



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Public Hearing

Dear Campbell Resident,

February 13, 2024

The Historic Preservation Board of the City of Campbell will hold a Public Hearing at 5:00 p.m., or shortly thereafter, on Wednesday February 28, 2024, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 1325 Burrows Road
Zoning | Area Plan: R-1-9 | STANP
Neighborhood Association(s): N/A
Council District: 5
File No.: PLN-2024-9
APN: 403-16-111
Applicant: TDDG LLC (De Nguyen)
Property Owner: Jerry Graham
Application Type: Administrative Site and Architectural Review Permit + Tier 1 Historic Resource Alteration Permit
Project Planner: Daniel Fama, Senior Planner
Email Contact: danielf@campbellca.gov.
Phone Contact: (408) 866-2193

Request to allow construction of an approximately 520 square-foot addition to the side of an existing single-family residence listed as a Structure of Merit of the Historic Resource Inventory, commonly known as the George and Mary Burrows House.

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom: (<http://campbellca.gov/HPBsignup> .)
- ◇ Watch YouTube live-stream: (<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible, Simplemente marque (408) 866-2140 y pida traduccion en Español**



ABBREVIATIONS:

AB	ANCHOR BOLT	LAB	LABORATORY
AC	ASPHALTIC CONCRETE	LAM	LAMINATED
ACQ	ACOUSTICAL	LAV	LAVATORY
ADD	ADDENDUM	LB	POUND(S)
ADJ	ADJUSTABLE	LF	LINEAL FOOT
AGGR	AGGREGATE	LG, L	LONG
ALT	ALTERNATE	LKR	LOCKER
ALUM	ALUMINUM	LT	LIGHT
APPROX	APPROXIMATELY	MAX	MAXIMUM
ARCH	ARCHITECT	MB	MACHINE BOLT
∠	ANGLE	M.C.	MEDICINE CABINET
		MECH	MECHANICAL
		MEMB	MEMBRANE
BD	BOARD	MET	METAL
BLOG	BUILDING	MF	MANUFACTURE(R)
BLK(G)	BLOCK(ING)	MH	MANHOLE
BM	BEAM	MI	MALLEABLE IRON
BOT	BOTTOM	MIN	MINIMUM
B.S.L.	BUILDING SETBACK LINE	MIR	MIRROR
B.S.P.L.	BACKSPLASH	MISC	MISCELLANEOUS
BTU	BETWEEN	M.O.	MASONRY OPENING
BUR	BUILT UP ROOFING	MTD	MOUNTED
B.W.	BOTH WAYS, BACK OF WALK	MUL	MULLION
CAB	CABINET	N	NORTH
CAH	CLEAR ALL HEART	(N)	NEW
C.B.	CATCH BASIN, CORNER BEAD	N.E.C.	NATIONAL ELECTRIC CODE
C.C.	CENTER TO CENTER	N.I.C.	NOT IN CONTRACT
C.C.R.	CALIFORNIA CODE OF REGULATION	NO, *	NUMBER
		NOM	NOMINAL
		N.T.S.	NOT TO SCALE
CEM	CEMENT	O	OVER
C.I.	CAST IRON	O/A	OVERALL
C.J.	COLD JOINT, CONTROL JOINT	OBSC	OBSCURE
CLG	CELLING	OC	CENTER
CLG	CAULKING	O.D.	OUTSIDE DIMENSION (DIA.)
CLR	CLEAR	OFF	OFFICE
C.M.P.	CORRUGATED METAL PIPE	OH	OVERHEAD, OVERHANG
CMU	CONCRETE MASONRY UNIT	OP	OPENING
COL	COLUMN	OPF	OPPOSITE
CONC	CONCRETE	OZ	OUNCE
CONN	CONNECTION	P.C.	PLUMBING CONTRACTOR
CONSTR	CONSTRUCTION	P.F.B.	PLASTIC FINISH BOARD
CONT	CONTINUOUS	P.F.R.	PLATE PROPERTY LINE
C.O.N.C.	CALIFORNIA OFFICE OF NOISE CONTROL	PL	PLASTER
C.O.T.G.	CLEANOUT TO GRADE	PLAS	PLASTER
CPT	CARPET	PLYWD	PLYWOOD
C.T.	CERAMIC TILE	PSH	POLISHED
CTR	CENTER	FR	PAIR
CT&K	COUNTERSINK	FRCS	PRECAST
∠	CENTERLINE	PT	POINT
		P.T.D.	PAPER TOWEL DISPENSER
		P.T.D.F.	PRESSURE TREATED
		P.T.D./R	DOUGLAS FIR COMBINATION P.T.D. & P.T.R.
D	DRYER	PTN	PARTITION
DBL	DOUBLE	PTR	PAPER TOWEL RECEPTACLE
DET	DETAIL	PUE	PUBLIC UTILITY EASEMENT
D.F.	DOUGLAS FIR	Q.T.	QUARRY TILE
D.F.	DRINKING FOUNTAIN	R	RISER
DIA.	DIAMETER	R.A.	RETURN AIR
DIAG	DIAGONAL	RAD	RADIUS
DIM	DIMENSION	RAG	RETURN AIR GRILLE
DISP	DISPENSER, DISPOSER	R.C.P.	REINFORCED CONCRETE PIPE
DN	DOWN	R.D.	ROOF DRAIN
DO	DITTO	REF	REFERENCE
DR	DOOR	REF	REINFORCED(ING)
D.S.	DOWN SPOUT	RET	RETAINING
DW	DISHWASHER	REQ	REQUIRED
DWG	DRAWING	RESIL	RESILIENT
DWR	DRAILER	RFG	REFRIGERATOR
		RSTR	REGISTER
E	EAST	RST	ROUGH
EJ	EACH	RO	ROUGH OPENING
EJ	EXPANSION JOINT	RS	REINFORCING
ELEC	ELECTRICAL	RS	ROOF SUMP
EL	ELEVATION	RUL	RAINWATER LEADER
ELEV	ELEVATOR	RWD	REDWOOD
EMER	EMERGENCY	R/W	RIGHT OF WAY
EN	EDGE NAILING	S	SOUTH
ENCL	ENCLOSURE	SAD	SEE ARCHITECTURAL DWGS.
EW.C.	ELECTRIC WATER COOLER	S.A.R.	SUPPLY AIR REGISTER
EQ	EQUAL	S.C.	SOLID CORE
EQUIP	EQUIPMENT	S.C.D.	SEAT COVER DISPENSER
(E)EXIST	EXISTING	S.D.	SOAP DISPENSER
EXP	EXPANSION	SECT	SECTION
EXPO	EXPOSED	SF	SQUARE FEET
EXT	EXTERIOR	SH	SHIELD
		SHR	SHOWER
F.A.	FIRE ALARM	SHT	SHEET
FAU	FORCED AIR UNIT	SIM	SIMILAR
FB	FLAT BAR	S.M.S.	SHEETMETAL SCREWS
F.C.	FRAMING CLIP	SAN	SANITARY NAPKIN DISPENSER
F.C.O.	FLOOR CLEANOUT	S.N.R.	SANITARY NAPKIN RECEPTACLE
F.D.	FLOOR DRAIN	SOV,	SHUT-OFF VALVE
FDC	FIRE DEPT. CONNECTION	SQ	SQUARE
FDN	FOUNDATION	S.S.	SELECT STRUCTURAL
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FF	FACE OF FRAME, FACEFRAME, FINISH FLOOR	S.S.K.	SERVICE SINK
F.F.A.	FINISH FLOOR AREA	STA	STATION
F.G.	FINISH GRADE	STD	STANDARD
F.G.L.	FIXED GLASS	STL	STEEL
FN	FINISH FLOOR	STO	STORAGE
FLASH	FLASHING	STR	STRUCTURAL
FLUOR	FLUORESCENT	SUSP	SUSPENDED
F.O.C.	FACE OF CONCRETE	SV	SHEET VINYL FLOORING
F.O.F.	FACE OF FINISH	SW	SHEAR WALL
F.O.P.	FACE OF MASONRY	SYM	SYMMETRICAL
F.O.S.	FACE OF STUD	T	TEMPERED
F.O.	FINISHED OPENING	T.B.	TOUPEL BAR
FRFR	FIREPROOF	T & B	TOP & BOTTOM
FR.T.	FIRE RETARDANT TREATED	T.C.	TOP OF CURB
FR	FIRE RATED(ING)	TEL	TELEPHONE
FTG.	FOOTING	TER	TERRAZZO
FT	FOOT	T & G	TONGUE & GROOVE
FUR	FURRING	TH	THICK
FUT	FUTURE	THK	THICK
		TP	TOP OF PAVEMENT
GA	GAUGE	T.P.D.	TOILET PAPER DISPENSER
GAL	GALLON	TRD	TREAD
GALV	GALVANIZED	TS	TUBULAR STEEL
GB	GRAB BAR	T.S.B.	TOP-SET BASE
GLB	GLULUM BEAM	T.V.	TELEVISION
GL	GALVANIZED IRON	TW	TOP OF WALL
GND	GROUND	U.B.C.	UNIFORM BUILDING CODE
GR	GRADE	U.M.C.	UNIFORM MECHANICAL CODE
G.W.B.	GYPSPUM WALLBOARD	UNF	UNFINISHED
GYP	GYPSPUM	UNO, UNO	UNLESS NOTED OTHERWISE
		UNIFORM	UNIFORM PLUMBING CODE
		URNAL	URNAL
H.B.	HOSE BIBB	V.A.T.	VINYL ASBESTOS TILE
HC	HANDICAPPED	V.C.P.	VITRIOUS CLAY PIPE
H.C.	HOLLOW CORE	V.C.T.	VINYL COMPOSITION TILE
HD	HOLLOW CORE	VERT	VERTICAL
HDUR	HARDWARE	VEST	VESTIBULE
HDWD	HARDWOOD	V.G.	VERTICAL GRAIN
HDR	HEADER	V.I.F.	VERIFY IN FIELD
HGT	HEIGHT	V.T.R.	VENT THRU ROOF
H.M.	HOLLOW METAL	V.W.C.	VINYL WALL COVERING
HORIZ	HORIZONTAL	W	WEST, WASHER
HR	HANDRAIL	W	WITH
HR	HOUR	WC	WATER CLOSET
HWH	HOT WATER HEATER	WD	WINDOW DIMENSION
		WI	WROUGHT IRON
I.A.W.	IN ACCORDANCE WITH	WIF	WOVEN WIRE FABRIC
I.D.	INSIDE DIMENSION	WO	WITHOUT
IN	INCH, INCHES	WP	WATERPROOF
INSUL	INSULATION	WS	WOOD SCREWS
INT	INTERIOR	W.S.C.T.	WAINSCOT
INV	INVERT	WT	WEIGHT
JAN	JANITOR	WJW	WOVEN WIRE MESH
JST	JOIST		
JT	JOINT		
KIT	KITCHEN		

PROPOSED ADDITION FOR GRAHAM'S RESIDENCE

1325 BURROWS ROAD
CAMPBELL, CA 95008

PROJECT DATA:

ZONING DESIGNATION:	R-1-10
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	V-B
FLOOD ZONE:	NO
HISTORIC RESOURCES PROPERTY:	YES
SITE AREA:	10,125 SF. (0.416 AC)
EXISTING BUILDINGS:	
EXISTING MAIN HOUSE FLOOR AREA:	
1ST FLOOR:	1119 SF.
2ND FLOOR:	1067 SF.
SUB-TOTAL:	2186 SF.
BUILDING HEIGHT:	23'-6"
STORY:	2
EXISTING ADU/GARAGE FLOOR AREA:	
ADU:	655 SF.
GARAGE:	555 SF.
SUB-TOTAL:	1210 SF.
BUILDING HEIGHT:	14'-6"
STORY:	1
TOTAL EXISTING FLOOR AREA:	3,396 SF.
PROPOSED ADDITION:	
LIVING AREA:	483 SF.
UTILITY CLOSET:	36 SF.
SUB-TOTAL:	519 SF.
PROPOSED LOT COVERAGE:	
(1119+82)COVERED PORCH+(1210+519)/10,125+	16.2% (40% MAX REQUIRED)
PROPOSED F.A.R.:	
(3,396+519)/10,125+	0.22 (0.45 MAX REQUIRED)
PROPOSED SETBACK SIDE:	20.33' EXISTING
PROPOSED SEPARATION FROM ADU/GARAGE:	13.22' (10' MIN REQUIRED)
EXISTING PARKING COVERED:	2 CARS
UNCOVERED:	1 CAR
TOTAL:	3 CARS
APN #:	403-16-111
APPLICABLE CODES:	2022 CBC 2022 CRC 2022 CMC 2022 CEC 2022 CPC 2022 CALGREEN 2022 CALIFORNIA ENERGY CODE

SCOPE OF WORK:

THIS IS A ONE-STORY ADDITION TO THE BACK OF AN EXISTING TWO-STORY MAIN HOUSE, INCLUDING A MASTER SUITE, A PANTRY ROOM, AND AN UN-CONDITIONED UTILITY CLOSET.

OWNER: JERRY GRAHAM
ADDRESS: 1325 BURROWS ROAD
CAMPBELL, CA 95008
PHONE: (408) 523-8851
E-MAIL: calljgrahams@sbccglobal.net

DRAWING INDEX

ARCHITECTURE:

FR-1	---	COVER SHEET
FR-2	---	SITE PLAN EXISTING MAIN HOUSE PICTURES
FR-3	---	EXISTING/DEMO FLOOR PLANS
FR-4	---	EXISTING EXTERIOR ELEVATIONS
FR-5	---	PROPOSED FLOOR PLANS
FR-6	---	PROPOSED EXTERIOR ELEVATIONS

JOB No. 2311
DATE AUGUST 28, 2020

DESCRIPTION	DATE	REV.

PLANNING REVIEW
RESIDENTIAL ADDITION FOR GRAHAM'S RESIDENCE
1325 BURROWS ROAD
CAMPBELL, CA 95008

OWNER: JERRY GRAHAM
1325 BURROWS ROAD
CAMPBELL, CA 95008
Tel: (408) 523-8851
ARCHITECT: QING GAN
4975 RIO VISTA AVE
SAN JOSE, CA 95129
Tel: (408) 480-6889 E-mail: qgan.architect@gmail.com

ARCHITECTURAL SYMBOL LEGEND

	EARTH		PLASTER OR GROUT
	GRAVEL OR ROCK		WOOD - FINISH GRADE
	CONCRETE		WOOD FRAMING (THRU MEMBERS)
	MASONRY		WOOD FRAMING (INTERRUPTED MEMBERS)
	CERAMIC TILE		INSULATION - BATT
			INSULATION - RIGID

	DETAIL REFERENCE NO.		WINDOW SIZE WIDTHXHEIGHT
	SECTION REF. LETTER		DOOR SIZE WIDTHXHEIGHT
	NOTE REF. NO.		INTERIOR ELEVATION REF. NO.
	APPLIANCE KEY		

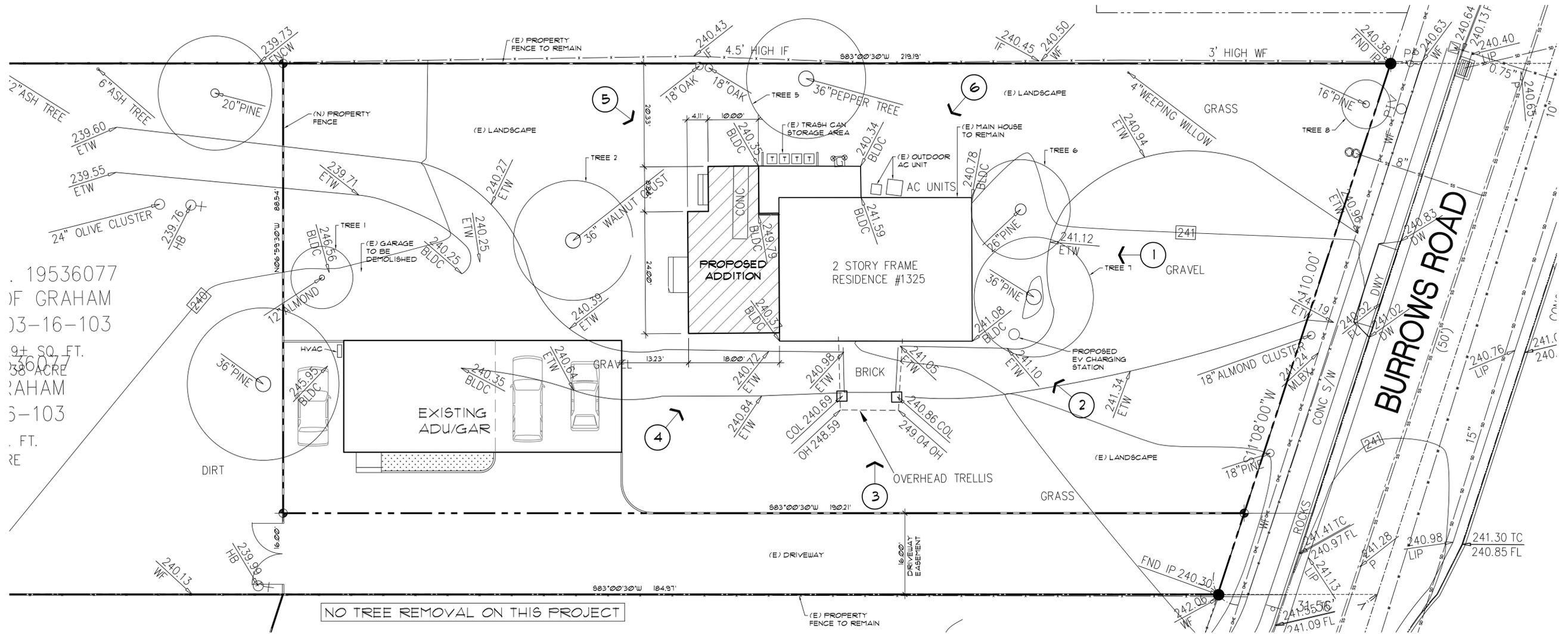
VICINITY MAP



SIGNATURE
QING GAN
C-36327
01/25
RENEWAL DATE
STATE OF CALIFORNIA
Qing Gan

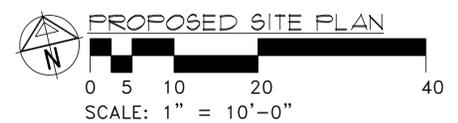
CONSULTANT
SHEET TITLE
COVER SHEET
SCALE AS SHOWN
CAD FILE 2311-FR-1.DWG
DRAWN BY

SHEET
PR-1
1 OF SHEETS



19536077
 OF GRAHAM
 03-16-103
 9+ SQ. FT.
 38 ACRE
 GRAHAM
 3-103
 . FT.
 RE

NO TREE REMOVAL ON THIS PROJECT



EXISTING TREE

TREE	SIZE	SPECIES	REMARK
TREE 1	12'	ALMOND	REMAIN
TREE 2	36'	WALNUT	REMAIN
TREE 5	36'	PEPPER	REMAIN
TREE 6	26'	PINE	REMAIN
TREE 7	36'	PINE	REMAIN
TREE 8	16'	PINE	REMAIN



1



2



3



4



5



6

JOB No. 2311
 DATE AUGUST 28, 2020

DESCRIPTION	DATE	REV.

PLANNING REVIEW
**RESIDENTIAL ADDITION
 FOR
 GRAHAM'S RESIDENCE**
 1325 BURROWS ROAD
 CAMPBELL, CA 95008

OWNER: JERRY GRAHAM
 1325 BURROWS ROAD
 CAMPBELL, CA 95008
 Tel: (408) 523-8857

ARCHITECT: QING GAN
 4975 RIO VISTA AVE
 SAN JOSE, CA 95129
 E-mail: qgan.architect@gmail.com
 Tel: (408) 480-6889

SIGNATURE

 QING GAN

CONSULTANT

SHEET TITLE
**SITE PLAN
 SITE PICTURES**

SCALE AS SHOWN
 CAD FILE 2311-PR-2.DWG
 DRAWN BY

SHEET
PR-2
 2 OF SHEETS

DESCRIPTION	DATE	REV.

PLANNING REVIEW
**RESIDENTIAL ADDITION
 FOR
 GRAHAM'S RESIDENCE**
 1325 BURROWS ROAD
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 CAMPBELL, CA 95008
 Tel: (408) 523-8857

ARCHITECT: QING GAN
 4973 RIO VISTA AVE
 SAN JOSE, CA 95129
 Tel: (408) 480-6889 E-mail: qganarchitect@gmail.com

SIGNATURE



Qing Gan

CONSULTANT

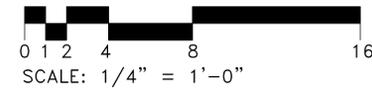
SHEET TITLE
**EXISTING
 ELEVATIONS**

SCALE AS SHOWN
 CAD FILE 2311-PR-4.DWG
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SHEET
PR-4
 4 OF SHEETS



EXISTING EAST ELEVATION (STREET FRONT)



EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION

DESCRIPTION	DATE	REV.

PLANNING REVIEW
**RESIDENTIAL ADDITION
 FOR
 GRAHAM'S RESIDENCE**
 1325 BURROWS ROAD
 CAMPBELL, CA 95008

OWNER: JERRY GRAHAM
 1325 BURROWS ROAD
 CAMPBELL, CA 95008
 Tel: (408) 523-8857
 ARCHITECT: QING GAN
 4975 RIO VISTA AVE
 SAN JOSE, CA 95129
 Tel: (408) 480-6889 E-mail: qganarchitect@gmail.com

SIGNATURE

Qing Gan

CONSULTANT

SHEET TITLE
**PROPOSED
 ELEVATIONS**

SCALE AS SHOWN
 CAD FILE 2311-PR-6.DWG
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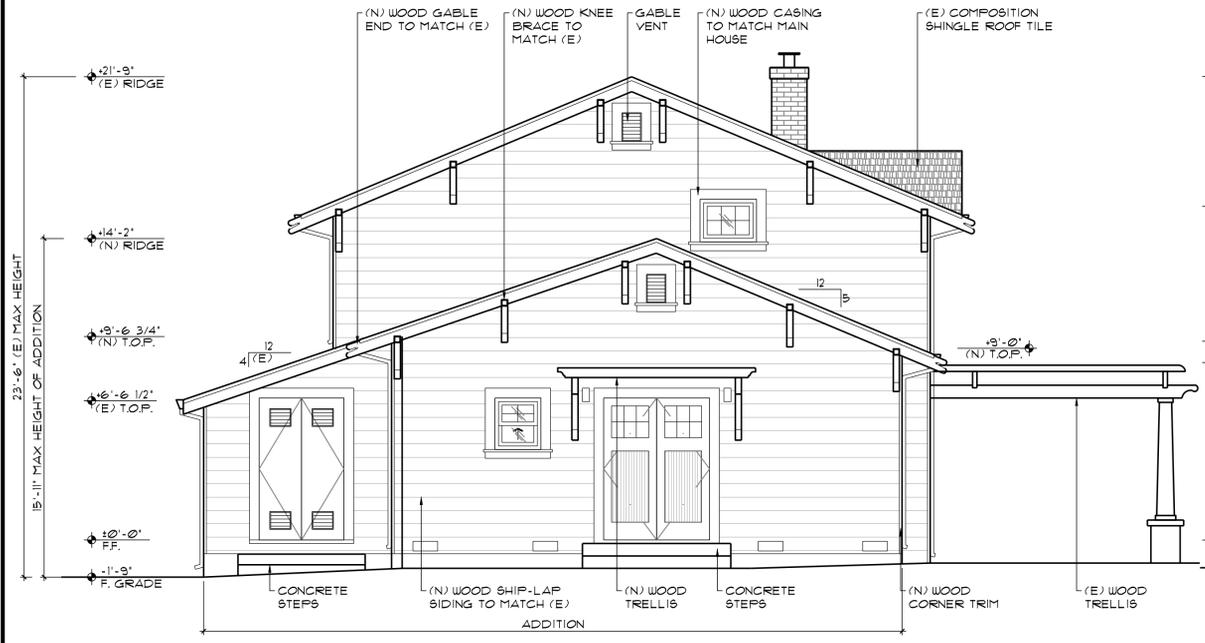
SHEET
PR-6
 6 OF SHEETS



EXISTING EAST ELEVATION
 NOTE: NO CHANGE TO THIS ELEVATION



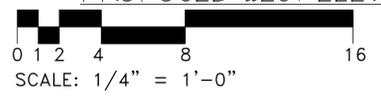
PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



NOTE: ALL NEW EXPOSED MEMBERS AND FINISH MATERIALS SHALL MATCH EXISTING ON COLOR, TEXTURE, AND PROFILE.