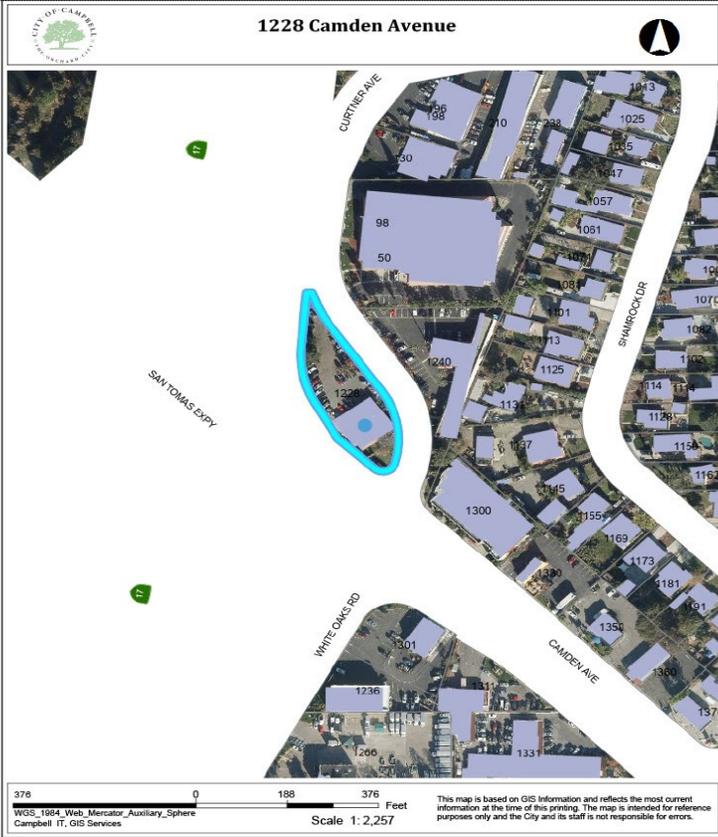


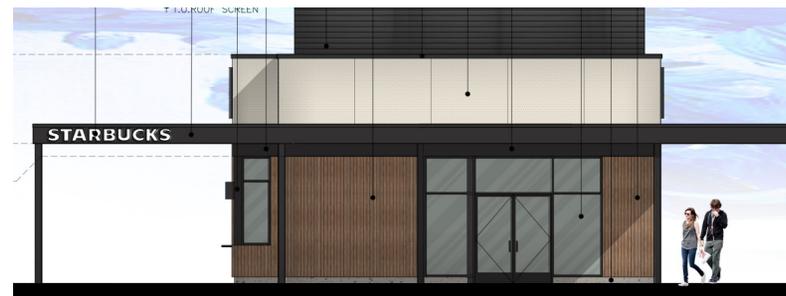


## Location of Proposed Project



City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423

## Project Image



# Courtesy Notice

Dear Campbell Resident,

February 19, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

**Project Address:** 1228 Camden Avenue

**Zoning | Area Plan:** P-D | N/A

**Neighborhood Association(s):** N/A

**Council District:** 1

**File No.:** PLN-2024-27

**APN:** 414-01-001

**Applicant:** GreenbergFarrow

**Property Owner:** JP DiNapoli Companies Inc

**Project Planner:** Daniel Fama, Senior Planner

**Email Contact:** daniel@campbellca.gov

**Phone Contact:** (408) 866-2193

**Project Description:**

Request for City Council authorization to proceed with a General Plan Amendment to restore the property's land use designation to *General Commercial* (under the *former 2001 General Plan*) from Neighborhood Commercial (under the current 2040 General) to allow reconstruction of the existing Starbucks café with a new drive-through Starbucks café.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español



## Sheet Index

SHEET 00	Coversheet
SHEET 01	Site Photography
SHEET 02	Preliminary Site Plan
SHEET 03	Preliminary Floor Plans
SHEET 04	Preliminary Exterior Elevations
SHEET 05	Exterior Elevations w/screening

# Coversheet

**Project Site Address:** 1228 Camden Avenue, Campbell, CA 95008

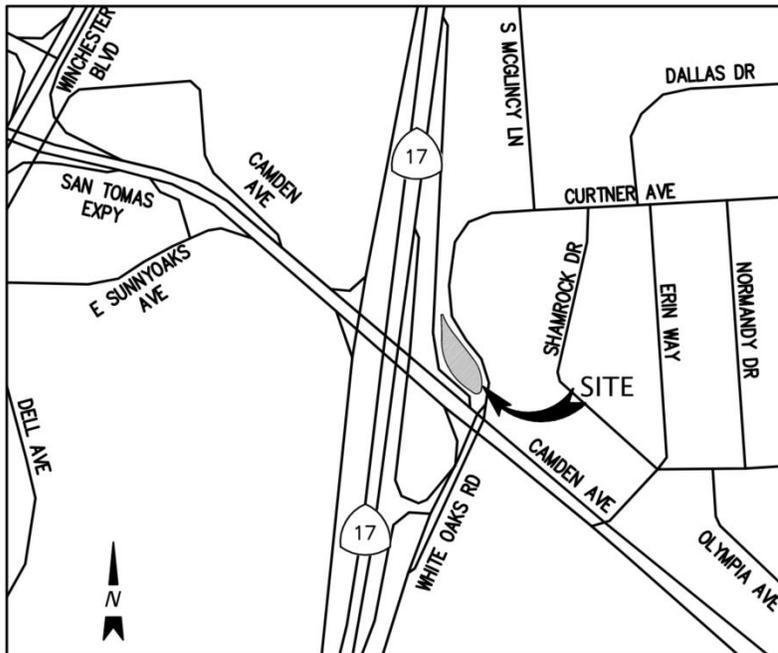
**APN:** 41401001

**Zoning District:** C1- Neighborhood Commercial

**Project Title:** Starbucks Curtner & Camden

**Scope of Work:** Propose General Plan Amendment, Zoning Map Amendment, and other requisite entitlements to allow full demo of an existing Starbucks and construction of a new Starbucks featuring drive-through facility.

## Vicinity Map:



## Proposed Project Data:

Net Lot Size	24,486 S.F. = 0.56 acres
FAR	1,816 S.F. / 24,486 S.F. = 0.074
Lot Coverage	2,793 S.F. / 24,486 S.F. = 0.114
Landscaping Coverage	8,500 S.F. / 24,486 S.F. = 0.347
Paving Coverage	13,862 S.F. / 24,486 S.F. = 0.566
Building S.F.	+/- 1,816 S.F. plus +/- 250 S.F. patio
Shop S.F.	+/- 1,816 S.F.

# Site Photography



Entry 1 from Curtner Ave



Entry 2 from Curtner Ave



View from intersection of Curtner Ave & Camden Ave



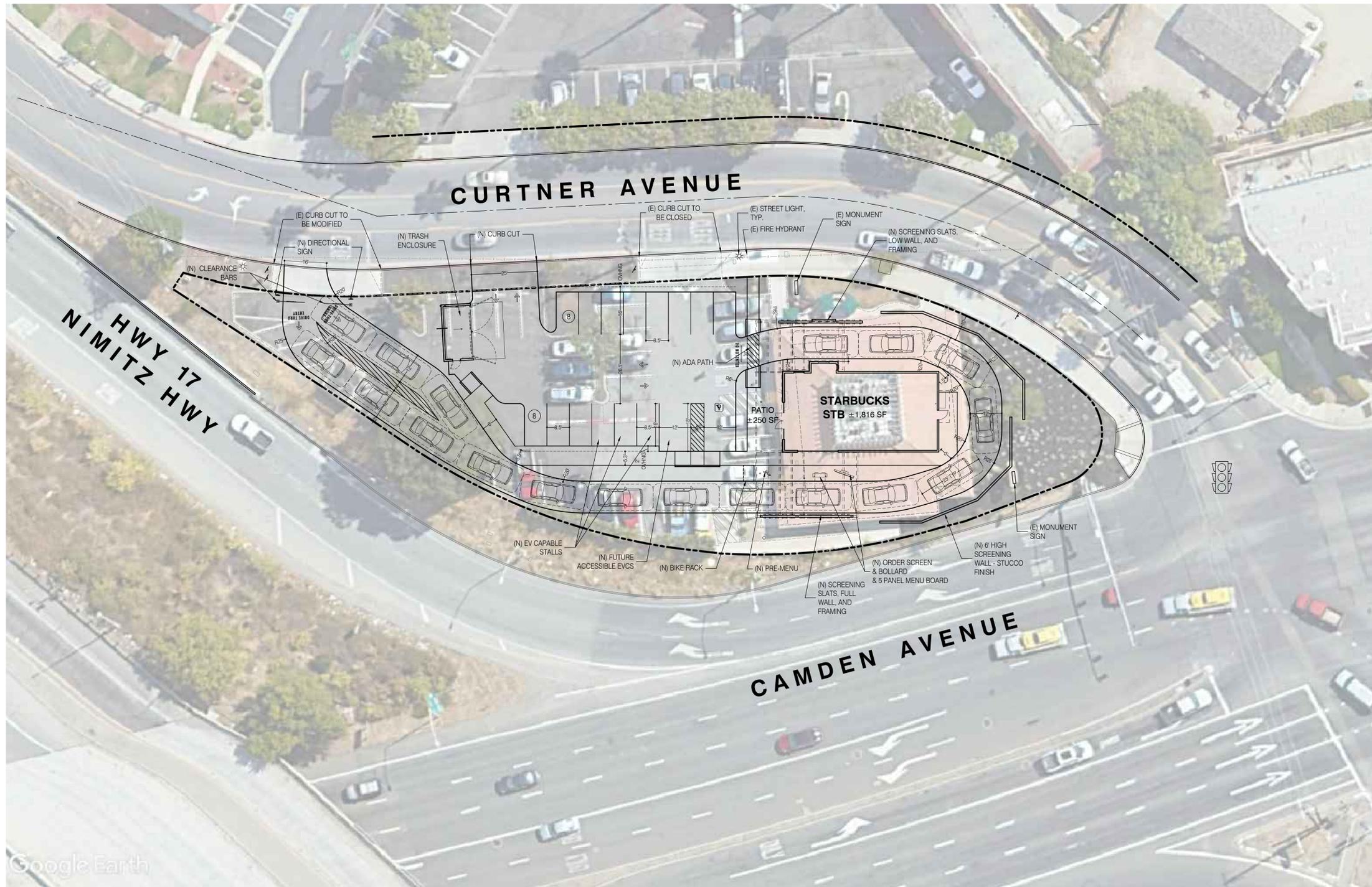
Building entrance 1, patio, ramps to sidewalk and accessible parking



Building entrance 2, northeast side elevation



Trash enclosure, view towards east



## PROJECT INFORMATION

### ZONING CLASSIFICATION

JURISDICTION	CITY OF CAMPBELL, CA
EXISTING ZONE	NEIGHBORHOOD COMMERCIAL
REQUIRED ZONE	GENERAL COMMERCIAL

### SITE AREA

STARBUCKS SITE AREA:	±24,486 S.F. ±0.56 AC
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### BUILDING INFORMATION

STARBUCKS BUILDING AREA	±1,816 SF
PATIO	±250 SF
F.A.R. (BUILDING AREA)	=1,816 S.F./24,486 S.F. = ±0.074
SITE COVERAGE (BUILDING AREA + COVERED CANOPY AREA)	=2,793 S.F./24,486 S.F. = ±0.114

### PARKING SUMMARY

USER	RATIO REQUIRED	SPACES REQUIRED	SPACES PROVIDED
STARBUCKS BUILDING & PATIO	*1 SP/3 SEATS + 1 SP/200 SF OF NON DINING	16	
STANDARD ACCESSIBLE		1 VAN + 1 FUTURE EVCS VAN	14
TOTAL			16

DT QUEUE PROVIDED: 18 VEHICLES

\*EATING ESTABLISHMENTS WITH DRIVE-THROUGH TO BE PARKED AT 1 SP/3 SEATS + 1 SP/200 SF OF NON-DINING FLOOR AREA.  
REQUIRED NUMBER SHOWN IS BASED ON MAXIMUM SEATING FOR BUILDING PLUS PATIO OF 30 SEATS AND A BACK OF HOUSE AREA OF ± 1,200 SF

### PROJECT NOTES

- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING SUBMITTAL PURPOSES ONLY.
- THIS SITE PLAN IS BASED ON A PDF OF AN ALTA SURVEY PREPARED BY KIER+WRIGHT DATED 10/21/2019, AND AN AERIAL.

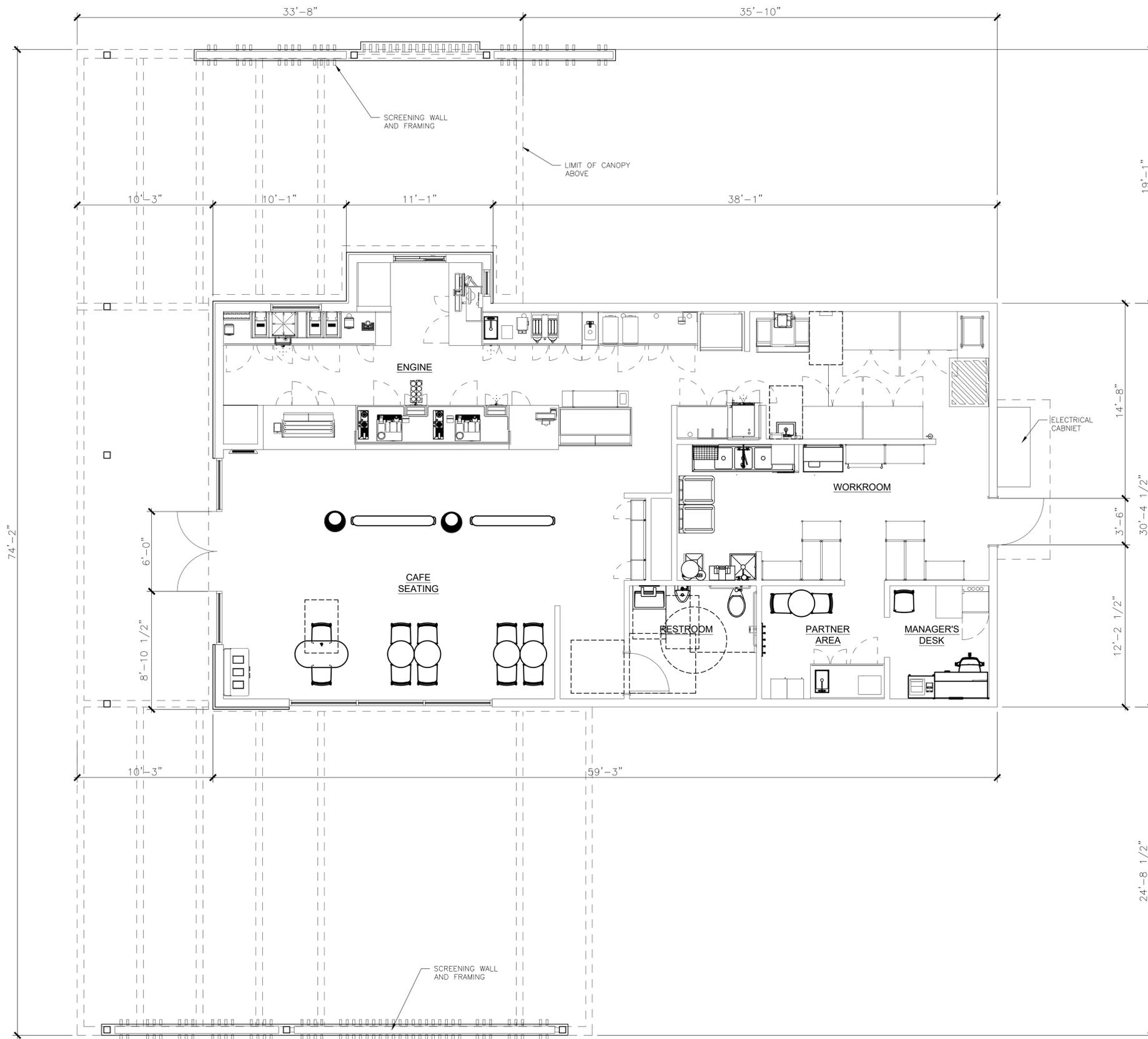
### DRAWING ISSUE/REVISION RECORD

DATE	NARRATIVE	INITIALS
01.12.2022	PREP SP-1	II
03.01.2022	PREP SP-2	II
08.16.2023	PREP SP-3	CD
09.25.2023	PREP SP-4	BP/CD
09.25.2023	PREP SP-5	BP/CD
10.11.2023	PREP SP-6	BP
11/08/2023	PREP SP-7	BP
11/09/2023	PREP SP-7a	BP
12/14/2023	PREP SP-8	BP
02.12.2024	PREP SP-9	BP

### GREENBERG FARROW CONTACTS

PLANNER/PROJECT MANAGER	B. POTRUS
SITE DEV. COORDINATOR	F.CODA





1 TEST FIT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**COPYRIGHT NOTICE**  
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**GF** 4695 MacArthur Court  
Suite 1450  
Newport Beach, CA 92660  
T:949 296 0450

**STARBUCKS** TEST FIT - FLOOR PLAN  
CAMDEN & CURTNER  
NWC CAMDEN AVE & CURTNER AVE, CAMPBELL, CA  
**A01**

20220105.0 02.12.2024



1 NORHT-WEST ELEVATION  
SCALE: 3/16" = 1'-0"



2 NORTH-EAST ELEVATION  
SCALE: 3/16" = 1'-0"



3 SOUTH-EAST ELEVATION  
SCALE: 3/16" = 1'-0"

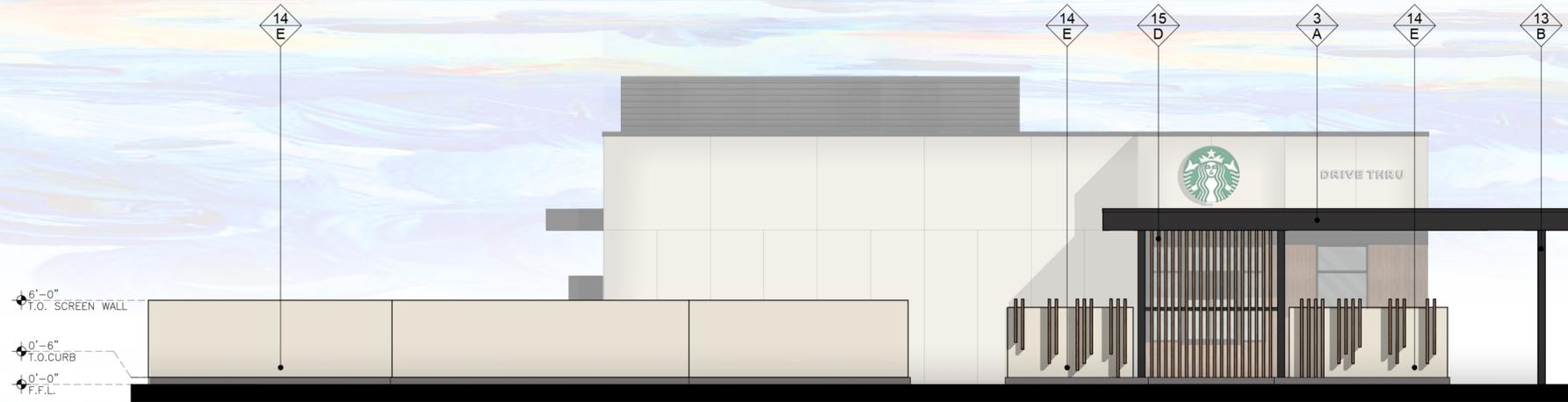


4 SOUTH-WEST ELEVATION  
SCALE: 3/16" = 1'-0"

**FINISH SCHEDULE**

FINISH MATERIAL	FINISH COLOR
1 ALUMINUM STOREFRONT DOORS / WINDOWS SYSTEM	A PRE-FINISHED - BLACK
2 HOLLOW METAL DOOR AND FRAME	B PREFINISHED TO MATCH STOREFRONT COLOR
3 COMPOSITE METAL PANELS	C ANODIZED BLACK
4 WOOD LOOK SIDING	D NICHHA VINTAGEWOOD SPURCE
5 COARSE STUCCO FINISH: WITH INTEGRAL COLOR & TEXTURE	E TO MATCH SW 6154 NACRE
6 SMOOTH STUCCO FINISH: WITH INTEGRAL COLOR & TEXTURE	F DOUBLE PANE CLEAR GLASS
7 METAL COPING/ BRAKE METAL	
8 CORRUGATED METAL ROOF SCREEN	
9 NOT USED	
10 STUCCO CONTROL JOINT	
11 SIGNAGE (UNDER SEPARATE PERMIT)	
12 ELECTRICAL CABINET	
13 STEEL POSTS	
14 SCREEN WALL	

Note:  
Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.



1 NORTH-EAST ELEVATION WITH SCREENING PANELS  
SCALE: 3/16" = 1'-0"



2 SOUTH-WEST ELEVATION WITH SCREENING PANELS  
SCALE: 3/16" = 1'-0"



3 SOUTH-EAST ELEVATION WITH SCREENING PANELS  
SCALE: 3/16" = 1'-0"

**FINISH SCHEDULE**

FINISH MATERIAL	FINISH COLOR
1 ALUMINUM STOREFRONT DOORS / WINDOWS SYSTEM	A PRE-FINISHED - BLACK
2 HOLLOW METAL DOOR AND FRAME	B PREFINISHED TO MATCH STOREFRONT COLOR
3 COMPOSITE METAL PANELS	C ANODIZED BLACK
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5 COARSE STUCCO FINISH: WITH INTEGRAL COLOR & TEXTURE	E TO MATCH SW 6154 NACRE
6 SMOOTH STUCCO FINISH: WITH INTEGRAL COLOR & TEXTURE	F DOUBLE PANE CLEAR GLASS
7 METAL COPING/ BRAKE METAL	
8 CORRUGATED METAL ROOF SCREEN	
9 NOT USED	
10 STUCCO CONTROL JOINT	
11 SIGNAGE (UNDER SEPARATE PERMIT)	
12 ELECTRICAL CABINET	
13 STEEL POSTS	
14 SCREEN WALL - SMOOTH STUCCO FINISH	
15 WOOD LOOK VERTICAL SLATS	

Note:  
Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.