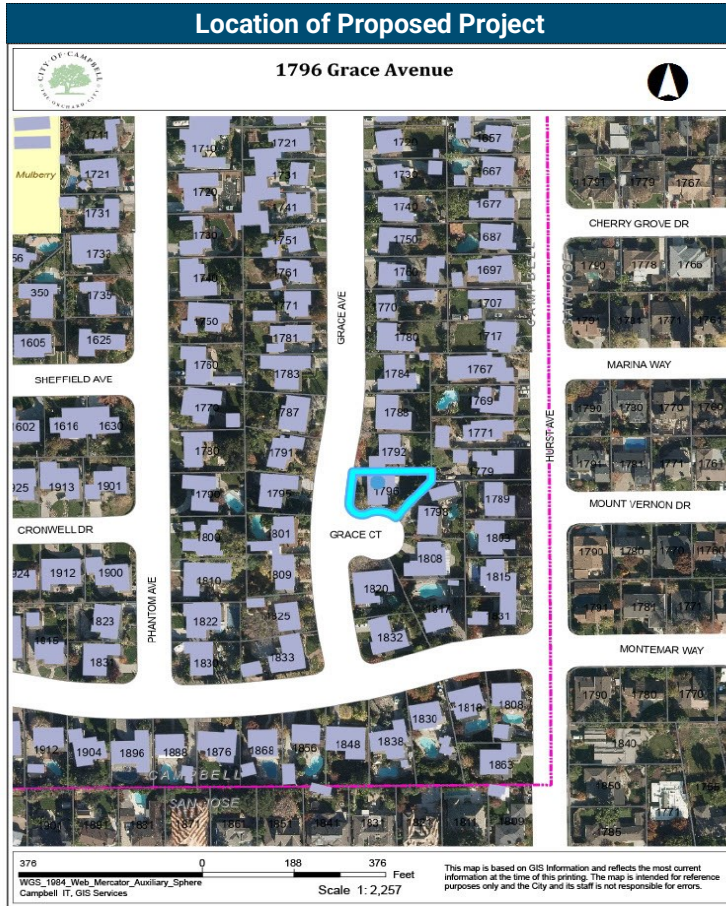
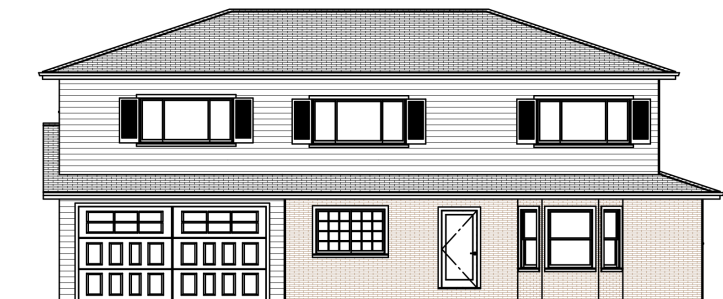






City of Campbell
70 North First Street
Campbell, CA 95008 –1423

Project Image



Courtesy Notice

Dear Campbell Resident,

February 12, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1796 Grace Avenue

Zoning | Area Plan: R-1-6 | N/A

Neighborhood Association(s): N/A

Council District: 2

File No.: PLN-2024-20

APN: 288-25-045

Applicant: Ramin Zohoor

Property Owner: Tilman and Friederike Wekel

Application Type: Site and Architectural Review

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

Site and Architectural Review to allow a second story, 534 square foot addition to an existing single-family dwelling requesting a reduced 5-foot, 3-inch setback.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

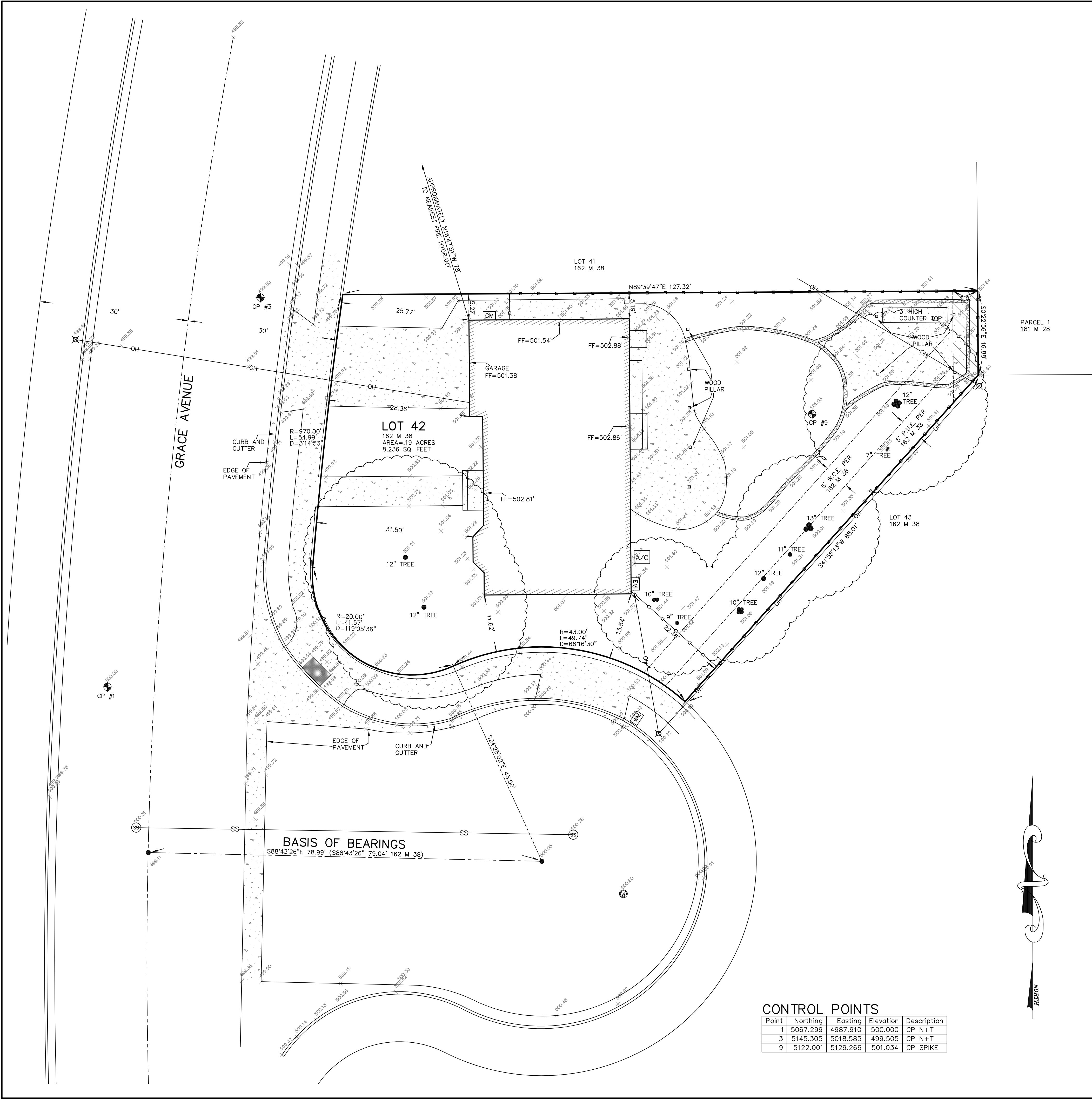


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español





SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Koen T. Wilson 12/4/23
KOEN T. WILSON LS 9440 DATE

SITE BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 500.00' AT CONTROL POINT #1.

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).
4. LOCATIONS OF ALL EXISTING ONSITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

SETBACK LINES NOTE

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

TITLE REPORT NOTE

A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS SHOWN ON THIS SURVEY WERE TAKEN FROM RECORDED AND UNRECORDED DOCUMENTS PROVIDED TO US BY THE CLIENT. WE CANNOT DETERMINE IF ANY EASEMENTS SHOWN HEREON ARE STILL VALID AND IN EXISTENCE. OTHER EASEMENTS WHICH ARE NOT SHOWN HEREON MAY ALSO EXIST. A CURRENT TITLE REPORT IS REQUIRED IN ORDER TO DETERMINE THE VALIDITY AND EXISTENCE OF ANY EASEMENTS OF RECORD. THE BOUNDARY WAS DETERMINED FROM THE CURRENT VESTING DEED.

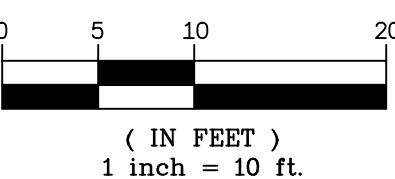
LEGEND

- FOUND 1" IRON PIPE, OPEN MONUMENT WELL
- PROPERTY LINE
- - - EASEMENT LINE
- - - - TIE LINE
- SS- UG SEWER LINE
- W- UG WATER LINE
- G- UG GAS LINE
- PH- UG PHONE LINE
- E- UG ELEC LINE
- OH- OVERHEAD LINE
- [] UTILITY BOX
- [] COM PH TRFC IRR
- ⊗ TRAFFIC SIGNAL
- ⊗ LAMP POST
- ⊗ WOOD FENCE
- ⊗ CHAIN LINK FENCE
- ⊗ GUYWIRE
- [] MAILBOX
- [] CONCRETE
- [] BUILDING
- [] BRICKS
- [] PAVERS
- [] DETECTABLE WARNING SURFACE
- ⊗ JP JOINT POLE
- ⊗ PP POWER POLE
- ⊗ UP UTILITY POLE
- ⊗ TP TELEPHONE POLE
- ⊗ BOLLARD
- ⊗ VALVE
- ⊗ HCP SYMBOL
- ⊗ SIGN
- ⊗ TRAFFIC ARROWS
- ⊗ SANITARY SEWER MANHOLE
- ⊗ STORM DRAIN MANHOLE
- ⊗ COMMUNICATION MANHOLE
- ⊗ PERC TEST
- ⊗ FIRE HYDRANT
- ⊗ SEWER CLEANOUT
- ⊗ SURVEY CONTROL POINT
- [] ELECTRIC METER
- [] GAS METER
- [] WATER METER
- ⊗ LIGHT POLE AND LIGHT
- [] WALL
- [] DROP INLET
- ⊗ MONITORING WELL
- 5' P.S.E. PER 162 M 38

ABBREVIATIONS

- LO LIVE OAK
- WO WHITE OAK
- EUC EUCALYPTUS
- RW REDWOOD
- PUE PUBLIC UTILITY EASEMENT
- FF FINISH FLOOR ELEVATION
- WCE WIRE CLEARANCE EASEMENT

GRAPHIC SCALE



CONTROL POINTS

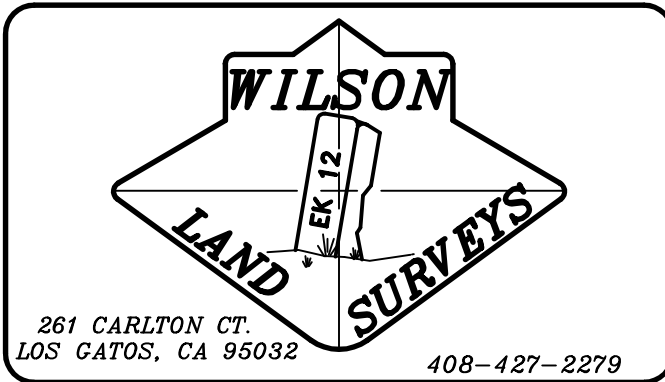
Point	Northing	Easting	Elevation	Description
1	5067.299	4987.910	500.000	CP N+T
3	5145.305	5018.585	499.505	CP N+T
9	5122.001	5129.266	501.034	CP SPIKE

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on this map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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Email: koenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:
DREAMHOME REMODELING

LEGAL DESCRIPTION: LOT 42, TRACT 3254, 162 M 38, CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APN: 288-25-045

DATE: NOVEMBER 2023

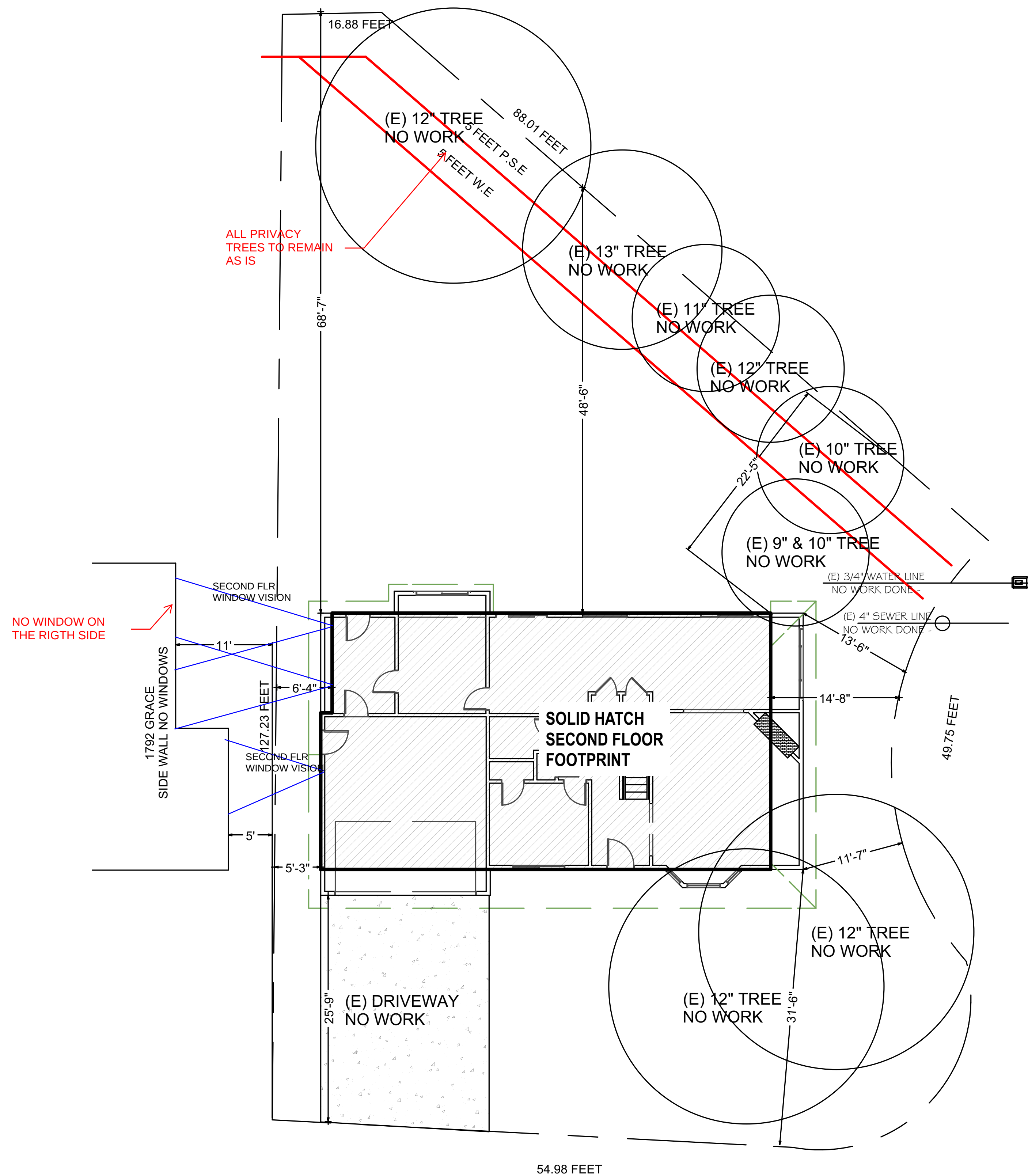
FILENAME: P-178 GRACE DREAMHOME TOPO

SITE ADDRESS: 1796 GRACE AVE, SAN JOSE, CA

DRAWN BY: ARD	SCALE: 1"=10'	PROJECT: P-178	JOB NUMBER: P-178	SHEET: 1 OF 1
---------------	---------------	----------------	-------------------	---------------

1. CONTACT PUBLIC WORKS, FOR DRAINAGE AND FINAL GRADE INSPECTION WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR STD CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. N/A
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL WITH EXCEPTION:
 - a. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 - b. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
11. (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
4. IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.



SC : $1/8" = 1'-0"$

ROOF DRAINAGE DISCHARGE TO 5 FEET MINIMUM FROM FOUNDATION TO AN APPROVED DRAINAGE SYSTEM.

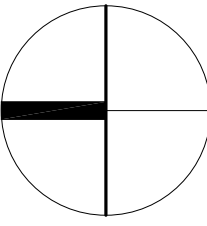
OWNERSHIP: RAMIN ZOHOOR

P. Johnson

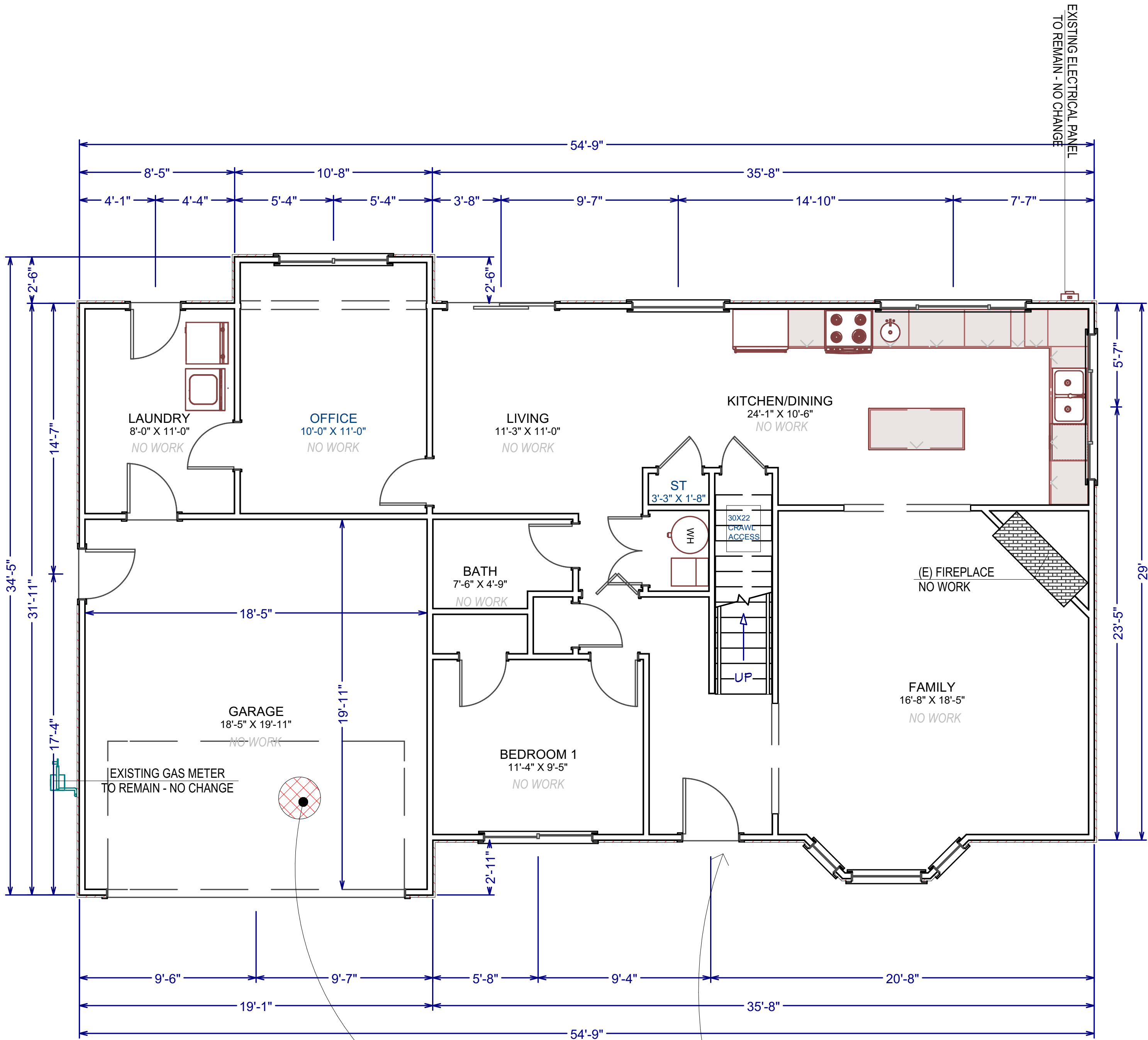
LEGEND:

EXISTING WALL TO STAY
EXISTING WALL REMOVED

GRAPHIC SCALE : 1/4" INCH = 1' FEET
0 1 2 3 4 5 10 15



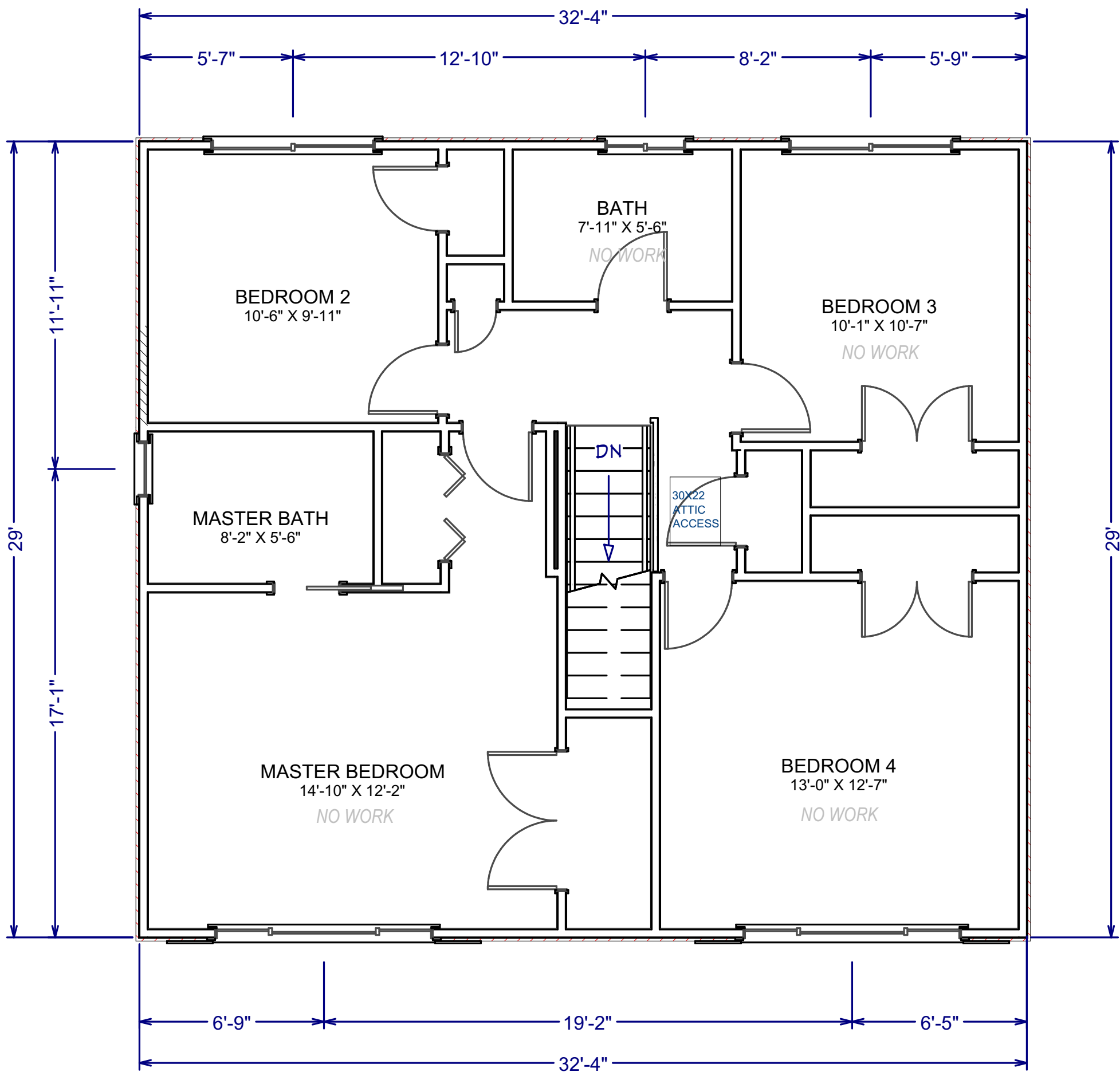
NORTH



FIRE RATED WALL & CEILING
Garage attached to or within 3 feet of the dwelling unit shall be separated from dwelling with not less than 1/2-inch Type 'X' gypsum board on the garage side of the walls extending from foundation to underside of roof sheathing.
GARAGE CEILING WITH 5/8" Type 'X' gypsum board WITH LIVING SPACE ABOVE

HOUSE NUMBER NOTES:

EXISTING HOUSE NUMBER : APPROVED ADDRESS NUMBER SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTERS SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)



REMODELING FOR:

GRACE AVE,
RESIDENCE

1796 GRACE AVE,
SAN JOSE, CA 95125

REVISION TABLE:



DESIGNER:
RAMIN ZOHOR

TEL: 408-497-5071
ZOHOR.RAMIN@GMAIL.COM

SHEET TITLE:

EXISTING
1ST AND 2ND
FLOOR
CONDITIONS

PROJECT ID :
DATE : AUGUST 2023
SCALE :
DRAWN BY : RAMIN ZOHOR

SHEET NUMBER:

A-01

OWNERSHIP: RAMIN ZOHOR

R. Zohor

1 EXISTING FLOOR PLAN - MAIN LEVEL (NO WORK)

SC : 1/4" = 1'-0"

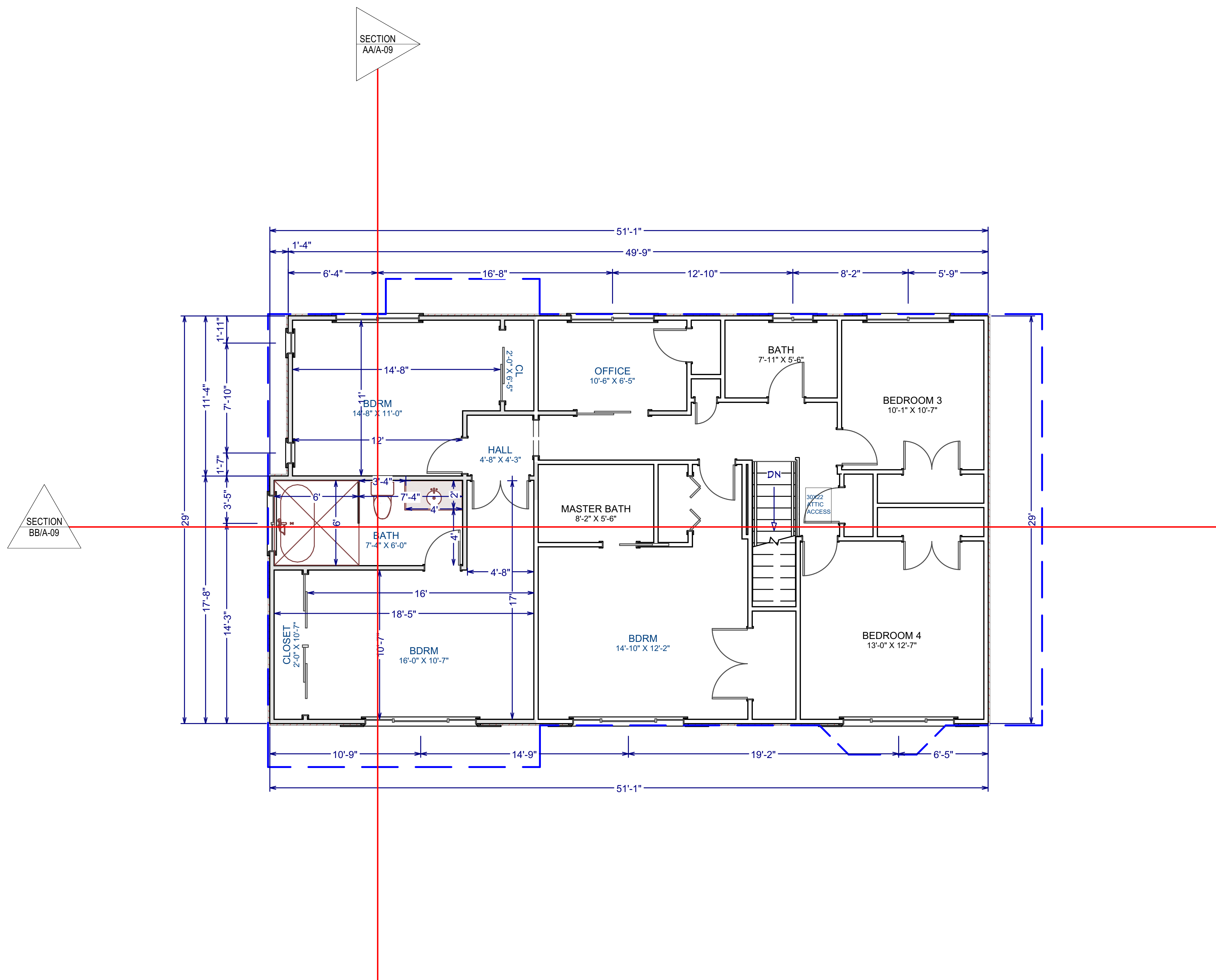
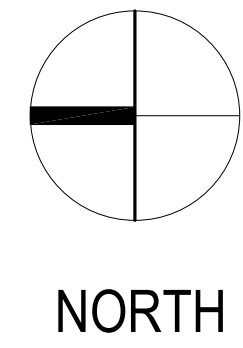
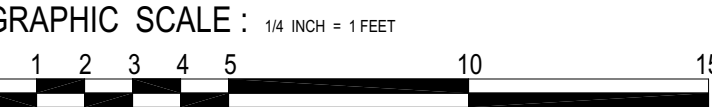
2 EXISTING FLOOR PLAN - SECOND LEVEL

SC : 1/4" = 1'-0"

LEGEND:

EXISTING WALL TO STAY
NEW CONSTRUCTION WALL

FIRST FLOOR OUTLINE
FLOOR PLAN AS SHOWN
ON SHEET A-01



REMODELING FOR:

GRACE AVE,
RESIDENCE

1796 GRACE AVE,
SAN JOSE, CA 95125

REVISION TABLE:

△

DESIGNER:
RAMIN ZOHOOOR

TEL: 408-497-5071
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

PROPOSED
2ND
FLOOR
CONDITIONS

PROJECT ID :
DATE : AUGUST 2023
SCALE :
DRAWN BY : RAMIN ZOHOOOR

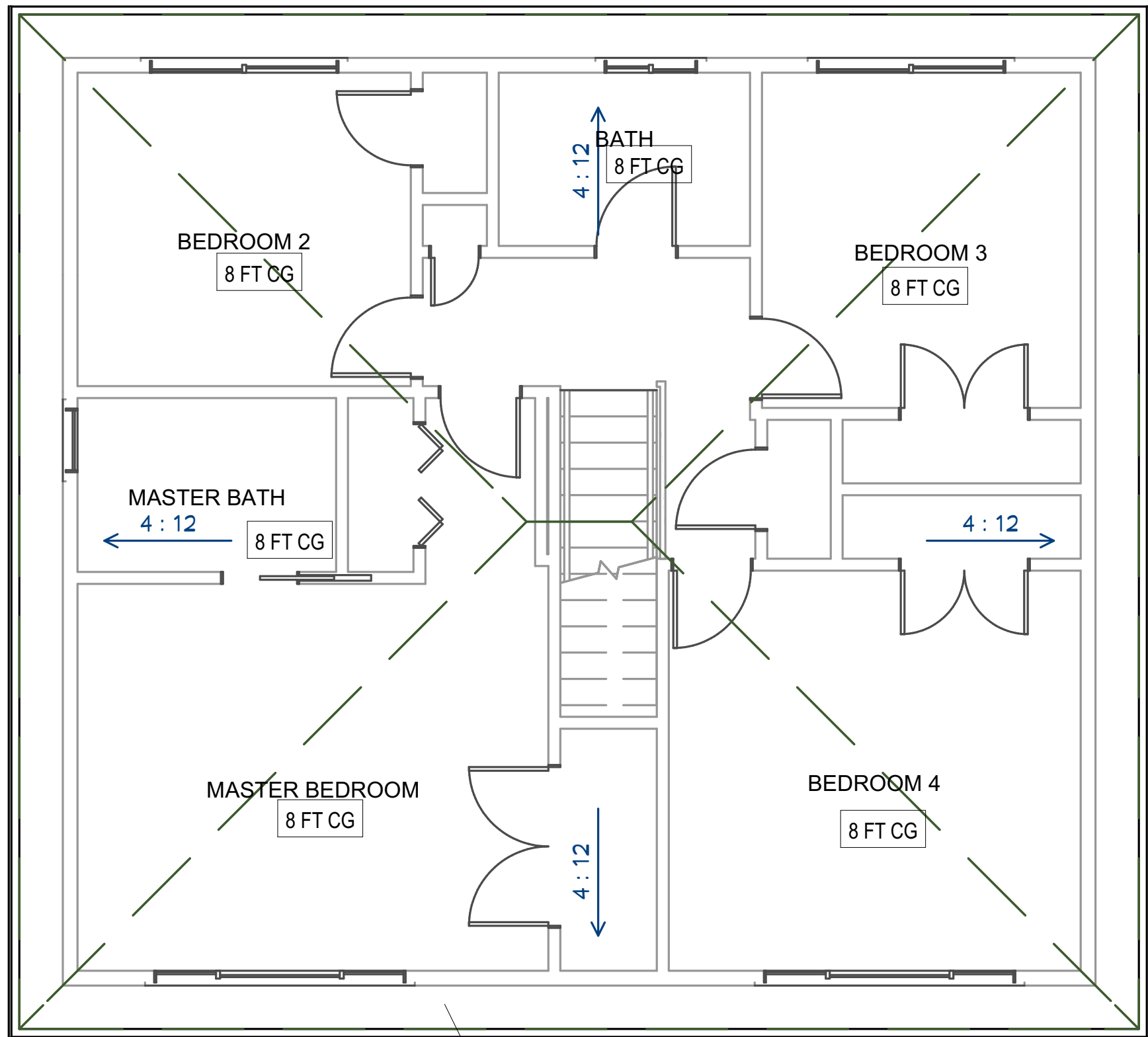
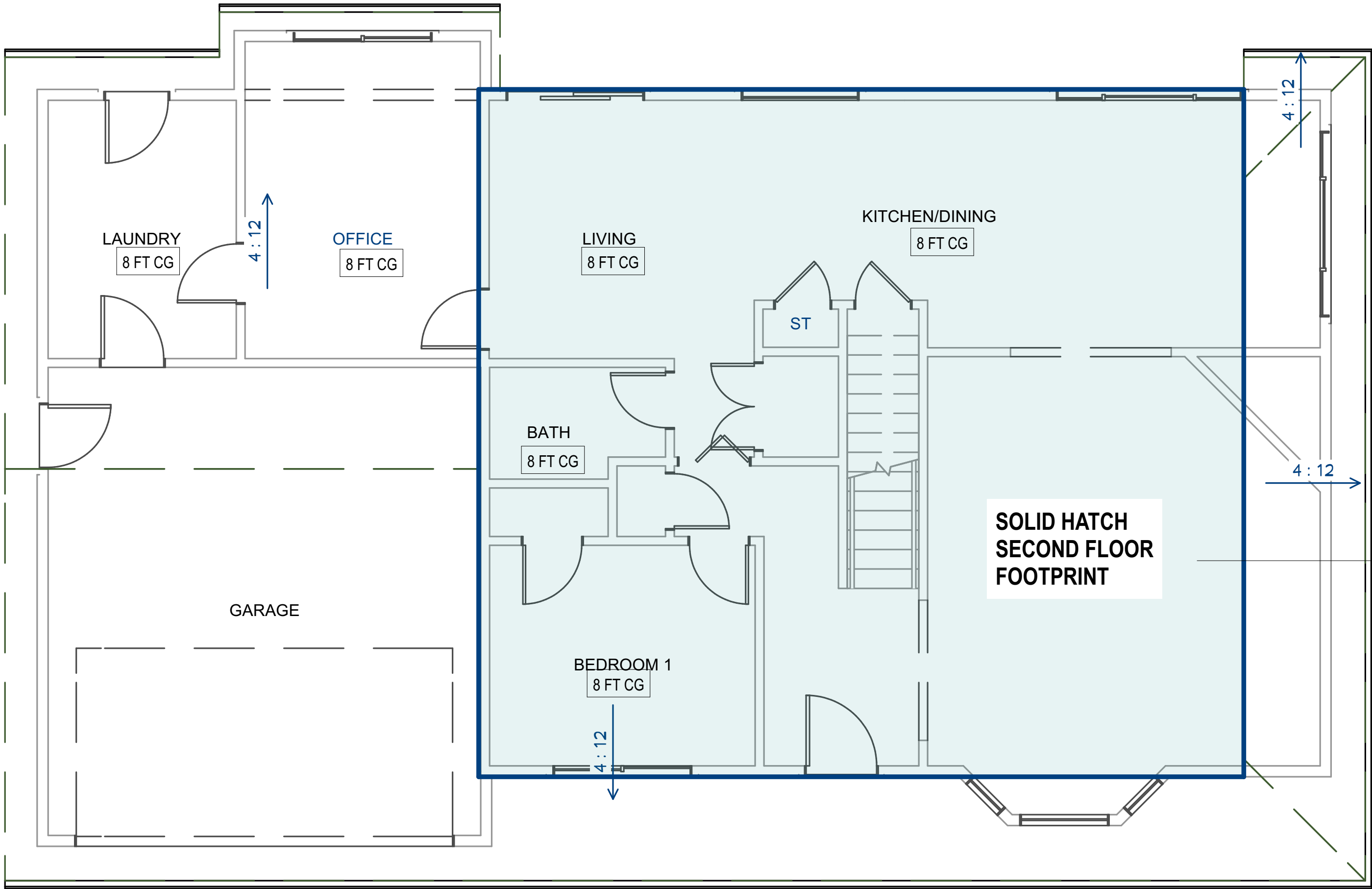
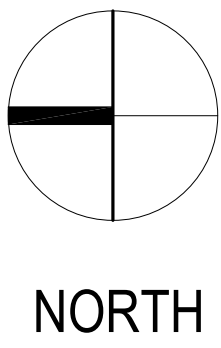
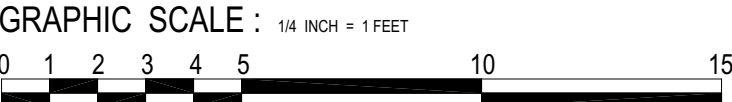
SHEET NUMBER:

A-02

OWNERSHIP: RAMIN ZOHOOOR

LEGEND:

WALLS



EXISTING ROOF COMP. SHINGLES MIN CLASS 'B'
WITH TWO LAYERS OF #15 UNDERLAYMENT S
NO WORK TO BE DONE -

REMODELING FOR:

GRACE AVE,
RESIDENCE

1796 GRACE AVE,
SAN JOSE, CA 95125

REVISION TABLE:



DESIGNER:
RAMIN ZOHOOR

TEL: 408-497-5071
ZOHOOR.RAMIN@GMAIL.COM

SHEET TITLE:

EXISTING
CEILING &
ROOF PLAN
CONDITIONS

PROJECT ID :
DATE : AUGUST 2023
SCALE :
DRAWN BY : RAMIN ZOHOOR

SHEET NUMBER:

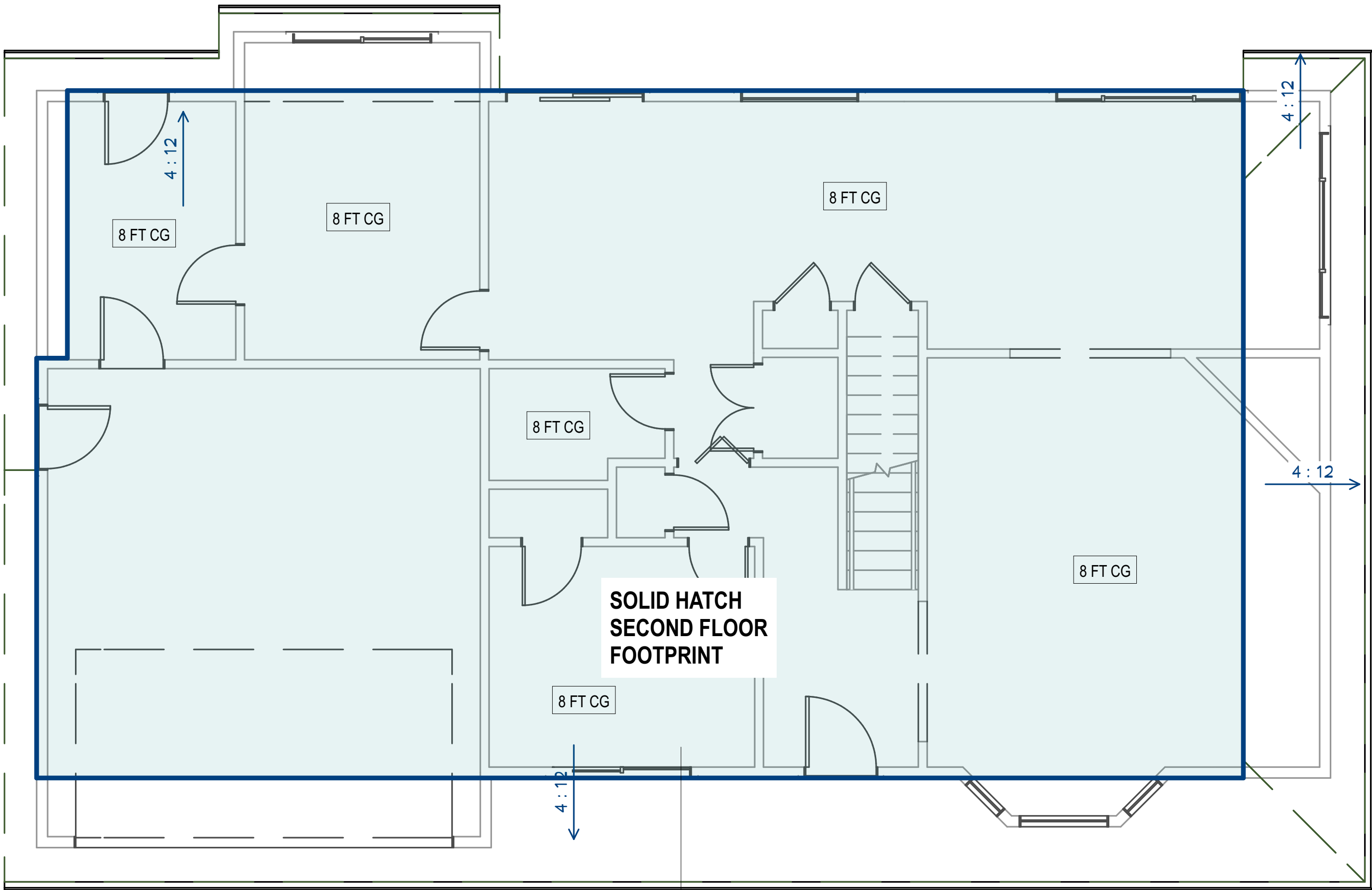
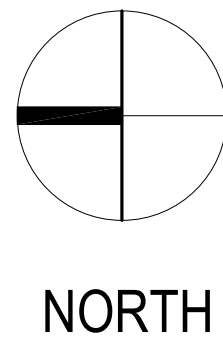
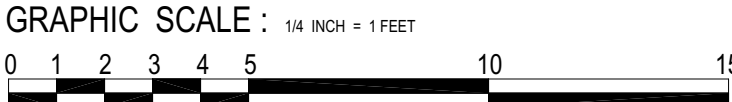
A-03

OWNERSHIP: RAMIN ZOHOOR

R. Zohoor

LEGEND:

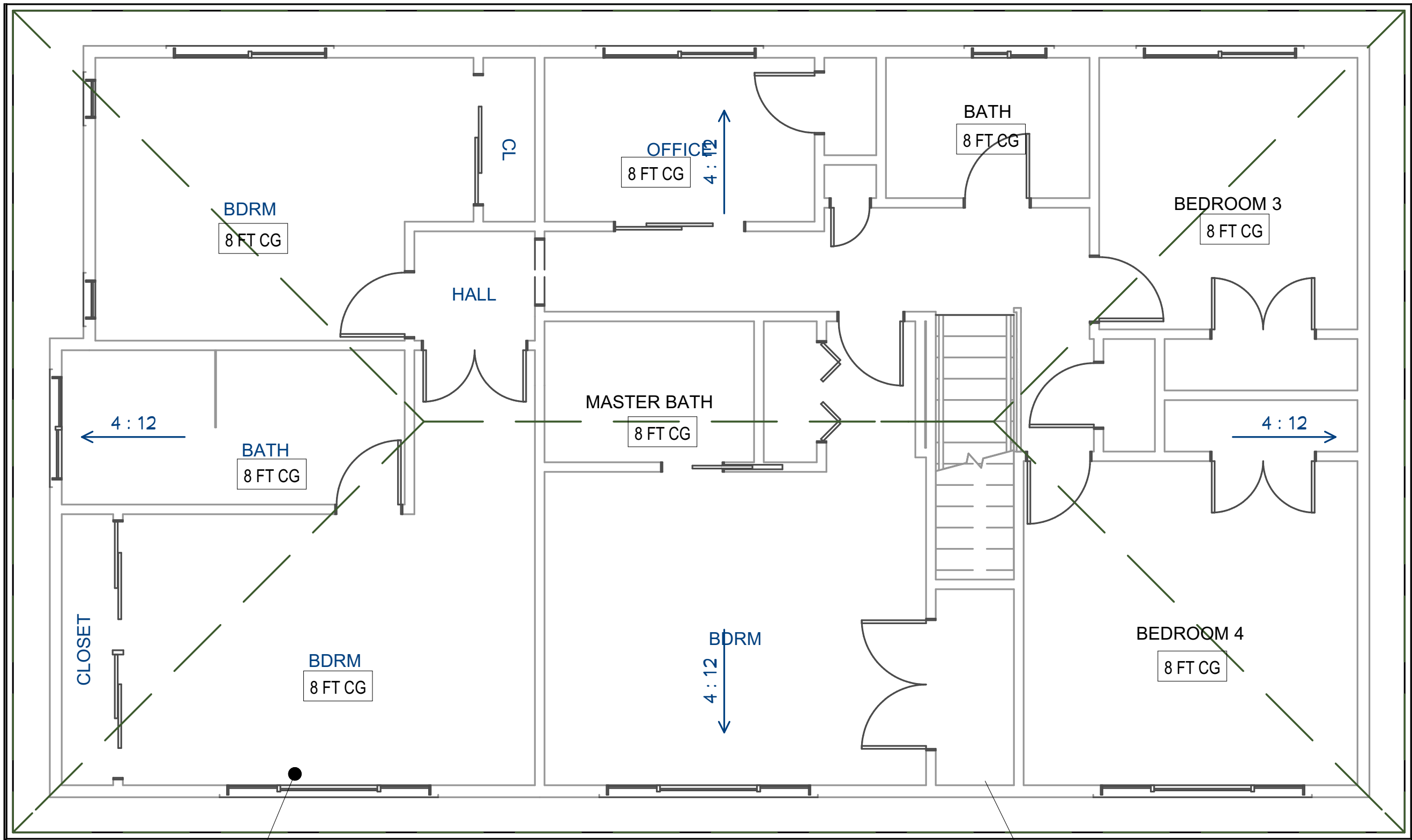
WALLS



EXISTING ROOF PITCH 4:12
NEW ADDITION TO MATCH
AT SAME ROOF PITCH 4:12

PROPOSED ROOF PLAN - 1ST FLR

SC : 1/4" = 1'-0"



EXISTING ROOF PITCH 4:12
NEW ADDITION TO MATCH
AT SAME ROOF PITCH 4:12

PROPOSED ROOF PLAN - 2ND FLR

SC : 1/4" = 1'-0"

PROPOSED NEW ROOF COMP. SHINGLES MIN CLASS 'B'
WITH TWO LAYERS OF #15 UNDERLAYMENTS TO MATCH
WITH THE MAIN HOUSE IN COLOR AND TEXTURES -

EXISTING ROOF COMP. SHINGLES MIN CLASS 'B'
WITH TWO LAYERS OF #15 UNDERLAYMENT S
NO WORK TO BE DONE -

REMODELING FOR:

**GRACE AVE,
RESIDENCE**

1796 GRACE AVE,
SAN JOSE, CA 95125

REVISION TABLE:



DESIGNER:
RAMIN ZOHOOR

TEL: 408-497-5071
ZOHOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**PROPOSED
CEILING &
ROOF PLAN
CONDITIONS**

PROJECT ID :

DATE : AUGUST 2023

SCALE :

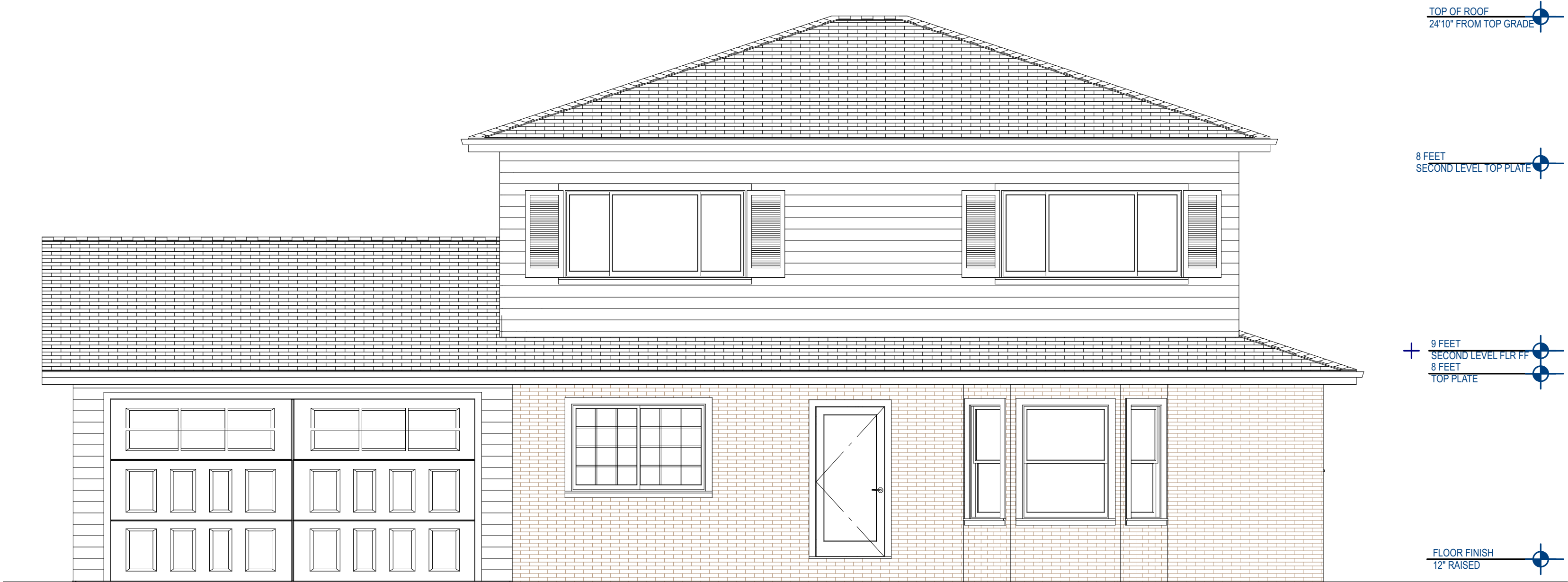
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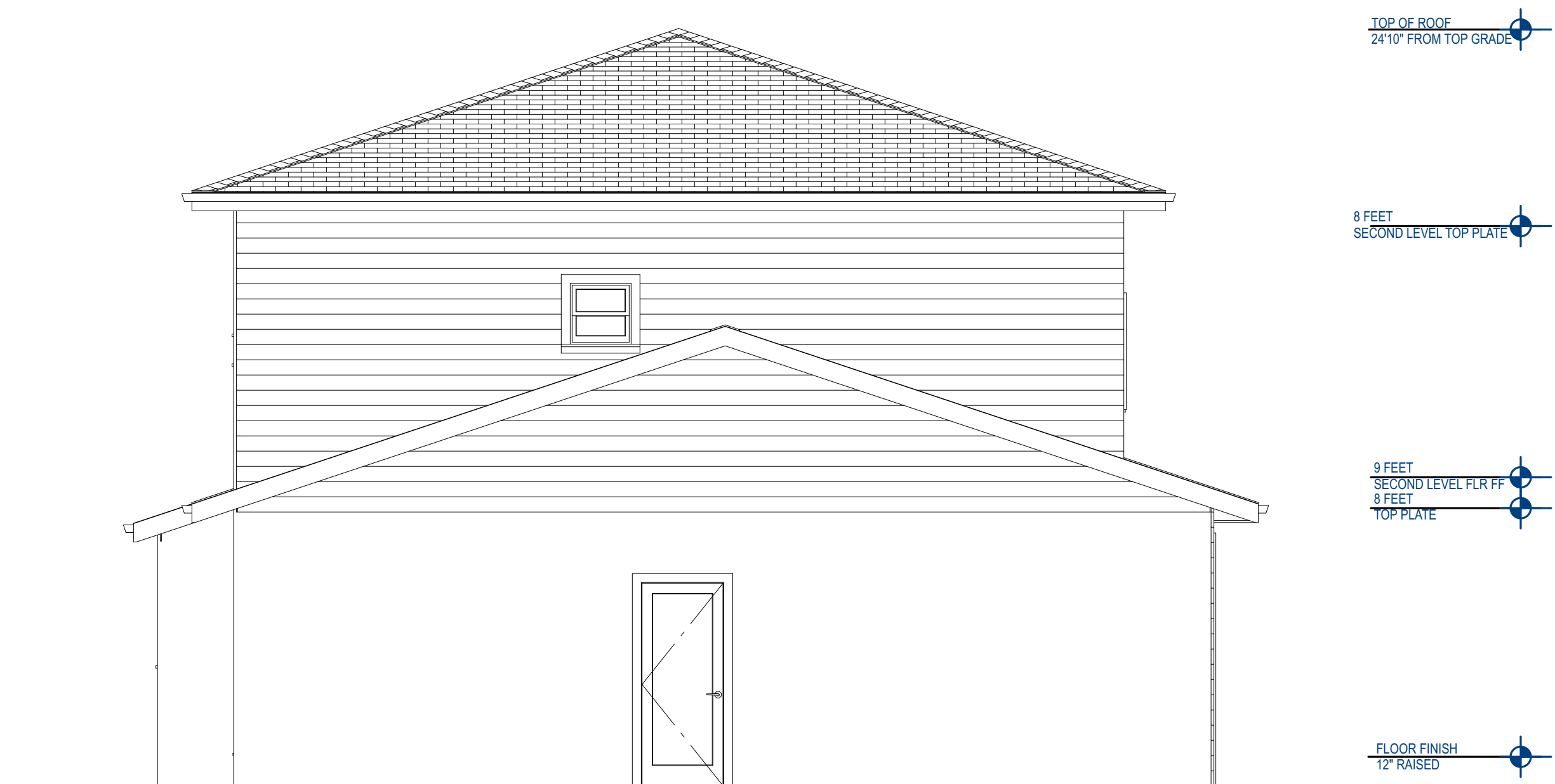
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OWNERSHIP: RAMIN ZOHOOR

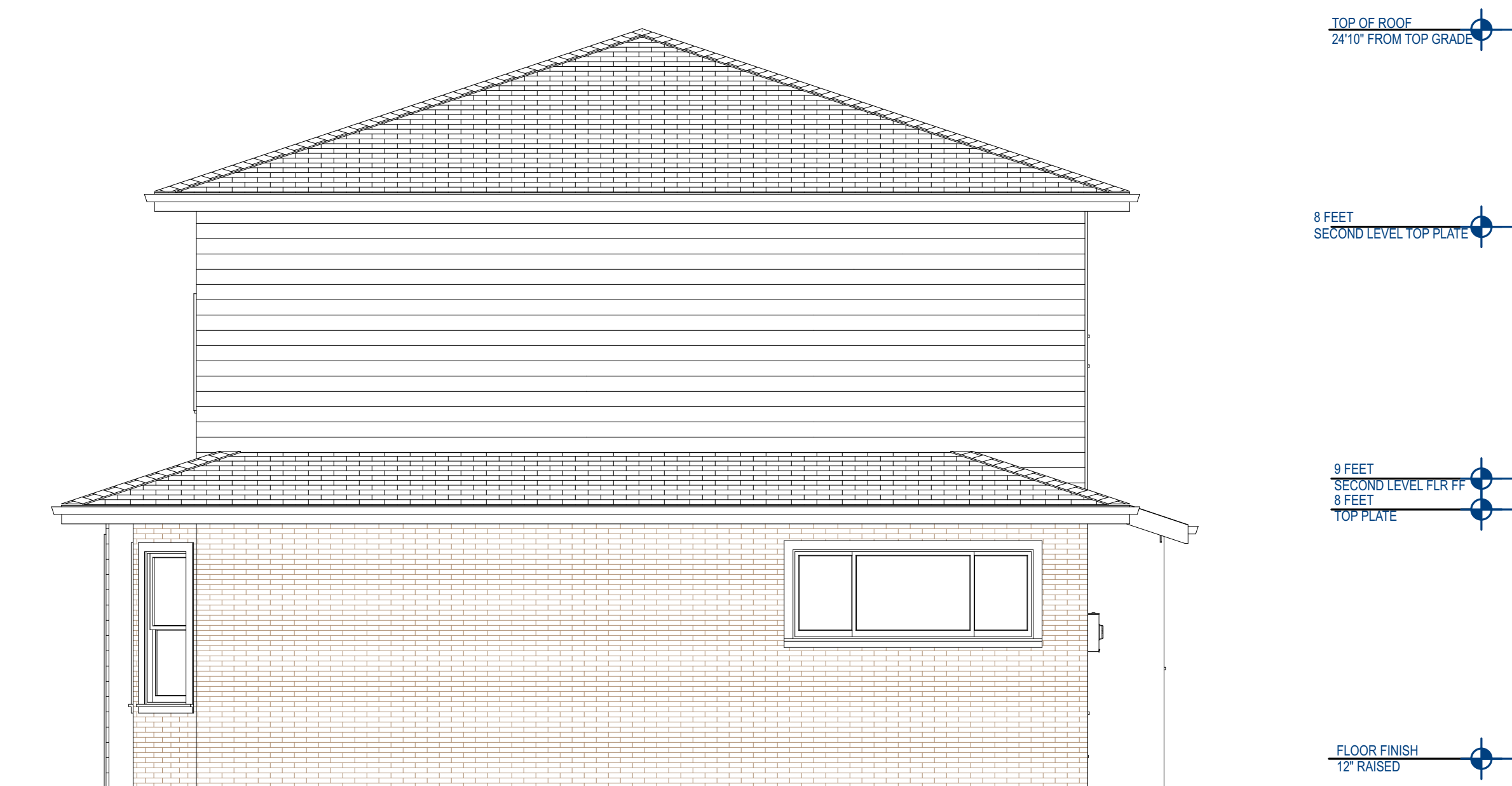
EXISTING FRONT ELEVATIONS
SC : 1/4" = 1'-0"



EXISTING REAR ELEVATIONS
SC : 1/4" = 1'-0"



EXISTING LEFT ELEVATIONS
SC : 1/4" = 1'-0"



EXISTING RIGHT ELEVATIONS
SC : 1/4" = 1'-0"

REMODELING FOR:

**GRACE AVE,
RESIDENCE**

1796 GRACE AVE,
SAN JOSE, CA 95125

REVISION TABLE:

△

DESIGNER:
RAMIN ZOHOOR

TEL: 408-497-5071
ZOHOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**EXISTING
ELEVATIONS**

PROJECT ID :
DATE : AUGUST 2023
SCALE :
DRAWN BY : RAMIN ZOHOOR

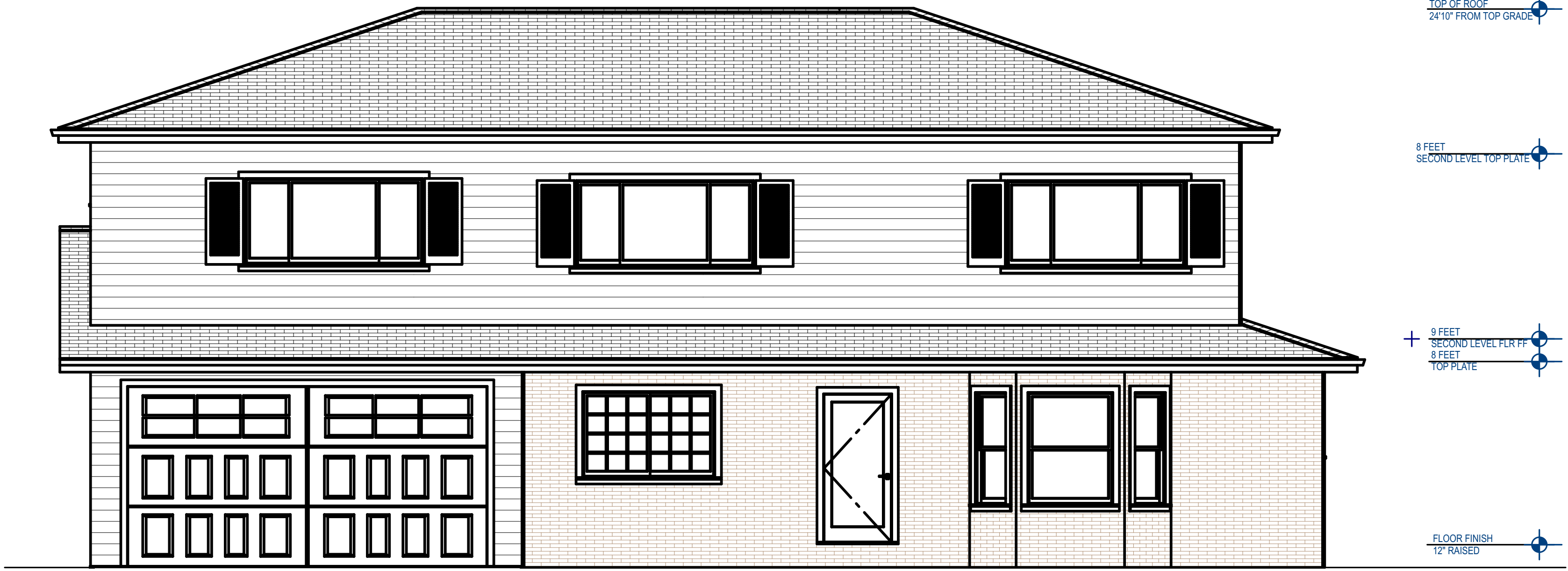
SHEET NUMBER:

A-05

OWNERSHIP: RAMIN ZOHOOR

R. Zohoor

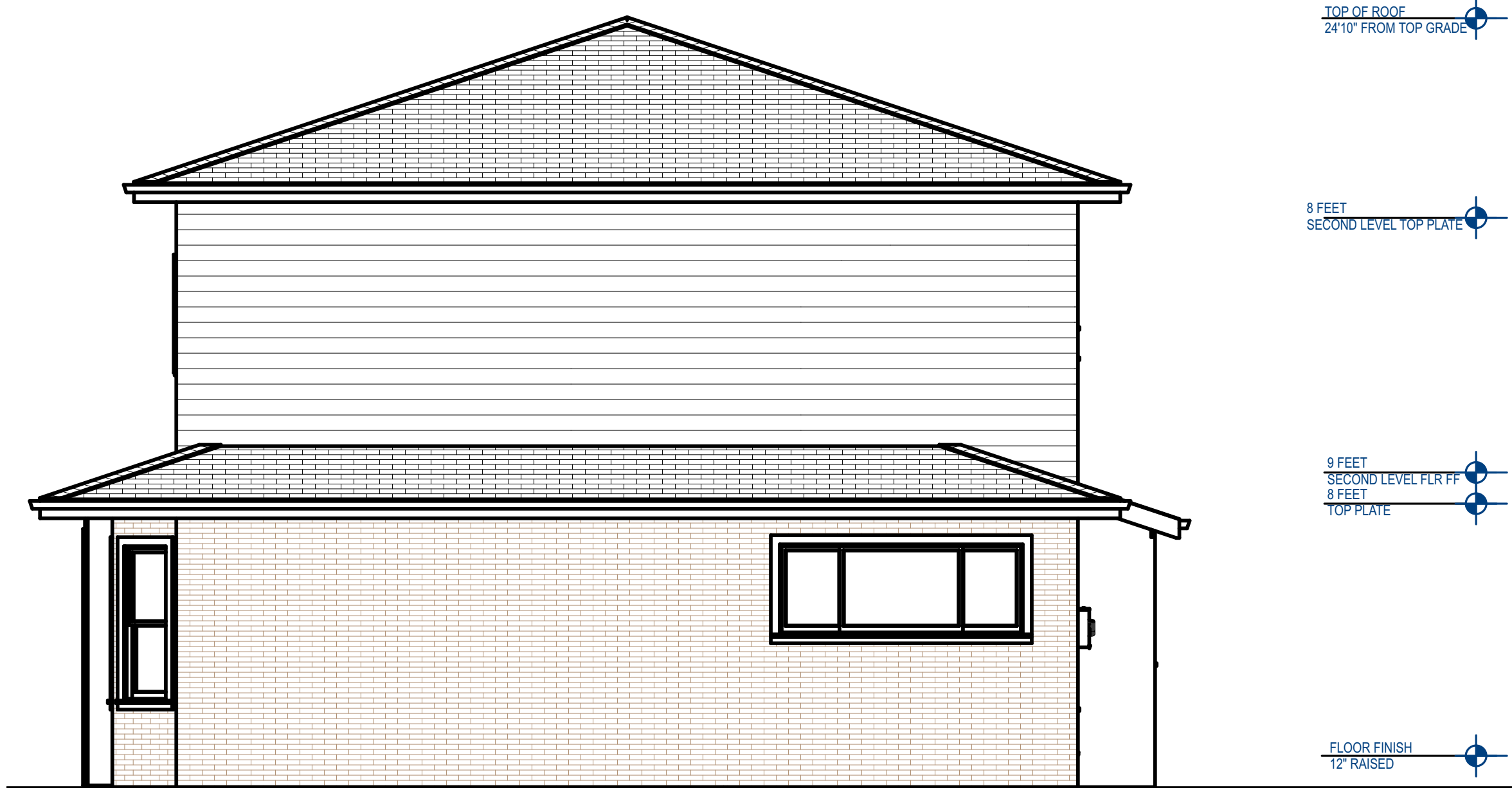
PROPOSED FRONT ELEVATIONS
SC : 1/4" = 1'-0"



PROPOSED REAR ELEVATIONS
SC : 1/4" = 1'-0"



PROPOSED LEFT ELEVATIONS
SC : 1/4" = 1'-0"



PROPOSED RIGHT ELEVATIONS
SC : 1/4" = 1'-0"

REMODELING FOR:

GRACE AVE, RESIDENCE

1796 GRACE AVE,
SAN JOSE, CA 95125

REVISION TABLE:

△

DESIGNER:
RAMIN ZOHOOR

TEL: 408-497-5071
ZOHOOR.RAMIN@GMAIL.COM

SHEET TITLE:

PROPOSED ELEVATIONS

PROJECT ID :
DATE : AUGUST 2023
SCALE :
DRAWN BY : RAMIN ZOHOOR

SHEET NUMBER:

A-06

OWNERSHIP: RAMIN ZOHOOR

R. Zohoor



REMODELING FOR:

**GRACE AVE,
RESIDENCE**

1796 GRACE AVE,
SAN JOSE, CA 95125

REVISION TABLE:



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DESIGNER:
RAMIN ZOHOOR

TEL: 408-497-5071
ZOHOO.RAMIN@GMAIL.COM

SHEET TITLE:

**SITE
PHOTOGRAPHY**

PROJECT ID :

DATE :

SCALE :

DRAWN BY :

AUGUST 2023

1/4" = 1'

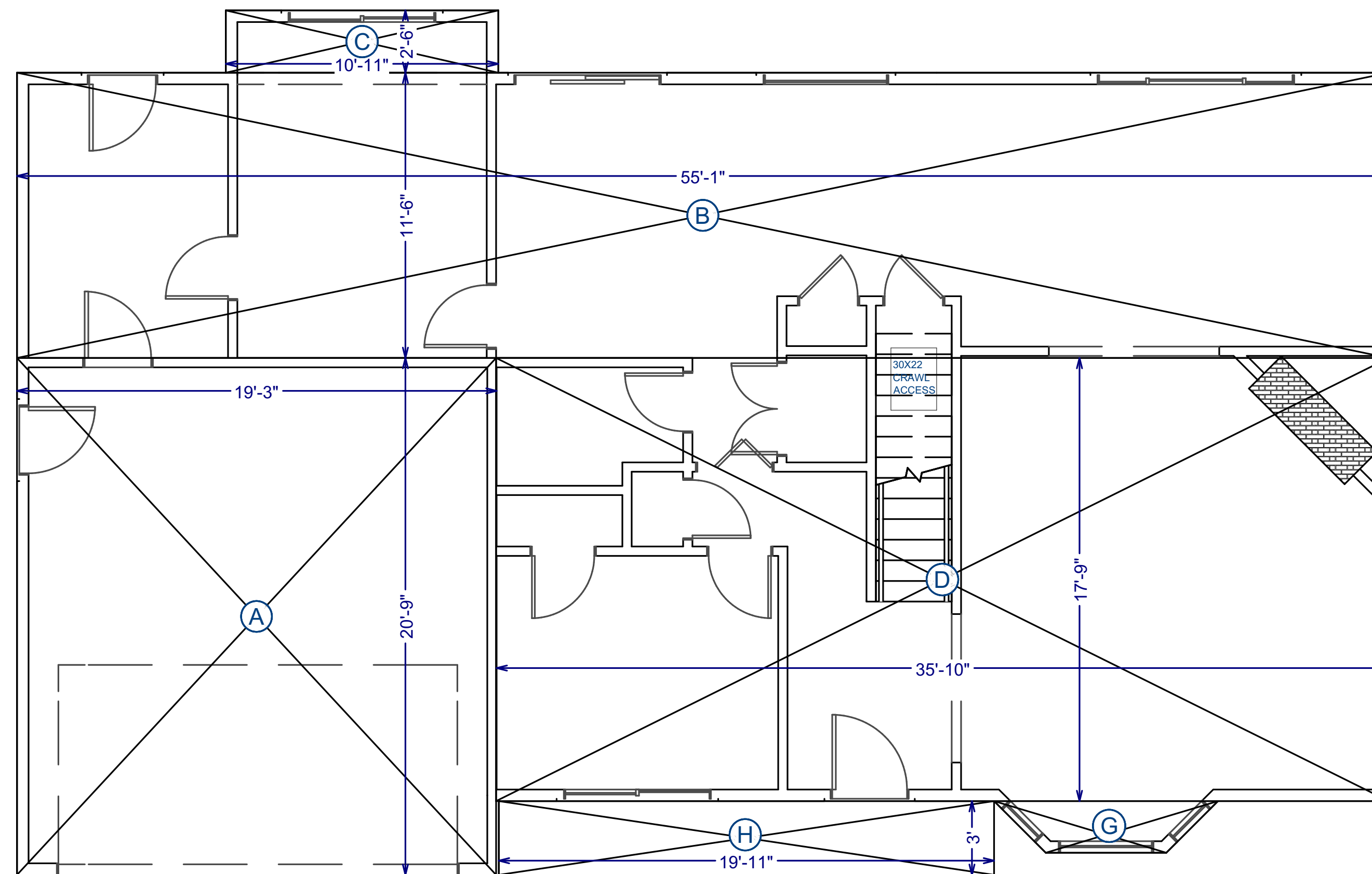
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SHEET NUMBER:

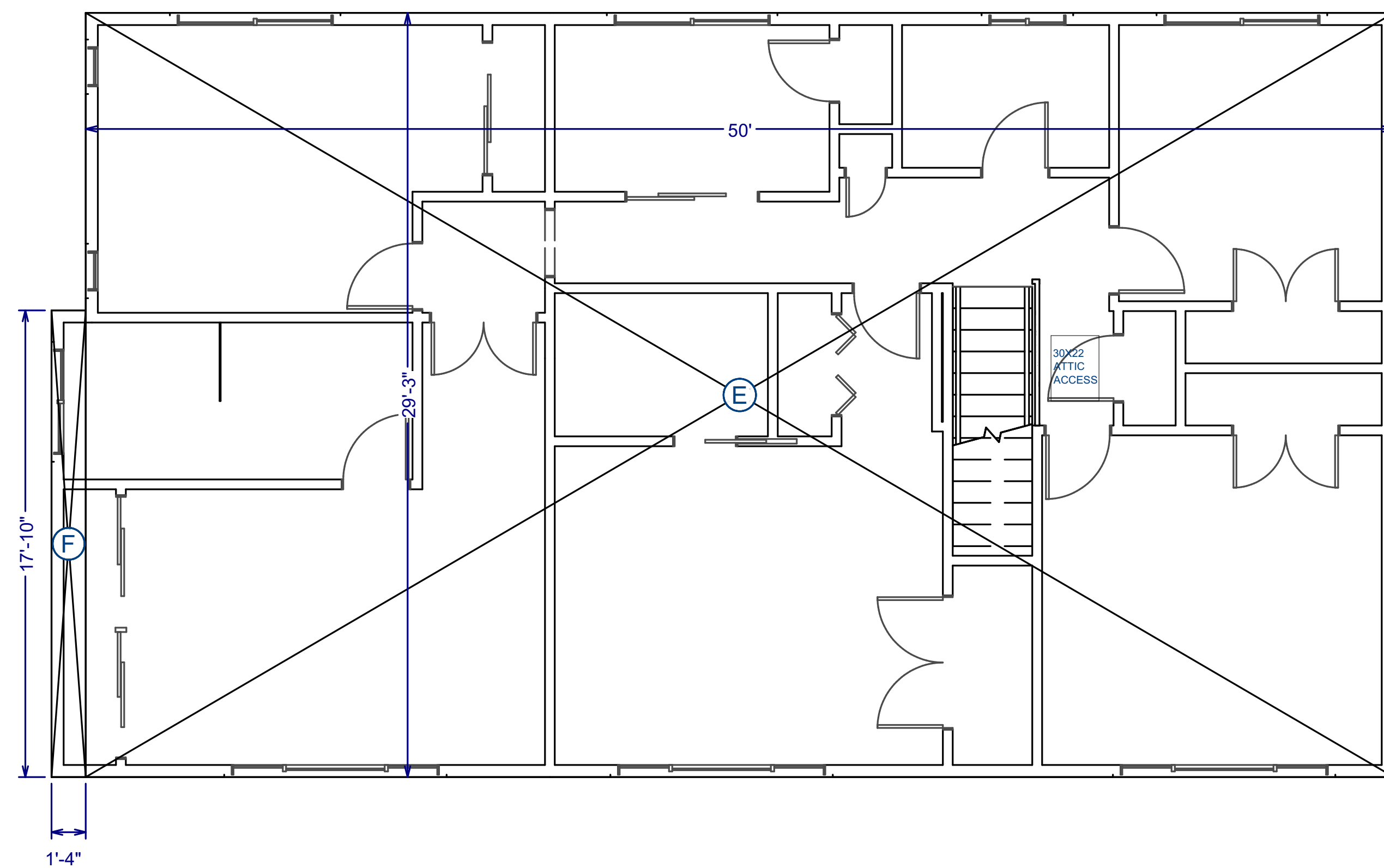
A-07

OWNERSHIP: RAMIN ZOHOOR

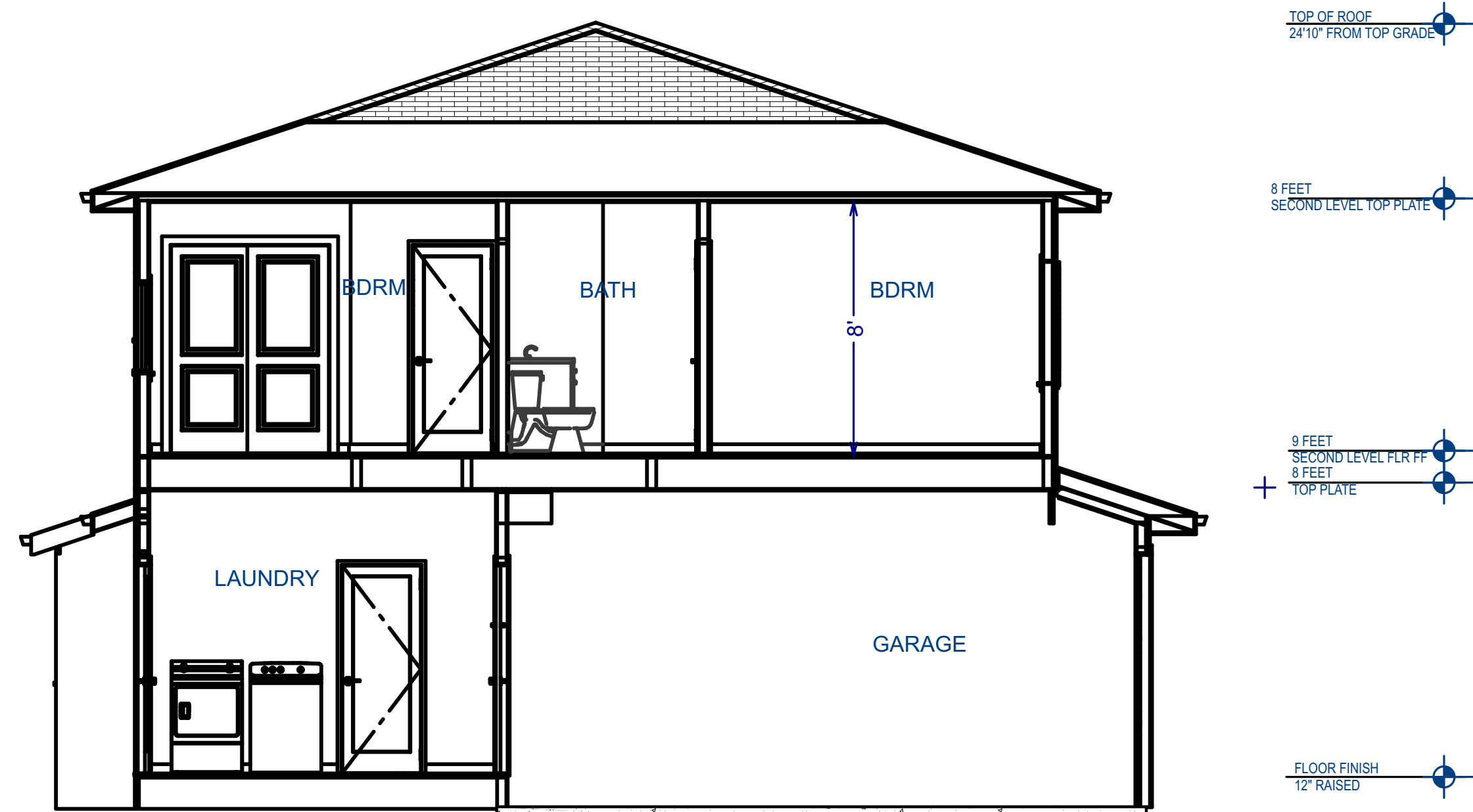
R. Zohoor



PROPOSED FAR FIRST FLOOR



PROPOSED FAR SECOND FLOOR



TOP OF ROOF
24'10" FROM TOP GRADE

8 FEET
SECOND LEVEL TOP PLATE

9 FEET
SECOND LEVEL PLR FF
8 FEET
TOP PLATE

FLOOR FINISH
12" RAISED

TOP OF ROOF
24'10" FROM TOP GRADE

8 FEET
SECOND LEVEL TOP PLATE

9 FEET
SECOND LEVEL PLR FF
8 FEET
TOP PLATE

FLOOR FINISH
12" RAISED

BATH

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GARAGE

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GARAGE

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