

Courtesy Notice

Dear Campbell Resident,

January 20, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1325 Burrows Road

Zoning | Area Plan: R-1-9 | STANP

Neighborhood Association(s): N/A

Council District: 5

File No.: PLN-2024-9

APN: 403-16-111

Applicant: TDDG LLC (De Nguyen)

Property Owner: Jerry Graham

Application Type: Tier 1 Historic Resource Alteration Permit

Project Planner: Daniel Fama, Senior Planner

Email Contact: danielf@campbellca.gov

Project Description:

Construction of an approximately 520 square-foot first-story addition to an existing historic single-family residence (Structure of Merit)

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



ABBREVIATIONS:

AB	ANCHOR BOLT	LAB	LABORATORY
AC	ASPHALTIC CONCRETE	LAM	LAMINATED
ACQ	ACOUSTICAL	LAV	LAVATORY
ADD	ADDENDUM	LB	POUND(S)
ADJ	ADJUSTABLE	LF	LINEAL FOOT
AGGR	AGGREGATE	LG, L	LONG
ALT	ALTERNATE	LKR	LOCKER
ALUM	ALUMINUM	LT	LIGHT
APPROX	APPROXIMATELY	MAX	MAXIMUM
ARCH	ARCHITECT	MB	MACHINE BOLT
∠	ANGLE	M.C.	MEDICINE CABINET
		MECH	MECHANICAL
		MEMB	MEMBRANE
BD	BOARD	MET	METAL
BLOG	BUILDING	MF	MANUFACTURE(R)
BLK(G)	BLOCK(ING)	MH	MANHOLE
BM	BEAM	MI	MALLEABLE IRON
BOT	BOTTOM	MIN	MINIMUM
B.S.L.	BUILDING SETBACK LINE	MIR	MIRROR
B.S.P.L.	BACKSPLASH	MISC	MISCELLANEOUS
BTU	BETWEEN	M.O.	MASONRY OPENING
BUR	BUILT UP ROOFING	MTD	MOUNTED
B.W.	BOTH WAYS, BACK OF WALK	MUL	MULLION
CAB	CABINET	N	NORTH
CAH	CLEAR ALL HEART	(N)	NEW
C.B.	CATCH BASIN, CORNER BEAD	N.E.C.	NATIONAL ELECTRIC CODE
C.C.	CENTER TO CENTER	N.I.C.	NOT IN CONTRACT
C.C.R.	CALIFORNIA CODE OF REGULATION	NO, *	NUMBER
		NOM	NOMINAL
		N.T.S.	NOT TO SCALE
CEM	CEMENT	O	OVER
C.I.	CAST IRON	O/A	OVERALL
C.J.	COLD JOINT, CONTROL JOINT	OBSC	OBSCURE
CLG	CELLING	OC	ON CENTER
CLG	CAULKING	O.D.	OUTSIDE DIMENSION (DIA.)
CLR	CLEAR	OFF	OFFICE
C.M.P.	CORRUGATED METAL PIPE	OH	OVERHEAD, OVERHANG
CMU	CONCRETE MASONRY UNIT	OP	OPENING
COL	COLUMN	OPF	OPPOSITE
CONC	CONCRETE	OZ	OUNCE
CONN	CONNECTION	P.C.	PLUMBING CONTRACTOR
CONSTR	CONSTRUCTION	P.F.B.	PLASTIC FINISH BOARD
CONT	CONTINUOUS	P.F.R.	PLATE FINISH BOARD
C.O.N.C.	CALIFORNIA OFFICE OF NOISE CONTROL	PL	PLASTER
C.O.T.G.	CLEANOUT TO GRADE	PLAS	PLASTER
CPT	CARPET	PLYWD	PLYWOOD
C.T.	CERAMIC TILE	PLSHD	POLISHED
CTR	CENTER	PR	PAIR
CT&K	COUNTERSINK	PRC&T	PREC&T
∠	CENTERLINE	PT	POINT
		P.T.D.	PAPER TOWEL DISPENSER
		P.T.D.F.	PRESSURE TREATED
		P.T.D./R	DOUGLAS FIR COMBINATION P.T.D. & P.T.R.
D	DRYER	PTN	PARTITION
DBL	DOUBLE	PTR	PAPER TOWEL RECEPTACLE
DET	DETAIL	PUE	PUBLIC UTILITY EASEMENT
D.F.	DOUGLAS FIR	Q.T.	QUARRY TILE
D.F.	DRINKING FOUNTAIN	R	RISER
DIA.	DIAMETER	R.A.	RETURN AIR
DIAG	DIAGONAL	RAD	RADIUS
DIM	DIMENSION	RAG	RETURN AIR GRILLE
DISP	DISPENSER, DISPOSER	R.C.P.	REINFORCED CONCRETE PIPE
DN	DOWN	R.D.	ROOF DRAIN
DO	DITTO	REF	REFERENCE
DR	DOOR	REF	REINFORCED(ING)
D.S.	DOWN SPOUT	RET	RETAINING
DW	DISHWASHER	REQ	REQUIRED
DWG	DRAWING	RESIL	RESILIENT
DWR	DRAILER	RFG	REFRIGERATOR
		RSTR	REGISTER
E	EAST	RST	ROUGH
EJ	EACH	RO	ROUGH OPENING
EJ	EXPANSION JOINT	RS	REINFORCING
ELEC	ELECTRICAL	R.S.	ROOF SUMP
EL	ELEVATION	RUL	RAINWATER LEADER
ELEV	ELEVATOR	RWD	REDWOOD
EMER	EMERGENCY	R/W	RIGHT OF WAY
EN	EDGE NAILING	S	SOUTH
ENCL	ENCLOSURE	SAD	SEE ARCHITECTURAL DWGS.
EW.C.	ELECTRIC WATER COOLER	S.A.R.	SUPPLY AIR REGISTER
EQ	EQUAL	S.C.	SOLID CORE
EQUIP	EQUIPMENT	S.C.D.	SEAT COVER DISPENSER
(E)EXIST	EXISTING	S.D.	SOAP DISPENSER
EXP	EXPANSION	SECT	SECTION
EXPO	EXPOSED	SF	SQUARE FEET
EXT	EXTERIOR	SH	SHIELD
		SHR	SHOWER
F.A.	FIRE ALARM	SHT	SHEET
FAU	FORCED AIR UNIT	SIM	SIMILAR
FB	FLAT BAR	S.M.S.	SHEET METAL SCREWS
F.C.	FRAMING CLIP	SAN	SANITARY NAPKIN DISPENSER
F.C.O.	FLOOR CLEANOUT	S.N.R.	SANITARY NAPKIN RECEPTACLE
F.D.	FLOOR DRAIN	S.O.V.	SHUT-OFF VALVE
FDC	FIRE DEPT. CONNECTION	S.P.	SHELF & POLE
FDN	FOUNDATION	SQ	SQUARE
FE	FIRE EXTINGUISHER	S.S.	SELECT STRUCTURAL
FF	FACE OF FRAME, FACEFRAME, FINISH FLOOR	S.S.	STAINLESS STEEL
F.F.A.	FIRE FIGHTER AREA	S.S.K.	SERVICE SINK
F.G.	FINISH GRADE	STA	STATION
F.G.L.	FIXED GLASS	STD	STANDARD
FN	FINISH FLOOR	STL	STEEL
FLASH	FLASHING	STO	STORAGE
FLUOR	FLUORESCENT	STR	STRUCTURAL
F.O.C.	FACE OF CONCRETE	SUSP	SUSPENDED
F.O.F.	FACE OF FINISH	SV	SHEET VINYL FLOORING
F.O.P.	FACE OF MASONRY	SW	SHEAR WALL
F.O.S.	FACE OF STUD	SYM	SYMMETRICAL
F.O.	FINISHED OPENING	T	TEMPERED
FRFR	FIREPROOF	T.B.	TOUPEL BAR
FRT	FIRE RETARDANT TREATED	T & B	TOP & BOTTOM
FR	FIRE RATED(ING)	T.C.	TOP OF CURB
FTG	FOOTING	TEL	TELEPHONE
FT	FOOT	TER	TERRAZZO
FUR	FURRING	T & G	TONGUE & GROOVE
FUT	FUTURE	TH	THRESHOLD
		THK	THICK
GA	GAUGE	TP	TOP OF PAVEMENT
GAL	GALLON	T.P.D.	TOILET PAPER DISPENSER
GALV	GALVANIZED	TRD	TREAD
GB	GRAB BAR	TS	TUBULAR STEEL
GLB	GLULUM BEAM	T.S.B.	TOP SET BASE
GL	GALVANIZED IRON	T.V.	TELEVISION
GND	GROUND	TW	TOP OF WALL
GR	GRADE	U.B.C.	UNIFORM BUILDING CODE
G.W.B.	GYPSPUM WALLBOARD	U.M.C.	UNIFORM MECHANICAL CODE
GYP	GYPSPUM	UNF	UNFINISHED
		UNO, U.ON	UNLESS NOTED OTHERWISE
		URINAL	UNIFORM PLUMBING CODE
		V.A.T.	VINYL ASBESTOS TILE
HB	HOSE BIBB	V.C.F.	VITRIOUS CLAY PIPE
HC	HANDICAPPED	V.C.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	VERT	VERTICAL
HD	HOLLOW CORE	VST	VESTIBULE
HDUR	HARDWARE	V.G.	VERTICAL GRAIN
HDWD	HARDWOOD	V.I.F.	VERIFY IN FIELD
HDR	HEADER	VTR	VENT THRU ROOF
HGT	HEIGHT	V.W.C.	VINYL WALL COVERING
H.M.	HOLLOW METAL	W	WEST, WASHER
HORIZ	HORIZONTAL	W	WITH
HR	HANDRAIL	WC	WATER CLOSET
HR	HOUR	WD	WINDOW DIMENSION
HWH	HOT WATER HEATER	WI	WROUGHT IRON
		WIF	WOVEN WIRE FABRIC
I.A.W.	IN ACCORDANCE WITH	WO	WITHOUT
I.D.	INSIDE DIMENSION	WP	WATERPROOF
IN	INCH, INCHES	WS	WOOD SCREWS
INSUL	INSULATION	W.S.C.T.	WAINSCOT
INT	INTERIOR	WT	WEIGHT
INV	INVERT	WJH	WOVEN WIRE MESH
JAN	JANITOR		
JST	JOIST		
JT	JOINT		
KIT	KITCHEN		

PROPOSED ADDITION FOR GRAHAM'S RESIDENCE

1325 BURROWS ROAD
CAMPBELL, CA 95008

PROJECT DATA:

ZONING DESIGNATION:	R-1-10
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	V-B
FLOOD ZONE:	NO
HISTORIC RESOURCES PROPERTY:	YES
SITE AREA:	10,125 SF. (0.416 AC)
EXISTING BUILDINGS:	
EXISTING MAIN HOUSE FLOOR AREA:	
1ST FLOOR:	1119 SF.
2ND FLOOR:	1067 SF.
SUB-TOTAL:	2186 SF.
BUILDING HEIGHT:	23'-6"
STORY:	2
EXISTING ADU/GARAGE FLOOR AREA:	
ADU:	655 SF.
GARAGE:	555 SF.
SUB-TOTAL:	1210 SF.
BUILDING HEIGHT:	14'-6"
STORY:	1
TOTAL EXISTING FLOOR AREA:	3,396 SF.
PROPOSED ADDITION:	
LIVING AREA:	483 SF.
UTILITY CLOSET:	36 SF.
SUB-TOTAL:	519 SF.
PROPOSED LOT COVERAGE:	
(1119+82)COVERED PORCH+(1210+519)/10,125+	16.2% (40% MAX REQUIRED)
PROPOSED F.A.R.:	
(3,396+519)/10,125+	0.22 (0.45 MAX REQUIRED)
PROPOSED SETBACK SIDE:	20.33' EXISTING
PROPOSED SEPARATION FROM ADU/GARAGE:	13.22' (10' MIN REQUIRED)
EXISTING PARKING COVERED:	2 CARS
UNCOVERED:	1 CAR
TOTAL:	3 CARS
APN #:	403-16-111
APPLICABLE CODES:	2022 CBC 2022 CRC 2022 CMC 2022 CEC 2022 CPC 2022 CALGREEN 2022 CALIFORNIA ENERGY CODE

SCOPE OF WORK:

THIS IS A ONE-STORY ADDITION TO THE BACK OF AN EXISTING TWO-STORY MAIN HOUSE, INCLUDING A MASTER SUITE, A PANTRY ROOM, AND AN UN-CONDITIONED UTILITY CLOSET.

OWNER: JERRY GRAHAM
ADDRESS: 1325 BURROWS ROAD
CAMPBELL, CA 95008
PHONE: (408) 523-8851
E-MAIL: calljgrahams@sbccglobal.net

DRAWING INDEX

ARCHITECTURE:

FR-1	---	COVER SHEET
FR-2	---	SITE PLAN EXISTING MAIN HOUSE PICTURES
FR-3	---	EXISTING/DEMO FLOOR PLANS
FR-4	---	EXISTING EXTERIOR ELEVATIONS
FR-5	---	PROPOSED FLOOR PLANS
FR-6	---	PROPOSED EXTERIOR ELEVATIONS

JOB No. 2311
DATE AUGUST 28, 2020

DESCRIPTION	DATE	REV.

PLANNING REVIEW
RESIDENTIAL ADDITION FOR GRAHAM'S RESIDENCE
1325 BURROWS ROAD
CAMPBELL, CA 95008

OWNER: JERRY GRAHAM
1325 BURROWS ROAD
CAMPBELL, CA 95008
Tel: (408) 523-8851
ARCHITECT: QING GAN
4975 RIO VISTA AVE
SAN JOSE, CA 95129
Tel: (408) 480-6889 E-mail: qgan.architect@gmail.com

ARCHITECTURAL SYMBOL LEGEND

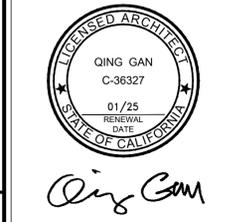
	EARTH		PLASTER OR GROUT
	GRAVEL OR ROCK		WOOD - FINISH GRADE
	CONCRETE		WOOD FRAMING (THRU MEMBERS)
	MASONRY		WOOD FRAMING (INTERRUPTED MEMBERS)
	CERAMIC TILE		INSULATION - BATT
			INSULATION - RIGID

	DETAIL REFERENCE NO.		WINDOW SIZE WIDTHXHEIGHT
	SECTION REF. LETTER		DOOR SIZE WIDTHXHEIGHT
	NOTE REF. NO.		INTERIOR ELEVATION REF. NO.
	APPLIANCE KEY		

VICINITY MAP



SIGNATURE

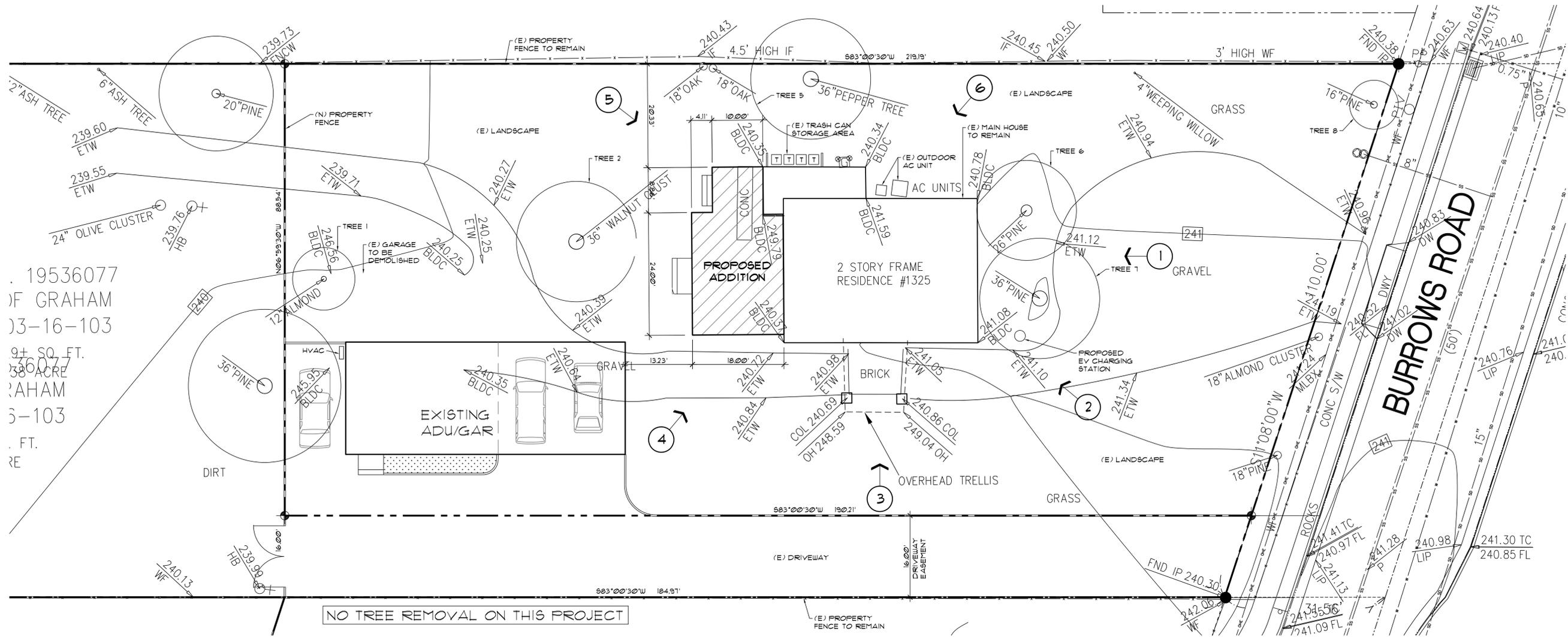


CONSULTANT

SHEET TITLE
COVER SHEET

SCALE AS SHOWN
CAD FILE 2311-FR-1.DWG
DRAWN BY

SHEET
PR-1
1 OF SHEETS



19536077
 OF GRAHAM
 03-16-103
 9+ SQ. FT.
 38 ACRE
 GRAHAM
 3-103
 . FT.
 RE

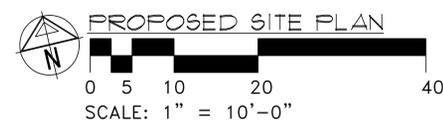
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DESCRIPTION	DATE	REV.

PLANNING REVIEW
**RESIDENTIAL ADDITION
 FOR
 GRAHAM'S RESIDENCE**
 1325 BURROWS ROAD
 CAMPBELL, CA 95008

OWNER: JERRY GRAHAM
 1325 BURROWS ROAD
 CAMPBELL, CA 95008
 Tel: (408) 523-8857

ARCHITECT: QING GAN
 4975 RIO VISTA AVE
 SAN JOSE, CA 95129
 E-mail: qgan.architect@gmail.com
 Tel: (408) 480-6889



EXISTING TREE

TREE	SIZE	SPECIES	REMARK
TREE 1	12'	ALMOND	REMAIN
TREE 2	36'	WALNUT	REMAIN
TREE 5	36'	PEPPER	REMAIN
TREE 6	26'	PINE	REMAIN
TREE 7	36'	PINE	REMAIN
TREE 8	16'	PINE	REMAIN

SIGNATURE

 QING GAN



1



2



3



4



5



6

CONSULTANT

SHEET TITLE
**SITE PLAN
 SITE PICTURES**

SCALE AS SHOWN
 CAD FILE 2311-PR-2.DWG
 DRAWN BY

SHEET
PR-2
 2 OF SHEETS

DESCRIPTION	DATE	REV.

PLANNING REVIEW
**RESIDENTIAL ADDITION
 FOR
 GRAHAM'S RESIDENCE**
 1325 BURROWS ROAD
 CAMPBELL, CA 95008

OWNER: JERRY GRAHAM
 1325 BURROWS ROAD
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SIGNATURE



Qing Gan

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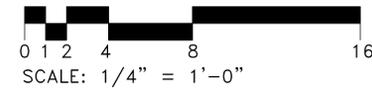
SHEET TITLE
**EXISTING
 ELEVATIONS**

SCALE AS SHOWN
 CAD FILE 2311-PR-4.DWG
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SHEET
PR-4
 4 OF SHEETS



EXISTING EAST ELEVATION (STREET FRONT)



EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION

DESCRIPTION	DATE	REV.

PLANNING REVIEW
**RESIDENTIAL ADDITION
 FOR
 GRAHAM'S RESIDENCE**
 1325 BURROWS ROAD
 CAMPBELL, CA 95008

OWNER: JERRY GRAHAM
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 CAMPBELL, CA 95008
 Tel: (408) 523-8857

ARCHITECT: QING GAN
 4975 RIO VISTA AVE
 SAN JOSE, CA 95129
 Tel: (408) 480-6889 E-mail: qganarchitect@gmail.com

SIGNATURE

Qing Gan

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SHEET TITLE
**PROPOSED
 ELEVATIONS**

SCALE AS SHOWN
 CAD FILE 2311-PR-6.DWG
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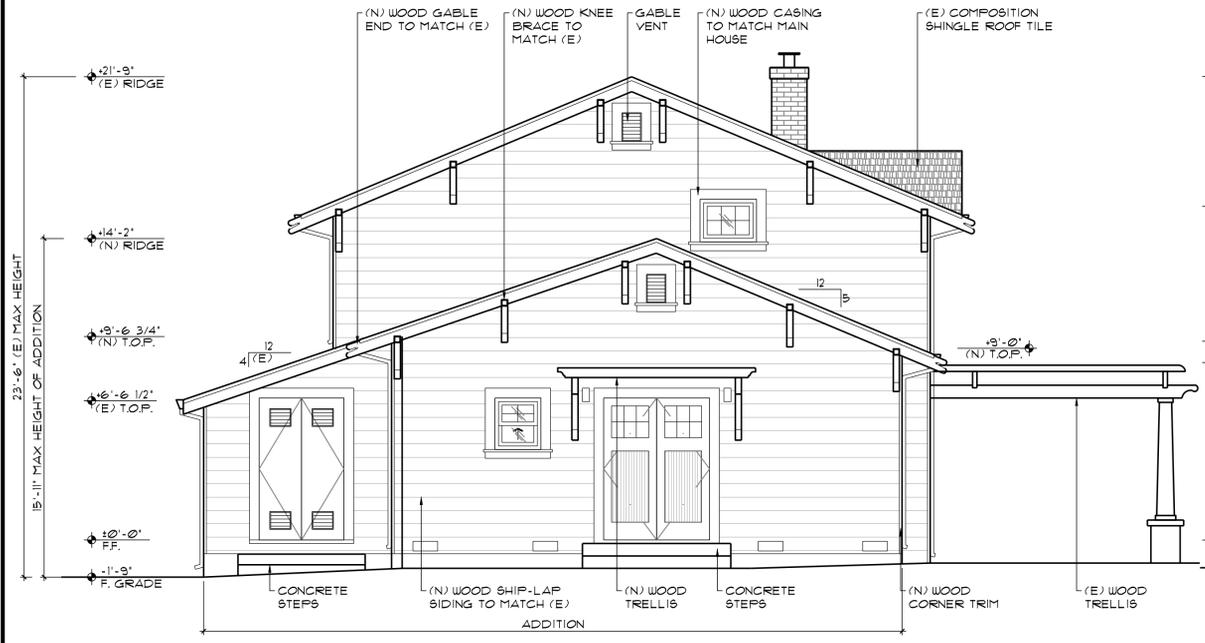
SHEET
PR-6
 6 OF SHEETS



EXISTING EAST ELEVATION
 NOTE: NO CHANGE TO THIS ELEVATION



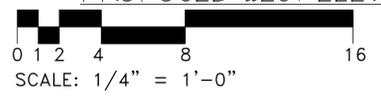
PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



NOTE: ALL NEW EXPOSED MEMBERS AND FINISH MATERIALS SHALL MATCH EXISTING ON COLOR, TEXTURE, AND PROFILE.