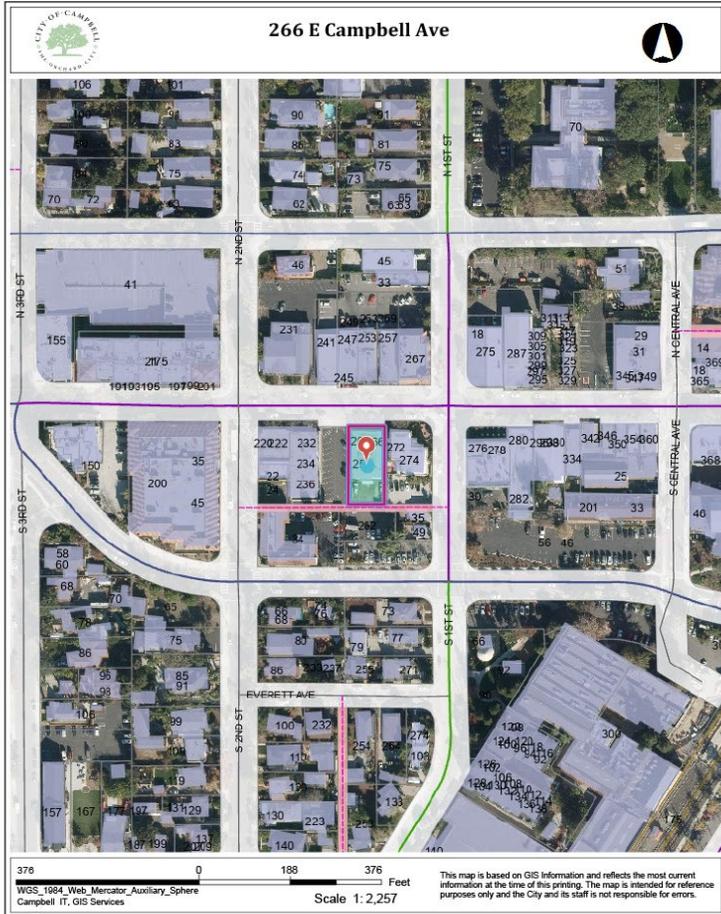


Location of Proposed Project




City of Campbell
 70 North First Street
 Campbell, CA 95008 –1423

Project Image



Courtesy Notice

Dear Campbell Resident,

July 24, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 266 E. Campbell Ave

Zoning | Area Plan: CB-MU | DCDP

Neighborhood Association(s): DCNA

Council District: 3

File No.: PLN-2023-129

APN: 412-06-033

Applicant: TOPA Architecture

Property Owner: Margery Rartanti

Application Type: Conditional Use Permit Modification

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow a modification to an existing Conditional Use Permit to expand the existing outdoor dining to the back patio.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



DIRECTORY

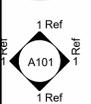
CLIENT

DAVE POWELL
266 E CAMPBELL AVE
CAMPBELL, CA 95008
PH: (408)313-7355

ARCHITECTURE

TOPA ARCHITECTURE
1150 NORTH 1st ST #140
SAN JOSE, CA 95112
PH: (408)320-0248

SYMBOLS

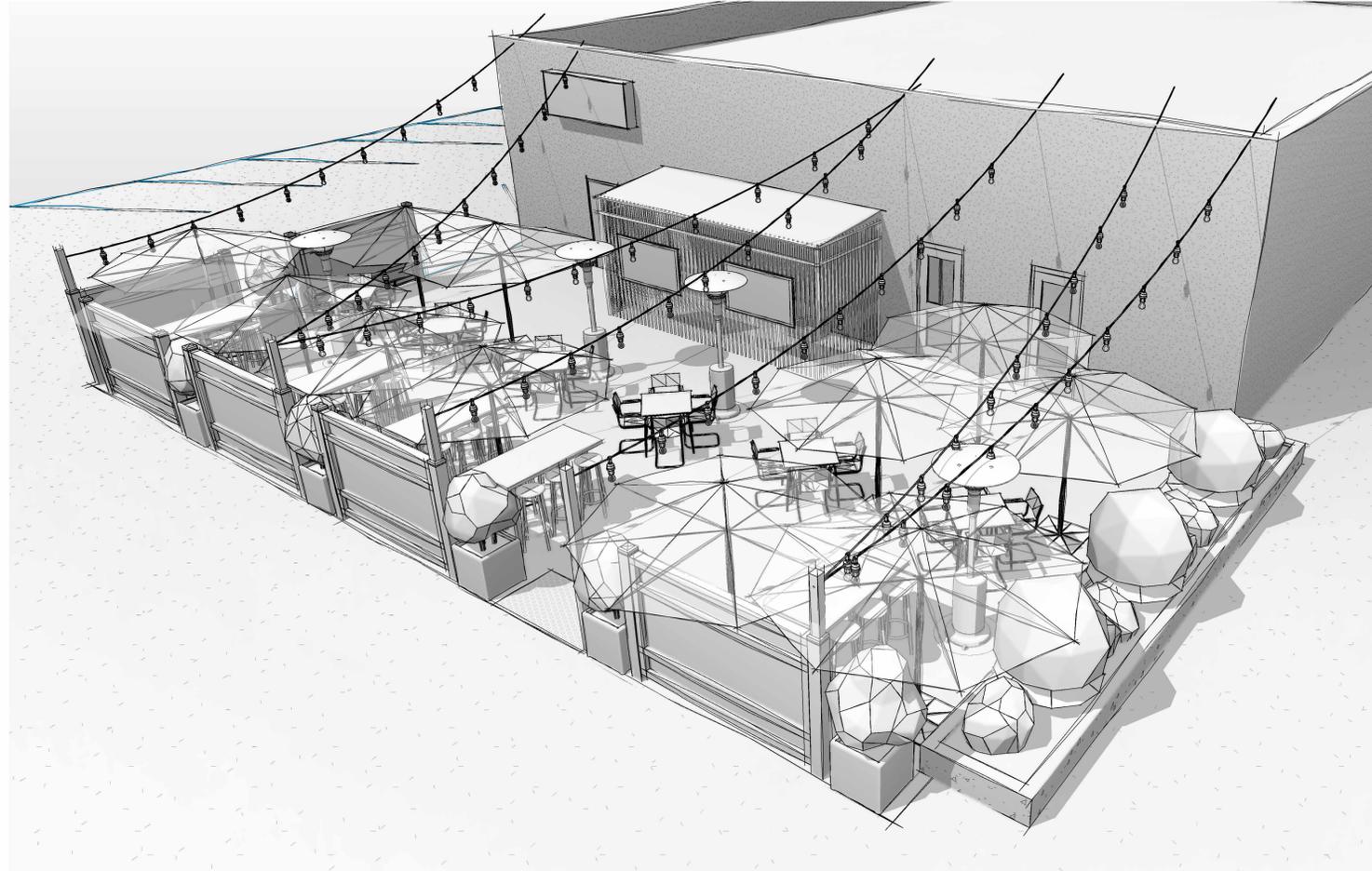
-  SECTION CALLOUT (SECTION #/SHEET #)
-  DETAIL CALLOUT (DETAIL #/SHEET #)
-  LEVEL MARKER (LEVEL NAME/ELEVATION IN FEET)
-  SURFACE FINISH TAG
-  WALL TYPE TAG
-  DOOR TAG (DOOR #)
-  WINDOW TAG (WINDOW TYPE #)
- Room name**
 ROOM TAG (ROOM NAME/ROOM #/ROOM AREA)
-  GRID NUMBER
-  CEILING HEIGHT TAG
-  ELEVATION MARK (ELEVATION #/DETAIL #/ SHEET #)

APPLIED CODES

2022 CALIFORNIA GREEN BUILDING STANDARDS
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS

PLANNING SUBMITTAL EL GUAPO'S REAR PATIO IMPROVEMENT

266 E CAMPBELL AVE. CAMPBELL, CA 95008



* NOTE : THIS IMAGE IS FOR CHARACTER PURPOSES ONLY. USE THIS ENTIRE SET FOR COMPLETE CONSTRUCTION INFORMATION *

SHEET LIST

ARCHITECTURE

- A0.1 COVERSHEET
- A0.2 GENERAL NOTES
- A0.3 PATIO PHOTOS
- A1.0 PROPERTY PLAN
- A1.1 SITE PLAN
- A1.3 EXISTING/DEMO PLAN
- A2.1 PROPOSED FLOOR PLAN
- A3.1 EXTERIOR ELEVATIONS
- A6.2 FINISH SCHEDULE

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Tel: 408.320.0248

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STAMP:

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

PROJECT:

EL GUAPOS PATIO

266 E CAMPBELL AVE. CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

COVERSHEET

REVISIONS

No.	Description	Date

DRAWN: GC
CHECKED: RT - JC
DATE: 00-00-0000
SCALE: AS NOTED
JOB No.: 20-3-03-ELGUAPOS
SHEET No.:

A0.1

PROJECT DESCRIPTION

1. LEGALIZE EXISTING BACK PATIO
2. NEW ROOF OVER EXISTING TRASH ENCLOSURE
3. NEW DRAIN IN EXISTING TRASH ENCLOSURE
4. NEW FIRE SPRINKLERS OVER EXISTING TRASH ENCLOSURE
5. NO NEW BUILDING AREA PROPOSED

VICINITY MAP



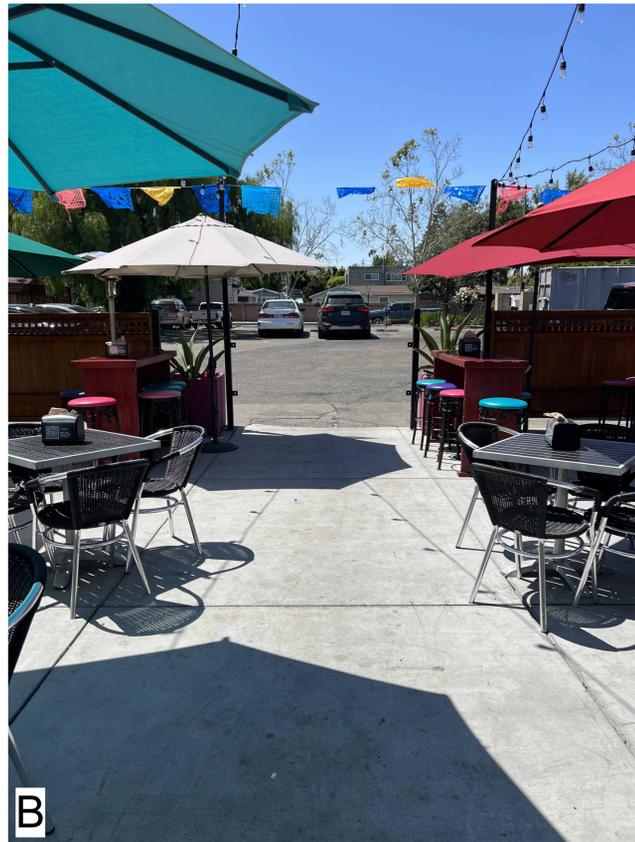
PROJECT ANALYSIS

APN	412-06-033
CONST. TYPE	V-B
OCCUPANCY	A-2
ZONING	C-3 CENTRAL BUSINESS DISTRICT
SPRINKLED	NO
AREA OF WORK	1,745 SQFT
STORIES	1
LOT AREA	± 6,037.5 SQFT

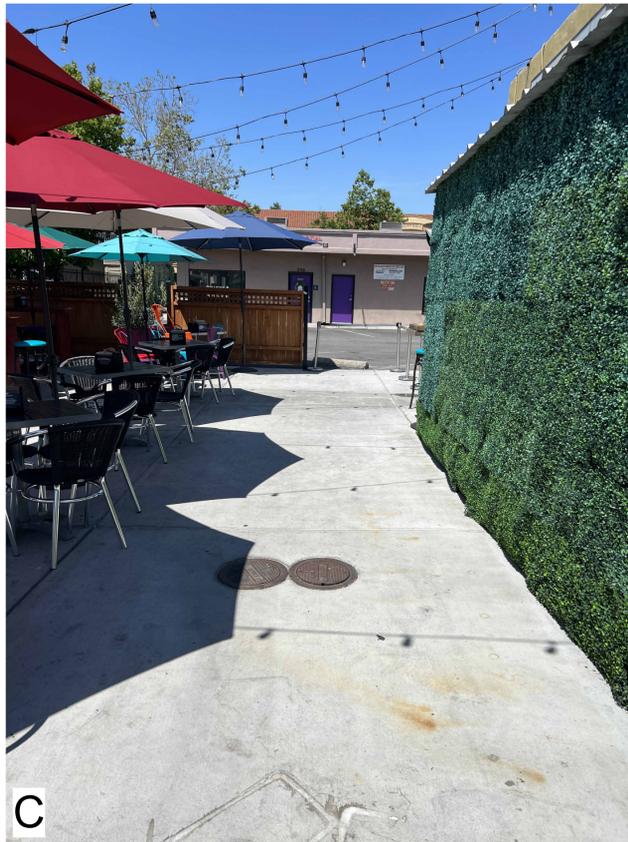
CITY STAMPS



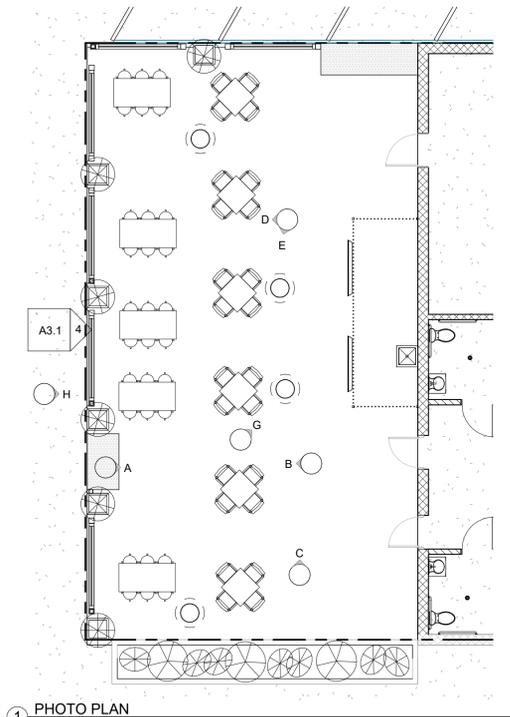
A



B



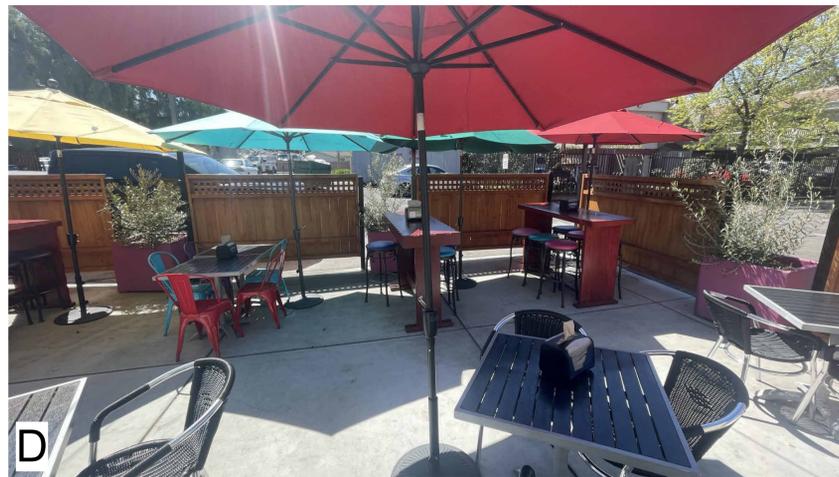
C



1 PHOTO PLAN
1/8" = 1'-0"



G



D



E



H

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Tel: 408.320.0248

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PRELIMINARY PLANS
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PROJECT:

EL GUAPOS PATIO

266 E CAMPBELL AVE. CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

PATIO PHOTOS

REVISIONS

No.	Description	Date

DRAWN: GC

CHECKED:

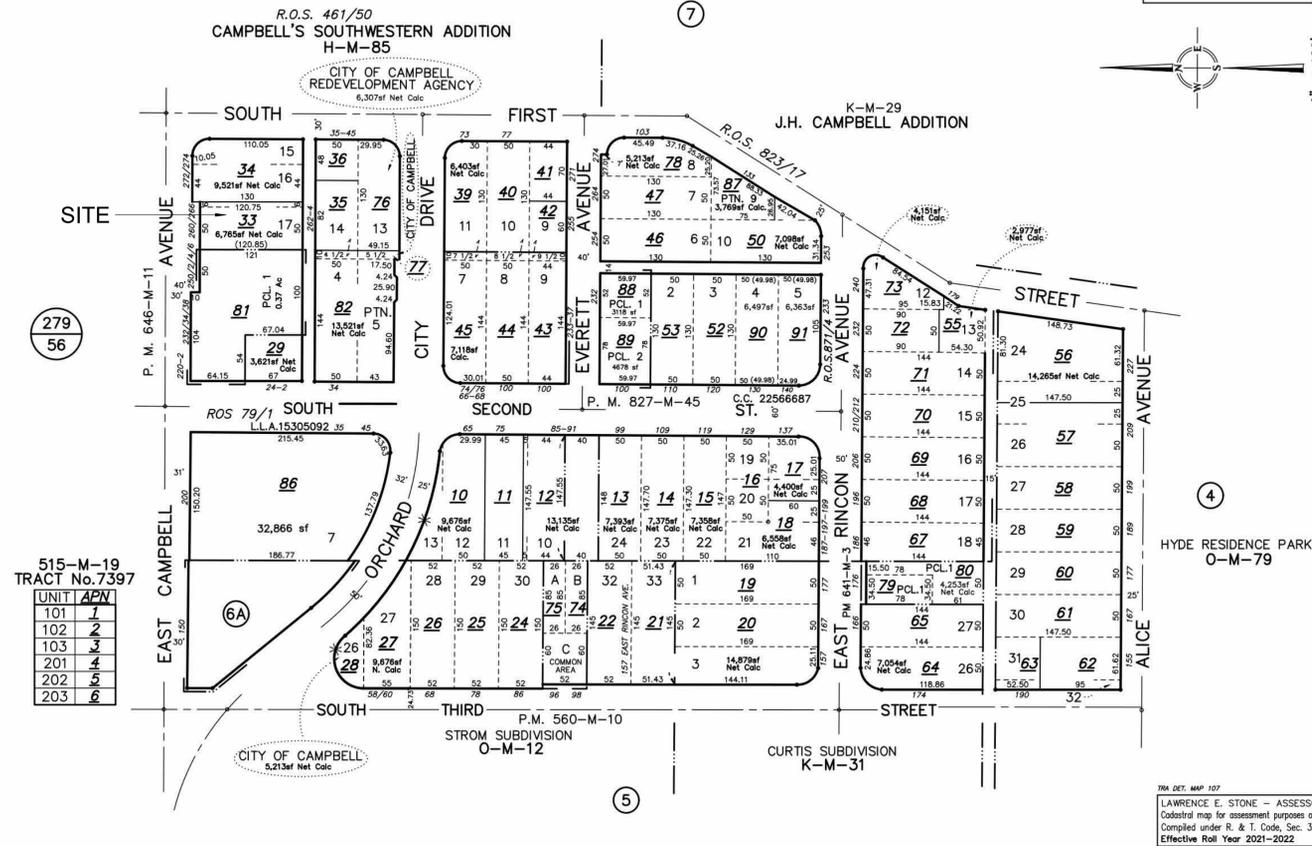
DATE: 00-00-0000

SCALE: 1/8" = 1'-0"

JOB No.: 20-3-03-ELGUAPOS

SHEET No.:

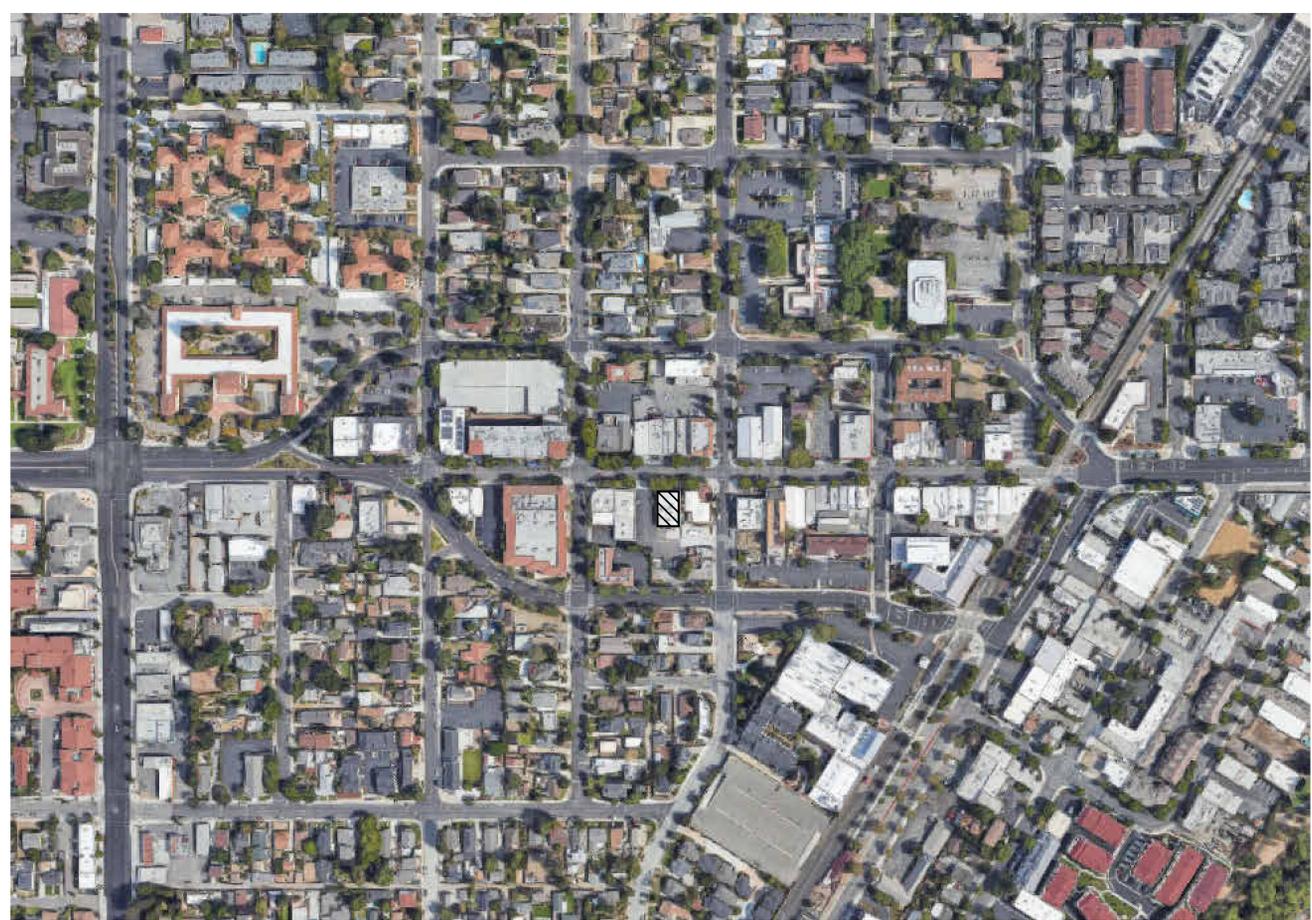
A0.3



515-M-19 TRACT No. 7397

UNIT	APN
101	1
102	2
103	3
201	4
202	5
203	6

LAWRENCE E. STONE - ASSESSOR
 Cadastral map for assessment purposes only.
 Compiled under R. & T. Code, Sec. 327.
 Effective Roll Year 2021-2022



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PROJECT:
EL GUAPOS PATIO
 266 E CAMPBELL AVE. CAMPBELL, CA 95008

CONTRACTOR

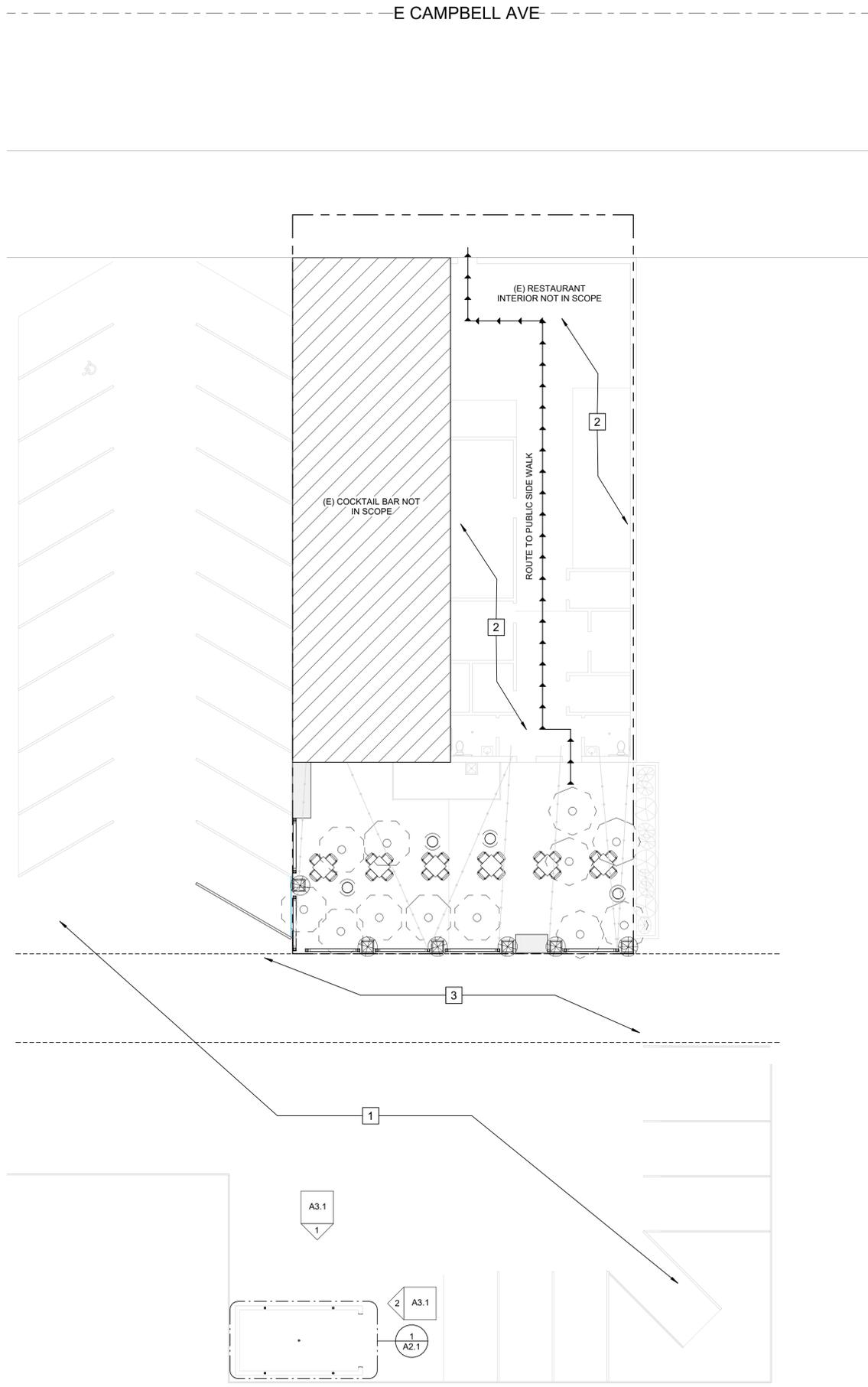
SHEET TITLE:
PROPERTY PLAN

REVISIONS

No.	Description	Date

DRAWN: GC
CHECKED: Checker
DATE: 00-00-0000
SCALE:
JOB No.: 20-3-03-ELGUAPOS
SHEET No.:

A1.0



SITE KEYNOTES

- 1 (E) PARKING LOT TO REMAIN
- 2 (E) INTERIOR TO REMAIN. NO SCOPE
- 3 (E) EASEMENT

LEGEND

→ → → → →
ACCESSIBLE PATH OF TRAVEL, PER CBC 11B-403

NOTES:
 - MUST BE CONTINUOUSLY ACCESSIBLE WITH WALKING
 DIRECTIONAL SLOPE MAX OF 5% AND CROSS SLOPE MAX OF 2%
 - MUST HAVE A MAX. SLOPE OF 2% IN ANY DIRECTION IN LOADING
 AREAS AND AT EACH TURN OR INTERSECTION OF PATHS OF TRAVEL
 - HAVE A MAXIMUM OF 1/4" CHANGE IN ELEVATION WITHOUT
 BEVELED EDGE. 1/2" CHANGE IN ELEVATION WITH BEVELED EDGE
 NOT STEEPER THAN 1:2
 - IS MINIMUM OF 48" IN WIDTH
 - WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE
 EXCEEDING 5%, SHALL HAVE PEDESTRIAN RAMPS

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 NOT FOR CONSTRUCTION**

PROJECT:

EL GUAPOS PATIO

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CONTRACTOR

SHEET TITLE:

SITE PLAN

REVISIONS

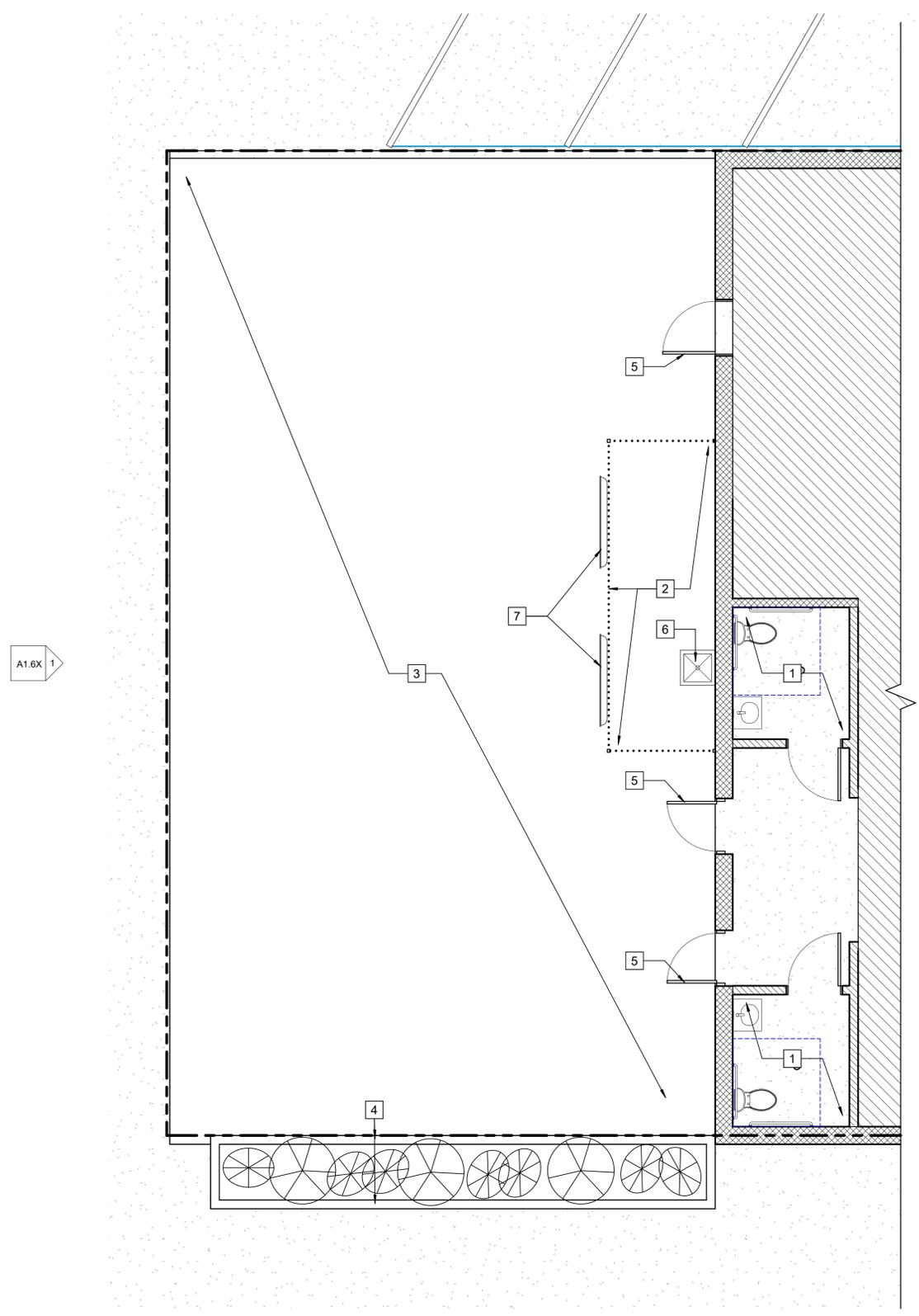
No.	Description	Date

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CHECKED: -
DATE: 00-00-0000
SCALE: As indicated
JOB No.: 20-3-03-ELGUAPOS
SHEET No.:



1 SITE PLAN
 3/32" = 1'-0"

A1.1



② DEMO FLOOR PLAN
1/4" = 1'-0"

DEMO PLAN KEYNOTES

- 1 (E) ACCESSIBLE RESTROOM TO REMAIN
- 2 (E) METAL FENCE AND ROOF ABOVE TO REMAIN
- 3 (E) SLAB ON GRADE TO REMAIN
- 4 (E) CONCRETE CURB TO REMAIN
- 5 (E) DOOR TO REMAIN
- 6 (E) MOP SINK TO REMAIN
- 7 (E) TVS TO REMAIN

GENERAL NOTES

- NO SCOPE ON INTERIOR OF BUILDING
- ALL FINISHES ARE EXISTING TO REMAIN

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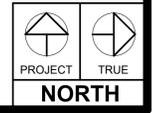
CONTRACTOR

SHEET TITLE:
EXISTING/DEMO PLAN

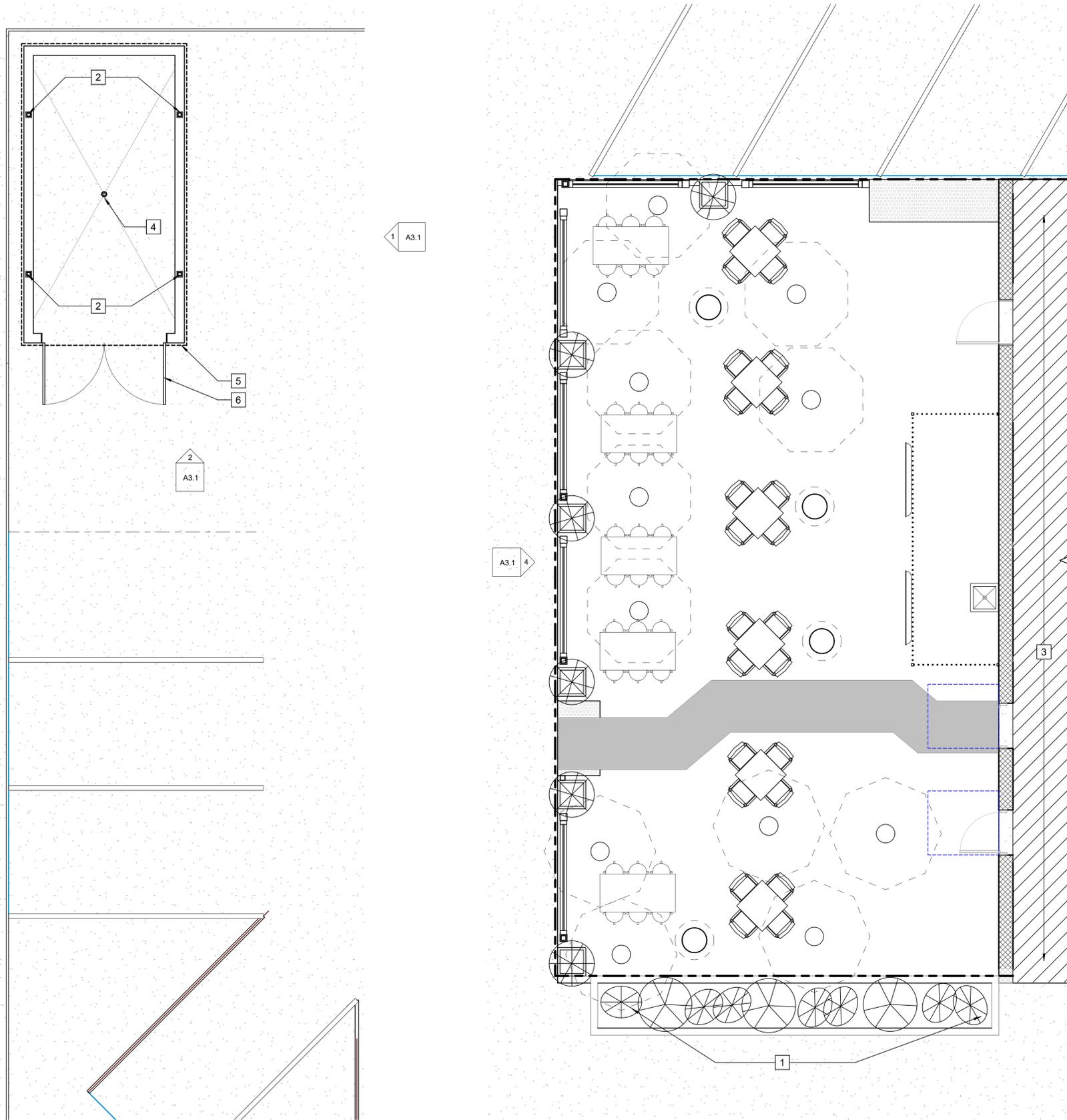
REVISIONS

No.	Description	Date

DRAWN: JC
 CHECKED:
 DATE: 00-00-0000
 SCALE: 1/4" = 1'-0"
 JOB No.: 20-3-03-ELGUAPOS
 SHEET No.:



A1.3



PROPOSED PLAN KEYNOTES

- 1 (E) PLANTING TO REMAIN
- 2 (N) STEEL POSTS FOR TRASH ENCLOSURE ROOF
- 3 NO SCOPE IN (E) BUILDING
- 4 (N) FLOOR DRAIN. SLOPE FLOOR OF TRASH ENCLOSURE AS NEEDED TO ENSURE POSITIVE DRAINAGE
- 5 OUTLINE OF (N) ROOF ABOVE. MIN 12' AFF
- 6 (N) MTL DOORS

PROPOSED PLAN LEGEND

	(E) PROPANE HEATER
	(E) CHAIR
	(E) STOOL
	(E) DECORATIVE PLANTERS
	(E) 4-TOP TABLE
	(E) 6-TOP TABLE
	(E) WOOD FENCE W/ LATTICE
	(E) SUNSHADE UMBRELLA

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*PRELIMINARY PLANS
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PROJECT:
EL GUAPOS PATIO

266 E CAMPBELL AVE. CAMPBELL, CA 95008

CONTRACTOR

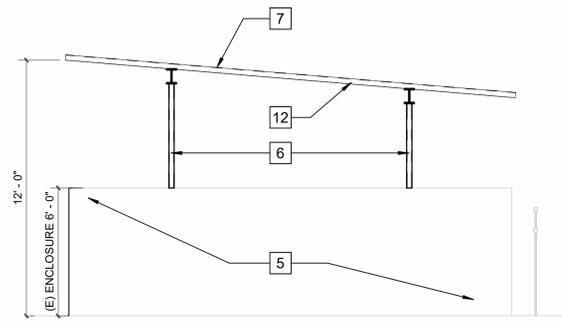
SHEET TITLE:
PROPOSED FLOOR PLAN

REVISIONS

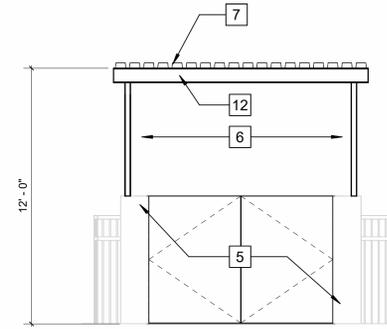
No.	Description	Date

DRAWN: GC
CHECKED: -
DATE: 00-00-0000
SCALE: 1/4" = 1'-0"
JOB No.: 20-3-03-ELGUAPOS
SHEET No.:

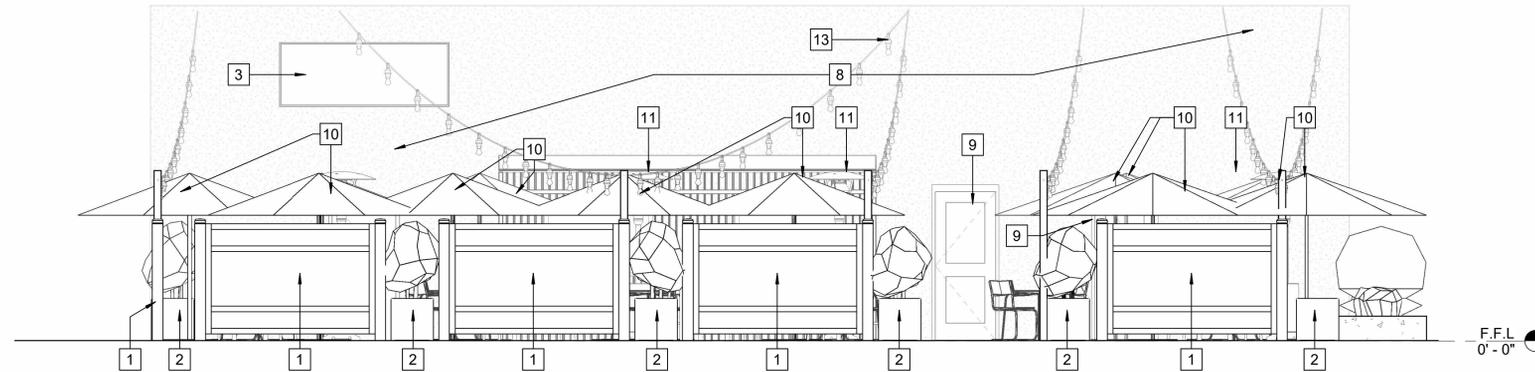
1 F. PLAN PROPOSED
1/4" = 1'-0"



① TRASH ENCLOSURE NORTH ELEVATION
1/4" = 1'-0"



② TRASH ENCLOSURE EAST ELEVATION
1/4" = 1'-0"



④ PATIO EXTERIOR ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

- ① (E) DECORATIVE FENCE TO REMAIN
- ② (E) DECORATIVE PLANTER TO REMAIN
- ③ (E) CARDIFF COCKTAILS SIGNAGE NOT IN SCOPE
- ④ (E) PLANTS TO REMAIN
- ⑤ (E) TRASH ENCLOSURE WALLS TO REMAIN
- ⑥ (N) STEEL COLUMNS
- ⑦ (N) CORRUGATED METAL ROOF DECK
- ⑧ (E) BUILDING AND PAINT FINISH TO REMAIN
- ⑨ (E) DOOR TO REMAIN
- ⑩ (E) SUNSHADES TO REMAIN
- ⑪ (E) HEATING UNIT TO REMAIN
- ⑫ (N) STEEL BEAMS
- ⑬ (E) STRING LIGHTING, TYP

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PROJECT:

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266 E CAMPBELL AVE. CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

EXTERIOR ELEVATIONS

REVISIONS

No.	Description	Date

DRAWN: GC

CHECKED: Checker

DATE: 00-00-0000

SCALE: 1/4" = 1'-0"

JOB No.: 20-3-03-ELGUAPOS

SHEET No.: