

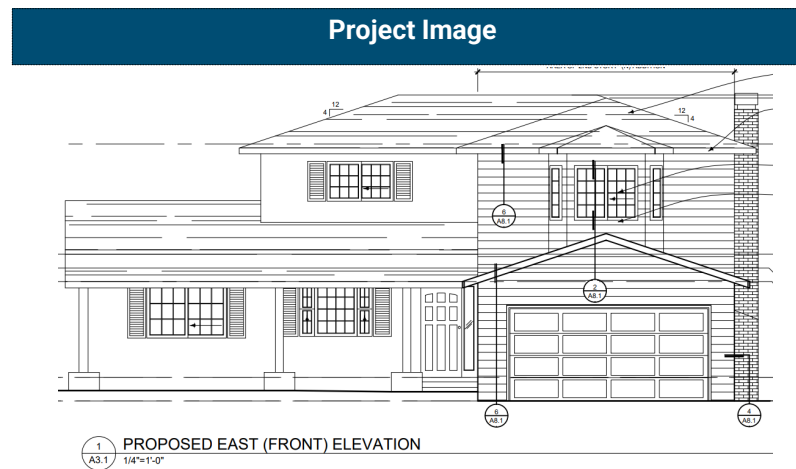




City of Campbell

70 North First Street

Campbell, CA 95008 –1423



Courtesy Notice

Dear Campbell Resident,

January 18, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1191 Lenor Way

Zoning | Area Plan: R-1-6 | N/A

Neighborhood Association(s): N/A

Council District: 3

File No.: PLN-2024-8

APN: 279-20-047

Applicant: Morris Architecture LLC

Property Owner: Charles Whyte

Application Type: Site and Architectural Review Permit

Project Planner: Daniel Fama, Senior Planner

Email Contact: danielf@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

Construction of 332 square-foot second-story addition to an existing single-family residence, with a reduction to the 2nd-story side-yard setback from approximately 9 ½ feet to approximately 6-feet.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

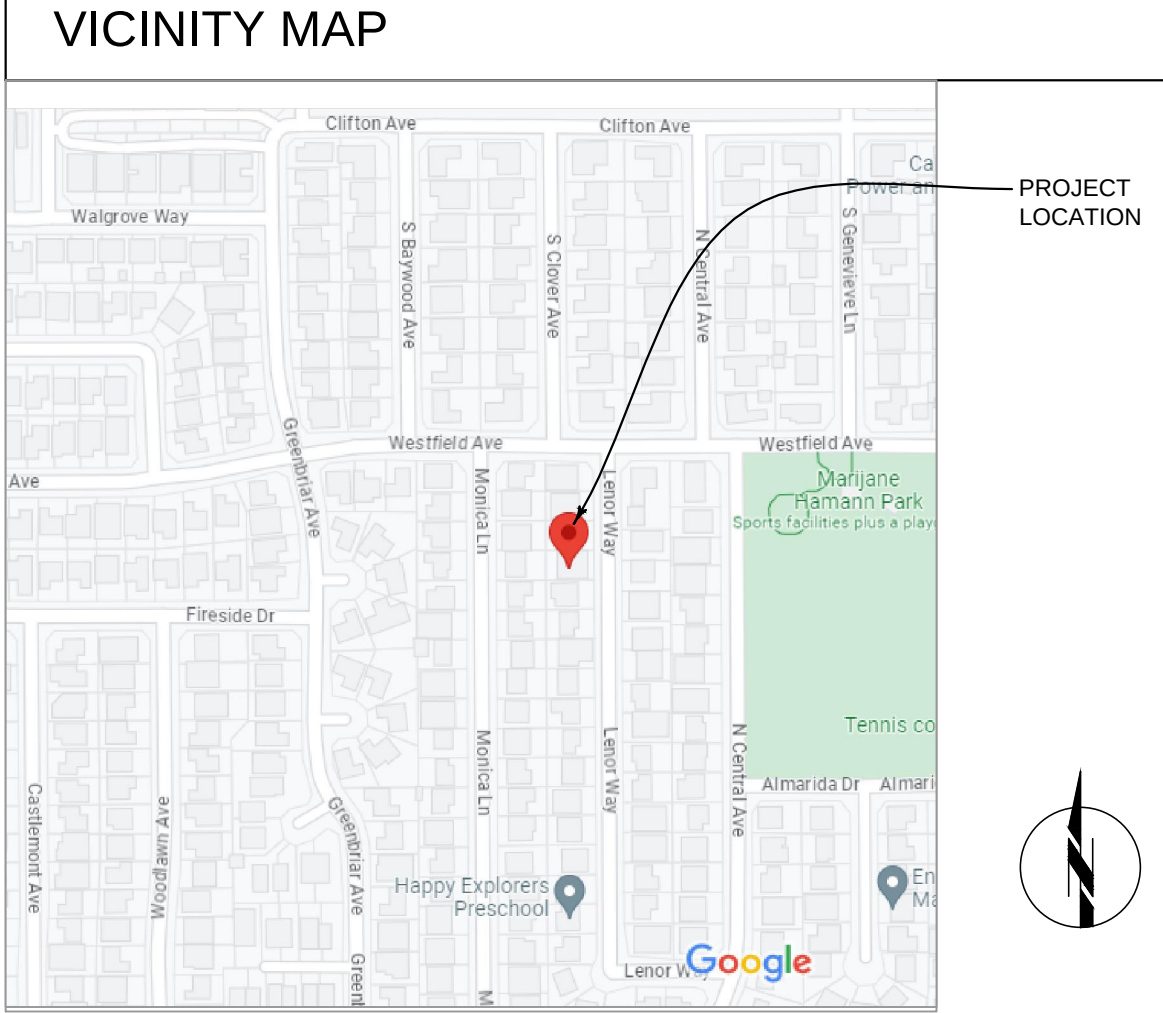
****Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español**



- GENERAL NOTES
1. CONSTRUCTION HOURS SHALL BE 8-5 M-F, 9-4 SATURDAYS, NO WORK SUNDAYS OR HOLIDAYS
 2. **CAL GREEN:** SEE SHEET GB-1 FOR CAL GREEN MANDATORY REQUIREMENTS.
 3. **CHEMICALS:** ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SEC 4.504.2.4.
 4. **PRIOR TO FINAL INSPECTION,** THE GENERAL CONTRACTOR MUST PROVIDE A LETTER TO THE CITY OF CAMPBELL BUILDING DEPARTMENT CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, PAINT, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS(INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SEC. 4.504.
 5. **HERS VERIFICATION:** SEE SHEET EN-1 FOR MANDATORY HERS VERIFICATION REQUIREMENTS

- FOUNDATION / SOILS (GEOTECH. REPORT)
6. MORRIS ARCHITECTURE LLC STRONGLY RECOMMENDS THAT THE OWNER PROVIDE A FOUNDATION INVESTIGATION PREPARED BY A LICENSED GEOTECHNICAL ENGINEER OR GEOLOGIST. IT IS THE SOLE RESPONSIBILITY OF THE OWNER TO OBTAIN AND PROVIDE ONE. IN THE EVENT THAT A FOUNDATION INVESTIGATION IS NOT PROVIDED, THE ARCHITECT MAKES NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE SUITABILITY OF THE SOILS PRESENT FOR THE PROPOSED WORK, OR THAT DIFFERENTIAL SETTLEMENT WILL NOT OCCUR.
 7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ADEQUACY OF THE FOUNDING SOILS. THE FOUNDATION DESIGN IS PREPARED BY THE STRUCTURAL ENGINEER AND BASED UPON A GEOTECHNICAL REPORT BY THE ABOVE LISTED GEOTECHNICAL ENGINEER.
 8. SEE STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND/OR CIVIL DRAWINGS FOR ADDITIONAL CRITERIA REGARDING FOUNDATIONS, EXCAVATION, EARTHWORK, SITE PLACEMENT OF ANY CONCRETE, AND/OR DRAINAGE RECOMMENDATIONS.

WASTE MANAGEMENT STATEMENT
CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MOTOR, TILE, TAPING AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STREET, NEIGHBORING PROPERTY OR THE STORM WATER SYSTEM. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN AND UPLOAD DISPOSAL RECEIPTS INTO YOUR GREEN HALO PROJECT ACCOUNT. PROOF OF RECYCLING AND DISPOSAL OF THE SITE TRASH MUST BE APPROVED AND SIGNED OFF PRIOR TO FINAL INSPECTION AND ISSUE OF A CERTIFICATE OF OCCUPANCY



PROJECT DIRECTORY

ARCHITECT:
MORRIS ARCHITECTURE LLC
12 COZZOLINO CT.
MILLBRAE, CA 94030
T. 650.995.1360
RYAN@MORRIS-ARCH.COM

STRUCTURAL ENGINEER:
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1300 INDUSTRIAL RD.
SUITE 14
SAN CARLOS, CA 94070
T. 650.595.2973
ROBERT@MORRIS-SHAFFER.COM

TITLE 24 ENERGY & GREEN:
A PLUS GREEN ENERGY SERVICES
41 C HANGAR WAY
WATSONVILLE, CA 95076
T. 408.310.0081
JIM@APGES.COM

OWNERS:
CHARLES & DARYA WHYTE
1191 LENOR WAY
SAN JOSE, CA 95128
T. 831.207.3328
CHARLES.R.WHYTE@GMAIL.COM
DARYAGEMINI@GMAIL.COM

GENERAL NOTES

- CODES**
THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:
PART 2 2022 CALIFORNIA BUILDING CODE
PART 2.5 2022 CALIFORNIA RESIDENTIAL CODE
PART 3 2022 CALIFORNIA ELECTRICAL CODE
PART 4 2022 CALIFORNIA MECHANICAL CODE
PART 5 2022 CALIFORNIA PLUMBING CODE
PART 6 2022 CALIFORNIA ENERGY CODE
PART 9 2022 CALIFORNIA FIRE CODE
PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
AND THE CAMPBELL MUNICIPAL CODE
- DRAWINGS**
1. **GENERAL CONDITIONS.** THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2. **DIMENSIONS.** WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
3. **DIMENSIONS.** ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
4. **DIMENSIONS.** 'CLR' DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
5. **COMPLETION.** THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.

- GENERAL CONTRACTOR'S RESPONSIBILITIES**
6. **PLANS ON SITE.** THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
7. **DISCREPANCIES.** THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
8. **SUBSTITUTIONS.** THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
9. **INSPECTIONS.** THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS)
10. **SAFETY.** THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
11. **DEFERRED SUBMITTALS.** DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
12. **WORKMANSHIP.** ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
13. **MANUFACTURER'S REQUIREMENTS.** THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
14. **BRACING AND SHORING.** DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.
15. **PER R408.5.** ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM CRAWLSPACE AND ATTIC AREAS.
16. **CONSTRUCTION SITE MUST COMPLY WITH CFC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION THAT WILL INCLUDE PROTECTION FROM: TEMPORARY HEATING, FLAMMABLES, COMBUSTIBLE MATERIALS, OPEN FLAME, SPARK PRODUCTION, ACCESS AND EGRESS, WATER SUPPLY AND PORTABLE FIRE EXTINGUISHERS FOR MINOR FIRE SUPPRESSION.**
17. **MAJOR ADDITION/REMODEL AND NEW HOME PROJECT SHALL RECEIVE A SECURITY FENCE WITH GREEN SITE SCREEN. PLACE A WEATHERPROOF SIGN(S) THAT SHOW :** THE ADDRESS, CAMPBELL'S WORKING HOURS OF CONSTRUCTION, A CONTACT NAME, PHONE NUMBER AND EMAIL ADDRESS OF THE CONTRACTOR.
18. **CONTRACTOR TO PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LEMINAIRES, AS PER TITLE 24 CODE PART 1, 10-103(B)**

PROJECT DESCRIPTION

1. 2ND STORY BEDROOM ADDITION ABOVE GARAGE TO SINGLE FAMILY RESIDENCE

PROJECT DATA

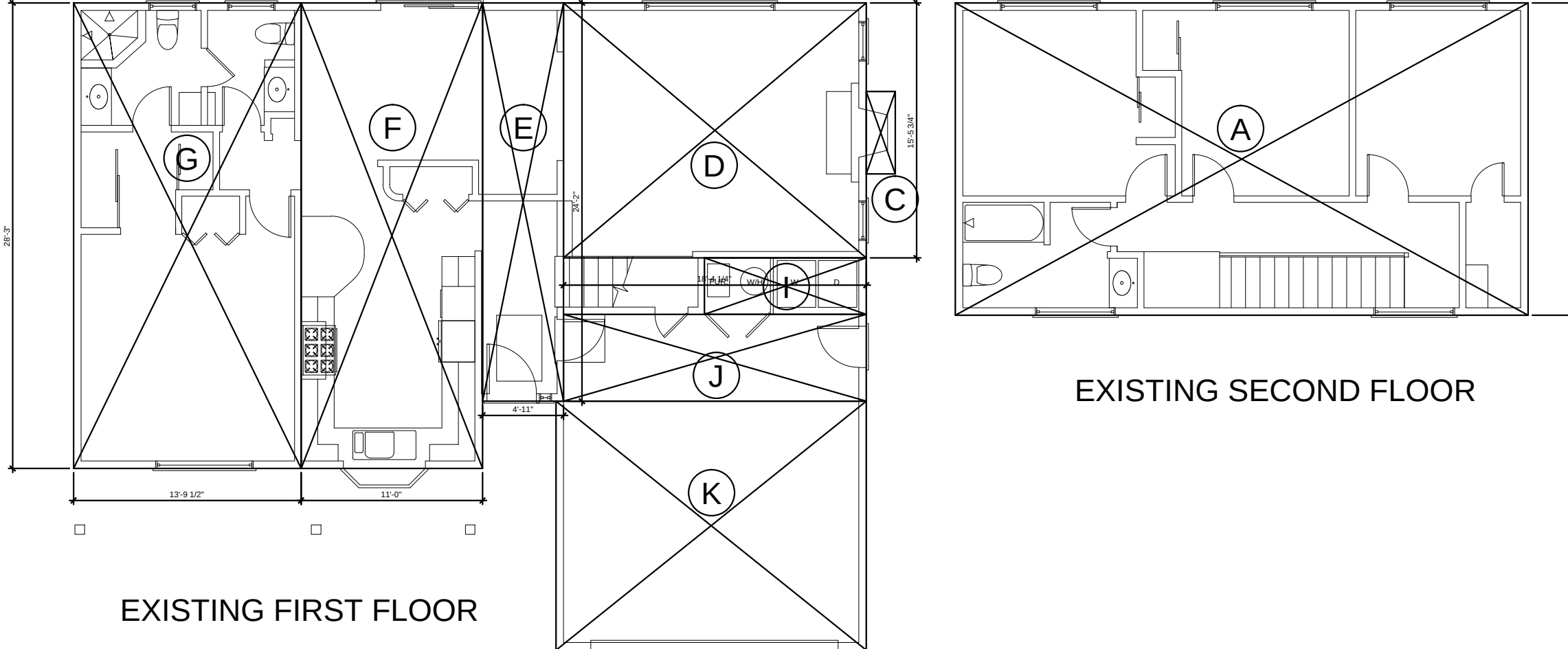
APN #	279-20-047	
ZONE	R-1-6	
FLOOD ZONE	X	
OCCUPANCY	R-3 / U	
CONSTRUCTION TYPE	V-8	
AUTOMATIC SPRINKLERS	NO	
STORIES	2	
SITE AREA	5,663 SF	

FLOOR AREA		
MAX. ALLOWED (45%)	2,548 SF	
LOCATION	EXISTING (SF)	PROPOSED (SF)
FIRST FLOOR CONDITIONED AREA	1102	1102
SECOND FLOOR CONDITIONED AREA	658	990
ATTACHED GARAGE	425	425 (45%)
TOTAL	2185	2517
AREA OF ADDITION (SF)	332	
SITE COVERAGE		
MAX. ALLOWED (40%)	2,265 SF	
LOCATION	EXISTING (SF)	PROPOSED (SF)
MAIN HOUSE FOOTPRINT	1555	1555
FRONT COVERED PORCH	170	170
REAR COVERED PATIO	440	440
TOTAL (SF)	1725 SF	1725 SF

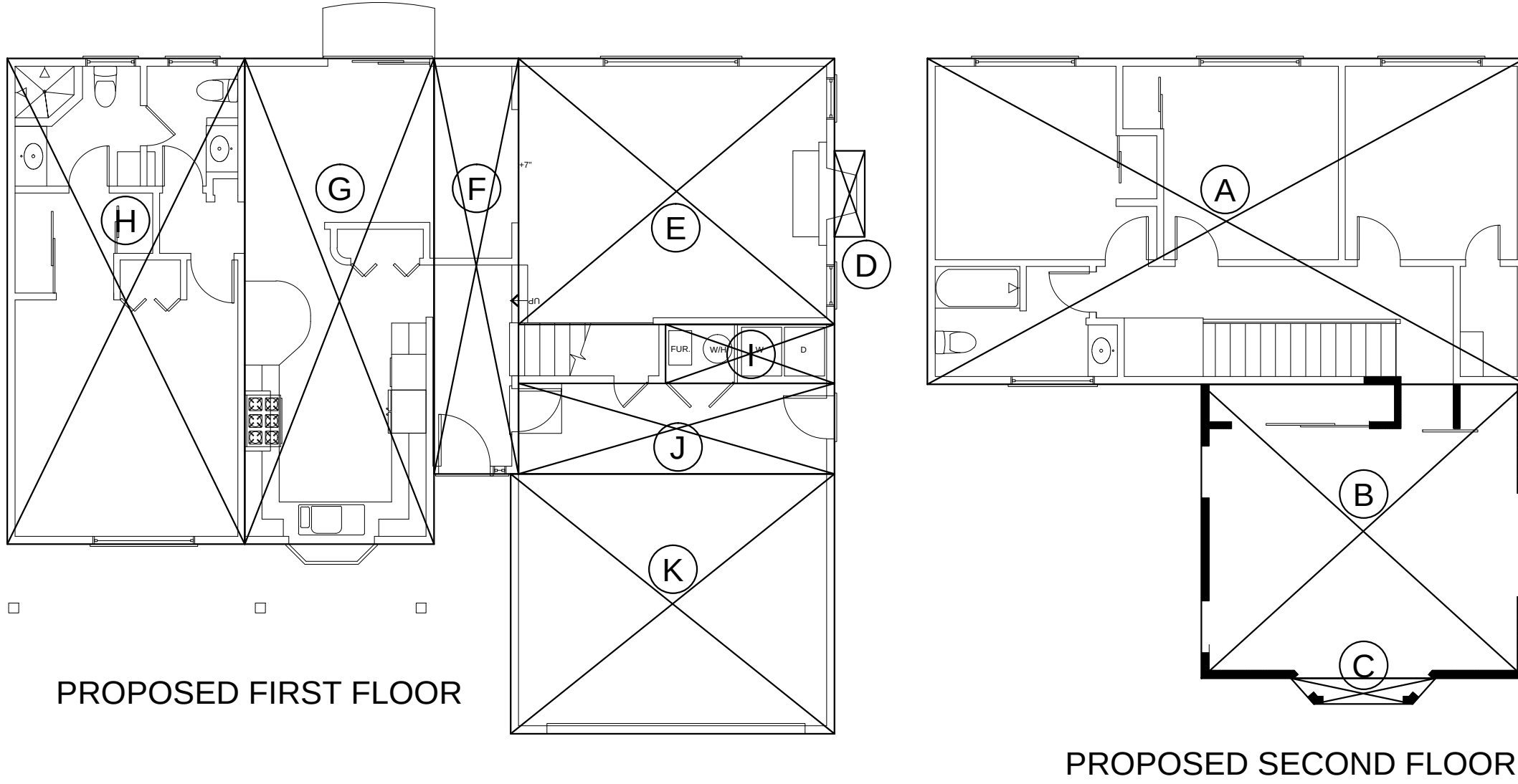
FIRE SPRINKER CALCS

EXISTING HOUSE (SF)	1760
NEW ADDITION	SF
BEDROOM	332
TOTAL ADDED / REMODELED	332
AREA OF ADDITION AND REMODEL IS LESS THAN 1000SF THEREFORE FIRE SPRINKLERS ARE NOT REQUIRED	

EXISTING DATA SHEET		
SYMBOL	DIMENSIONS	HOUSE AREA (SF)
A	34'-8 3/4" x 18'-11 1/2"	658.4
B	NOT USED	0
C	NOT USED	0
D	5'-0" x 1'-9"	8.7
E	18'-4 1/4" x 15'-5 3/4"	284.1
F	24'-2" x 4'-11"	118.8
G	28'-3" x 11'-0"	310.7
H	28'-3" x 13'-9 1/2"	389.6
I	18'-9 3/4" x 15'-1 3/4"	33.5
J	18'-4 1/4" x 5'-3 1/4"	96.7
K	9'-9 3/4" x 5"	284.1
TOTAL FLOOR AREA		2184.6



EXISTING DATA SHEET		
SYMBOL	DIMENSIONS	HOUSE AREA (SF)
A	34'-8 3/4" x 18'-11 1/2"	658.4
B	18'-9 3/4" x 17'-1"	321.3
C	IRREGULAR	10.6
D	5'-0" x 1'-9"	8.7
E	18'-4 1/4" x 15'-5 3/4"	284.1
F	24'-2" x 4'-11"	118.8
G	28'-3" x 11'-0"	310.7
H	28'-3" x 13'-9 1/2"	389.6
I	18'-9 3/4" x 15'-1 3/4"	33.5
J	18'-4 1/4" x 5'-3 1/4"	96.7
K	9'-9 3/4" x 5"	284.1
TOTAL FLOOR AREA		2516.5



ABBREVIATIONS

A.D.	AREA DRAIN	GSM	GALVANIZED SHEET METAL
ADJ	ADJUSTABLE	GYP. BD.	GYPSUM BOARD
A.F.F.	ABOVE FINISH FLOOR	HT	HEIGHT
ALT	ALTERNATE	INCAN	INCANDESCENT
ALUM	ALUMINUM	LT	LIGHT
AND	AND/OR	MAX	MAXIMUM
ARCH	ARCHITECT/TURAL	MECH	MECHANICAL
BD	BOARD	MFR	MANUFACTURER
BLD'G	BUILDING	MIN	MINIMUM
BLK'G	BLOCKING	MTL	METAL
BM	BEAM	(N)	NEW
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB	CABINET	O/	OVER
C.J.	CEILING JOIST	PLYWD	PLYWOOD
CLG	CEILING	PTD	PAINTED
CLR	CLEAR	PT. GR.	PAINT GRADE
C.O.	CLEAN OUT	P.T.	PRESSURE TREATED
CONC	CONCRETE	RDWD	REDWOOD
DIA	DIAMETER	REFR	REFRIGERATOR
DN	DOWN	REQD	REQUIRED
DS	DOWNSPOUT	ROOM	ROOM
DW	DISHWASHER	R.O.	ROUGH OPENING
DWG	DRAWING	SCHED	SCHEDULE
(E)	EXISTING	SHT	SHEET
EA	EACH	SHTG	SHEATHING
ELEC	ELECTRIC	SIM	SIMILAR
ELEV	ELEVATION	SKYLT	SKYLIGHT
EQ	EQUAL	SPEC	SPECIFICATION
EXT	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FIN	FINISH	ST. GR.	STAIN GRADE
F.J.	FLOOR JOIST	STL	STEEL
FLR	FLOOR	T&G	TONGUE & GROOVE
F.O.	FACE OF	TEMP	TEMPERED
FT	FEET	T.O.	TOP OF
FTG	FOOTING	TYP	TYPICAL
FURN	FURNACE/FURNITURE	U.N.O.	UNLESS NOTED OTHERWISE
GA	GAUGE	V.I.C.	VERIFY IN FIELD
GALV	GALVANIZED	WH	WATER HEATER

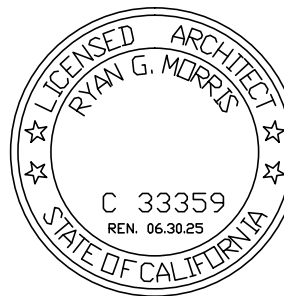
SHEET INDEX

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A0.2	SITE PLAN
A1.1	DEMOLITION PLANS
A2.1	FLOOR PLANS
A3.1	EXTERIOR ELEVATIONS
A3.2	INTERIOR ELEVATIONS
A3.3	BUILDING SECTION



12 COZZOLINO CT | MILLBRAE, CA 94030
650.995.1360 | www.morris-arch.com

WHYTE RESIDENCE
1191 LENOR WAY
CAMPBELL, CA 95008



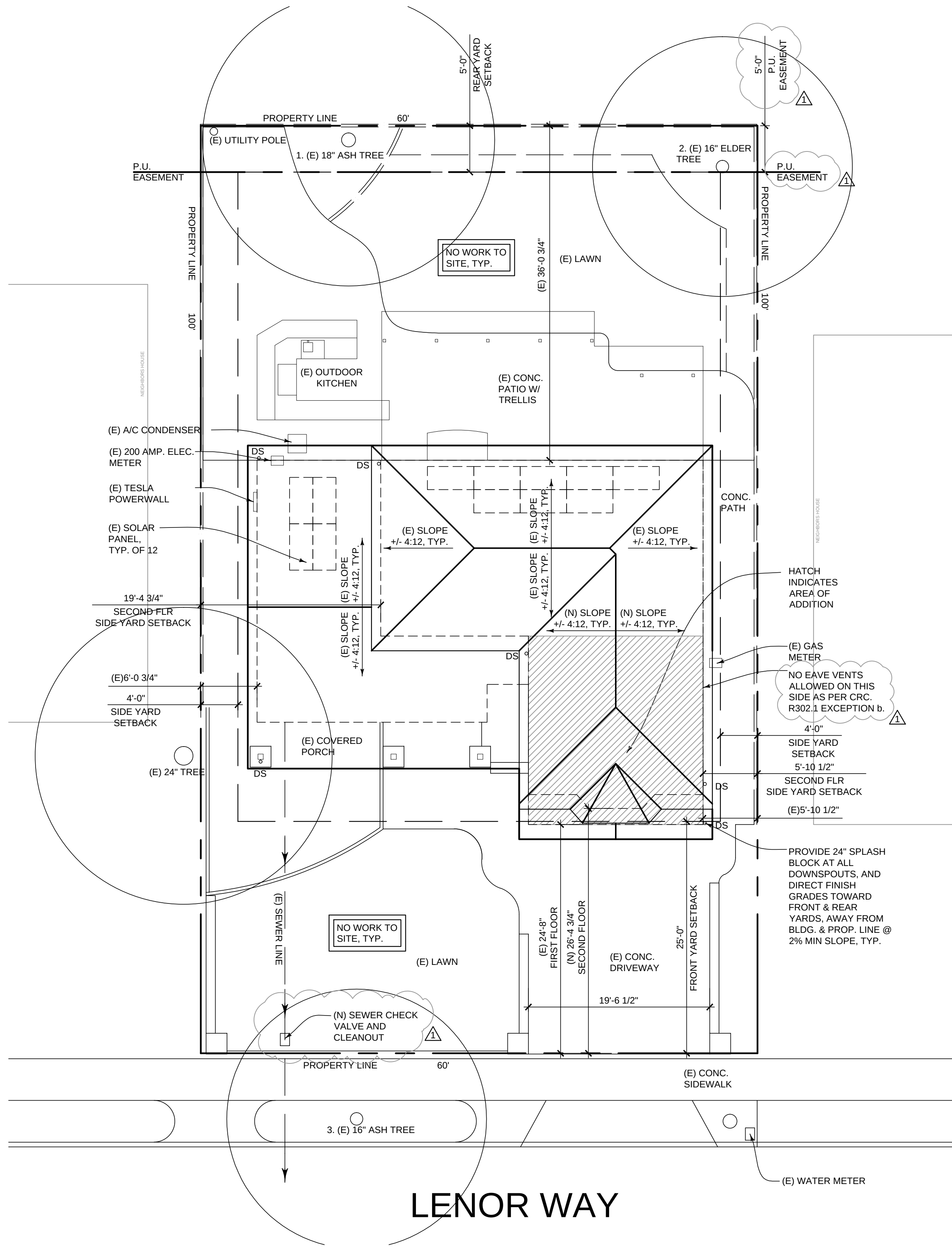
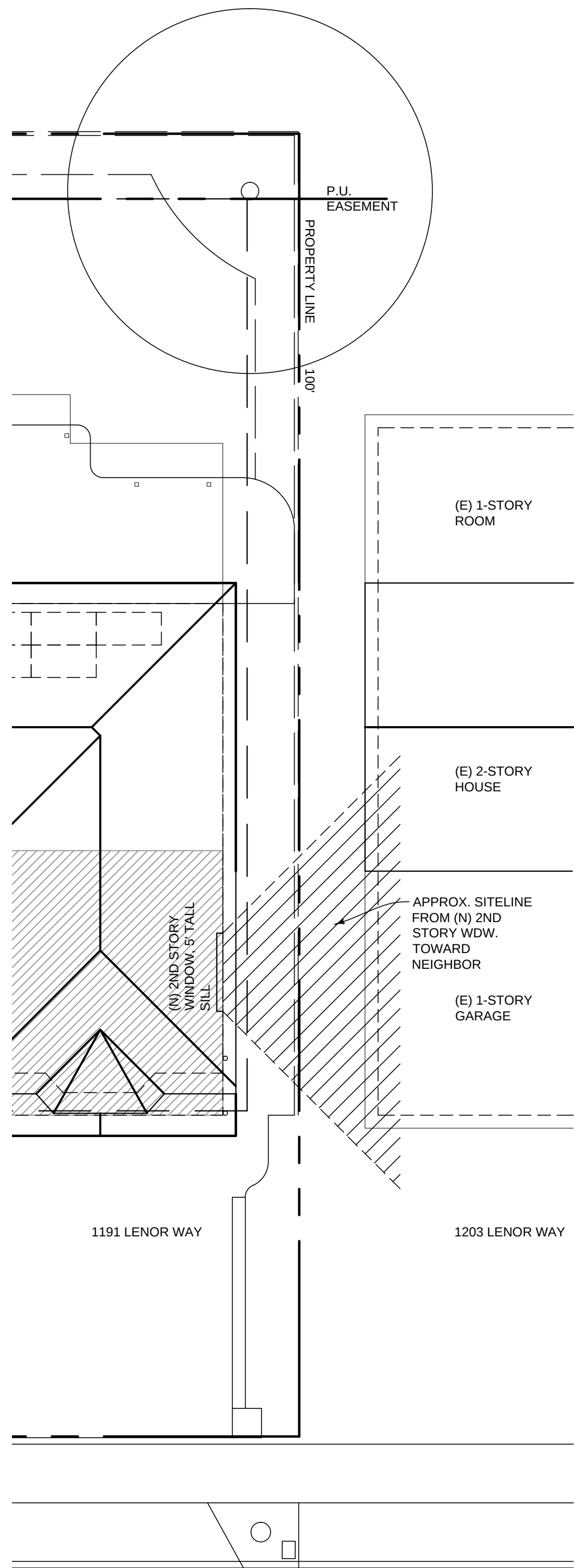
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△	BLDG SUBMITTAL	09.15.23
△	PLNG SUBMITTAL	12.22.23
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TITLE SHEET

JOB #: 2314

A0.1



SITE PLAN NOTES:

1. GENERAL NOTES, SEE SHEETS A0.1, AND FLOOR PLANS FOR ADDITIONAL INFO.
2. CAL-GREEN, SEE SHEET GR.1 FOR CAL-GREEN MANDATORY REQMTS.
3. BOUNDARY VERIFICATION, THE G.C. SHALL VERIFY THE LOCATIONS OF ALL PROPERTY BOUNDARIES, SETBACKS, AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK. IF THIS PROJECT INCLUDES CONSTRUCTION OF A BUILDING WITHIN 6' OF THE PROPERTY LINE, IT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE.
4. ENCROACHMENT, THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL / PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
5. UTILITIES, THE G.C. SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR TRENCHING.
6. UTILITIES, SEE ELECTRICAL PLAN SHEET E2.1 FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
7. UTILITIES, THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
8. TREE PROTECTION, THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL JURISDICTION REQUIREMENTS. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ARBORIST PRIOR TO CUTTING. ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS.
9. SLOPED GRADE, FINISH GRADE AROUND BUILDING TO HAVE A MIN. 5% SLOPE AWAY FROM FOUNDATION AND HAVE SUFFICIENT SLOW TO RETAIN STORM WATER ON-SITE AND NOT TO FLOW TO THE NEIGHBORS PROPERTY OR TO THE STREET.
10. FOOTING DEPTH, (N) FOUNDATION FOOTINGS SHALL BEAR ON NATIVE, UNDISTURBED SOIL. STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
11. ADDRESS, STREET ADDRESS NUMERALS TO BE ILLUMINATED, AT LEAST 4" HIGH WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. CRC R1004
12. CHIMNEYS, THE INSTALLATION OF AN APPROVED SPARK ARRESTOR IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTORS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".

GRADING NOTES:

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 2%, UNLESS OTHERWISE NOTED ON THE PLANS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION.

TREE SURVEY:

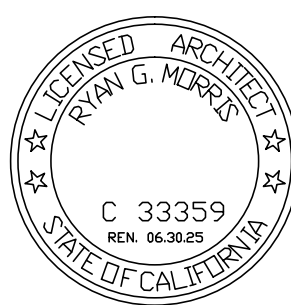
TREE NUMBER	TREE SPECIES	TREE SIZE (DIAMETER)
1.	ASH, FRAXINUS LATIFOLIA	18"
2.	ELDER, SAMBUCUS MEXICANA	16"
3.	ASH, FRAXINUS LATIFOLIA	16"

BLDG SUBMITTAL	09.15.23
PLNG SUBMITTAL	12.22.23

SITE PLAN

JOB #: 2314

WHYTE RESIDENCE
1191 LENOR WAY
CAMPBELL, CA 95008



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DEMO PLANS

JOB #: 2314

A1.1

DEMOLITION NOTES:

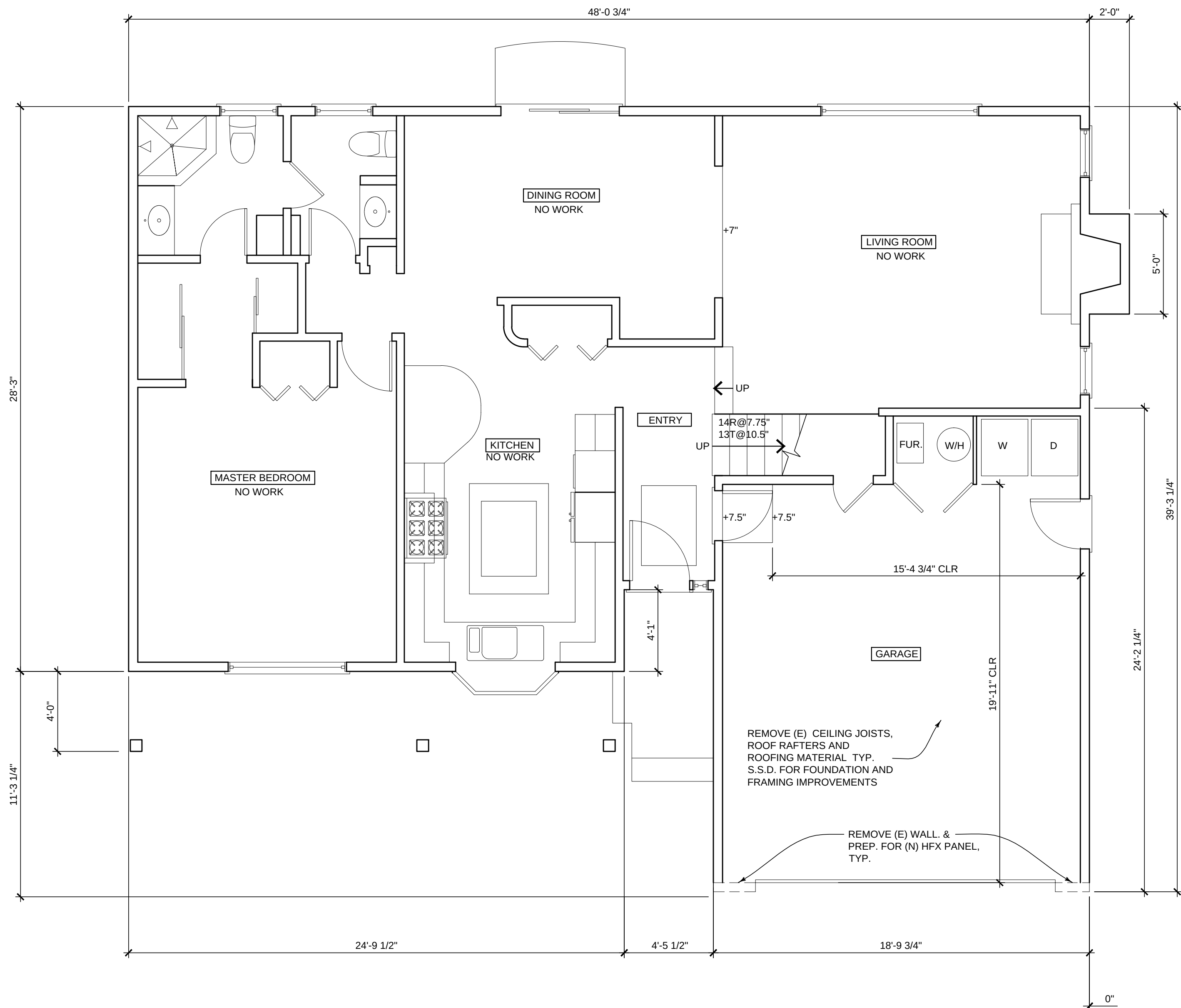
1. GENERAL NOTES, SEE SHEETS A0.1 AND FLOOR PLANS FOR ADDITIONAL INFO.
2. SITE MEETING, PRIOR TO DEMOLITION, THE G.C. SHALL CONDUCT A PRE-DEMOLITION SITE MEETING TO SCHEDULE THE WORK WITH THE OWNER, ARCHITECT, CONSULTANTS, AND SUBCONTRACTORS.
3. PROTECTION, THE G.C. SHALL VERIFY ALL EXISTING FEATURES AND FINISHES TO REMAIN PRIOR TO DEMOLITION, AND VERIFY WITH OWNERS WHETHER REMOVED OR UNUSED PRODUCTS AND MATERIALS SHOULD BE SAVED OR DISCARDED.
4. PROTECTION, THE G.C. SHALL TAKE ALL NECESSARY MEASURES TO PREVENT DAMAGE AND SETTLEMENT, AND PROTECT EXISTING BUILDING, APPLIANCES, AND FURNISHINGS DURING DEMOLITION. ANY DAMAGES TO THESE ITEMS SHALL BE PROMPTLY RESTORED, REPAIRED, OR REPLACED AT NO COST TO THE OWNER.
5. PROTECTION, THE G.C. SHALL PROVIDE ALL NECESSARY TEMPORARY ENCLOSURES, COVERINGS, AND GUARDS TO ADEQUATELY PROTECT PERSONS FROM POSSIBLE INJURY.
6. ENCROACHMENT, THE G.C. SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
7. DISPOSAL, THE G.C. SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL CONSTRUCTION DEBRIS AND OTHER ASSOCIATED MATERIALS FROM THE STRUCTURE AND THE SITE.
8. ELECTRICAL, ALL UNUSED AND DEMOLISHED ELECTRICAL IS TO BE REMOVED BACK TO THE NEAREST UTILIZED JUNCTION.
9. CONTAINMENT, THE G.C. SHALL PROVIDE COVERINGS AND THE LIKE FOR CONFINING DUST AND DEBRIS TO AREAS OF THE BUILDING IN WHICH DEMOLITION AND/OR ALTERATIONS ARE BEING PERFORMED.
10. REPAIRS, ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED DURING EXECUTION OF WORK SHALL BE EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION.
11. SECURITY, THE G.C. SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.

PROJECT KEYNOTES:

1. STRUCTURE CORRECTION, AFTER DEMOLITION, THE G.C. SHALL IDENTIFY ALL REMAINING EXISTING CONDITIONS WHICH ARE UNEVEL, OUT OF PLUMB, INADEQUATELY DRAINED OR WATERPROOFED, OR INSTALLED IN ANY OTHER MANNER WHICH DOES NOT MEET THE WORKMANSHIP EXPECTATIONS LISTED UNDER G.C. RESPONSIBILITIES ON SHEET A0.1. THE G.C. SHALL RECOMMEND CORRECTIVE ACTION TO THE OWNER AND ARCH.

WALL LEGEND:

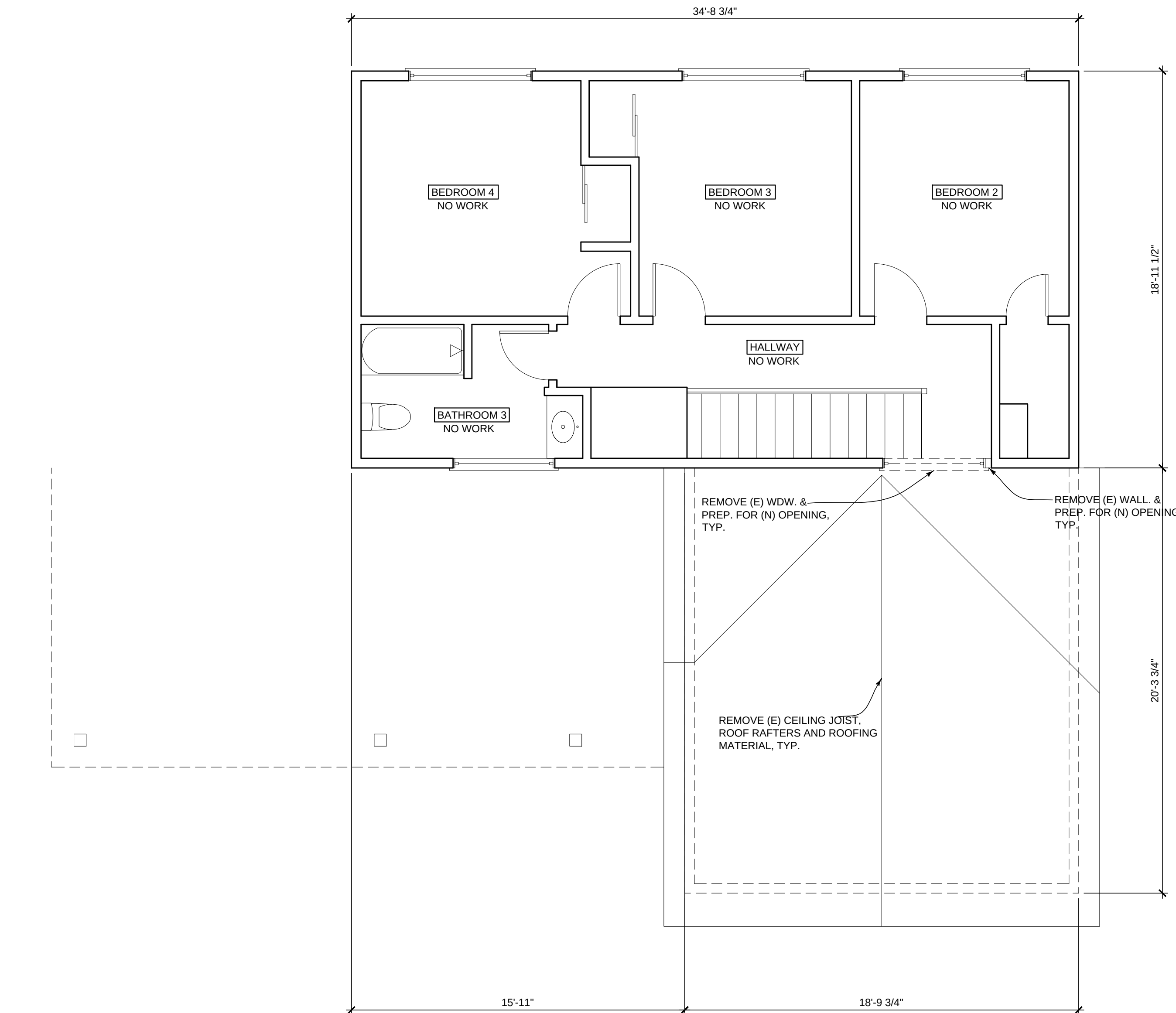
- ===== (E) WALL
----- (E) WALL TO BE REMOVED



2
A1.1

1ST FLOOR DEMOLITION PLAN

1/4"=1'-0"



1
A1.1

2ND FLOOR DEMOLITION PLAN

1/4"=1'-0"



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FLOOR PLANS

JOB #: 2314

A2.1

FLOOR PLANS NOTES:

- CAL GREEN, SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
- DOORS & WINDOWS, SEE SHEET A6.1 FOR DOOR AND WINDOW SCHEDULES
- UNDERSTAIR SPACES, ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDERSTAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BD. CRC 302.7 DRAFTSTOPS, SHALL BE INSTALLED IN FLOOR/CEILING ASSEMBLIES WHERE THERE IS A USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREAS. CRC R302.12
- SHOWERS, SHOWER AND TUB/SHOWER WALLS SHALL HAVE A NONABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR, INSTALLED OVER FIBER-CEMENT BACKER BD. WATER-RESISTANT GYPSUM BACKING BOARD MAY NOT BE USED. CRC R307.2, R702.4
- INTERIOR WATERPROOFING, AT ALL LOCATIONS SUBJECT TO EXPOSURE TO WATER, G.C. TO PROVIDE WATERPROOF MEMBRANE OVER HORIZONTAL AREAS AND UP WALLS 6" MIN ABOVE FINISH. CONCEALED WORK, MAINTAIN RECORD DRAWINGS, SPECIFICATIONS, AND PHOTOS OF CONCEALED WORK
- ROUGH OPENINGS, CONTRACTOR TO VERIFY ROUGH OPENINGS SHOWN ON PLAN OR SCHEDULES WITH REQUIREMENTS OF UNITS TO BE INSTALLED PRIOR TO FRAMING OPENINGS.
- ATTIC ACCESS, PROVIDE MIN 22' X 30' ACCESS OPENING TO ATTICS GREATER THAN 30 SF AND WITH 30" MIN HEADROOM. THRU WALL ACCESS OPENING SHALL BE MIN 22" WIDE X 30" TALL.

INSULATION NOTES:

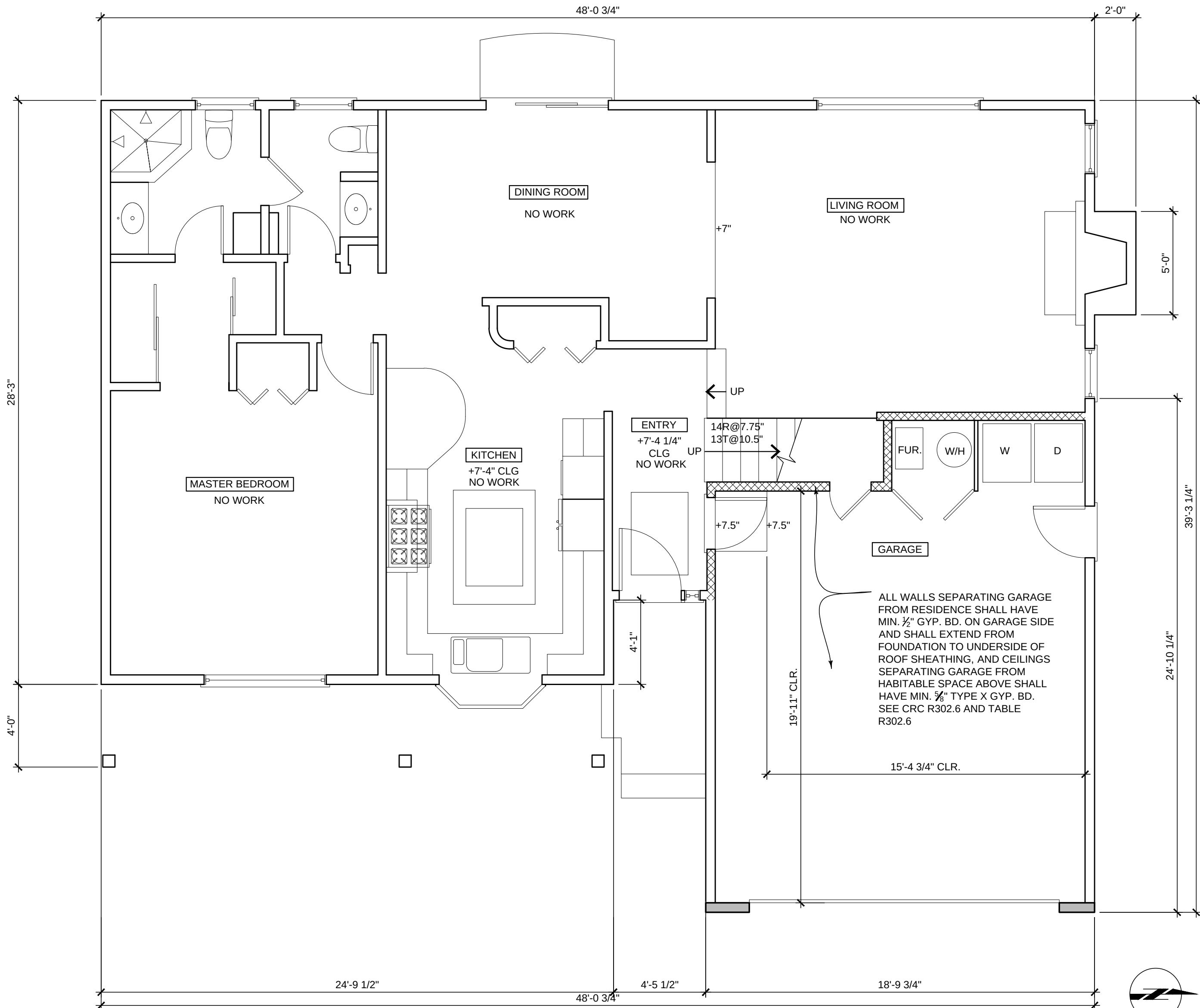
- SEE TITLE 24 ENERGY REPORT FOR REQUIRED INSULATION VALUES.
- INSULATION SHALL CONFORM TO FLAME-SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC R302.10
- AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CH. 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE

PROJECT KEYNOTES:

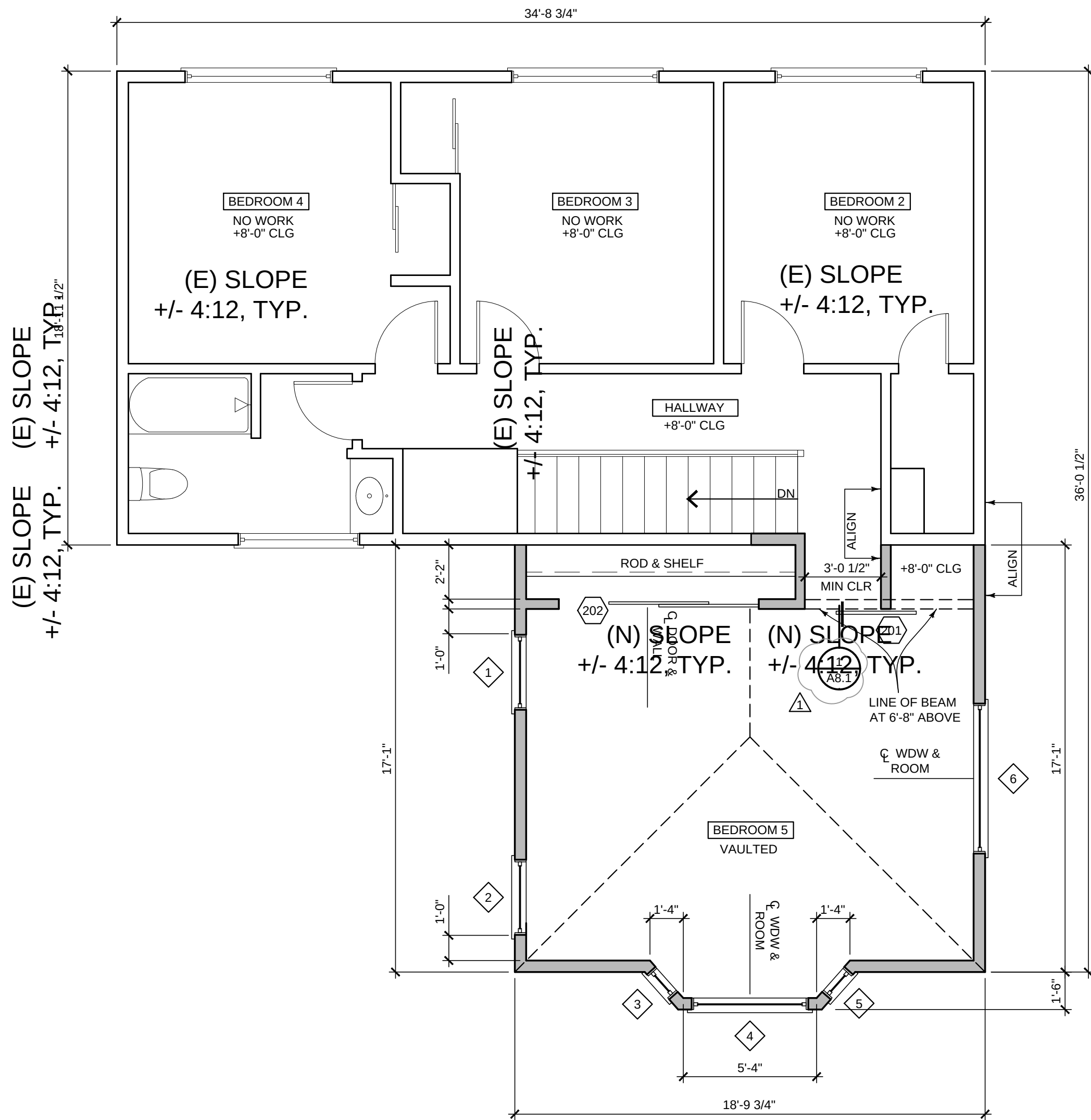
- WATERPROOFING, FOR ALL EXISTING CONCRETE SLAB ON GRADE WITHOUT AN EXISTING VAPOR BARRIER TO BE USED FOR CONDITIONED SPACE, APPLY NEW LIQUID-APPLIED WATERPROOFING MEMBRANE TO SURFACE. USE 'CBP REDGARD' OR EQUAL.
- FRAMING, ALL NEW EXTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED.
- INSULATION, IN ADDITION TO REQUIRED ENVELOPE INSULATION, PROVIDE (N) ACOUSTIC INSULATION IN ALL INTERIOR WALLS WHERE WORK OCCURS SEPARATING BEDROOMS, BATHROOMS, LAUNDRY, KITCHEN, AND AS REQUESTED BY OWNER. PROVIDE (N) ACOUSTIC INSULATION IN ALL FLOOR ASSEMBLIES BETWEEN FLOORS

WALL LEGEND:

- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)/(N) 1 HR. RATED WALL
- (E)/(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL

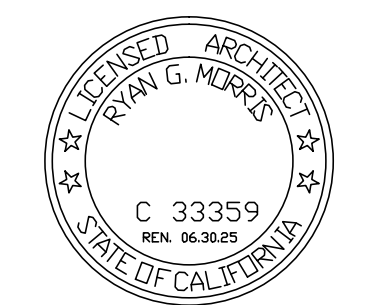


2 FIRST FLOOR PLAN
A2.1 1/4"=1'-0"



1 SECOND FLOOR PLAN
A2.1 1/4"=1'-0"

WHYTE RESIDENCE
1191 LENOR WAY
CAMPBELL, CA 95008



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EXTERIOR
ELEVATIONS

JOB #: 2314

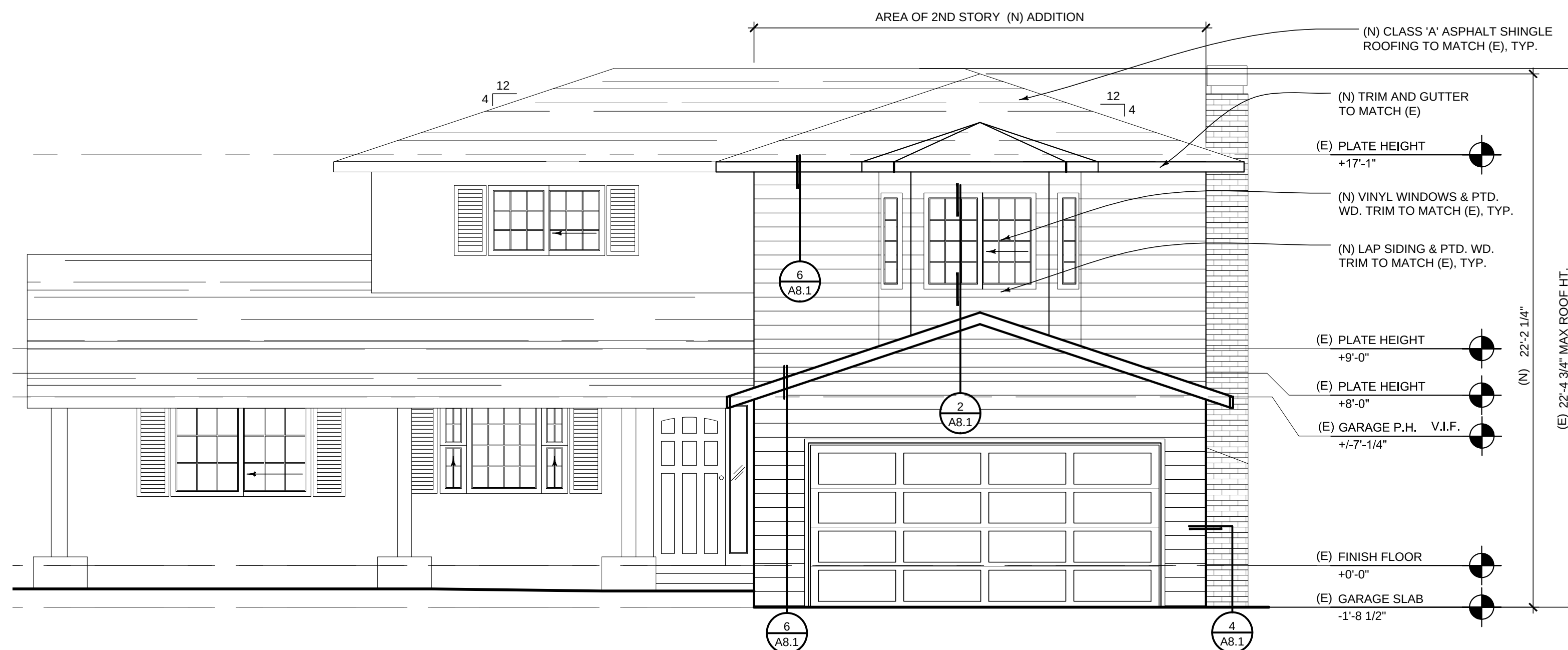
A3.1



4 EXISTING WEST (BACK) ELEVATION -NO WORK
A3.1 1/4"=1'-0"

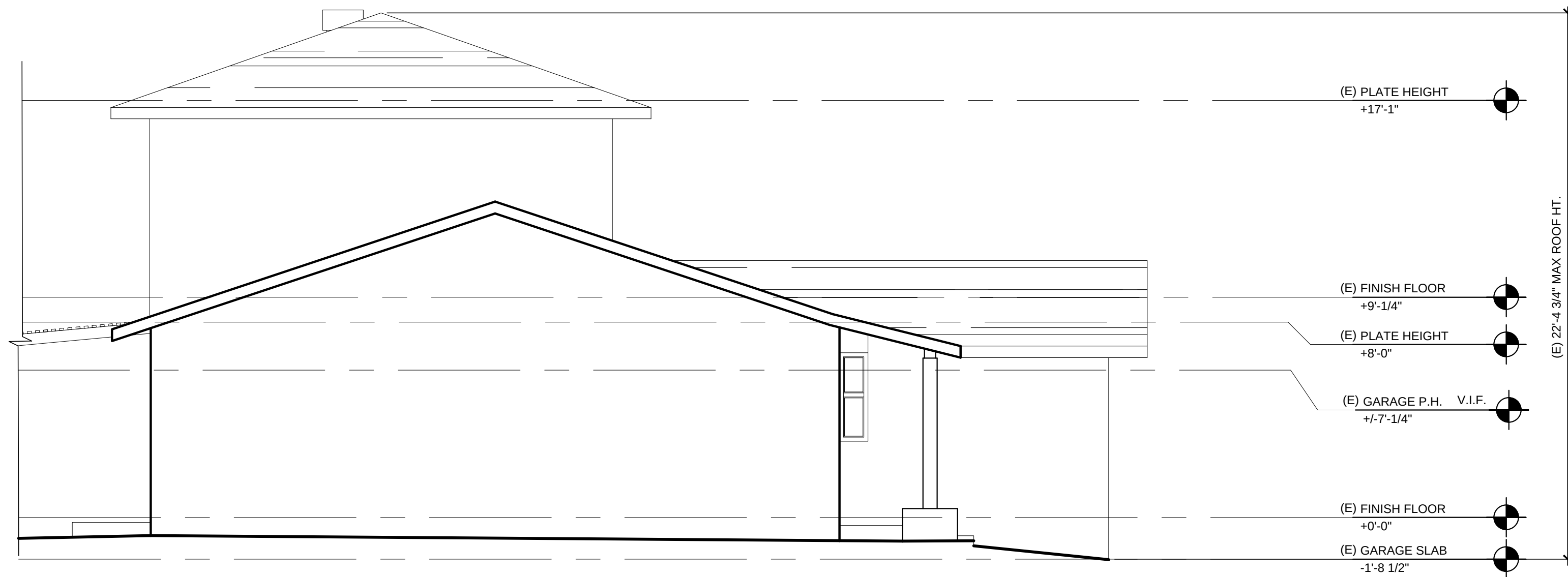


2 EXISTING EAST (FRONT) ELEVATION
A3.1 1/4"=1'-0"

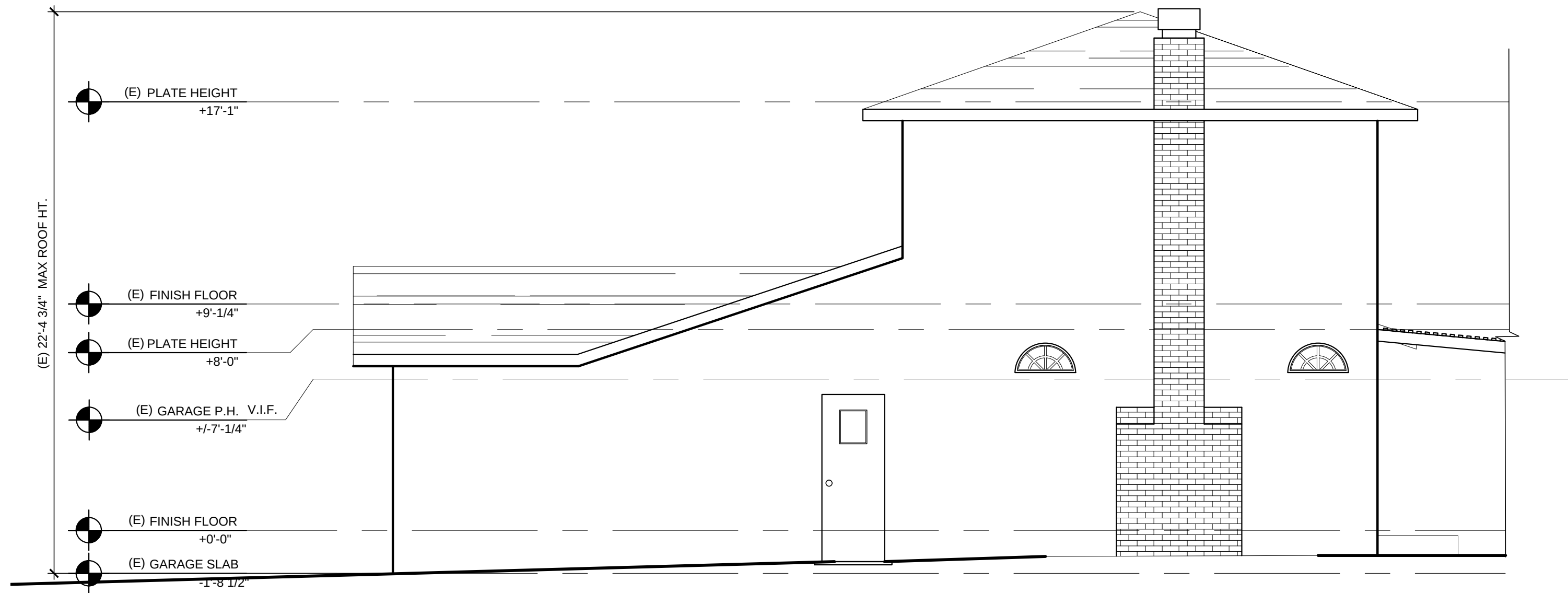


1 PROPOSED EAST (FRONT) ELEVATION
A3.1 1/4"=1'-0"

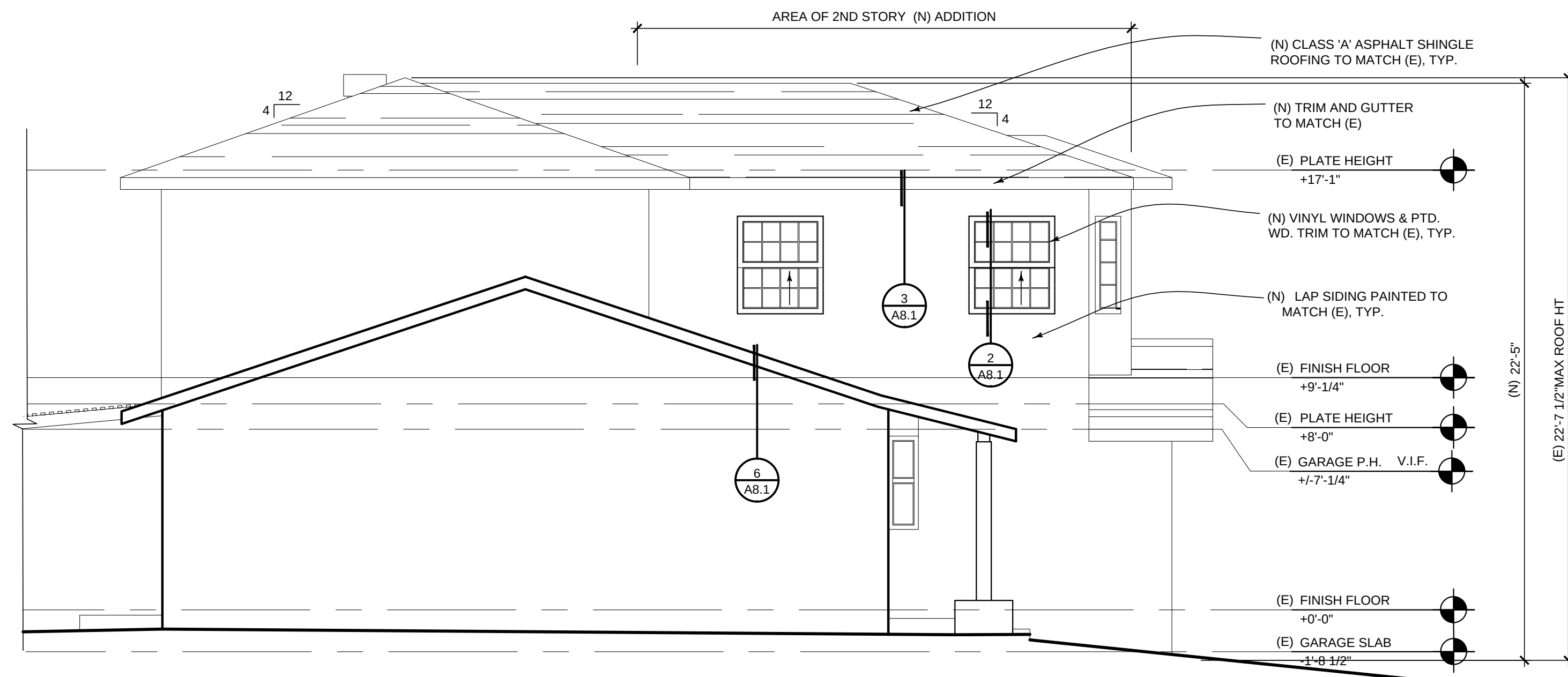
WHYTE RESIDENCE
1191 LENOR WAY
CAMPBELL, CA 95008



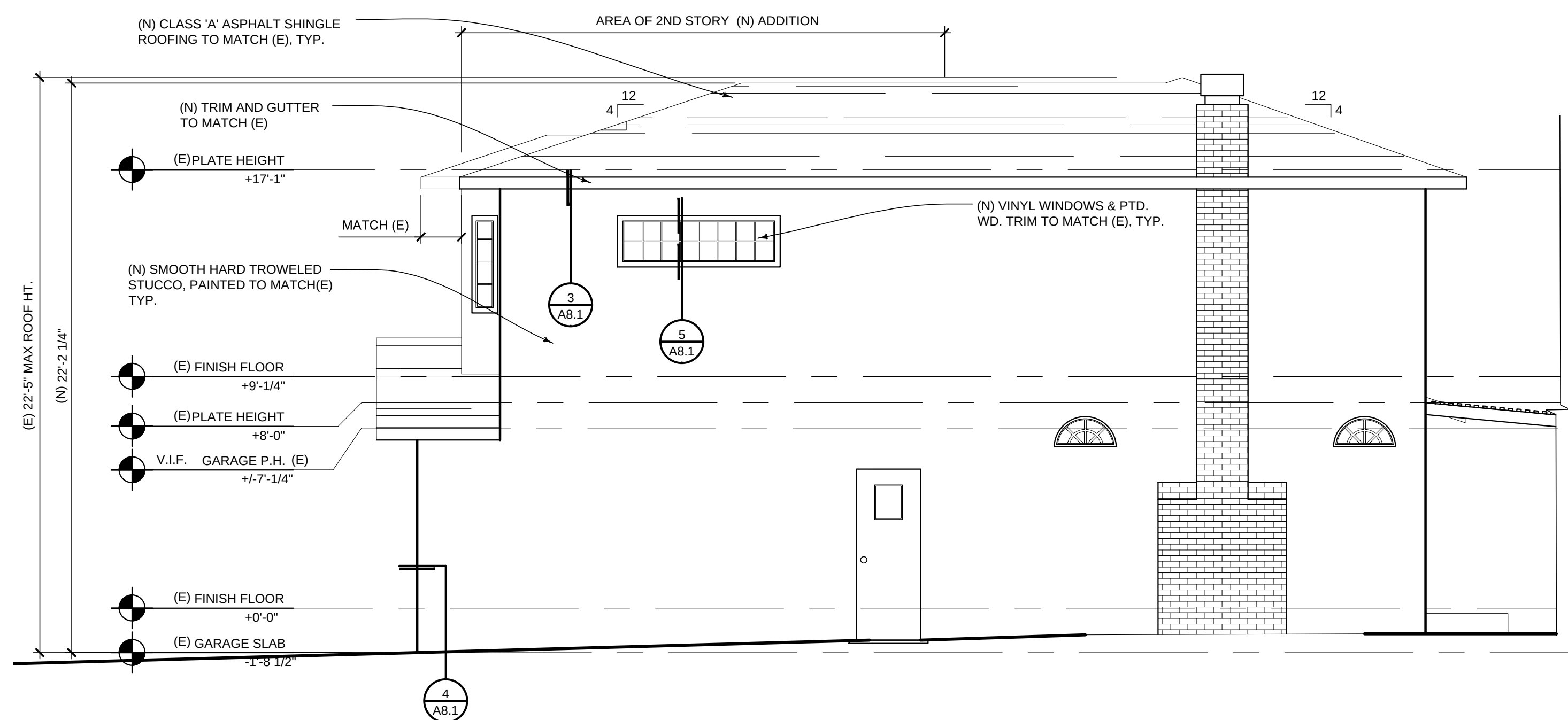
4 EXISTING SOUTH (LEFT) ELEVATION
A3.2 1/4"=1'-0"



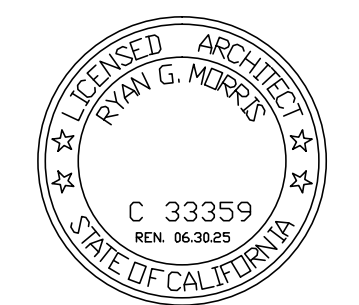
2 EXISTING NORTH (RIGHT) ELEVATION
A3.2 1/4"=1'-0"



3 PROPOSED SOUTH (LEFT) ELEVATION
A3.2 1/4"=1'-0"



1 PROPOSED NORTH (RIGHT) ELEVATION
A3.2 1/4"=1'-0"



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EXTERIOR
ELEVATIONS

JOB #: 2314

A3.2



Image 1



Image 2



Image 3

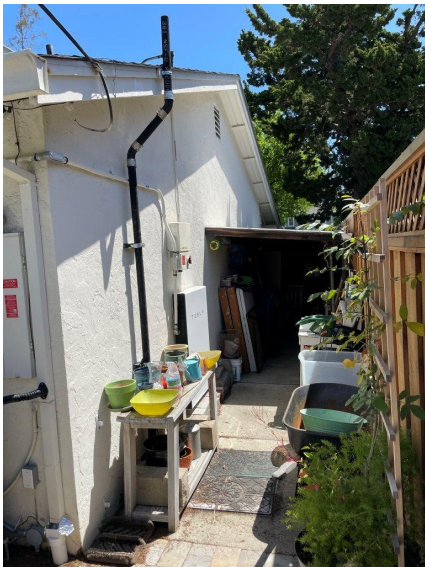


Image 4

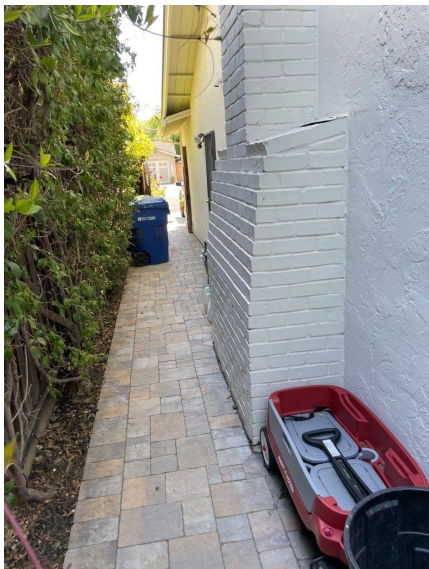


Image 5



Image 6

