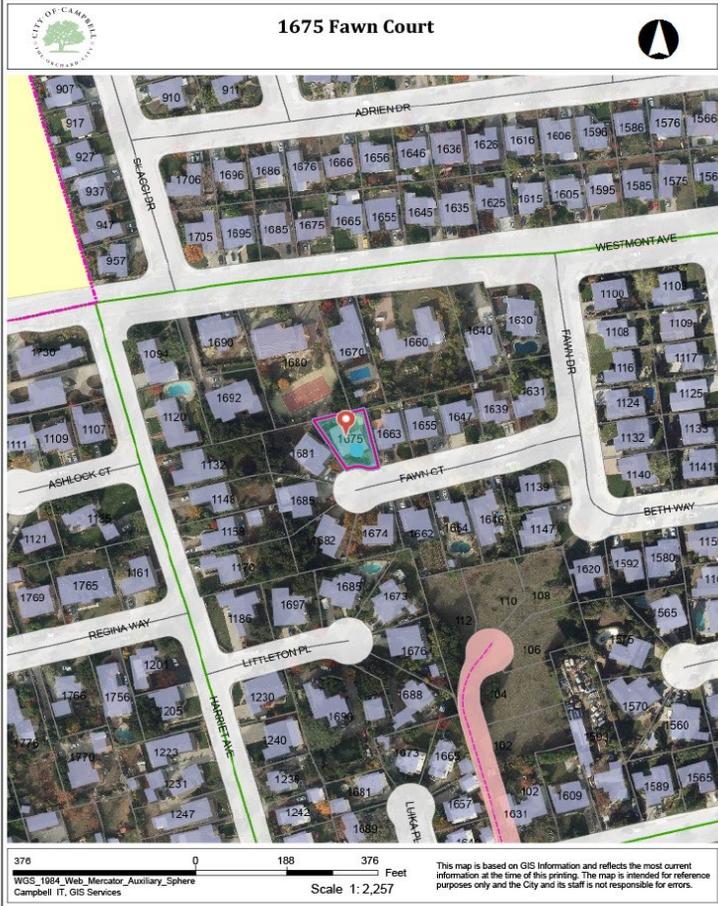
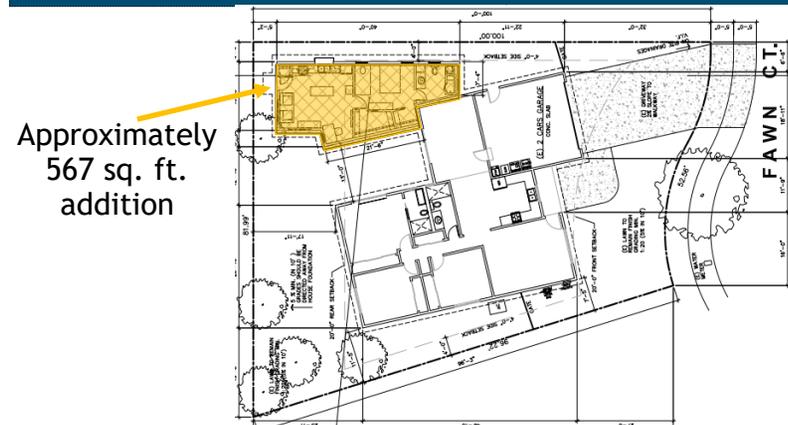


Location of Proposed Project




City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Courtesy Notice

Dear Campbell Resident,

June 16, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1675 Fawn Court

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): N/A

Council District: 5

File No: PLN-2023-111

APN: 403-13-044

Applicant: T Square Consulting Group, Inc.

Property Owner: David Junwei Chou & Hsiao Yun Chang

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Tracy Tam, Associate Planner

Email Contact: tracyt@campbellca.gov

Phone Contact: (408) 871-5103

Project Description:

To allow an approximately 567 square foot addition to an existing single-family residence.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

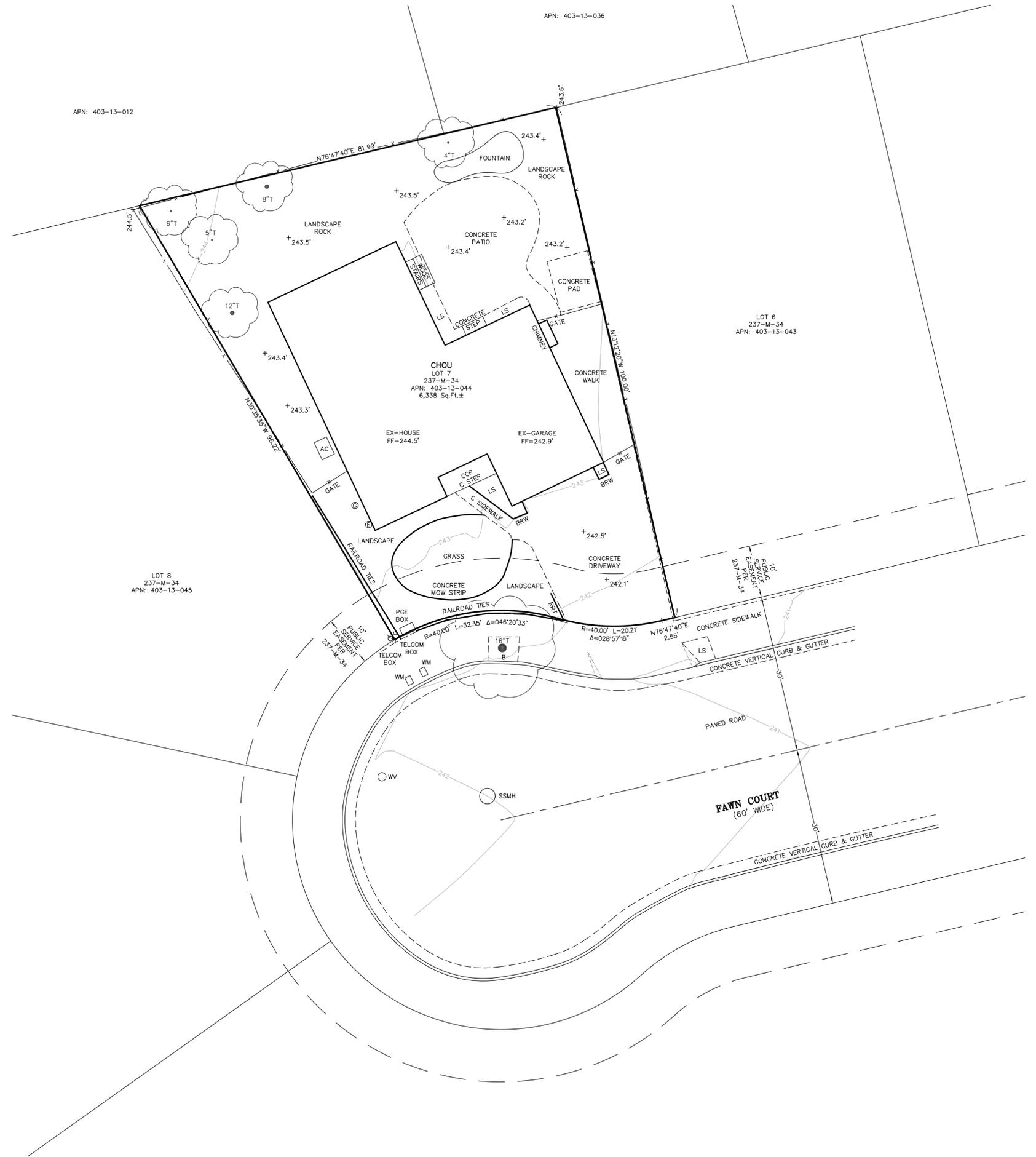


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español





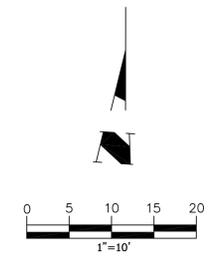
APN: 403-13-012

APN: 403-13-036

LOT 6
237-M-34
APN: 403-13-043

CHOU
LOT 7
237-M-34
APN: 403-13-044
6,338 Sq.Ft.±

LOT 8
237-M-34
APN: 403-13-045



LEGEND

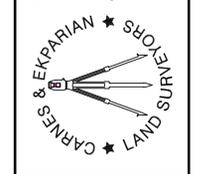
———	PROPERTY BOUNDARY
———	LOT LINE
———	CENTER LINE
———	EASEMENT LINE
———	PAVEMENT
———	CONCRETE/LIP OF GUTTER
-x-x-	FENCE
———	FLOW LINE
.....	TIE LINE

ABBREVIATIONS

AC	AIR CONDITIONER UNIT
B	BRICK
BRW	BRICK RETAINING WALL
C	CONCRETE
CCP	COVERED CONCRETE PORCH
E	ELECTRICAL METER
FF	FINISH FLOOR
FH	FIRE HYDRANT
G	GAS METER
LS	LANDSCAPE
SSMH	SANITARY SEWER MANHOLE
T	TREE
WM	WATER METER
WV	WATER VALVE

- NOTES**
- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
 - (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
 - (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 - (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
 - (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.

Carnes & Ekparian, Inc.
 LAND SURVEYORS
 9505 SUGAR BABE DRIVE GILROY, CA 95020
 T: (408) 847-2013 F: (408) 846-7248
 EMAIL: OFFICE@CE-PLS.COM

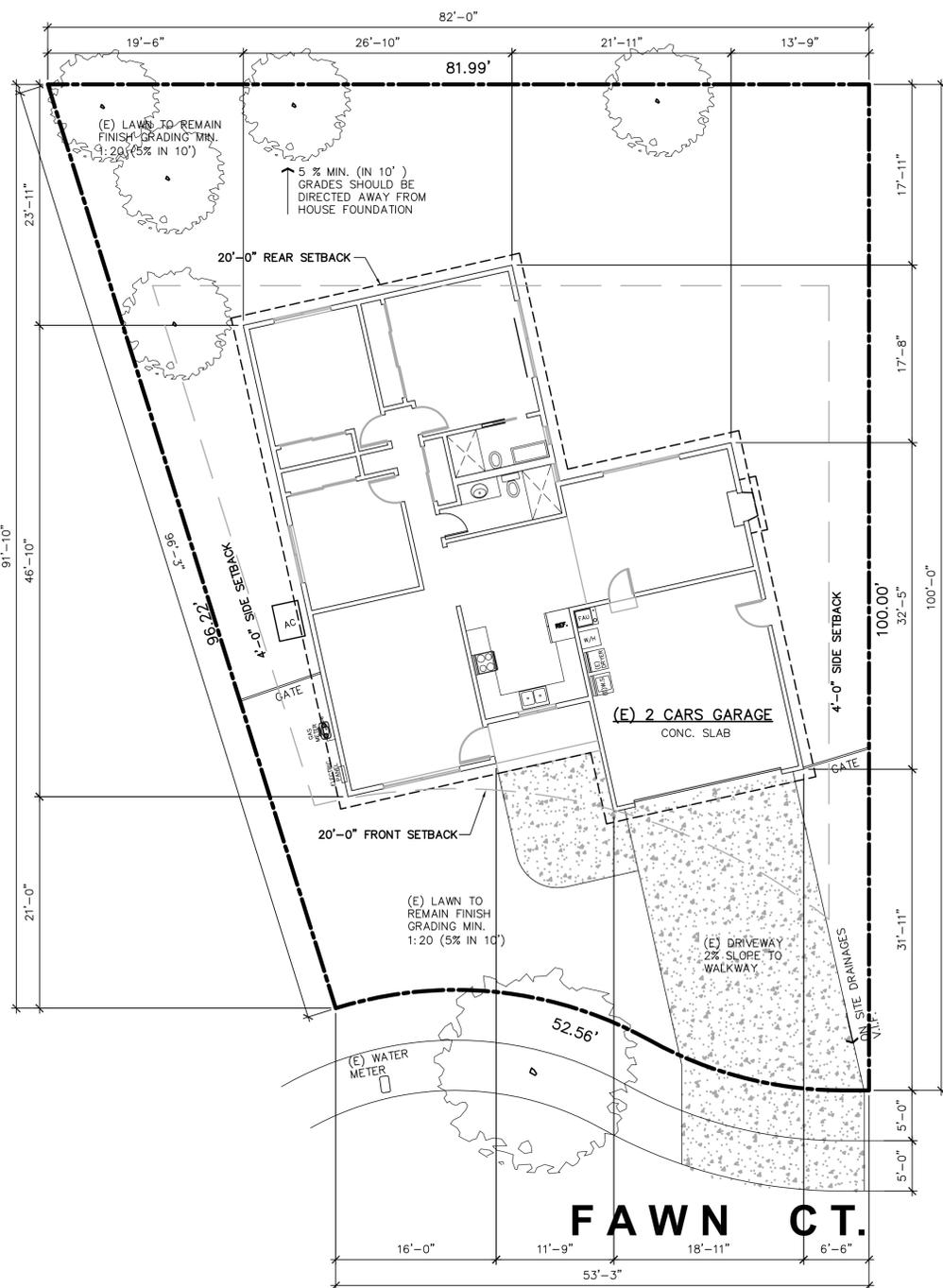


No.	DATE	REVISION

**TOPOGRAPHIC MAP
 FOR DAVID CHOU
 1675 FAWN COURT
 CITY OF CAMPBELL, CALIF.**



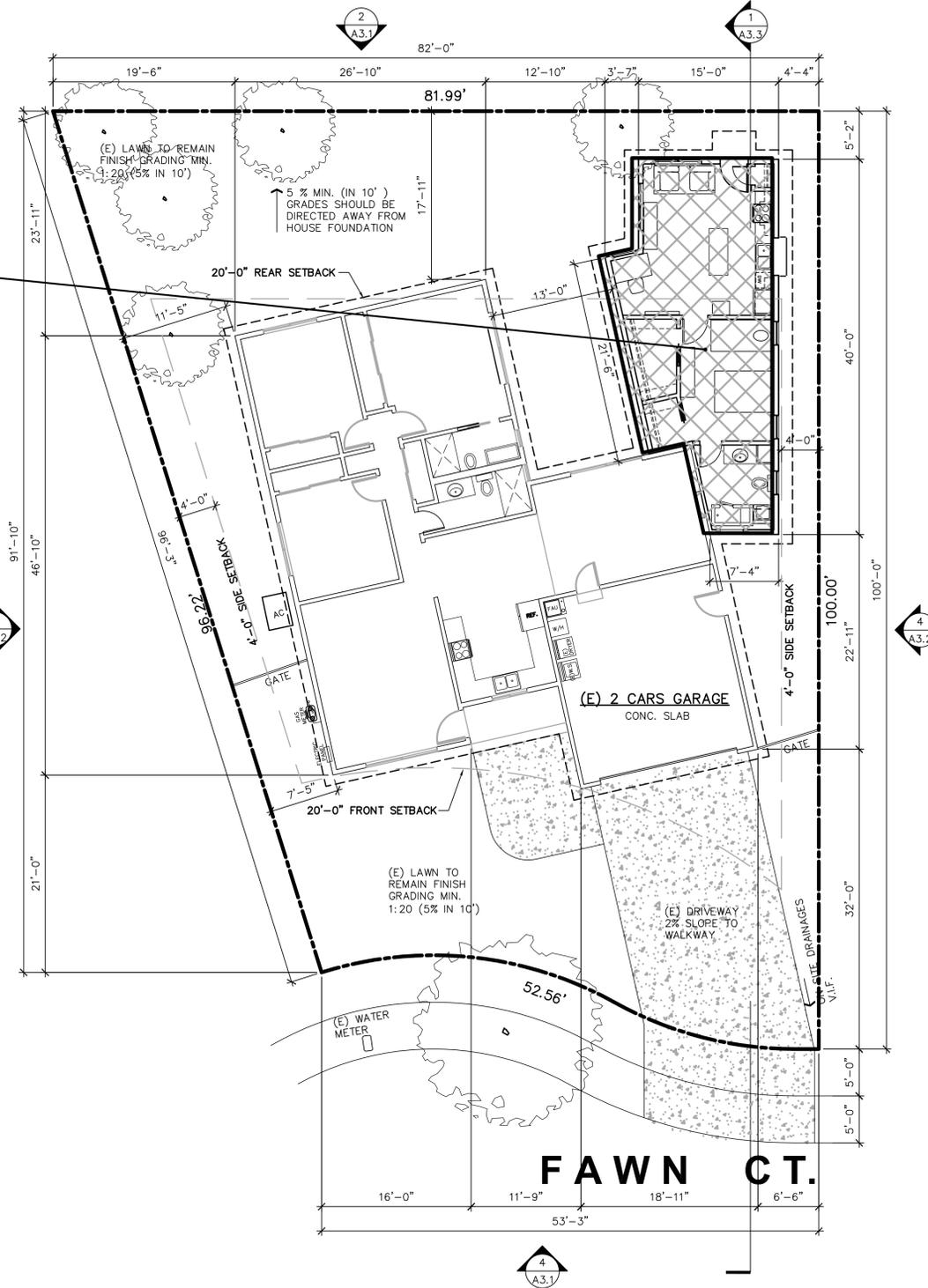
SHEET	DATE :	05/25/2023
1	SCALE :	1" = 10'
OF	DRAWN BY :	J.H.
1	PROJ. MANAGER :	G.C.
Job No. 23045		
DWG. CHOU TP		



EXISTING SITE PLAN
SCALE : 1/8" = 1'-0"



**(N) ADU :
567 SQ FT**

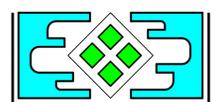


PROPOSED SITE PLAN
SCALE : 1/8" = 1'-0"



LEGEND

- — — — — PROPERTY LINE
- - - - - SETBACK LINE
- - - - - ROOF LINE
- ▨ (N) ADDITION



T SQUARE CONSULTING GROUP, Inc.
255 North 11th Street,
San Jose, CA 95131-1892
TEL (408) 321-9988
FAX (408) 321-9987

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SY-CHENG TSAI C-24234

Residence Attached ADU
1675 Fawn Ct, Campbell, CA 95008

PROPOSED SITE PLAN

DATE: 03/20/23

JOB NO. TS221148-DD

ISSUE & REVISION

NO.	DATE	REVISION
03/20/23		SUBMITTAL
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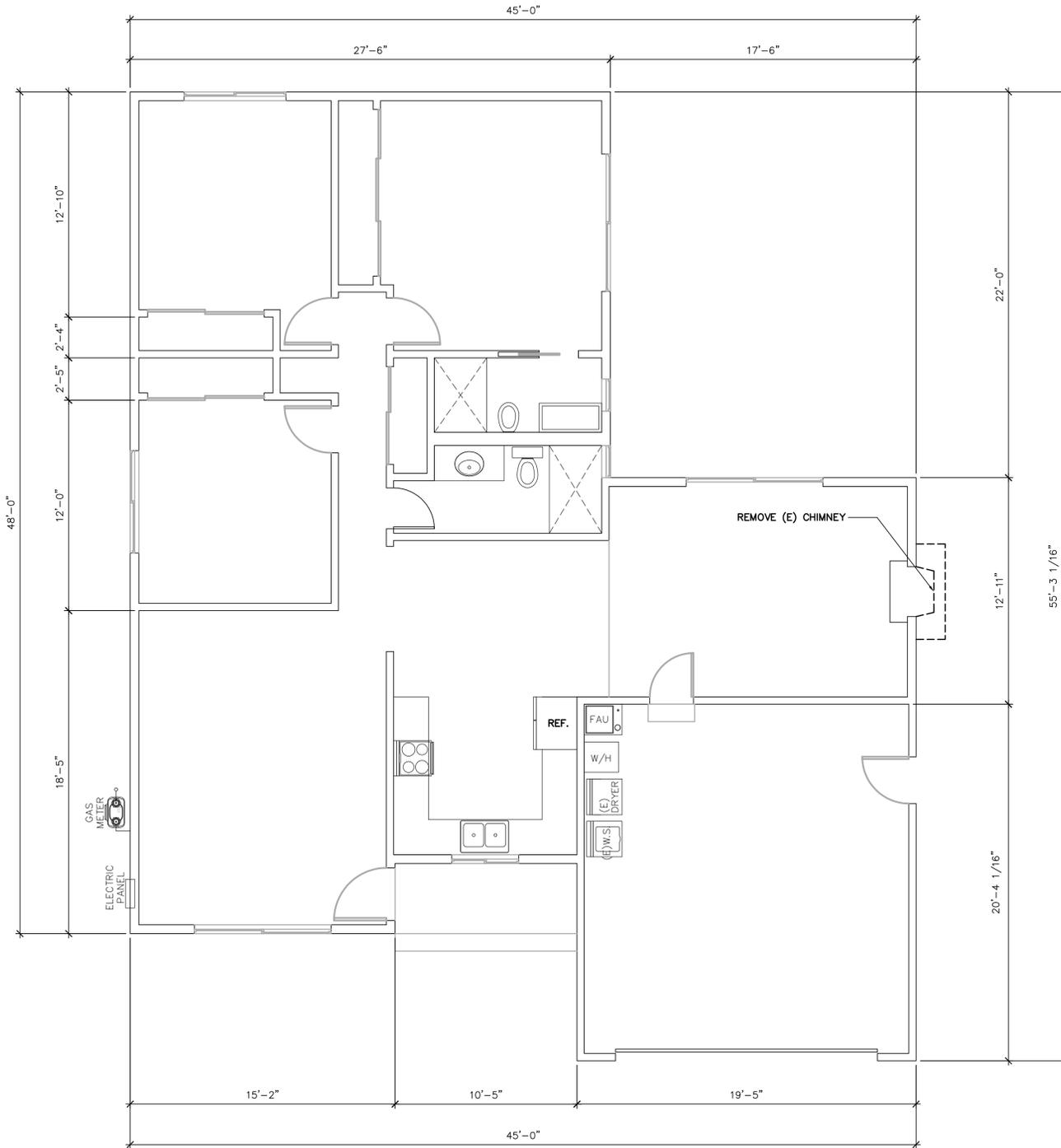
DRAWN BY:

DEMOLITION NOTES

1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED ON TSCGI DRAWINGS OR AS OTHERWISE DIRECTED BY THE OWNER.
2. THE CONTRACTOR IS TO VIEW AND VERIFY ACTUAL CONDITIONS AT ALL LOCATIONS WHERE ALTERATIONS TO THE EXISTING BUILDING OCCUR. WHEN WALLS, PARTITIONS, AND OTHER WORK EXISTS WHERE NEW WORK IS INDICATED, ALL SUCH EXISTING WORK SHALL BE REMOVED. VERIFY ALL SUCH CONDITIONS AT THE SITE.
3. THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
4. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
5. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING LANDLORD INCLUDING, BUT NOT LIMITED TO FLOOR COVERING, CEILING GRID AND TILE, LIGHT FIXTURES, DOORS, WINDOWS, FRAMES, HARDWARE, CABINETRY, PLUMBING FIXTURES, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, PERIPHERAL ENCLOSURES, ETC.
6. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP CLOTH BARRIERS TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
7. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO INCLUDE CORNER BEADS, STOPS, ETC., FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES, AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW, FINISHED, INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED OR, IF BEYOND REPAIR, THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF TSCGI AND THE OWNER.
8. THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES AND WHERE AS A RESULT OF DEMOLITION, FINISHED SURFACES DO NOT ALIGN, THE EXISTING SURFACE SHALL BE CUT AND PATCHED.
9. ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIAL, FIRE-RATING, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.
10. ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED.
11. IN ALL AREAS WHERE DEMOLITION (REMOVAL OF TILE, PARTITIONS, ETC. CAUSES AN UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB TO RECEIVE NEW FINISH FLOORING.
12. ALL EXPOSED LIGHT FIXTURES, WIRING, SWITCHES, CONDUIT, AND METAL MOLDING NOT BEING REUSED SHALL BE REMOVED AND EITHER STORED OR DISPOSED OF BY THE GENERAL CONTRACTOR AS INSTRUCTED BY THE OWNER.
13. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER DEMOLITION AS REQUIRED.
14. THE GENERAL CONTRACTOR SHALL CAP OFF BEHIND FINISHED SURFACES ALL PROJECT PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS THAT ARE BEING ABANDONED.
15. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING OR EQUIPMENT. VERIFY WITH TENANT REUSE OF EXISTING CABLING PRIOR TO REMOVAL.
16. ALL "EXISTING TO REMAIN", "EXISTING", "RELOCATED", OR "NEW" ITEMS INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION, SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF TSCGI PRIOR TO BEING TURNED OVER TO THE OWNER.
17. REFER TO ENGINEERING DRAWINGS FOR REMOVAL AND/OR RELOCATION IF REQUIRED OF HAVOC DUCTS, DIFFUSERS, SPRINKLER HEADS, EXIT LIGHTS, ETC.

GENERAL DEMOLITION NOTES

1. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS OF THE PROJECT AND THE CONTRACT DOCUMENTS IN ORDER THAT DEMOLITION WORK WILL INCLUDE DEMOLISHING ALL ITEMS INCIDENTALS, WHETHER CALLED FOR OR NOT.
2. THE GENERAL CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS TO COORDINATED WITH EXISTING BUILDING CONDITIONS. ANY VARIANCE OR DISCREPANCY THAT ARISE FROM ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
3. CONDUIT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
4. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
5. ANY STRUCTURAL SUPPORT, BRACING AND SHORING NEED TO HAVE ENGINEER REVIEW PRIOR TO COMMENCE THE WORK.
6. LOCATE EXISTING UNDERGROUND UTILITIES IN AREA TO AVOID DAMAGE BY DEMOLITION.
7. ALL DEMOLITION WORK TO BE PERFORM CAREFULLY, ITEMS TO BE REMOVED NEED TO REMOVE, DUMP AT LEGAL DUMP SITE, CLEAN THE WORK AREA AND PREPARE THE AREA TO RECEIVE NEW WORK AS SPECIFIED ON THE DRAWINGS.
8. BACKFILL AREAS EXCAVATED AND OPEN PITS AND HOLES CAUSED BY A RESULT OF DEMOLITION.
9. ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
10. UNLESS WHERE NOTED OTHERWISE, IMMEDIATELY REMOVE DEMOLISHED MATERIAL FROM SITE. LEAVE SITE IN CLEAN CONDITION.
11. DO NOT BURN OR BURY MATERIALS ON SITE.
12. REMOVE AND PROMPTLY DISPOSE OF CONTAMINATED, VERMIN INFESTED, OR DANGEROUS MATERIALS ENCOUNTERED. REPORT TO ARCHITECT AND RELATED AGENCIES AS REQUIRED.
13. CONDUIT OPERATIONS WITH MINIMUM INTERFERENCE TO USE AND THROUGH PUBLIC WAY. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
14. DO NOT CLOSE OR OBSTRUCT ROADWAYS OR SIDEWALKS WITHOUT PERMITS.
15. ANY PIPE, CONDUIT, OR CABLE ORIGINALLY CONNECTED TO THE REMOVED ITEMS TO BE DISCONNECTED AND CAPPED PROPERLY. IF THE ITEMS IS PART OF A SYSTEM THEN NEED TO RE-CONNECT TO EXISTING SYSTEM AND KEEP IN A WORKING CONDITION.
16. THE LOCATION OF DISCONNECTED AND/OR CAPPED LINES SHALL IDENTIFIED ON SITE AND MARKED ON THE PROJECT RECORD DOCUMENTS FOR FUTURE REFERENCE.

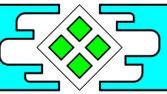


LEGEND

- ===== EXISTING WALLS TO REMAIN REPAIR AS REQUIRED
- EXISTING WINDOWS WALLS AND DOORS TO BE REMOVED

1ST FLOOR DEMO. PLAN

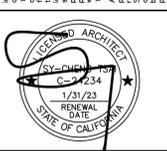
SCALE : 1/4" = 1'-0"



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SY-CHENG TSAI C-24234

Residence Attached ADU
1675 Fawn Ct, Campbell, CA 95008

EXISTING FLOOR DEMO. PLAN

DATE: 03/20/23

JOB NO. TS221148-DD

ISSUE & REVISION

NO.	DATE	REVISION
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A2.0

DRAWN BY:

WALL LEGEND

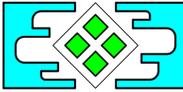
-  EXISTING CONSTRUCTION TO REMAIN
-  (N) FURRED WALL / COLUMN.
-  WOOD FRAMING WALL OUT OF 2X4 WOOD STUDS @ 16" O.C. AND IN THE EXTERIOR SIDING OVER 2 LAYER OF GRADE "D" BUILDING PAPER O/ PLYWOOD SHTH.
-  NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES
-  NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" THK. GYP. BD. ON THE BOTH SIDES USE WONDER BD. OR DUROCK AS BACKING MATERIAL AND WATER PROOFED MATERIAL.
-  ONE HOUR RATED EXTERIOR WALL, 2X4 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP. BD. @ BOTH SIDES AND 7/8 INCHES 3 COATS STUCCO AT EXTERIOR SIDE. FIRE WALL FROM FOUNDATION TO BOTTOM OF ROOF DECK.
-  S.G./TEMP SAFETY GLAZING WINDOW/TEMPERED GLASS
-  CRAWL ACCESS 18"x24" MIN. (2019 CRC R408.4)
-  ATTIC ACCESS 22"x30" MIN. (2019 CRC R807)
ATTIC ACCESS 36"x36" MIN. WHEN FURNACE AT ATTIC.
A HEAD ROOM CLEAR HEIGHT IN A ATTIC AT LEAST 30" AT THE ATTIC ACCESS.

LEGEND

-  VIEW DIRECTION
-  SECTION NUMBER
-  SHEET WHERE OCCURS
-  DETAIL NUMBER
-  SHEET WHERE OCCURS
-  EXTERIOR ELEVATION NO.
-  ELEVATION SHEET NO.



PROPOSED 1ST FLOOR PLAN
SCALE : 1/4" = 1'-0"



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SY-CHENG TSAI C-24234

Residence Attached ADU 1675 Fawn Ct, Campbell, CA 95008

PROPOSED 1ST FLOOR PLAN

DATE: 03/20/23

JOB NO. TS221148-DD

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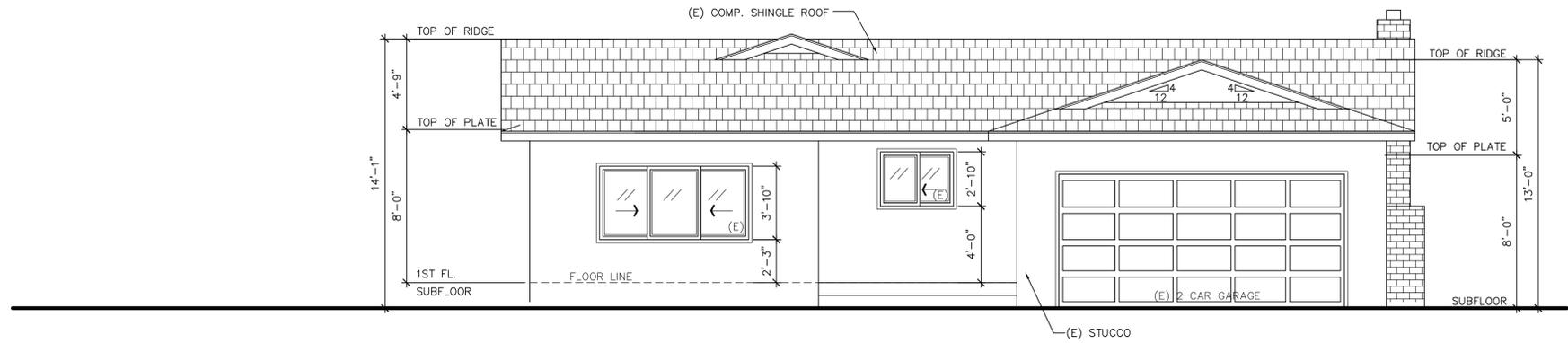
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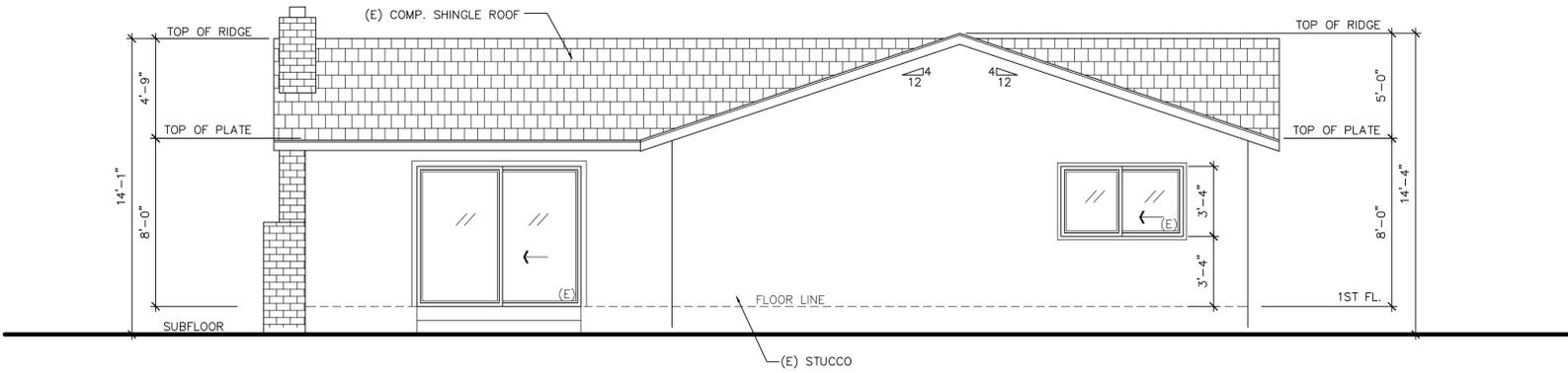
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ELEVATION NOTES:

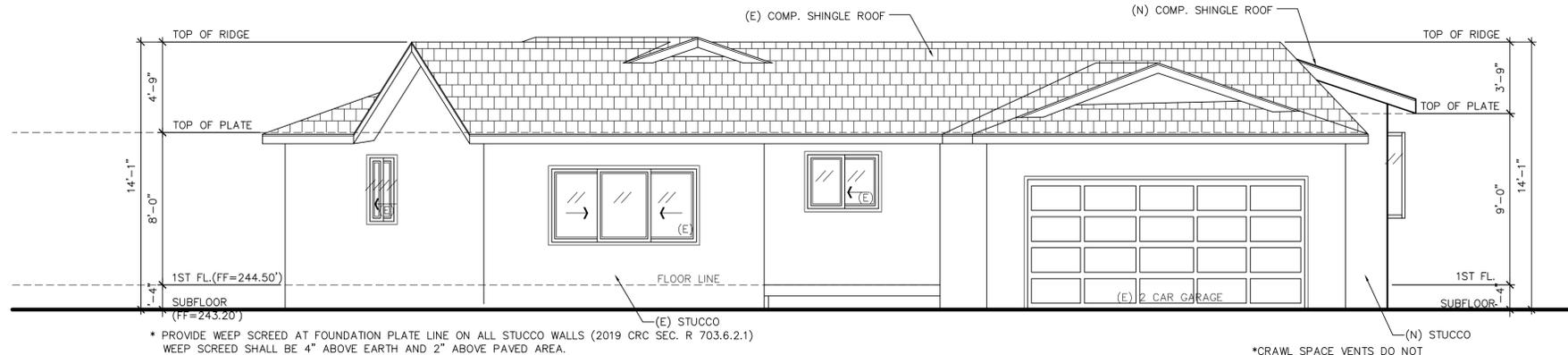
1. EXTERIOR STUCCO FINISH:
 - A. STUCCO IS 3-COAT SYSTEM, 7/8-INCH MINIMUM. [CRC R703.6.2]
 - B. INSTALL 26 GAGE GALVANIZED WEEP. [CRC 703.5.2.1]
 - C. TWO LAYERS OF GRADE "D" BUILDING PAPER UNDER STUCCO OVER PLYWOOD SHEATHING. [CRC R703.6.3]
 - D. PROVIDE WEEP SCREED AT FOUNDATION PLATE LINE ON ALL STUCCO WALLS [2019 CRC R703.2.1]
 - E. WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.
 - F. CRAWL SPACE VENTS DO NOT INSTALLED IN SHEAR WALLS.
2. NEW WINDOWS SHALL MEET THE FOLLOWING SPECIFICATION:
 - A. NEW WINDOW FRMAE TO BE YINYL, COLOR TO BE SELECTED.
 - B. WINDOW GLAZING TO HAVE 0.31 U-FACTOR AND 0.27 SHGC.
 - C. SLIDING GALLSS DOOR TO HAVE SAME U-FACTOR AND SHGC VAUE.
3. BUILDING ADDRESS TO BE:
 - A. MIN. 4" LETTER.
 - B. COLOR TO BE CONTRAST WITH BACKGROUND COLOR.
 - C. VISIBLE FRON STREET.



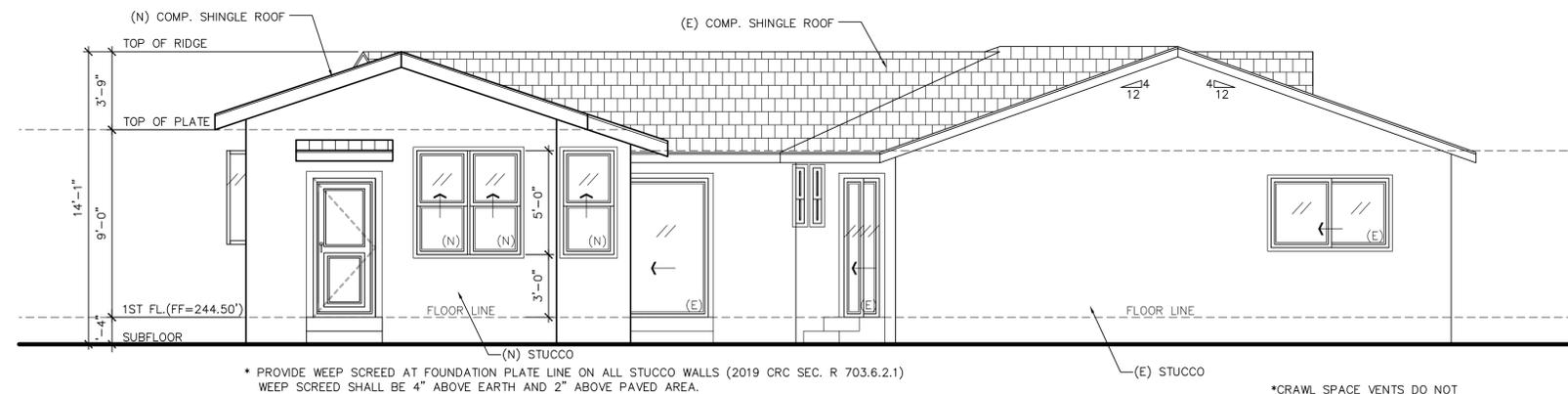
1 1/4"=1'-0" **EXISTING FRONT ELEVATION**



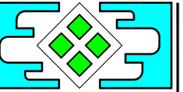
3 1/4"=1'-0" **EXISTING REAR ELEVATION**



2 1/4"=1'-0" **PROPOSED FRONT ELEVATION**



4 1/4"=1'-0" **PROPOSED REAR ELEVATION**



T SQUARE CONSULTING GROUP, Inc.
 255 North 11th Street, San Jose, CA 95131-1892
 TEL (408) 321-9988 FAX (408) 321-9987

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SY-CHENG TSAI C-24234

Residence Attached ADU
 1675 Fawn Ct, Campbell, CA 95008

EXISTING & PROPOSED FRONT & REAR ELEVATIONS

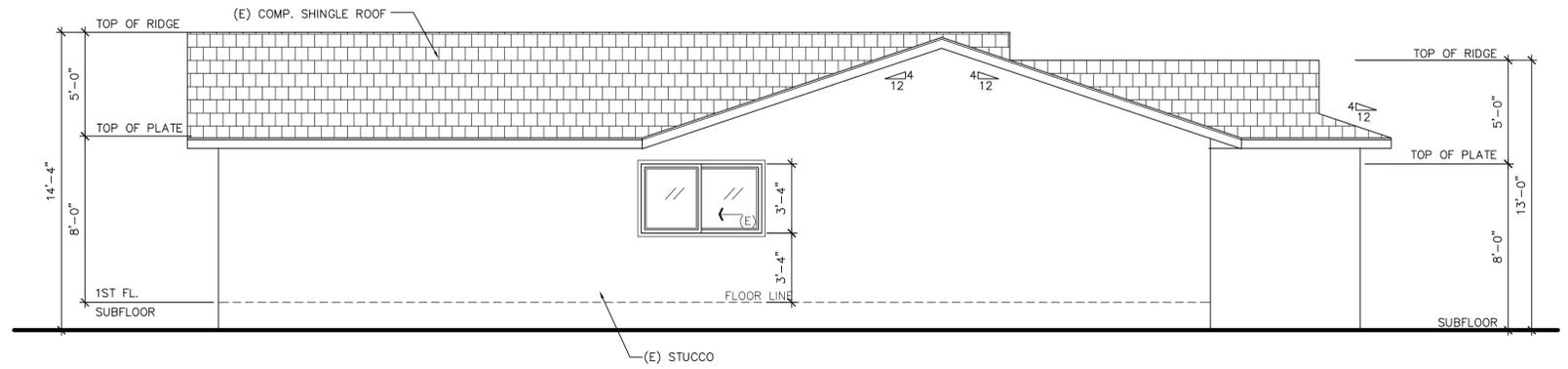
DATE: 03/20/23
 JOB NO. TS221148-DD

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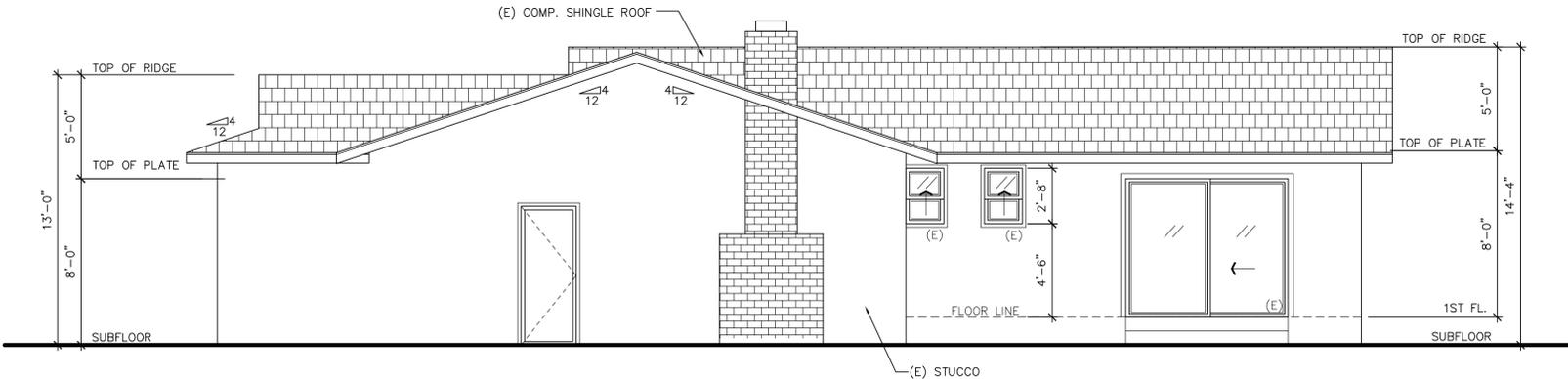
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ELEVATION NOTES:

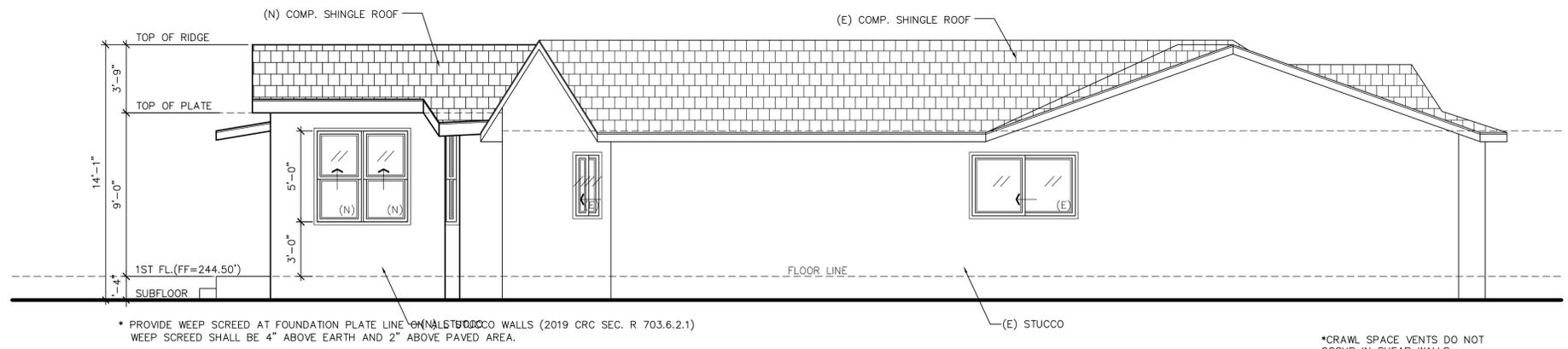
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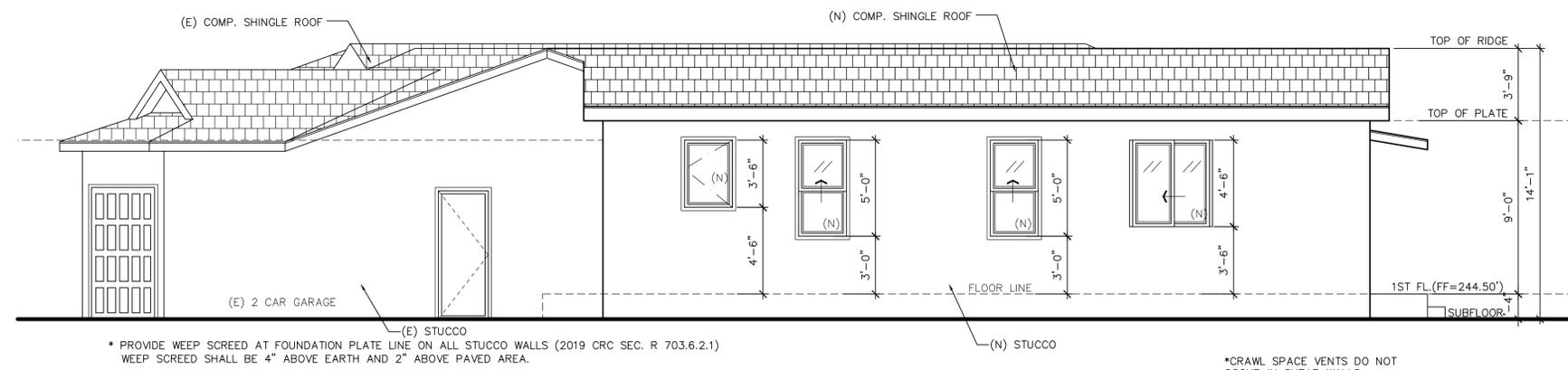
1 1/4"=1'-0" EXISTING LEFT ELEVATION



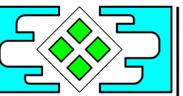
3 1/4"=1'-0" EXISTING RIGHT ELEVATION



2 1/4"=1'-0" PROPOSED LEFT ELEVATION



4 1/4"=1'-0" PROPOSED RIGHT ELEVATION



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 255 North 11th Street, San Jose, CA 95131-1892
 TEL (408) 321-9988 FAX (408) 321-9987

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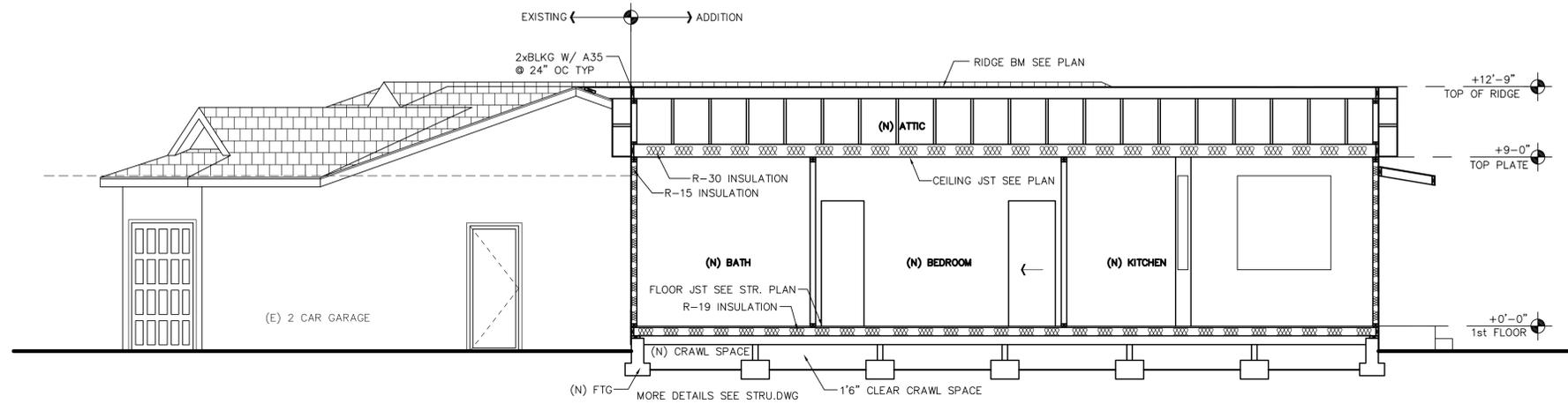
Residence Attached ADU
 1675 Fawn Ct, Campbell, CA 95008

EXISTING & PROPOSED LEFY & RIGHT ELEVATIONS

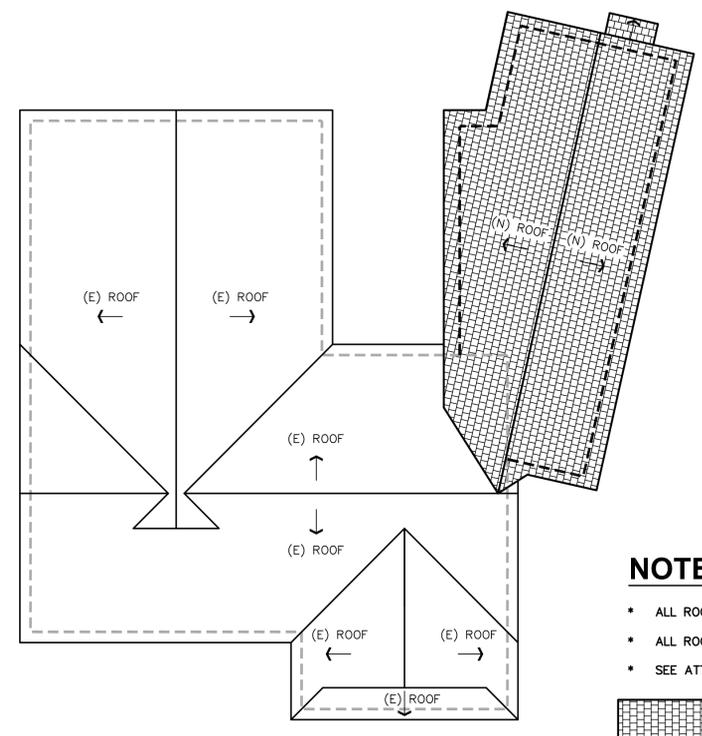
DATE: 03/20/23
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ISSUE & REVISION	
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SHEET NO. **A3.2**
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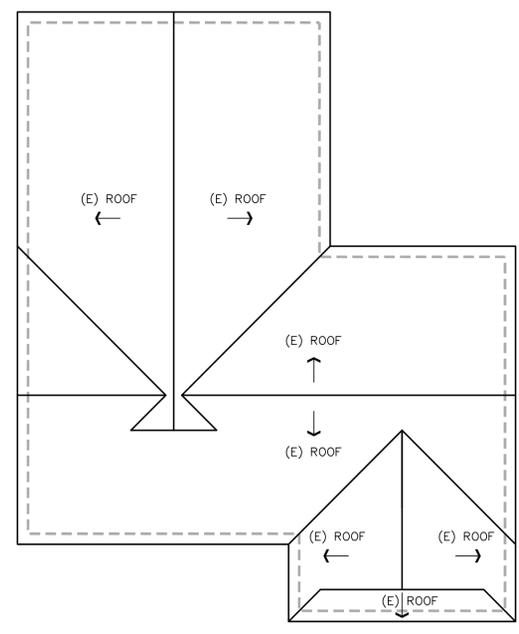
1 1/4"=1'-0" SECTION



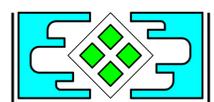
- NOTES**
- ALL ROOF'S PITCH ARE 4:12.
 - ALL ROOFING MATERIAL ARE COMP. SHINGLE.
 - SEE ATTIC VENT CAL ON



9 1/8"=1'-0" PROPOSED ROOF PLAN



3 1/8"=1'-0" EXISTING ROOF PLAN



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EXISTING & PROPOSED ROOF PLAN & SECTION

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