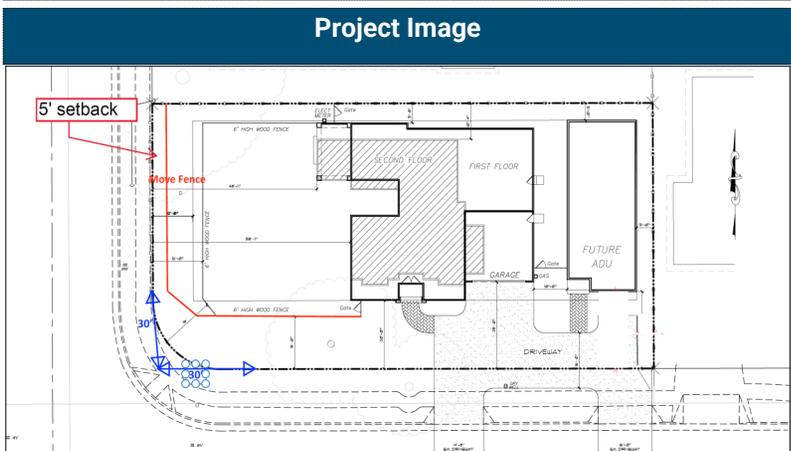






City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423



# Notice of Decision on Proposed Project

Dear Campbell Resident,

June 2, 2023

The Community Development Director will be rendering a decision on the following project.

**Project Address:** 229 Budd Avenue

**Zoning | Area Plan:** R-1-6 | N/A

**Neighborhood Assoc.(s):** Four C's Neighborhood Assoc.

**Council District:** 4

**File No:** PLN-2023-88

**APN:** 305-34-017

**Applicant:** Amir Naghavi

**Property Owner:** Mehrdad Elie

**Application Type:** Fence Exception

**Project Planner:** Larissa Lome, Assistant Planner

**Email Contact:** larissal@campbellca.gov

**Phone Contact:** (408) 866-2144

## Project Description:

Fence exception permit to allow a 7-foot fence within the front yard and side yard of a single-family dwelling.

## Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **June 2, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **June 12, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.

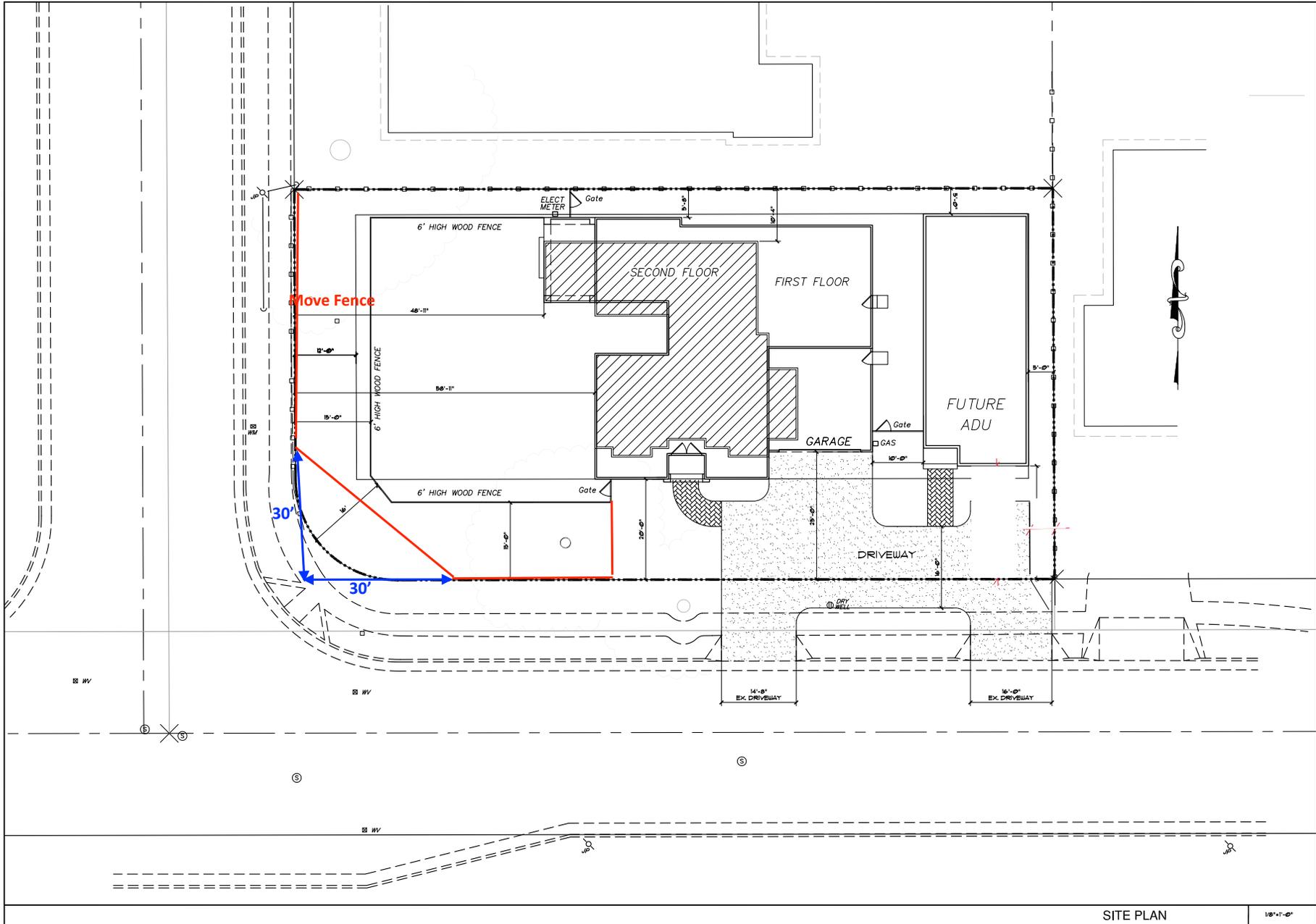


- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal.  
To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español





REVISIONS	BY
PLAN CHECK 1-15-2022	

**CB**  
**BASSAL**  
**Architecture**  
 916.433.0603  
 498 BRIDGEMAN PL.  
 ROCKLIN, CA 95765  
 bassalarchitecture.com

**SITE PLAN**

**NEW RESIDENCE AT:**  
**229 BUDD AVENUE**  
**CAMPBELL, CA**

DATE: 1-31-2022  
 SCALE: 1/8" = 1'-0"  
 DRAWN:  
 JOB NO:

SHEET NO.  
**A11**  
 OF SHEETS

CONTRACT NOTES: USE OF THESE DRAWINGS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE FOR WHICH THEY WERE PREPARED. THESE DRAWINGS DO NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

**SITE PLAN**

1/8" = 1'-0"