



CITY OF CAMPBELL
Community Development Department

June 12, 2014

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 24, 2014**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Dave Powell, for a Modification (PLN2013-272) to a previously approved Conditional Use Permit (PLN2012-81) and a Parking Modification Permit (PLN2013-297) to allow construction of an outdoor patio located behind an existing restaurant (El Guapo's) and the removal of four existing parking spaces, on property located at **266 E. Campbell Avenue**. Staff is recommending that this project be deemed Categorical exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **266 E. Campbell Avenue**

Project Location Map

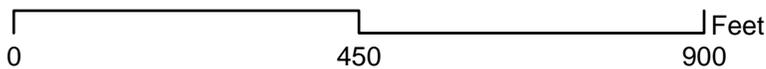


Project Location: 266 E. Campbell Ave.

Application Type: CUP Modification/Parking Mod.

Planning File No.: PLN2013-272

Description: Modification of a previously approved Conditional Use Permit and Parking Modification Permit



Community Development Department
Planning Division

PERMIT APPLICATION FOR:

EL GUAPO'S RESTAURANT PATIO

266 E CAMPBELL AVE.
CAMPBELL, CA 95008

PROJECT DIRECTORY

CLIENT

EL GUAPO'S
266 E CAMPBELL AVE.
CAMPBELL, CA 95008

ARCHITECTURE

TOPA ARCHITECTURE
1650 ZANKER RD #231
SAN JOSE, CA 95131
PH 408.320.0248

PROJECT DESCRIPTION

NEW PATIO WITH 2 NEW RESTROOMS AND STORAGE

PATIO 854 SQ FT
BATHROOM 149 SQ FT
STORAGE 116 SQ FT

TYPE OF CONSTRUCTION V B
OCCUPANCY GROUP A-2
STORIES 1
SPRINKLED NO

BUSINESS DESCRIPTION

BUSINESS DESCRIPTION:
NEW PATIO WITH 2 NEW RESTROOMS AND STORAGE

VICINITY MAP



PROJECT LOCATION N.T.S.

APPLICABLE CODES

CALIFORNIA CODE 2010 CBC
CALIFORNIA CODE 2010 CPC
CALIFORNIA CODE 2010 CMC
CALIFORNIA CODE 2010 CEC
CALIFORNIA CODE PART 2 OF 6
CCR (ENERGY)

SHEET INDEX

ARCHITECTURAL

A0.0 COVER SHEET
A0.1 VIEWS
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A2.1 FLOOR PLAN
A2.3 ROOF PLAN
A3.1 ELEVATION
A3.2 ELEVATIONS
A3.3 SECTIONS
A6.0 MATERIAL SPECIFICATION
A7.0 EXISTING VIEWS

SYMBOLS

SECTION OR DETAIL SHEET NUMBER	SECTION OR ELEVATION NUMBER	SECTION OR ELEVATION NUMBER
(A3.7)	(A3.7)	(A3.7)
(18)	(A3.7)	(A3.7)
(F1)	(A3.7)	(A3.7)
(1.5)	(A3.7)	(A3.7)
(110)	(A3.7)	(A3.7)
(A1)	(A3.7)	(A3.7)



1650 ZANKER ROAD #231
SAN JOSE, CA 95131
TEL (408) 320 0248

GENERAL NOTES:

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PROJECT:

EL GUAPO'S
PATIO

266 E CAMPBELL AVE.
CAMPBELL, CA

CONSULTANT:

SHEET TITLE:

COVER SHEET

REVISIONS	BY

DATE:	4-11-2014
SCALE:	
JOB No.:	
SHEET No.:	

A0.0

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PROJECT:
EL GUAPO'S PATIO
265 E CAMPBELL AVE.
CAMPBELL, CA

CONSULTANT:

SHEET TITLE:

IEWS

REVISIONS	BY

DATE:	5/12/2014
CHECKED:	
SCALE:	
JOB No.:	
SHEET No.:	

A0.1



BIRDEYE VIEW
NOT ON SCALE



INTERIOR VIEW
NOT ON SCALE



FRONT VIEW
NOT ON SCALE



SIDE VIEW
NOT ON SCALE

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PROJECT:
EL GUAPO'S PATIO
288 E CAMPBELL AVE.
CAMPBELL, CA

CONSULTANT:

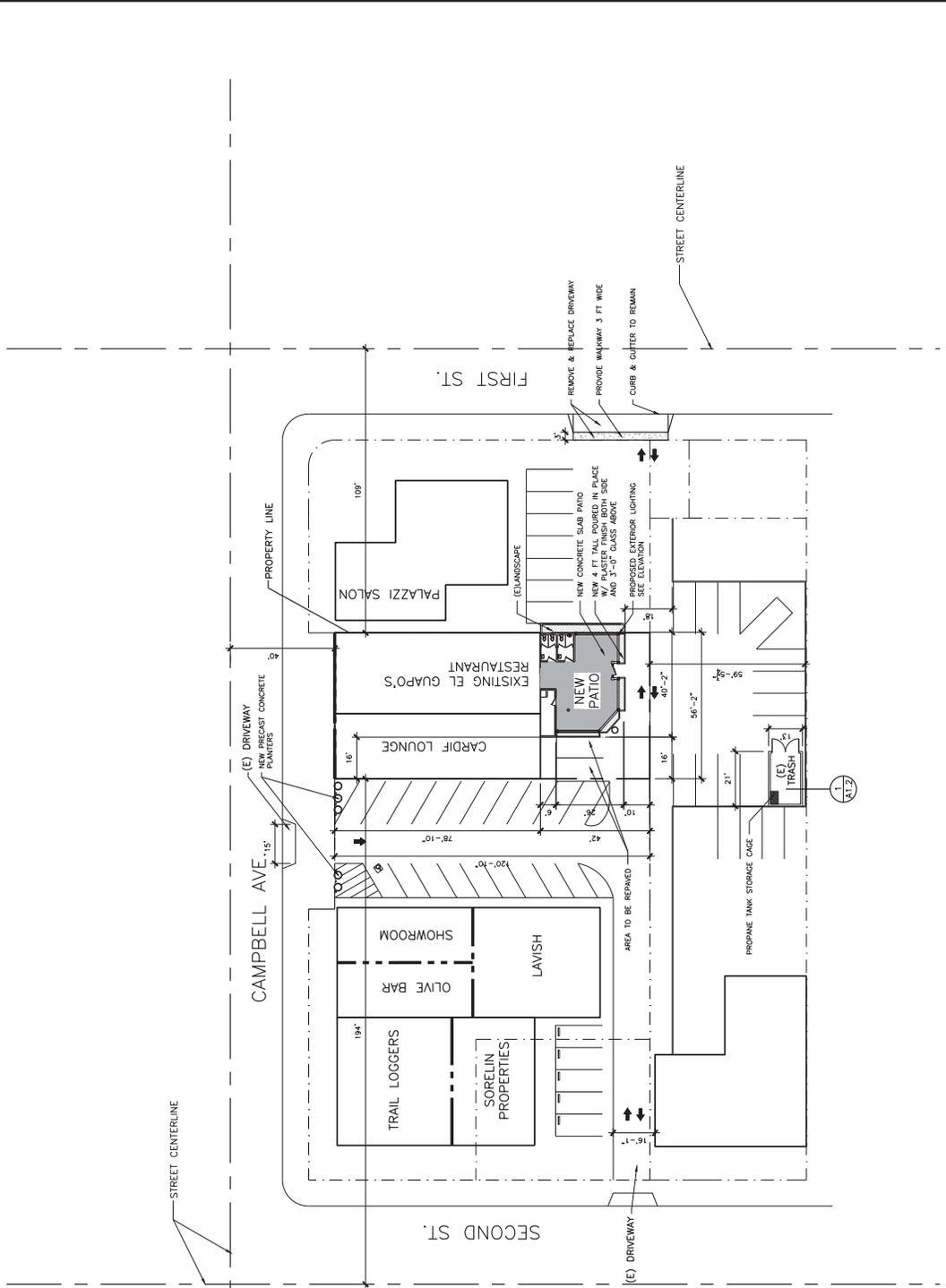
SHEET TITLE:

SITEPLAN

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	4-1-2014
SCALE:	
JOB No.:	
SHEET No.:	

A1.1



SITE PLAN
SCALE: 1/8"=1'-0"

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PROJECT:
EL GUAPÓ'S PATIO
 206 E. CAMPBELL AVE.
 CAMPBELL, CA

CONSULTANT:

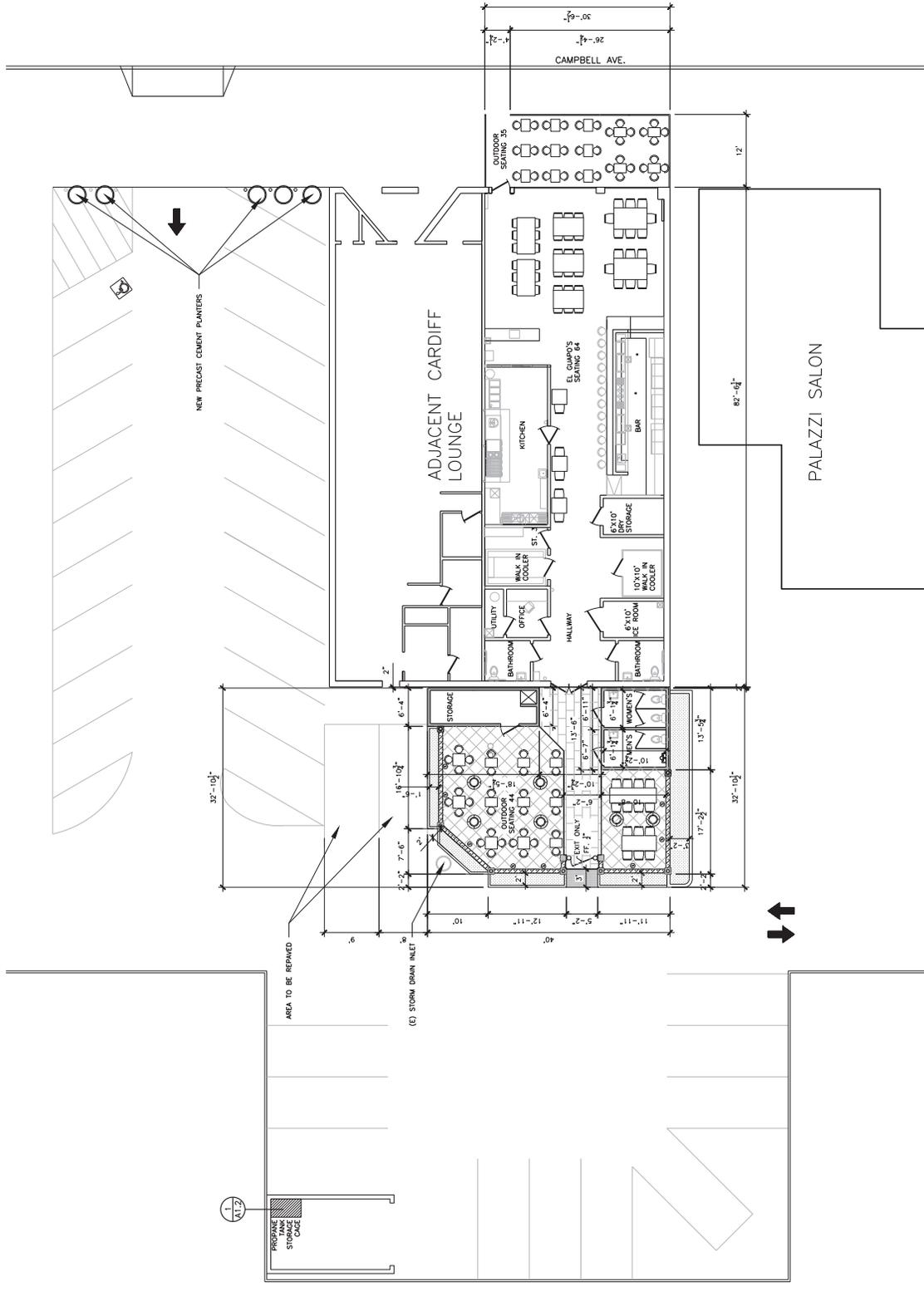
SHEET TITLE:

OVERALL PLAN

REVISIONS	BY

DATE	BY
4-1-2014	

SHEET No.:
 A2.0



PROPOSED FLOOR PLAN
 SCALE: 1/8"=1'-0"

1

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PROJECT:
EL GUAPO'S PATIO

206 E. SHREVE RD.
 CARROLL, CA

CONSULTANT:

SHEET TITLE:
FLOOR PLAN

REVISIONS	BY

DATE:	4-1-2014
SCALE:	1/4" = 1'-0"
JOB No.:	
SHEET No.:	

A2.1

KEY NOTES

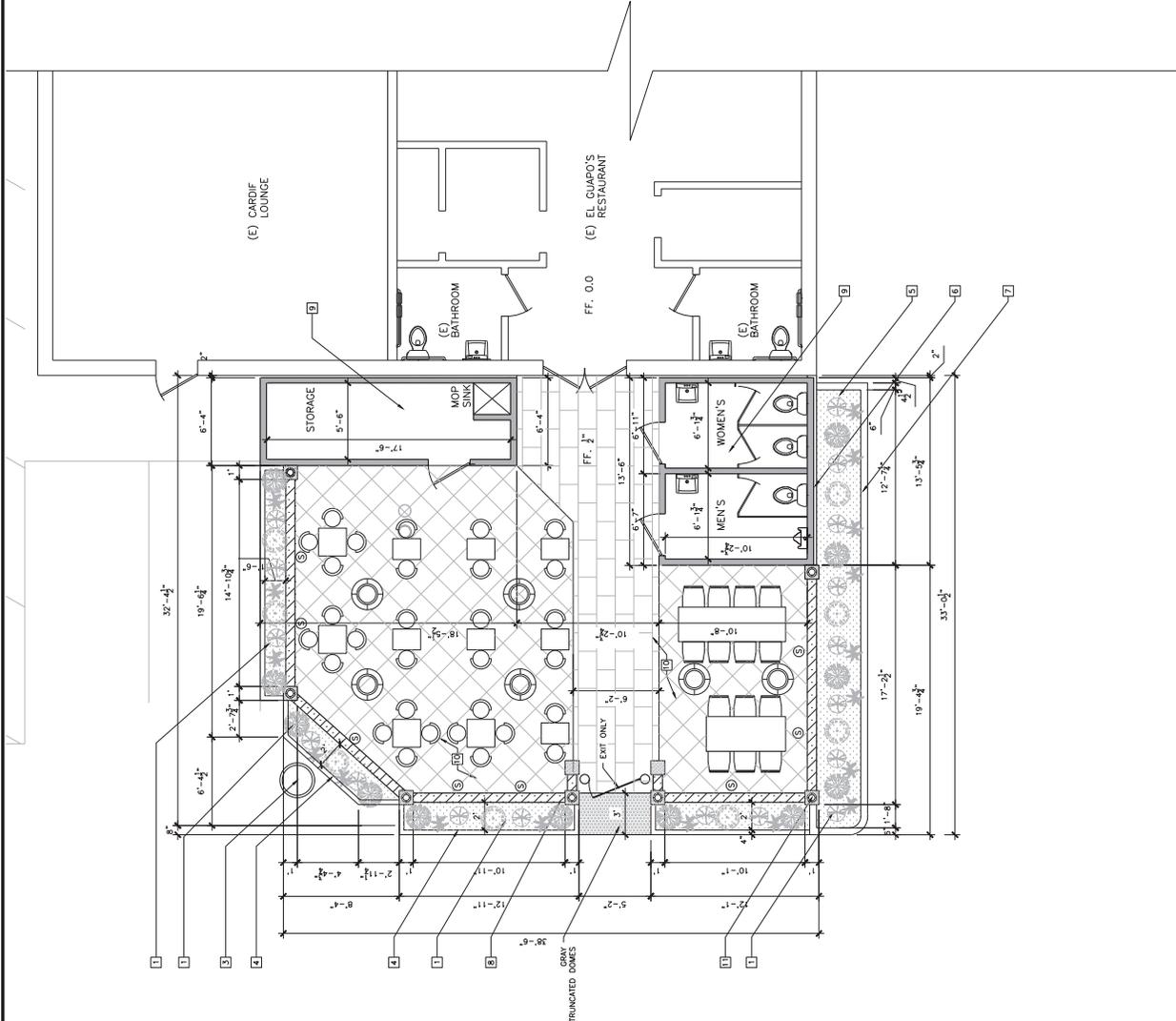
NO.	DESCRIPTION
1	(N) LANDSCAPE & VINES
2	-
3	(E) STORM DRAIN INLET
4	(N) 4" CONCRETE CURB
5	(E) LANDSCAPE TO REMAIN WHICH LINES UP WITH EXTERIOR WALL
6	REMOVE (E) CURB, BUILD A (N) 8" CMU WALL
7	(E) 6" CONCRETE CURB
8	(N) 4" FINISH IN PLACE PATIO WALL W/ PLASTER BOTH SIDES 4' FT TALL
9	(N) 4" CONCRETE SLAB W/ #4 REBAR @16" O.C
10	(N) 4" STAMPED CONCRETE
11	(N) LIGHTS

WALL LEGEND

	NEW WALL 2"x4" STUDS @24" O.C W/ 5/8"
	NEW 4 FT TALL POURED IN PLACE CONCRETE FINISH WALL WITH POLESTAR FINISH BOTH SIDES
	CEMENT PLASTER
	PROPANE AREA HEATERS
	LIGHTS
	SPEAKER

PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE/SPACING	QUANTITY
SHRUBS			
	Adonis 'Edward Courcier' Pink Aedulis	5pc	12
	Delos Eucolor Yellow Fairlight Lily	5pc	17
	Escallonia Terris	5pc	8
	Nandina d'Composita Heavenly Bamboo	5pc	17



PROPOSED FLOOR PLAN
 SCALE: 1/4"=1'-0"

1



1850 Zanker Rd #231
 San Jose CA, 95112
 Tel: (408) 320 0248

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PROJECT:
 EL GUAPO'S PATIO
 288 E CAMPBELL AVE.
 CAMPBELL CA

CONSULTANT:

SHEET TITLE:
 ROOF PLAN

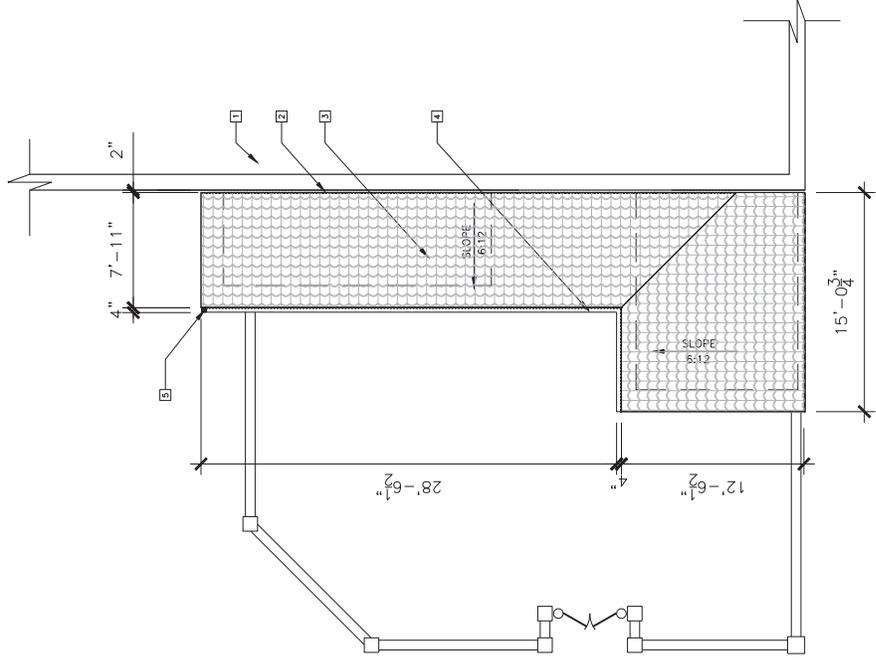
REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	4-1-2014
SCALE:	
JOB No.:	
SHEET No.:	

A2.3

KEY NOTES

- 1 (C) ROOF TO REMAIN
- 2 (N) SHEET METAL FLASHING
- 3 (N) REMOVE THE ROOF BY BURIAL ROOFING S-TILE & BUILDING PAPER
- 4 (N) GALVANIZED SHEET METAL GUTTER
- 5 (N) DOWN SPOUT



ROOF PLAN
 SCALE: 1/4"=1'-0"

1

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PROJECT:
EL GUAPO'S PATIO
288 E CAMPBELL AVE.
CAMPBELL, CA

CONSULTANT:

SHEET TITLE:
ELEVATIONS

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	4-1-2014
SCALE:	1/4"=1'-0"
JOB No.:	
SHEET No.:	

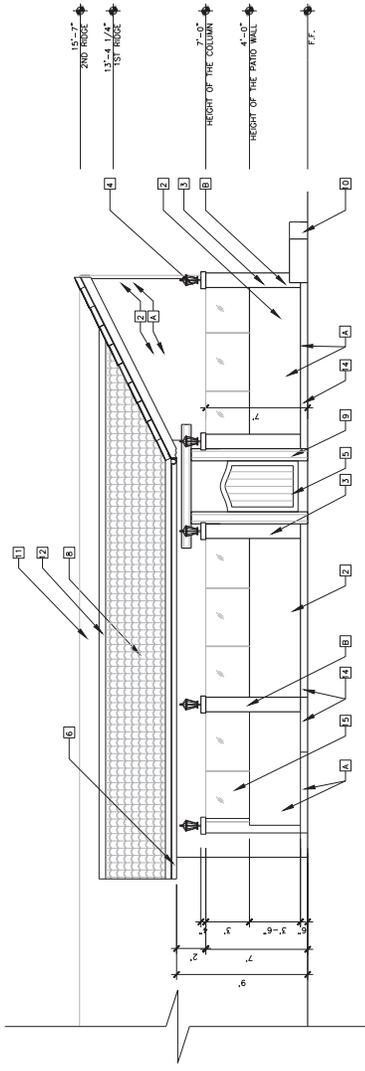
KEY NOTES

- 1 (N) ROOF DECK WITH ALUMINUM FRAME FROM RESTAURANT TO PATIO
- 2 (N) 8" SQUARES IN PLACE CONCRETE WALL W/ 5/8" WORLD FINISH PLASTER BOTH SIDE STUCCO FINISH
- 3 (N) 1 1/2" CONCRETE COLUMNS, OLD WORLD FINISH
- 4 (N) LIGHT FIXTURE
- 5 (N) WOODEN GATE, RUSTIC LOOK
- 6 (N) 25 G.A. G.I. GUTTERS PAINTED
- 7 (N) 1"x6" FACA BOARD
- 8 (N) SPANISH TILE ROOF BY BORSA ROOFING, S-TILE EL CAMINO BLEND
- 9 (N) 8" x NATURAL CUSTOM TIMBER ROOFING
- 10 (C) POURED IN PLACE CONCRETE PLANTER
- 11 (E) EL GUAPO RESTAURANT
- 12 (N) FISHING
- 13 (N) METAL DOOR IN METAL FRAME
- 14 (N) 6" CONCRETE CURB
- 15 (N) 3'-0" TALL GLASS PANEL

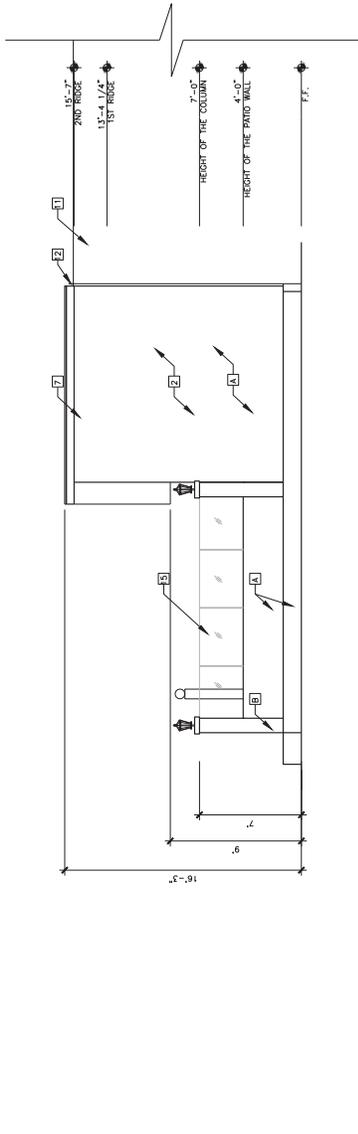
PAINT

- A CHARULTEC H42544-5
- B HAMMERED BEWTER H4282-3

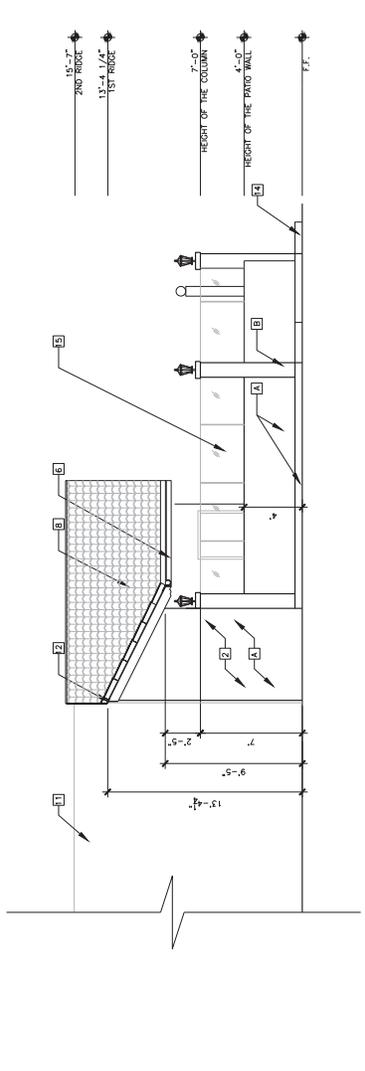
SOUTH ELEVATION (FRONT)
SCALE : 1/4"=1'-0"



EAST ELEVATION
SCALE : 1/4"=1'-0"



WEST ELEVATION
SCALE : 1/4"=1'-0"



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PROJECT:
EL GUAPÓ'S PATIO
288 E CUMBERLAND AVE.
CAMPBELL CA

CONSULTANT:

SHEET TITLE:
ELEVATIONS

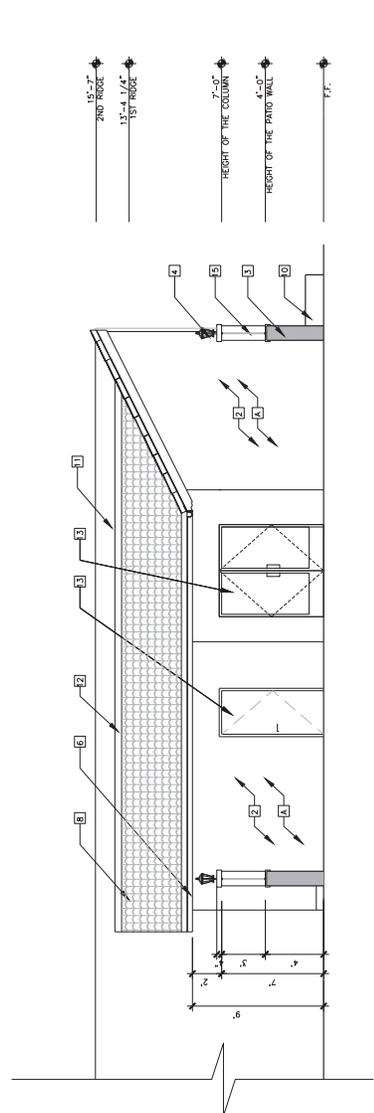
REVISIONS	BY

DRAWN

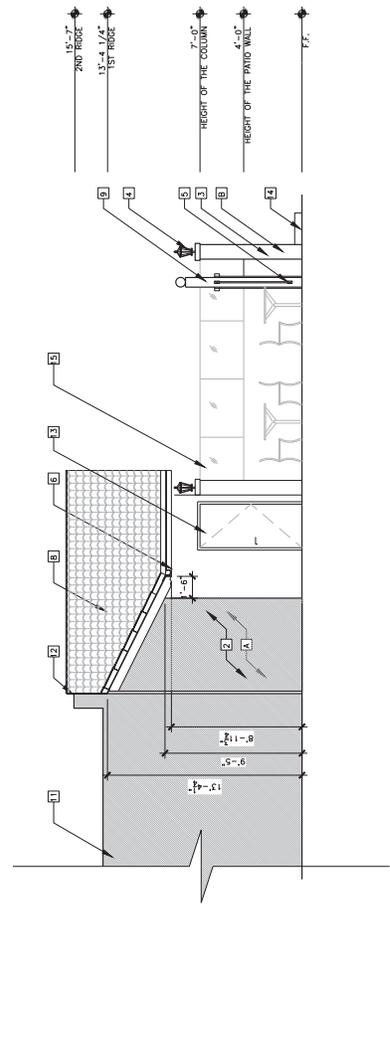
A3.2

KEY NOTES
1 (N) GLASS DOOR WITH ALUMINUM FRAME FROM RESTAURANT TO PATIO
2 (N) 8" POURED IN PLACE CONCRETE WALL W/ OLD WORLD FINISH PLASTER BOTH SIDE
3 (N) 1"x1" CEMENT COLUMNS, OLD WORLD STUCCO FINISH
4 (N) LIGHT FIXTURE
5 (N) WOODEN GATE, RUSTIC LOOK
6 (N) 25 GA. G.I. OUTER PAINTED
7 (N) 1"x6" FACA BOARD
8 (N) SPANISH TILE ROOF BY BIPOLAR ROOFING, S-TILE
9 (N) 8" NATURAL CUSTOM TIMBER
10 (E) EL GUAPÓ RESTAURANT
11 (N) FLASHING
12 (N) METAL DOOR IN METAL FRAME
13 (N) 6" CONCRETE CURB
14 (N) 3'-0" TALL GLASS PANEL

PAINT
A CHMPUTEPEC M42544-5
B HAMMERED PEWTER HL4263-3



SOUTH SECTIONAL ELEVATION (FRONT)
SCALE : 1/4"=1'-0"



WEST SECTIONAL ELEVATION
SCALE : 1/4"=1'-0"

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PROJECT:
EL GUAPÓ'S PATIO
288 E CAMPBELL AVE.
CAMPBELL CA

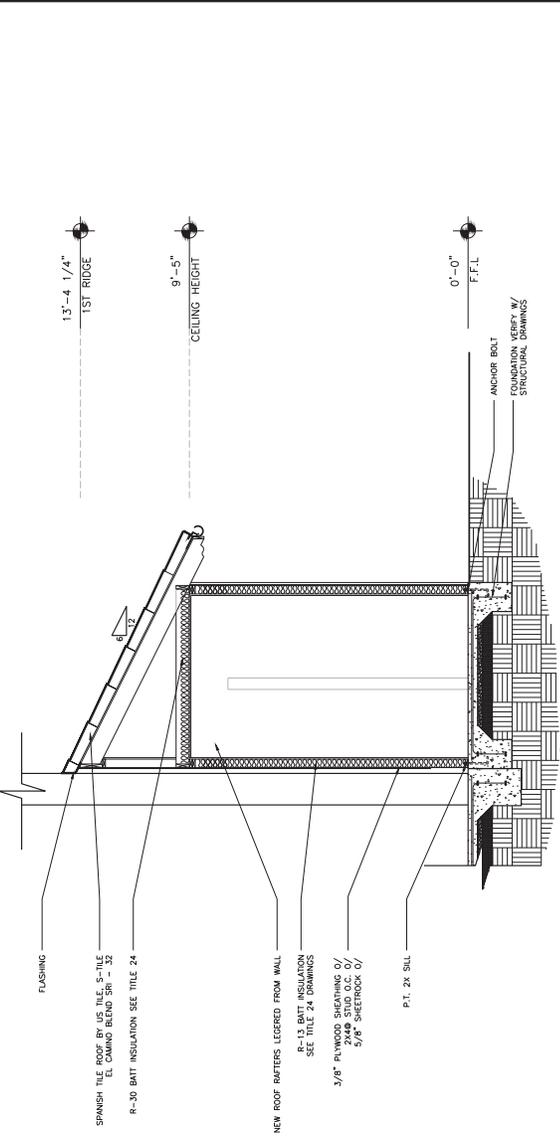
CONSULTANT:

SHEET TITLE:

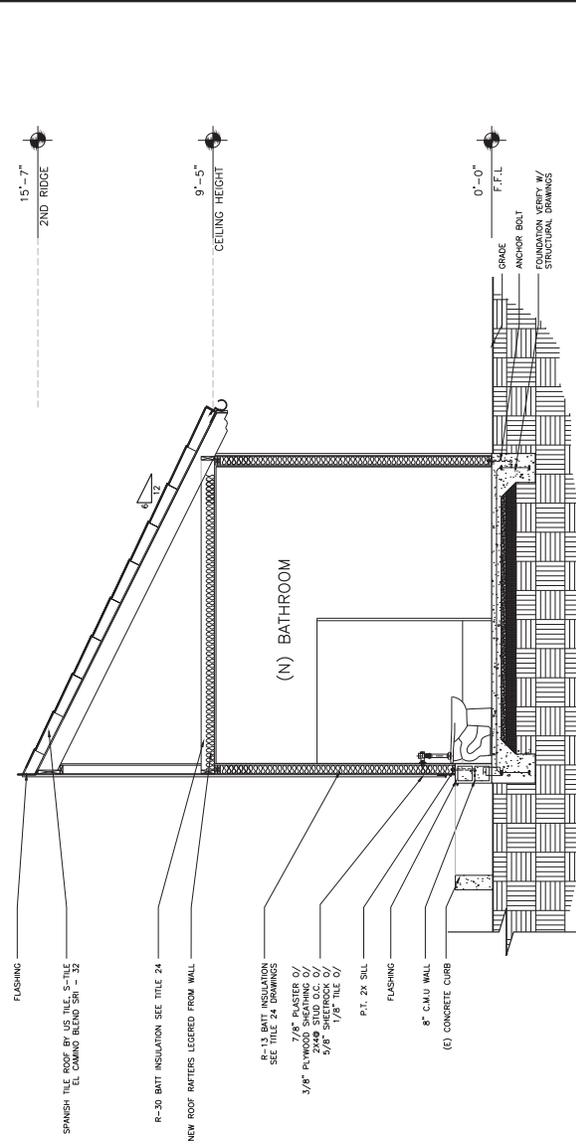
SECTION

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	4-1-2014
SCALE:	
JOB No.:	
SHEET No.:	



SECTION 1
SCALE: 1/2"=1'



SECTION 2
SCALE: 1/2"=1'

11251 | Intermittent



DESCRIPTION
This is a cast iron street lamp with a glass globe and a decorative top. It is made of heavy cast iron and is finished with a black powder coat. The globe is made of clear glass and is protected by a metal cage. The top is made of cast iron and has a decorative finial. The lamp is designed to be mounted on a post and is suitable for use in parks, gardens, and streets.

INSTALLATION
The lamp is designed to be mounted on a post and is suitable for use in parks, gardens, and streets. It is made of heavy cast iron and is finished with a black powder coat. The globe is made of clear glass and is protected by a metal cage. The top is made of cast iron and has a decorative finial. The lamp is designed to be mounted on a post and is suitable for use in parks, gardens, and streets.

ANTIQUE Street Lamps

PROPOSED LIGHT FIXTURE WITH OPTICAL REFRACTOR TO SHINE DOWN ONLY

BELSON OUTDOORS
Model # TF4353

4" Precast Concrete Planter

Options:
Color: White, Grey, Black, Red, Blue, Green, Yellow, Orange, Purple, Brown, Tan, Silver, Gold, Bronze, Copper, Nickel, Chrome, Stainless Steel, Powder Coat, Custom Colors Available.

Material: Precast Concrete

Finish: Smooth, Stained, or Custom

Dimensions:
Overall Height: 4" (101.6 mm)
Overall Width: 4" (101.6 mm)
Overall Depth: 4" (101.6 mm)

Weight: 1.5 lbs (0.68 kg)

Package: 100 pieces per pallet

Notes:
This planter is designed to be used with the planter in the same color as the planter.



PRECAST CONCRETE PLANTERS

BOBAL™
Build something great™

Texas - Clay Roof Tile

1-PIECE 4" TILE & 2-PIECE MISSION

NOW AVAILABLE LOCALLY AT THE ART PLANT

- 1-Piece 4" Tile is Class 3 Hill Rated
- 2-Piece Mission Tile is Class 3 Hill Rated
- Comes in 20" x 20" and 20" x 24" sizes
- Can be used with Bobal's Energy Efficient Roof System
- Compatible: Universal Lumber Technology with Thick and Thin Joists

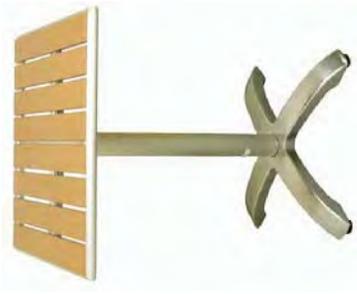
2- Piece Mission
Perfect for the home with the traditional look and a modern twist. The 2-piece mission tile is made of high quality, natural clay and is designed to be used with the Energy Efficient Roof System. It is compatible with Universal Lumber Technology with Thick and Thin Joists.

1-Piece Mission
Perfect for the home with the traditional look and a modern twist. The 1-piece mission tile is made of high quality, natural clay and is designed to be used with the Energy Efficient Roof System. It is compatible with Universal Lumber Technology with Thick and Thin Joists.

PROPOSED ROOF TILE



PROPOSED PATIO CHAIR



PROPOSED PATIO TABLE

i o p a architecture

1050 Zanker Rd #231
San Jose, CA 95112
Tel: (408) 320 0249

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PROJECT:

EL GUAPÓ'S PATIO

289 F. CAMPBELL AVE.
CAMPBELL, CA

CONSULTANT:

SHEET TITLE:

SPECIFICATIONS

REVISIONS	BY

DRAWING:

RECORDED:

DATE: 4-1-2014

SCALE:

JOB No.:

SHEET No.:

A6.0



EXISTING_REAR_PARKING_LOT



EXISTING_FRONT_VIEW



EXISTING_REAR_PARKING_LOT



EXISTING_REAR_VIEW

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PROJECT:
EL GUAPO'S PATIO
288 E CAMPBELL AVE.
CAMPBELL, CA

CONSULTANT:

SHEET TITLE:
EXISTING PICTURES

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	4-11-2014
SCALE:	
JOB No.:	
SHEET No.:	



September 17, 2013

Paul Kermoyan
City of Campbell
Campbell Planning Division
70 North First Street
Campbell, CA 95008

Re: El Guapo's Outdoor Patio & Building Beautification Project

Dear Mr. Kermoyan,

El Guapo's Tacos, LLC is pleased to present you with our outdoor patio and building beautification project. We believe that this investment in the aesthetic improvement of our building and creation of an outdoor patio in the rear of our property will be a significant improvement to both our building and the Downtown in general.

Project Background

El Guapo's Tacos, LLC seeks to initiate a building beautification project to its existing building that will dramatically improve the visual aesthetics to the rear of the property, improve safety and lighting in the rear parking lot and provide additional outdoor patio seating for our patrons. Our goal is to create an additional family-friendly environment where our patrons can enjoy the great outdoor weather and atmosphere that Downtown Campbell offers.

Our proposal includes the construction of an enclosed rear-dining patio incorporating high-quality design standards and installing security lighting in the rear parking lot. The outcome of our beautification project will be a dramatic improvement to the visual aesthetic of the rear of our building (currently visible by pedestrian and vehicle traffic on 1st Street and Orchard City Dr.).

Project Scope

The proposed beautification project includes:

- Construction of an enclosed rear patio of approximately 1,000 sq. feet.
- Patio walls would likely be 6' to 8' in height depending on input from City Staff.
- Two additional restrooms.
- Installation of new security lighting on the patio walls providing better illumination of the parking area at night.
- Additional foliage, landscaping and planter boxes along patio wall perimeter.

RECEIVED

SEP 17 2013

CITY OF CAMPBELL
PLANNING DEPT.

The construction of this project would necessitate an elimination of four existing parking stalls at the rear of the building. The existing lot currently has 39 parking spaces, with 18 spaces being dedicated specifically to our building and 21 spaces being shared amongst neighboring businesses.

Improved Aesthetics

In line with the current effort by the City of Campbell to improve the overall physical appearance of the Downtown area, El Guapo's proposal will accomplish this goal. The building we lease is older, and while in good condition, is in need of exterior improvements. Further, the current interface between the rear of the building and the parking lot/neighborhood provide the public with the more "operational" end of the business. We believe it is good for our business and the community to change that.

As can be seen from the attached exhibits, our enclosed patio will provide the public with views of an adobe style façade. Utilizing high quality design and quality materials, passerby's and residents alike will now have a more warm, intimate interface between our parking lot, the public streets and the business. Further, by providing access from the parking lot into the building, we will activate the space which is currently dormant most of the day. As part of the aesthetic improvements to the exterior of the building, we will look at a landscaping plan that can act as a deterrent to graffiti (using plants as a natural barrier along the patio walls for example) on an ongoing basis.

In addition to physical improvements to the building, El Guapo's has communicated with Tom Castro, the building owner adjacent to us, and he has agreed that if our project goes forward, he will work with us to beautify the awkward concrete space that exists between our two businesses by adding in additional foliage, landscaping and planter boxes and making other physical improvements that make the rear of our businesses generally more attractive. The net result is an aesthetic improvement to two properties that otherwise would not be made.

Patio Specifics & Operations

As mentioned above, we envision an approximate 1,000 square foot patio with accommodations for approximately 26 patrons. As part of the project, we are proposing the construction of two restrooms in the patio enclosure, doubling our current restroom space. The patio will feature an adobe style door that will allow access through the building during operating hours but prohibit access when the patio closes.

In terms of hours of operation for the patio, we propose to limit hours to 11PM, mirroring the operating hours of our front patio. Additionally, we propose that all other restrictions and conditions that apply to our front patio also apply to the new patio space.

Conformance with Major City Policies & Alignment with Major City Strategies

Our proposal for El Guapo's continues to conform with other major City policies and strategies, as well as helps the City meet the goals contained in these policies, specifically the Downtown Development Plan contained within Campbell's General Plan. Our plans for El Guapo's either meets or helps the City meet the following Downtown Development Plan goals:

- Goal LU-1: "continue the development and revitalization of the downtown area in a manner that positions it as a viable self-sustaining commercial district in the competitive market place of Silicon Valley."
 - Policy LU-1.1: "To maximize the development potential of property...particularly ground floor retail and restaurant space."
- Policy LUT-5.1: "Recognize that the City is composed of residential, industrial and commercial neighborhoods, each with its own individual character and allow change consistent with reinforcing positive neighborhood values, while protecting the integrity of the city's neighborhoods."
- Goal LU-2: Work to develop and promote a variety of retail businesses and diversification of eating establishments that will help create a unique destination and identity for downtown.
 - Policy LU-2.1: "develop and maintain the ground floor space...as a distinctive retail and restaurant experience with ground floor uses that are diverse and interesting..."
- Goal LU-5: "To increase the residential presence to achieve an active 24 hour downtown neighborhood"
- Goal D-2: "To unify the architectural character of Downtown creating a "main street" appearance while allowing design flexibility and individual expression within the context of a design pallet which creates a distinctive urban streetscape and an interesting pedestrian experience."
 - Strategy D-2.1a & Strategy D-2.1c: strategies detailing how to orient Campbell Avenue businesses to promote pedestrian activity and outdoor dining.

Recent conversion of parking into useable business space

Our proposal converts four parking spaces into space that will generate economic activity. A recent project approved by the City Council allowed the project developer to remove 19 parking stalls to allow the construction of approximately 5,000 square feet of restaurant/retail. This conversation allowed for approximately 263 sq. ft of development per parking stall removed.¹

El Guapo's is proposing approximately 1,000 square feet of development, replacing 4 parking stalls (allowing approximately 250 sq. ft/parking stall). As such, our proposal is much smaller in scope and has less of a parking impact on a square footage per parking stall basis.

Conclusion

We believe our proposal for improving the asthetics of our building and creating an outdoor patio will be a positive project for Downtown Campbell. We look forward to working closely with the City as it reviews our application and we look forward to working

¹ 276 E. Campbell Ave. Project, Council Approval April, 2011.

with you to address any issues or concerns that may arise. We are available at any time to discuss our proposal or to answer any questions you may have.

Sincerely,

A handwritten signature in black ink, appearing to be 'SR', with a long horizontal line extending to the right.

Sam Ramirez
Managing Partner
(408) 340-3830

A handwritten signature in black ink, appearing to be 'DP', with a long horizontal line extending to the right.

Dave Powell
Managing Partner
(408) 313-7355