

Location of Proposed Project




City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Proposed stucco

Notice of Decision on Proposed Project

CORRECTED NOTICE

Dear Campbell Resident,

June 14, 2023

The Community Development Director will be rendering a decision on the following project.

Project Address: 912 Campisi Way

Zoning | Area Plan: C-PD | N/A

Neighborhood Association(s): N/A

File No: PLN-2023-68

APN: 288-03-999

Applicant: Association Construction Services, Inc.

Property Owner: Community Management Services, Inc.

Application Type: Minor Modification to a Planned Development Permit

Project Planner: Tracy Tam, Associate Planner

Email Contact: tracyt@campbellca.gov

Phone Contact: (408) 871-5103

Project Description:

To allow an exterior material change from a stacked stone veneer to stucco.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **June 12, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **June 22, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



GENERAL NOTES

- 1 ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- 2 ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND/OR REQUIRED BY THE ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.
- 3 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY OF THESE PLANS AND SPECIFICATIONS.
- 4 THE GENERAL CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
- 5 NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE ARCHITECT. OWNER. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE REVIEWED SHOP DRAWINGS AND SAMPLES.
- 6 THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.
- 7 SHOULD A DISCREPANCY APPEAR IN DRAWINGS OR SPECIFICATIONS, OR IN WORK DONE BY OTHERS AFFECTING THIS WORK, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION AS TO PROCEDURE. IF CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT INSTRUCTION FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT.
- 8 SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATION OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONTRACTOR INVOLVED UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED WRITTEN DECISION FROM ARCHITECT AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- 9 ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- 10 THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY WORK EXCEPT BY AGREEMENT OF THE ARCHITECT.
- 11 CONSTRUCTION LIABILITY: CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- 12 ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, CITY, COUNTY, STATE AND FEDERAL CODES, ORDINANCES, LAWS AND REGULATIONS APPLICABLE TO THIS WORK.
- 13 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- 14 ALL ON-SITE AND OFF-SITE ELECTRIC, GAS AND TELEPHONE DISTRIBUTION SHALL BE PER UTILITY COMPANIES' DRAWINGS AND REQUIREMENTS.
- 15 THE CONTRACTOR SHALL PAINT ALL CONCRETE CURBS, FIRE HYDRANTS, RISERS, ETC. PER REQUIREMENTS SET FORTH BY THE FIRE MARSHALL OR LOCAL GOVERNING AGENCIES.
- 16 ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
- 17 TEMPERED SAFETY GLAZING SHALL BE USED IN AREAS OF HUMAN IMPACT AS PER C.B.C. SECTION 2406.
- 18 INTERIOR WALL AND CEILING FINISH SHALL CARRY A FLAME SPREAD RATING AS REQUIRED BY C.B.C. CHAPTER 8.
- 19 ALL INSULATION TO HAVE A FLAME SPREAD RATING OF 25 OR LESS AND SMOKE DEVELOPMENT OF 450 OR LESS.
- 20 ALL HARDWARE SHALL COMPLY WITH CURRENT REQUIREMENT FOR ACCESS BY THE PHYSICALLY DISABLED EFFORT TO OPERATE DOORS. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 LBS FOR EXTERIOR DOORS AND 15 LBS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS, AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED 15 LBS.
- 21 INTERIOR AND EXTERIOR THRESHOLDS WILL BE REQUIRED TO BE NO HIGHER THAN 1/2 INCH ABOVE THE ADJACENT FLOOR LEVELS. EACH EXPOSED EDGE OF THRESHOLDS IS REQUIRED TO BE LEVELED OR SLOPED AT AN ANGLE NOT TO EXCEED 45 DEGREES SO THAT NO VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4 INCH.
- 22 MOUNTING HEIGHT: A. CONTROLS, SWITCHES, PULL CORDS, THERMOSTATS, ETC. SHALL BE MOUNTED NOT MORE THAN BETWEEN 36" MINIMUM AND 48" ABOVE FINISH FLOOR. B. CONVENIENCE WALL OUTLETS SHALL BE MOUNTED AT 15" ABOVE FINISH FLOOR. C. HARDWARE, HAND ACTIVATED DOOR OPENING IS REQUIRED TO BE CENTERED BETWEEN 30 AND 44 INCH HIGH, OPERABLE WITH A SINGLE EFFORT BY LEVEL TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- 23 NOTE TO CONTRACTORS: MATERIALS, EQUIPMENT AND ASSEMBLIES SHOWN ARE MINIMUM REQUIREMENTS OR PERFORMANCE STANDARDS. LOCAL JURISDICTIONS MAY REQUIRE PERFORMANCE STANDARDS BEYOND THOSE SHOWN OR SPECIFIED. FURTHERMORE, LOCAL JURISDICTIONS MAY PREVENT THE USE OF COMMONLY ACCEPTED MATERIALS. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL LOCAL CODE REQUIREMENTS FOR LICENSING, MATERIALS AND PERFORMANCE STANDARDS, PRIOR TO SUBMITTING BID. ALL CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION AND RESOLVED, BY MUTUAL AGREEMENT, PRIOR TO SUBMISSION OF BID OR HIGHEST PRICED WORK. (LOCAL REQUIREMENT VERSUS SPECIFIED REQUIREMENTS) SHALL BE INCLUDED IN THE BID.

ONYX RESIDENTIAL COMPLEX WALL REPAIR

912 CAMPISI WAY
CAMPBELL, CALIFORNIA 95008

ONYX RESIDENTIAL
COMPLEX
WALL REPAIR

912 CAMPISI WAY
CAMPBELL, CALIFORNIA

COMMUNITY MANAGEMENT
SERVICES, INC.



Ko Architects, Inc.
900 High Street, Suite 1
Palo Alto, CA 94301
p: 650.853.1908
f: 650.853.1845

PROJECT TEAM

C L I E N T / O W N E R :
COMMUNITY MANAGEMENT SERVICES, INC
1935 DRY CREEK RD, SUITE 203
CAMPBELL, CA 95008
Contact: CHRIS VALENZUELA
Phone: (408)559-1911
Email: cvalenzuela@communitymanagement.com

A R C H I T E C T :
KO ARCHITECTS, INC.
900 HIGH STREET, STE. 1
PALO ALTO, CA 94301
Contact: PETER KO, AIA, LEED AP
Phone: (650)853-1908
Email: design@koarch.com

C O N T R A C T O R :
ASSOCIATION CONSTRUCTION SERVICES, INC.
926 N. 9TH STREET
SAN JOSE, CA 95112
Contact: LIZ GREER
Phone: (408)281-5050
Email: liz@acsi-gc.com

PROJECT DATA

ADDRESS: 912 CAMPISI WAY
CAMPBELL, CA 95008

AFN: 288-03-014

ZONING: CONDOMINIUM PLANNED DEVELOPMENT

USE: CONDOMINIUM (NO CHANGE)

(E) SITE AREA: 1.68 ACRE GROSS
1.2 ACRE NET

(E) AREA:
BUILDING: ±89,212 SQFT (NO CHANGE)
GARAGE: ±50,106 SQFT (NO CHANGE)
RETAIL: ±4,550 SQFT (NO CHANGE)
TOTAL: ±144,468 SQFT (NO CHANGE)

(E) DWELLING UNITS: 45

(E) BUILDING HEIGHT: ±50'-0" (NO CHANGE)

SCOPE OF WORK

THIS PROJECT IS FOR EXTERIOR SOUTH WALL VENEER REPAIRS AT THE ONYX RESIDENTIAL COMPLEX LOCATED AT 912 CAMPISI WAY, CAMPBELL, CA 95008. THE SCOPE OF WORK INCLUDES REMOVING THE DAMAGED SECTIONS OF THE EXISTING STONE VENEER AND REPLACING WITH EIFS PANEL. THE FINAL FINISH FOR THE EIFS PANEL IS DRYVIT POLYMER CEMENT MEDIUM GRADE SAND PEBBLE FINISH.

THERE IS NO STRUCTURAL ALTERNATION TO THE BUILDING.

SHEET INDEX

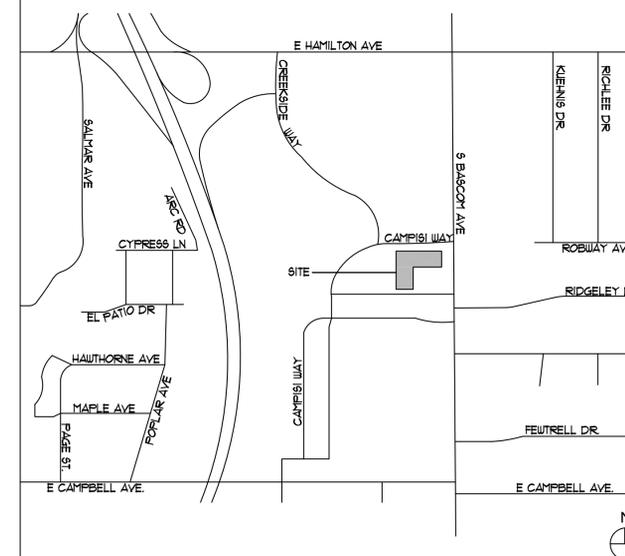
A R C H I T E C T U R A L :

- AS0.0 COVER SHEET
- AS1.0 SITE PLAN
- AS2.0 ELEVATIONS & DETAILS
- AS3.0 COLORED ELEVATION & COLOR BOARD
- AS4.0 SITE PHOTOS

CODE REFERENCE

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA GREEN BUILDING STANDARDS (TITLE 24)
NFPA STANDARDS, ASTM SPECIFICATIONS, OSHA REGULATIONS & ADA GUIDELINES
ALL LOCAL ADOPTED ORDINANCES RELATING TO BUILDING CONSTRUCTION

VICINITY MAP



REVISION	
MINOR PD PERMIT	04.10.2023

PROJECT NO.	23-301
DATE	JAN 17, 2023
DRAWN BY	CZ
SCALE	AS NOTED

COVER
SHEET

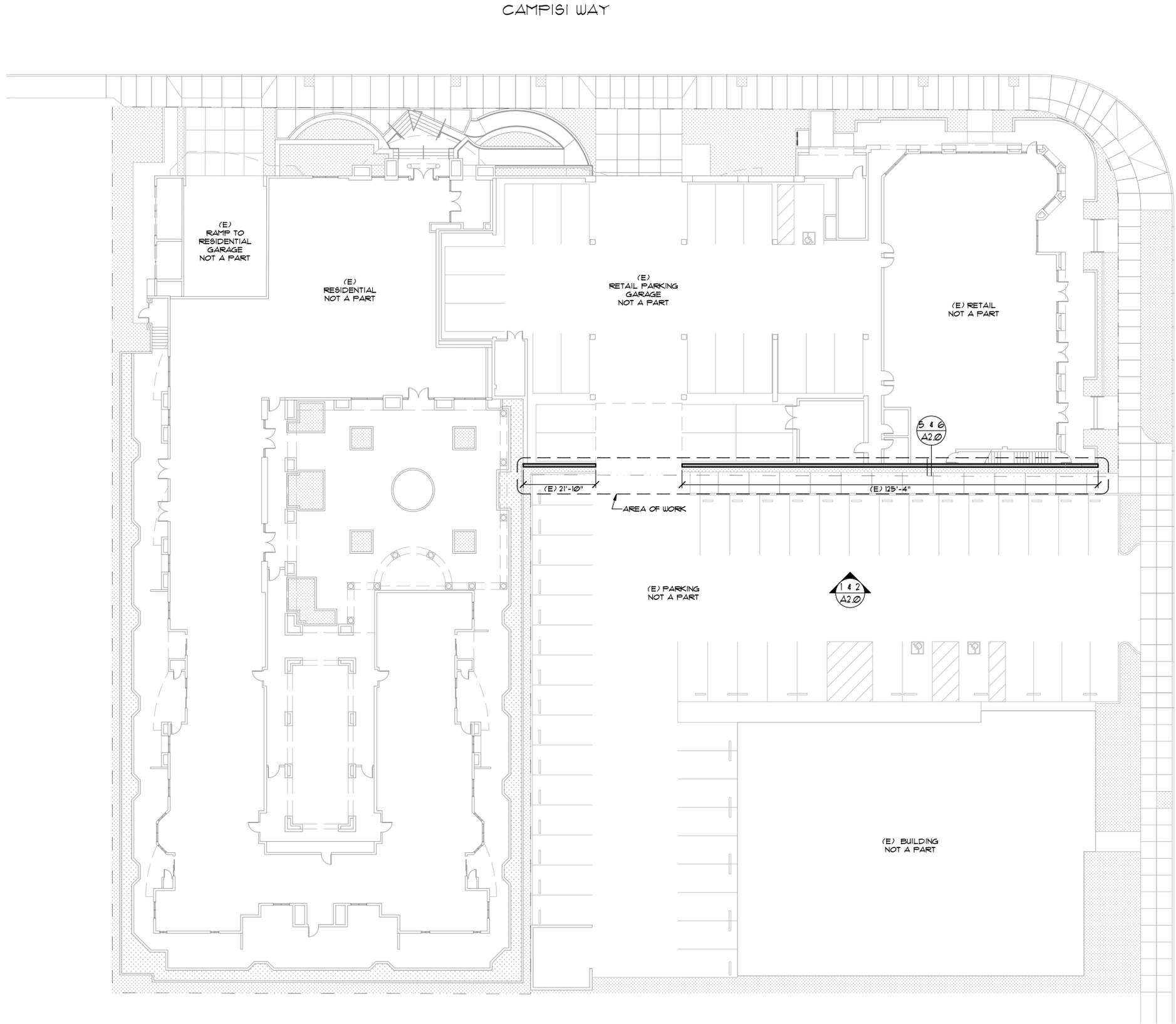
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ONYX RESIDENTIAL
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WALL REPAIR

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CAMPBELL, CALIFORNIA

COMMUNITY MANAGEMENT
SERVICES, INC.

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REVISION	
MINOR PD PERMIT	04.10.2023

REF. NORTH	PROJECT NO.	23-301
	DATE	JAN 17, 2023
	DRAWN BY	EC
	SCALE	AS NOTED

SHEET
AS1.0

SITE
PLAN

**ONYX RESIDENTIAL
COMPLEX
WALL REPAIR**

912 CAMPISI WAY
CAMPBELL, CALIFORNIA

COMMUNITY MANAGEMENT
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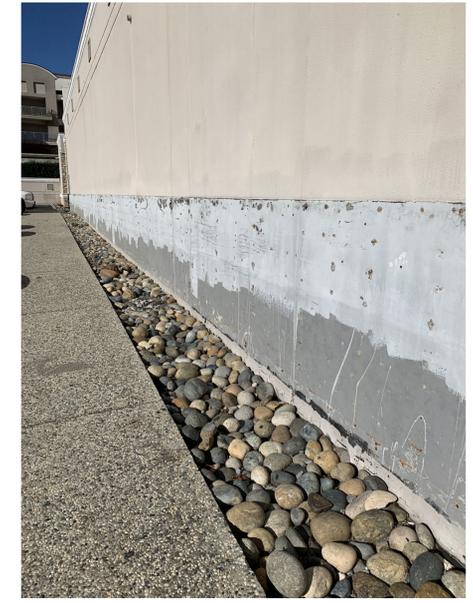
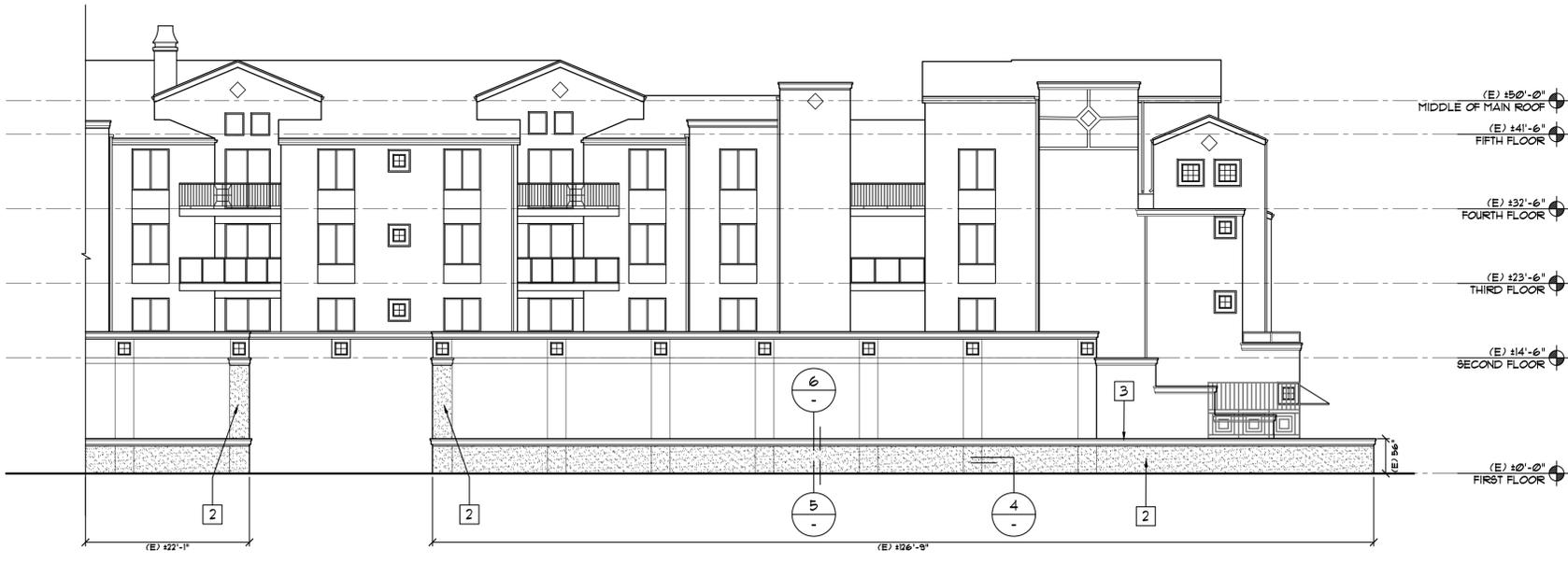
AREA OF WORK



LEGEND		-	-
1	DASHED AREA INDICATES EXISTING STONE VENEER TO BE REMOVED		
2	INDICATES (N) EIFS PANEL, DRYVIT POLYMER CEMENT MEDIUM GRADE SAND PEBBLE FINISH, PAINT TO KM 5185 COUNTRY CLUB.		
3	NEW FOAM TRIM TO MATCH EXISTING, PAINT TO SWISS COFFEE		

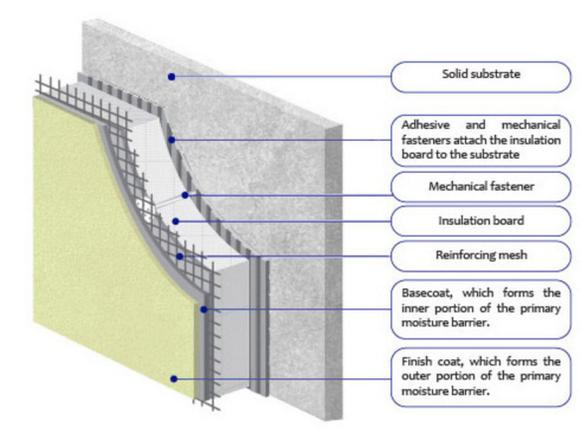
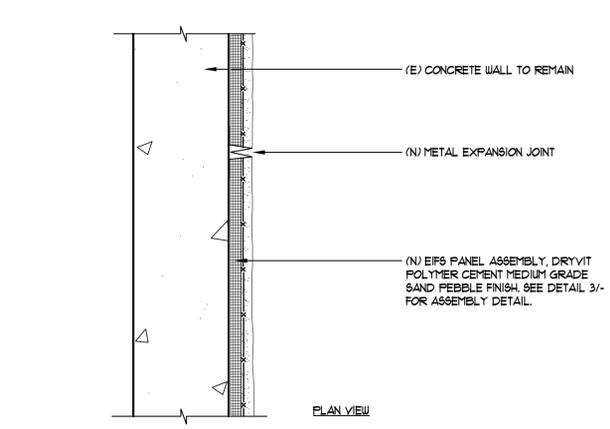
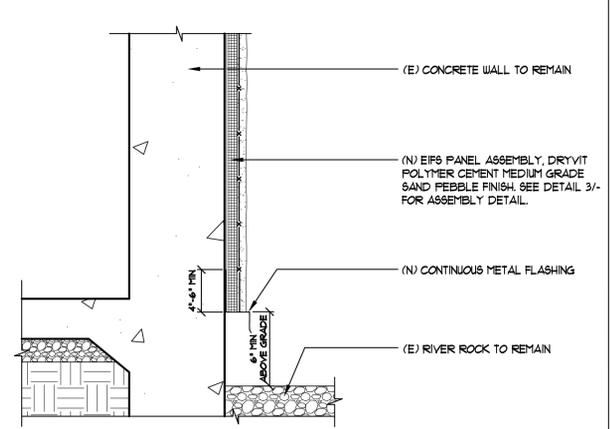
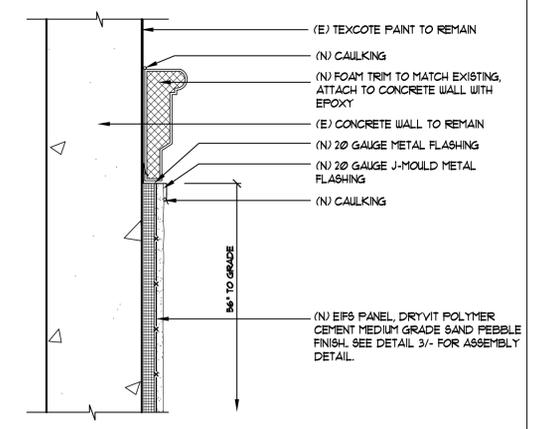
EXISTING ELEVATION 3/32" 1

KEYNOTES - -



PROPOSED ELEVATION 3/32" 2

EXISTING CONDITION - -



EXTERIOR WALL W/ EIFS PANEL DETAIL 3" 6

EXTERIOR WALL W/ EIFS PANEL @ BOTTOM DETAIL 3" 5

EIFS PANEL CONTROL JOINT 3" 4

EIFS PANEL ASSEMBLY DETAIL NT& 3

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SHEET
**ELEVATIONS &
DETAILS AS2.0**

ONYX RESIDENTIAL COMPLEX WALL REPAIR

912 CAMPISI WAY
CAMPBELL, CALIFORNIA

COMMUNITY MANAGEMENT
SERVICES, INC.



- 1 INDICATES (N) EIFS PANEL, PAINT TO MATCH THE SHORT WALL COLOR IN BUILDING ENTRANCE. THE FINAL FINISH FOR THE EIFS PANEL IS DRYVIT POLYMER CEMENT MEDIUM GRADE SAND PEBBLE FINISH.
- 2 NEW FOAM TRIM TO MATCH EXISTING, PAINT TO SWISS COFFEE

LEGEND

	EXISTING CONCRETE TEXCOTE PAINT COLOR TO REMAIN
	(N) EIFS PANEL PAINT. THE FINAL FINISH FOR THE EIFS PANEL IS DRYVIT POLYMER CEMENT MEDIUM GRADE SAND PEBBLE FINISH. KM 5185 COUNTRY CLUB
	THIS PROPOSED COLOR MATCHES THE THE COLOR USED IN THE WALL BASE AROUND BUILDING ENTRANCE AREA.

COLORED ELEVATION 3/32" 2



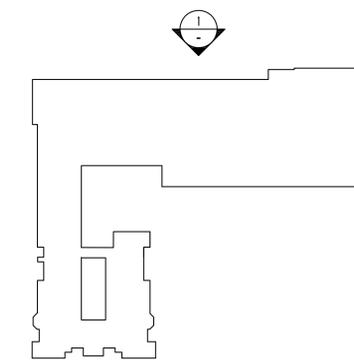
1 BUILDING ENTRANCE VIEW
ALONG CAMPISI WAY



THIS IS THE COLOR USED IN THE WALL BASE AROUND BUILDING ENTRANCE AREA. NEW STUCCO COLOR PROPOSED IS TO MATCH THIS COLOR.



THIS IS THE COLOR USED IN THE WALL BASE AROUND BUILDING ENTRANCE AREA. NEW STUCCO COLOR PROPOSED IS TO MATCH THIS COLOR.



KEYMAP

BUILDING ENTRANCE PHOTO AND KEYMAP

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COLORED ELEVATION AND COLOR BOARD SHEET
AS3.0

