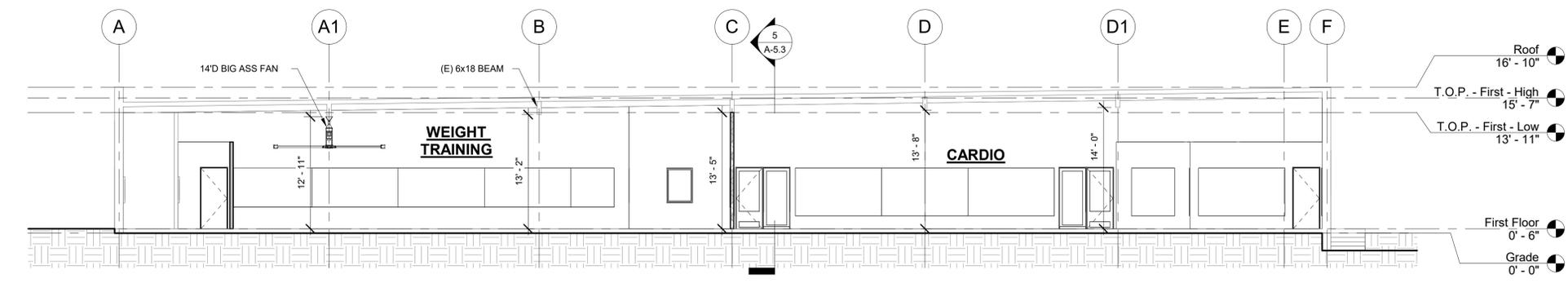
4 INTERIOR ELEVATION - LOBBY - EAST
 1/4" = 1'-0"



5 BUILDING SECTION #3 - LEFT/RIGHT
 1/8" = 1'-0"



6 BUILDING SECTION #2 - FRONT/REAR
 1/8" = 1'-0"



7 BUILDING SECTION #1 - FRONT/REAR
 1/8" = 1'-0"



MOVE IT SILICON VALLEY
 CONDITIONAL USE PERMIT SET
 490 DIVISION ST, CAMPBELL, CA 95008

IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
NO.	DATE	DESCRIPTION
1	04/05/23	CUP SUBMITTAL

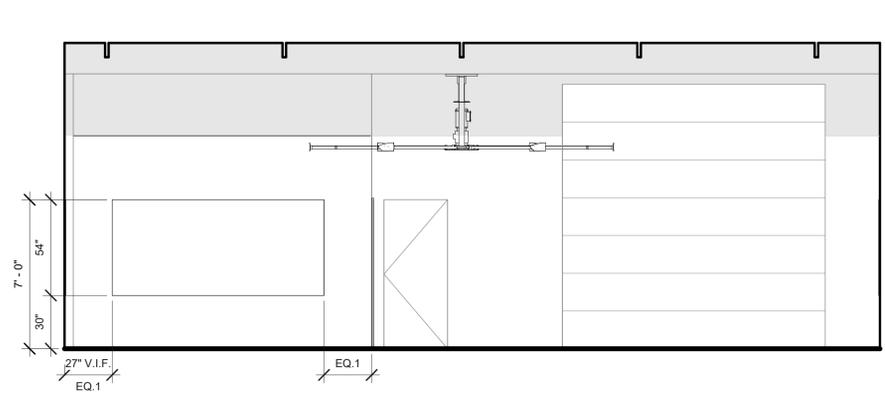
REGULATORY APPROVAL STAMP

04/05/23
 DATE

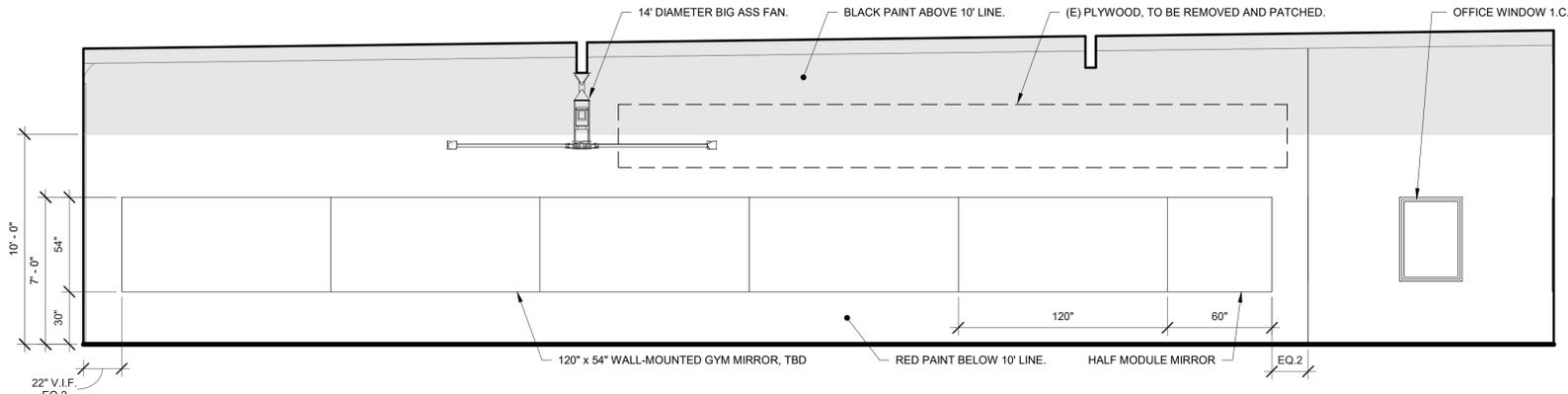
INTERIOR
 ELEVATIONS

A-5.4
 SHEET

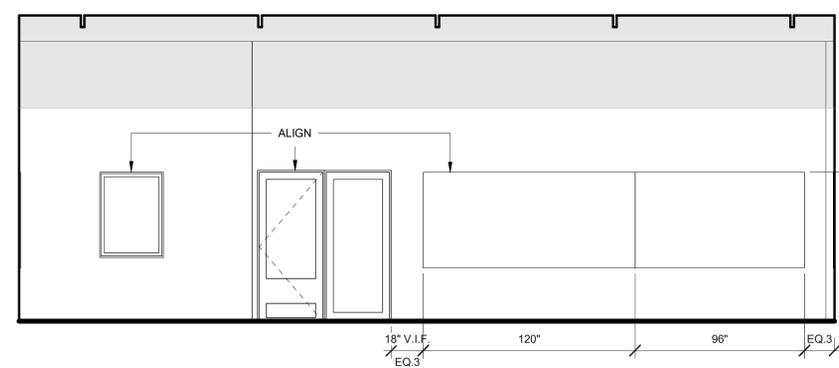
THIS DRAWING AND THE INFORMATION ENCLOSED HEREIN IS THE PROPERTY OF THE ARCHITECT, BRAD COX, ARCHITECT, INC. 2021



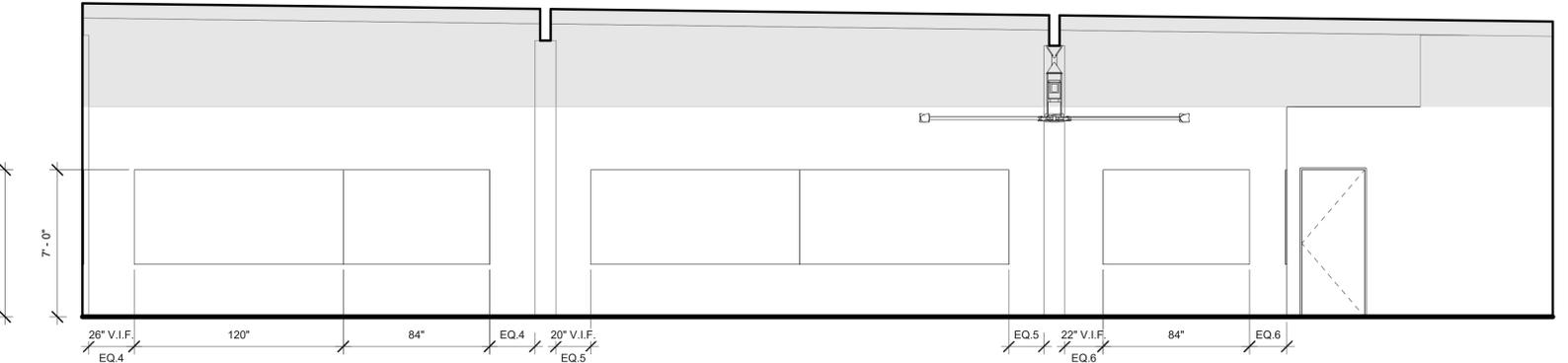
1 INTERIOR ELEVATION - WEIGHT TRAINING - SOUTH
 1/4" = 1'-0"



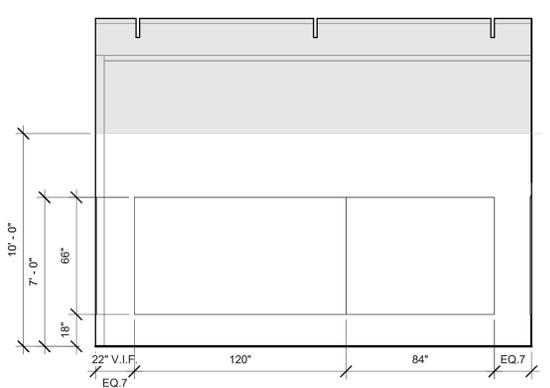
2 INTERIOR ELEVATION - WEIGHT TRAINING - WEST
 1/4" = 1'-0"



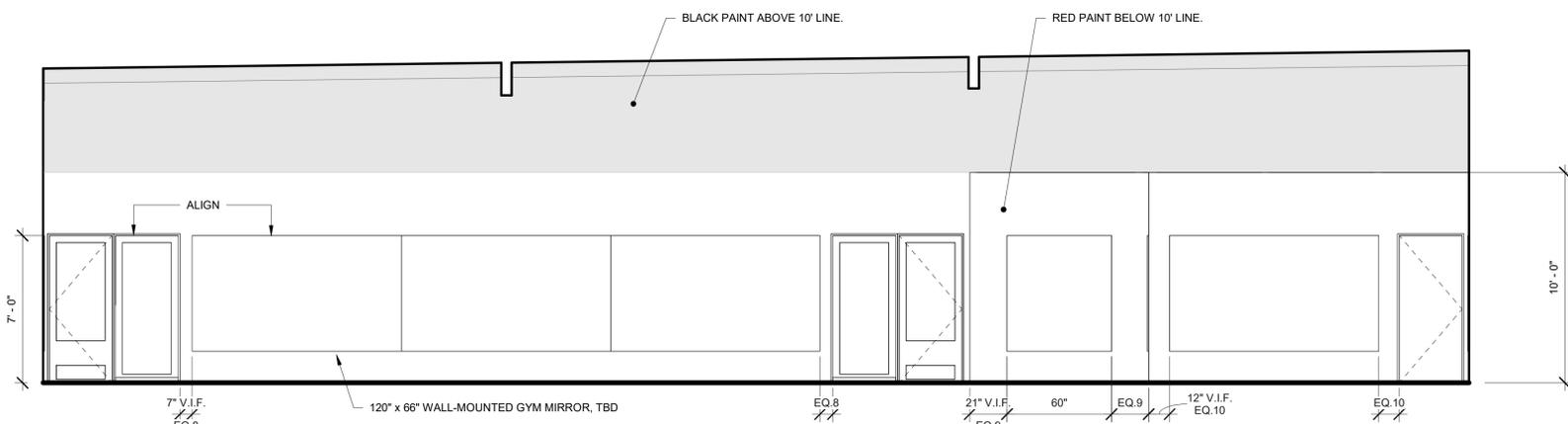
3 INTERIOR ELEVATION - WEIGHT TRAINING - NORTH
 1/4" = 1'-0"



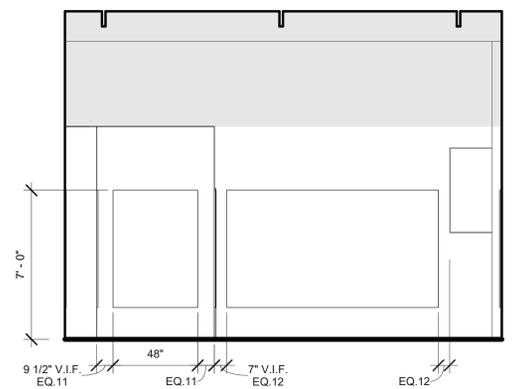
4 INTERIOR ELEVATION - WEIGHT TRAINING - EAST
 1/4" = 1'-0"



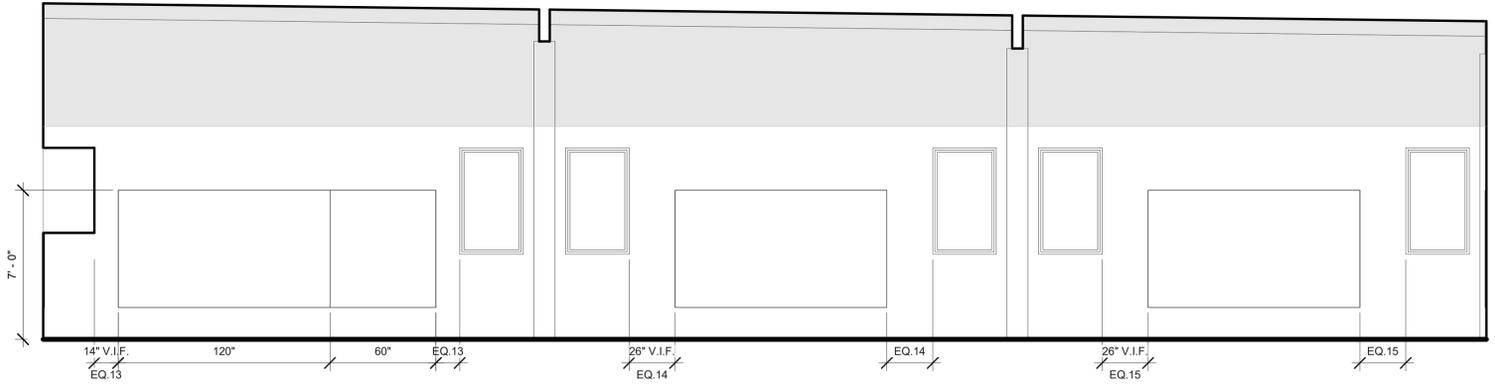
5 INTERIOR ELEVATION - CARDIO - SOUTH
 1/4" = 1'-0"



6 INTERIOR ELEVATION - CARDIO - WEST
 1/4" = 1'-0"



7 INTERIOR ELEVATION - CARDIO - NORTH
 1/4" = 1'-0"



8 INTERIOR ELEVATION - CARDIO - EAST
 1/4" = 1'-0"



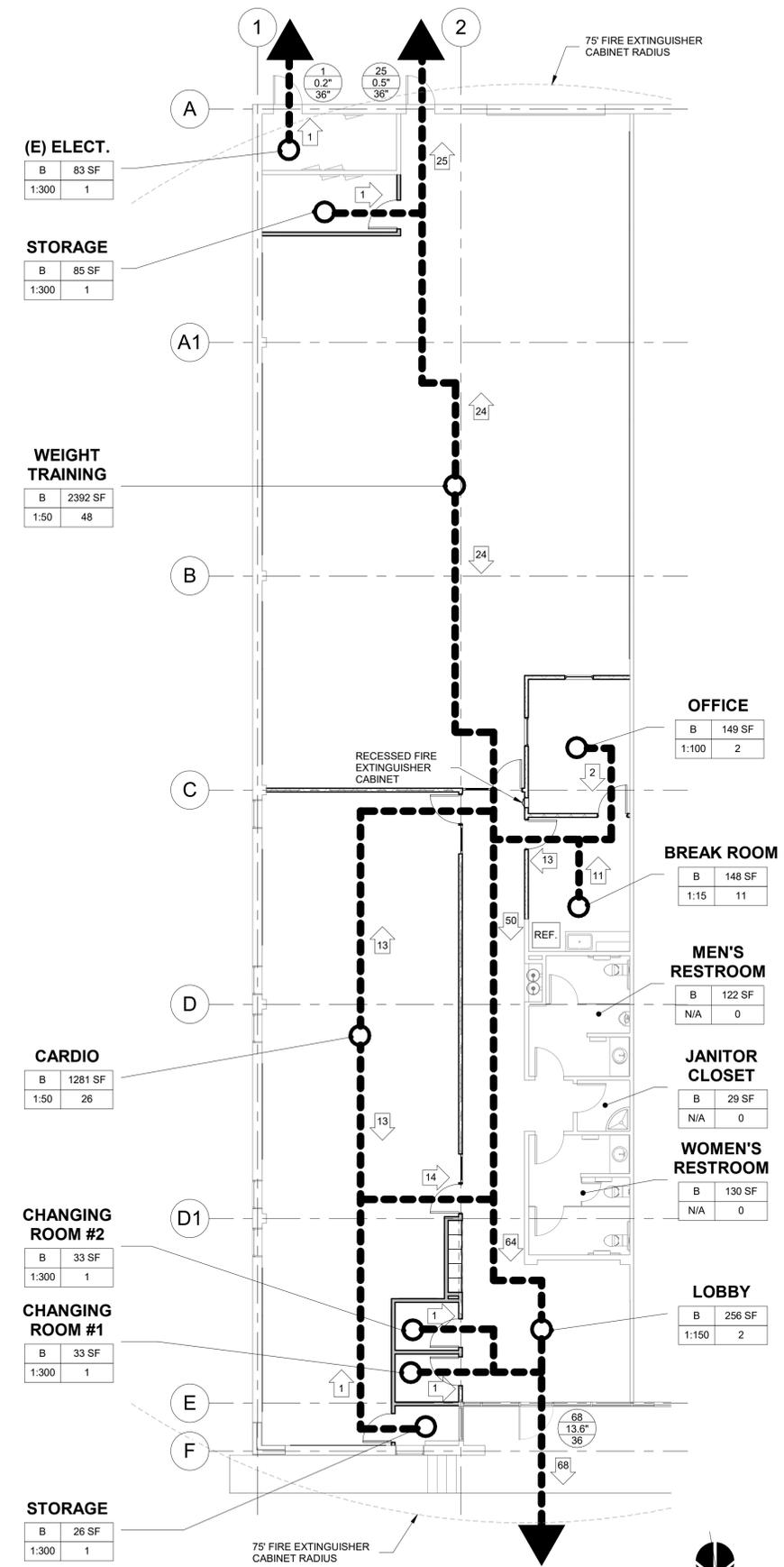
MOVE IT SILICON VALLEY
CONDITIONAL USE PERMIT SET
490 DIVISION ST, CAMPBELL, CA 95008

IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
NO.	DATE	DESCRIPTION
1	04/05/23	CUP SUBMITTAL

04/05/23
DATE
EGRESS PLAN
A-5.5
SHEET

THIS DRAWING AND THE INFORMATION ENCLOSED HEREIN IS THE PROPERTY OF THE ARCHITECT BRAD COX, ARCHITECT, INC. 2023



EGRESS PLAN LEGEND:

- ACCESSIBLE PATH OF TRAVEL
- AREA OCCUPANT LOAD DESIGNATION
- ROOM NAME
- OCCUPANCY CLASSIFICATION OF SPACE
- SQUARE FOOTAGE
- NUMBER OF OCCUPANTS
- OCCUPANT LOAD FACTOR
- ↑ DIRECTION OF EGRESS AND OCCUPANT LOAD
- ▲ EXIT DOORWAY
- DOORWAY OCCUPANT LOAD DESIGNATION
- NUMBER OF OCCUPANTS
- EXIT WIDTH REQUIRED
- EXIT WIDTH PROVIDED
- 75' FIRE EXTINGUISHERS TRAVEL DISTANCE LIMIT

REGULATORY APPROVAL STAMP



1 FLOOR PLAN - EGRESS
1/8" = 1'-0"