



City of Campbell  
 70 North First Street  
 Campbell, CA 95008-1423

## Project Image



# Courtesy Notice

Dear Campbell Resident,

February 27, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

**Project Address:** 734 Pecan Way

**Zoning | Area Plan:** R-1-6 | STANP

**Neighborhood Association(s):** N/A

**Council District:** 5

**File No.:** PLN-2024-22

**APN:** 406-02-030

**Applicant:** TN. Design

**Property Owner:** Valley US Homes, LLC

**Application Type:** Administrative Site and Architectural Review and Tree Removal Permit

**Project Planner:** Tracy Tam, Associate Planner

**Email Contact:** [tracyt@campbellca.gov](mailto:tracyt@campbellca.gov)

**Phone Contact:** (408) 871-5103

**Project Description:**

To allow the demolition of an existing single-family residence, the removal of one (1) protected oak tree measuring approximately 20 inches in diameter, and the construction of a new approximately 4,799 square foot two-story single-family residence.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español



# Valley US Homes LLC

## (N) Residence

### 734 Pecan Way

### Campbell, California

**OWNER**  
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 Campbell, CA. 95028  
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 email: valleyushomes@gmail.com

**DESIGNER**  
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 fax 415.775.5342  
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**SURVEYOR**  
 Sterling Consultants  
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 Fremont, CA. 94538  
 phone: 510.344.8955  
 email: 1sterlingconsultants@gmail.com



**PROPOSED PERSPECTIVE**

**General Notes:**

- All construction shall comply in addition to 2022 California Residence Code, California Energy Code, 2022 CBC, 2022 CEC, 2022 CMC, 2022 CPC, 2022 California Green Code, and all local codes and ordinances
- Fireblock at ceiling, floors, furred down ceilings, showers, soffits and concealed draft openings not to exceed 10 feet maximum.
- The base for wall tile in tub and shower areas, wall and ceiling panels in shower areas shall be cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C 1178, C1288, C1325
- Smoke detectors in new construction shall be powered by building wiring current with battery backup.
- Provide a fire warning system (Smoke Detectors) for each story and within each existing bedroom
- Light fixtures in tub or shower enclosures or other wet/damp loctions shall be labeled "suitable for damp locations".
- Provide Class A fire-rated roofing.
- All dimensions shall be field verified and coordinated with all work of all trades
- Ceiling heights are to finished surfaces.
- Offset studs where required so that finish wall surfaces will be flush.
- All dimensions are to column gird lines, face of studs, face of concrete, and face of cmu.
- Contractor shall verify size and locations of all mechanical equipment as well as power, water and drain installation with equipment manufacturers before proceeding with the work.
- Coordinate utilities shown on arch. dwgs. with mech, plumbing and elec.dwgs. Provide service to all utilities outtests shown on arch. drawings.
- All dimensions shall be field verified and coordinate with all the of the trades.
- Finish materials for all baths, showers, walls at shower enclosures should have a smooth, hard nonabsorbent surface such as tiles/ceramic tiles, portland cement...
- Structural observation shall be required by the Engineer for structural conformance to the approved plans.
- Special inspections are required for: drilled piers, concrete over 2500 psi.
- All construction to provide a waterproof, weather tight building.  
Contractor shall flash and caulk as necessary to achieve this requirement.
- Deferred submittal: **Solar PV system.**

**- FIRE SPRINKLER SYS. 13D REQUIRED**  
 THE SYSTEM DESIGN MUST BE SUBMITTED TO AND APPROVED BY THE FIRE PROTECTION OFFICE PRIOR TO START THE JOB

**SCOPES OF WORK:**

- (N) 2 story residential:**
- \* 4799 sqft w/ 474 sqft attached garage**
- \* 93 sqft covered porch**

Project Data :Address: 734 Pecan Way  
 APN: 406-02-030

Building Code: 2022 CRC, CEC (Energy), CBC, CEC, CMC, CPC, CGC (Green), Fire Code  
 Planning Code : City of Campbell  
 Zoning: R-1-6  
 Lot Size: 12750.0 sq.ft.  
 Type of Construction: Type VB  
 Occupancy Group: R-3/U  
 Heights: 02 Story  
 Maximum Height: Proposed: 28'-9"

**FLOOR AREA**

Floor Area	Existing (demo)	Addition	Proposed	Allowed
<b>FIRST FLOOR</b>	<b>1970sqft.</b>	<b>1575.0 sqft</b>	<b>2561.0 sqft</b>	
<i>GARAGE</i>	<i>n/a</i>	<i>474 sqft</i>	<i>474 sqft</i>	
<b>SECOND FLOOR</b>	<b>n/a</b>	<b>1764.0 sqft</b>	<b>1764 sqft.</b>	
<b>TOTAL</b>	<b>1970 sqft.</b>	<b>3813.0 sqft.</b>	<b>4799 sqft.</b>	<b>5100.0 sqft.</b>
<b>F.A.R (%)</b>	<b>15.45%</b>	<b>29.91%</b>	<b>37.64%</b>	<b>40.0%</b>
<b>LOT COVERAGE</b>	<b>1970 sqft.</b>	<b>2049.0 sqft.</b>	<b>3035.0 sqft.</b>	
<b>LOT COVERAGE RATIO (%)</b>	<b>15.45%</b>	<b>16.07%</b>	<b>23.80%</b>	

**SETBACKS**

	EXISTING	PROPOSED	REQUIRED
Front	49'-9"	<b>26'-0" / 34'-6" *</b>	20'-0"
Left side	9'-0"	<b>7'-0" / 11'-8" *</b>	5'-0" or ½ of wall height
Right side	7'-97"	<b>8'-0" / 13'-10" *</b>	5'-0" or ½ of wall height
Rear	3'-2"	90'-4"	5'-0" or ½ of wall height

\* @ 1ST FLOOR / @ 2ND FLOOR

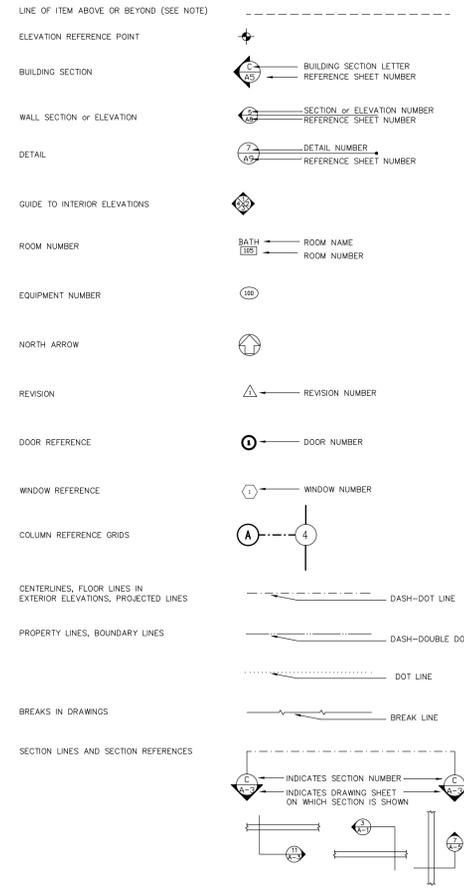
**PROJECT LOCATION**



**ABBREVIATIONS**

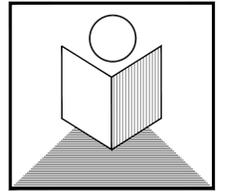
ACST	ACOUSTICAL	LAM.	LAMINATED
ADJ.	ADJUSTABLE	LAV.	LAVATORY
A.F.F.	ABOVE FINISH FLOOR	LVR.	LOUVER
ACST	ARCHITECTURAL	L.P.	LOW POINT
ARCH.	ASPHALT	M.C.	MEDICINE CABINET
BI-FD. DR.	BI FOLDING DOOR	MECH.	MECHANICAL
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MIR.	MIRROR
BLKG.	BLOCKING	M.T.	MARBLE TILE
BM.	BEAM	M.	METAL
B.O.	BOTTOM OF	(N)	NEW
C. or CARP.	CARPET/PAD	N.I.C.	NOT IN CONTRACT
CAB. or CAB'T.	CABINET	N.T.S.	NOT TO SCALE
CB	CATCH BASIN	O/	OVER
CEM.	CEMENT	OBSC.	OBSCURE
CER.	CERAMIC	ON C.	ON CENTER
C.I.	CAST IRON	OP'G.	OPENING
C.J.	CONSTRUCTION JOINT	PERF.	PERFORATED
CL.	CLOSET	PL.	PLATE
CLG.	CEILING	P.LAM.	PLASTIC LAMINATE
CLR.	CLEAR	P.L.	PROPERTY LINE
C.O.	CLEAN OUT	PLAS.	PLASTER
COL.	COLUMN	PWD.	PLYWOOD
CONC.	CONCRETE	P.	POINT
CONT.	CONTINUOUS	QTY.	QUANTITY
C.T.	CERAMIC TILE	R.	RISER
CL.	CENTER LINE	RAD.	RADIUS
DET. or DTL.	DETAIL	RET. AIR	RETURN AIR
D.H.	DOUBLE HUNG	R.D.	ROUND ROOF DRAIN
DIAG.	DIAGONAL	REF.	REFRIGERATOR
DIM.	DIMENSION	REG.	REGISTER
DISP.	DISPOSAL	REINF.	REINFORCED
DR.	DOOR	REQ'D.	REQUIRED
DWGS.	DRAWINGS	RM.	ROOM
(E) or EXIST.	EXISTING	R.O.	ROUGH OPENING
E.G.	EXISTING GRADE	R.W.	RAIN WATER LEADER
EXP.JT.	EXPANSION JOINT	SECT.	SECTION
EL.	ELEVATION	SC.DR.	SOLID CORE DOOR
EQ.	EQUAL	SK	SINK
EXP.	EXPOSED	SH.	SHELF
EXT.	EXTERIOR	SHV.	SHELVING
F.D.	FLOOR DRAIN	SHT.	SHEET
FIN.	FINISH	S.V.	SHEET VINYL
F.F.L.	FINISH FLOOR LINE	S.H.	SINGLE HUNG
F.O.C.	FACE OF CONCRETE	SHWR.	SHOWER
F.O.P.	FACE OF PLYWOOD	SM.	SIMILAR
F.O.S.	FACE OF STUD	S.M.	SHEET METAL
F.O.W.	FACE OF WALL	SL.	SLIDING
FR. DR.	FRENCH DOOR	SL.GL.DR.	SLIDING GLASS DOOR
FIG.	FOOTING	SQ.	SQUARE
FX.	FIXED	ST/ST	STAINLESS STEEL
GA.	GAUGE	STD.	STANDARD
GALV.	GALVANIZED	STL.	STEEL
G.B. or GYP. BD.	GYPSON BOARD	STG.	STORAGE
GL.	GALVANIZED IRON	STR. or STRUC.	STRUCTURAL
GL.	GLASS	S.A.D.	SEE ARCHITECTURAL DWGS
GLU. LAM.	GLUE LAMINATED	S.K.D.	SEE KITCHEN DWGS
G.S.M.	GALVANIZED SHEET METAL	S.S.D.	SEE STRUCTURAL DWGS
H.C. DR.	HOLLOW CORE DOOR	T.	TREAD
HDWD.	HARDWOOD	T.B.	TOWEL BAR
HDW.	HARDWARE	TEMP. GL.	TEMPERED GLASS
HOT. or HT.	HOT WATER	T.O.	TOP OF
H.M.	HOLLOW METAL	THK.	THICKNESS
HR.	HORIZONTAL	TPD.	TOILET PAPER DISPENSER
H.P.	HIGH POINT	TYP.	TYPICAL
H.W.H.	HOT WATER HEATER	U.N.D.	UNLESS NOTED OTHERWISE
I.G.	INSULATED GLASS	V.	VENT
INS.	INSULATION	VERT.	VERTICAL
INT.	INTERIOR	V.I.F.	VERIFY IN FIELD
JST.	JOIST	W/	WITH
J.	JUNCTION BOX	WC	WATER CLOSET
		WD.	WOOD
		WDW.	WINDOW
		WP	WEATHERPROOF
		YD.	YARD

**SYMBOLS**



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- A4A Proposed Streetscape Elevation
- A4 Proposed Building Elevations
- A5 Proposed Building Elevations
- A6 Proposed Building Sections
- L1.1 Proposed Landscape/ Privacy Plan



**T.N. DESIGN**

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 SAN FRANCISCO, CA. 94109

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Valley US  
 Homes LLC  
 (N) Residence

734 Pecan Way  
 Campbell, CA. 95028  
 APN: 406-02-030

**Title Sheet**

DESIGN REVIEW SET

no.	revisions	date
1	DESIGN REVIEW	02/05/2024

date issued: 02/05/2024

drawn by: NGHI THANH LE

job#: 3040-2024

drawing number

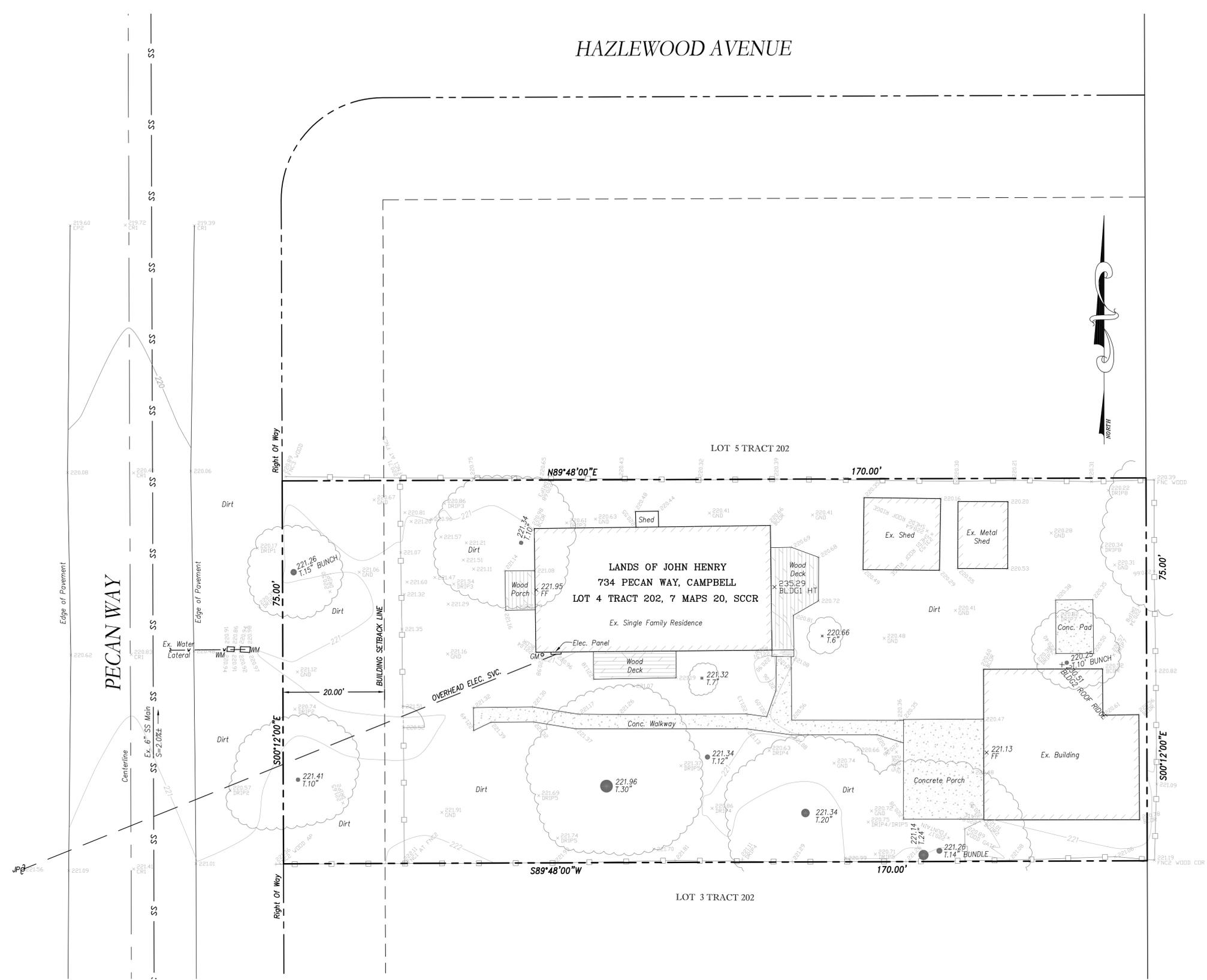
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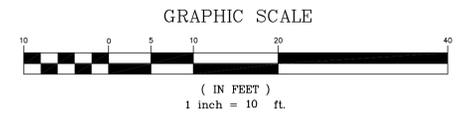
HAZLEWOOD AVENUE

LEGEND

SYMBOL	DESCRIPTIONS	ABBREVIATIONS
---	BOUNDARY / RIGHT-OF-WAY LINE	AC AIR CONDITIONER UNIT
----	EASEMENT LINE	AD AREA DRAIN
----	CENTERLINE (C)	AP ASPHALT PAVEMENT
----	RETAINING WALL	BFP BACKFLOW PREVENTOR
---	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT	BSI BUILDING SETBACK LINE
---	DRAIN INLET	BSW BACK OF WALK
2%	PERCENT GRADE	BW BOTTOM OF WALL (EXPOSED FACE)
x 607.0	EXISTING GRADE ELEVATION	CONC. CONCRETE
-185	EXISTING CONTOUR w/ ELEVATION	DBH DIAMETER AT BREST HEIGHT
●	EXISTING TREE w/ DBH	DI DRAINAGE INLET
		DM DEADMAN ANCHOR
		EP EDGE OF PAVEMENT
		EX EXISTING
		FF FINISHED FLOOR ELEVATION
		FG FINISHED GARAGE ELEVATION
		FH FIRE HYDRANT
		FL FLOW LINE ELEVATION
		FW FACE OF WALL
		GM GAS METER
		JP JOINT POLE
		MB MAILBOX
		O/H OVERHEAD
		PB PULLBOX
		PL PROPERTY LINE
		PSE PUBLIC SERVICE EASMENT
		PUE PUBLIC UTILITY EASEMENT
		R= RADIUS OF CURVE
		Δ= INCLUDED ANGLE OF CURVE
		L= LENGTH OF CURVE
		SSCO SANITARY SEWER CLEAN-OUT
		SSMH SANITARY SEWER MANHOLE
		VG VALLEY GUTTER
		SL STREET LIGHT
		WCE WIRE CLEARANCE EASEMENT
		WM WATER METER
		WV WATER VALVE
		WW WALKWAY



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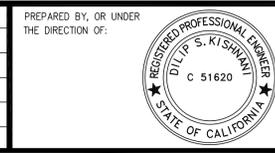


GROSS LOT AREA = 12,750 SQ.FT (0.2927 ACRES)

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.



DATE: AUGUST 16, 2022					
SCALE: AS NOTED					
DRAWN: BD					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	

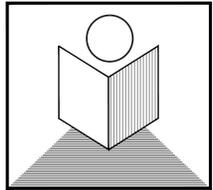


PREPARED BY: STERLING CONSULTANTS  
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PREPARED FOR: SUNITA NAG  
 734 PECAN WAY  
 CAMPBELL, CA 95028

APN: 406-02-030  
 CITY OF CAMPBELL, COUNTY OF SANTA CLARA, CALIFORNIA  
**BOUNDARY & TOPOGRAPHIC SURVEY**

734 PECAN WAY  
 SHEET NO. **C1**  
 JOB NO. 2022-155



**T.N. DESIGN**

875 O'FARRELL STREET, #104A  
SAN FRANCISCO, CA. 94109

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E-mail: lenghiarch@hotmail.com

Valley US  
Homes LLC  
(N) Residence

734 Pecan Way  
Campbell, CA. 95028  
APN: 406-02-030

### Material Board

no.	revisions	date
1	DESIGN REVIEW	02/05/2024

2		
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date issued: 02/05/2024

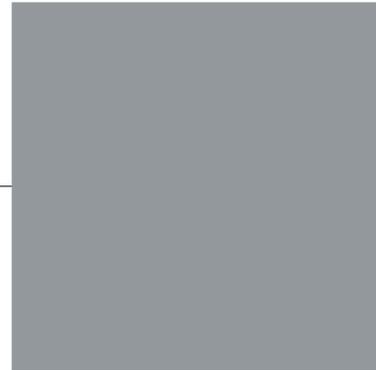
drawn by: NGHI THANH LE

job#: 3040-2024

drawing number

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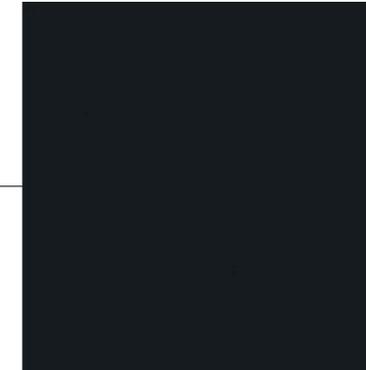
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**FASCIA:**  
- Turkey Grey  
- Benjamin Moore/ eq.



**LIGHT WEIGHT CONC. ROOF:**  
- West Lake  
- Espana 600/ eq.



**WINDOW FRAME**  
- Black Bean  
- Milgard/ Eq.



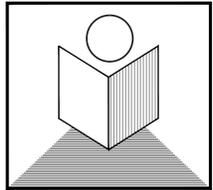
**DOOR STAIN**  
- Cordovan Brown - Semi Solid  
- Cabot Stain/ eq.



**STONE BASE**  
- Gray Faux Stone Veneer  
- Airstone Spring Creek/ eq.



**EXTERIOR PLASTER/STUCCO**  
- Dove Grey  
- Merlex Stucco/ Eq.



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Valley US  
Homes LLC  
(N) Residence

734 Pecan Way  
Campbell, CA. 95028  
APN: 406-02-030

Arborist Report

no.	revisions	date
1	DESIGN REVIEW	02/05/2024
2		

date issued: 02/05/2024

drawn by: NGHI THANH LE

job#: 3040-2024

drawing number

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of sheets

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**734 PECAN WAY**

Arborist Report



January 24, 2024  
San Jose Tree Service INC  
Robert Apollinar

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**San Jose Tree Service**  
ARBORIST

Arborist Report/Tree Inventory

Prepared by:  
Arborist: Robert Apollinar  
#WE-8846A  
P.O. Box 8552 San Jose, Ca 95155  
(408) 422-1313  
Email: robert@sanjosetreemaintenance.com  
SanJoseTreeMaintenance.com

Prepared for:  
Sunita nag  
734 Pecan Way  
Campbell, Ca 95008

January 24, 2024

3

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**Objective**

San Jose Tree Service INC has been contracted to perform an evaluation and assessment of all the trees on site. Construction is planned to occur on site, and the city requires an Arborist inventory and evaluation of all the protected trees on site. All Trees have been labeled numerically as well as GPS mapped. An assessment of each tree was performed to determine the species, DBH, health, and condition. All trees will be documented individually in the following report.

Certified Arborist Robert Apollinar visited the property in December 2023 and performed a visual inspection of all the trees. The following report will provide an assessment of the trees on site.

**Campbells Protected trees.**

The City of Campbell considers the following trees to be protected:

- All Properties:** (1) Any tree shown on an approved landscaping plan or required to be planted or retained as a condition of approval of a development application, a building permit, or a tree removal permit; (2) Any tree designated as a "Heritage Tree" by the Historic Preservation Board.
- Single-Family Residential Properties:** Any Oak, Redwood, Cedar, or Ash tree measuring 12-inches in diameter or greater (as measured 4-feet above grade).
- All Other Properties:** Any tree measuring 12-inches in diameter or greater (as measured 4-feet above grade). Exceptions: Regardless of size, Fruit trees and Eucalyptus trees, are not considered "protected" and do not require a Tree Removal Permit.

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**Site observations**

The site is located in a residential area with a single-story home. The lot is flat and is mostly populated by vegetation. The trees on site are mature. Many trees will be impacted by the proposed construction and some will require complete removal.

**Trees on site:**

- Total number of trees inventoried: 12
- trees proposed for removal: 9
- Protected trees proposed for removal: 1

**Plans Reviewed:**

- TN, Design "Site Plan"

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**Methodology:**

A Certified Arborist walked the site and performed a visual assessment of each tree. No climbing, digging, or other devices were used to gather more defined information. All information was logged into an online data base during the assessment.

**Chart definitions:**

**Tree #:**

- An aluminum tag was placed on each tree with a number to identify each tree.

**Species:**

- Trees were identified by genus and species, and common name.

**DBH:**

- The diameter at breast height or 48 inches above grade. Diameter used is the average between the smallest diameter above the multi trunks and the largest below the multi trunks.

**Condition:**

- The condition of the tree rated between 1 – 5.
- Categorized by: 1. Dead 2. Poor 3. Fair 4. Good 5. Excellent

**Priority:**

- This numerical range from 1 the lowest and 5 the highest provides guidance on the urgency of care or action needed. 1 would be 1-5 years from the time of the assessment and 5 indicates immediate attention needed.

**Risk:**

- After a basic visual assessment of the trees parts a rating was placed on the tree to indicate its potential to fail based on structural defects, disease, decay, or other factors. A risk assessment formula was not utilized to gather these ratings. Trees were rated by Low, Moderate, High, and Extreme.

**Notes:**

- This is an area to describe any recommendations based on the assessment or key items to pay attention to which should be performed at this time or a time in the future

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**Preservation Plan & Tree protection fencing requirements:**

The protection recommendations provided will help reduce the impact of the construction on the tree roots and overall health. The following are recommended:

**Trees Requiring tree protection:**

The tree that will require protection during the construction project is tree #5. The roots have the potential to be heavily impacted by the construction of the foundation for the new building. Large supporting roots will need to be preserved to maintain the structural integrity of the tree. Excavation within the drip line of the tree will need to be performed by hand digging to prevent the severing of any major structural roots. The following details will need to be implemented.

- Tree protection fencing:**  
The protective fencing requirements are the following:  
- Six-foot high chain link fencing mounted on eight-foot tall, 2-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart.  
- Posted with signs saying "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST"  
- The City requires that tree protection fencing be installed before any equipment comes on site and inspected by the City Arborist before issuance of permits.  
- Tree protection fencing is required to remain in place throughout construction.

**TREE PROTECTION ZONE:** The tree protection zone is the distance from the trunk to a point that is five feet beyond the canopy of a tree protected by City Code. Tree protection fencing shall be located as close to this location as possible while allowing room for construction to occur.



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- Root Pruning:**  
When performing any digging or trenching within the drip lines of each tree, extreme caution must be taken not to damage the tree roots or parts. The following can be done to ensure the reservation of the trees:  
- All excavation performed within the drip line of each tree must be performed under the supervision of the site arborist and only by hand digging.  
- NO heavy equipment should enter the drip lines of trees to prevent compaction or root damage.  
- Roots over 2" in diameter should not be pruned without the supervision of the site arborist.  
- Roots should be cut clean and not torn to provide maximum potential for healing.  
- Roots should be covered with burlap or soil after pruning to protect from heat and sunlight.

**Tree Health Management During Construction**

The trees on site would benefit from the following implementations to maintain and improve health during construction.

- **Watering:** Water trees heavily but infrequently during construction. The trees on site are mature and could only be watered 1-2 times per month during summer months. Specific quantities can be discussed further.
- **Mulching:** Adding mulch within the drip line of canopies will help soil retain moisture and also prevent compaction from foot traffic. Use natural mulch at a depth of 3-4 inches. Keep mulch a minimum of 12" away from trunk and root crowns.
- **Pruning:** Pruning trees will help prevent risk should a branch fall. It will also maintain structural integrity and balance. Prune in winter if possible.
- **Fertilization:** Fertilizing trees in fall and spring along with watering will help improve health and vigor. Specific quantities and types can be discussed with onsite arborist.

**Pruning And Removal**

**Pruning:**

Trees recommended for pruning should be pruned in compliance with ANSI A-300 Standards, in accordance with the Cities specifications, and by a company with a Certified Arborist on staff. Pruning has the potential to reduce risk, improve structural integrity, improve the trees balance, and provide clearance for construction activity.

**Removal:**

Trees recommended for removal are based on the trees condition, structural issues, and location in accordance with construction plans or activity. Following the city permitting procedure will be required to gain approval to remove the recommended trees.

6

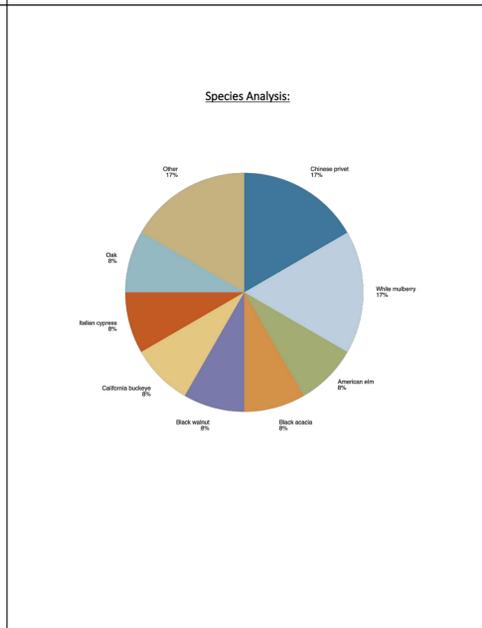
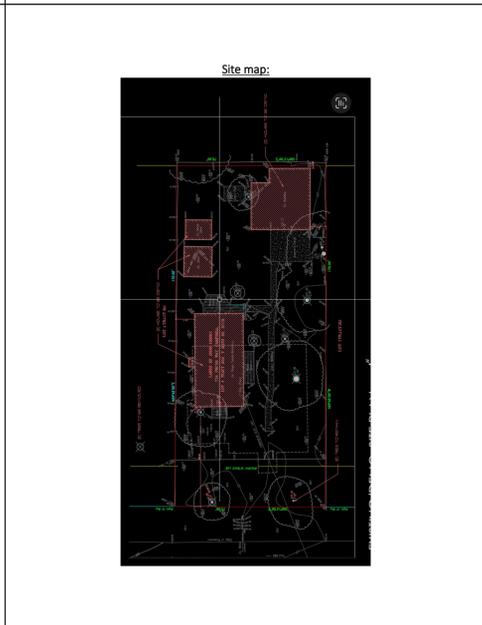
**Summary**

The proposed construction will heavily impact some trees and they are proposed for removal. The remaining trees have a good chance of surviving the construction if they are protected and managed according to the preservation plan.

**Certified Arborist #WE-8846A**  
**Robert Apollinar**

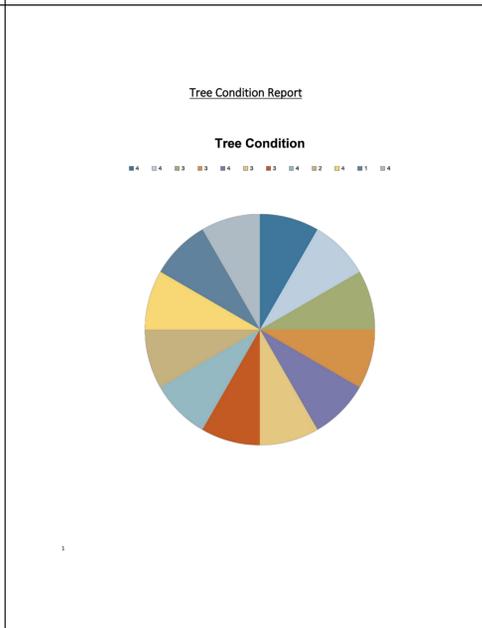
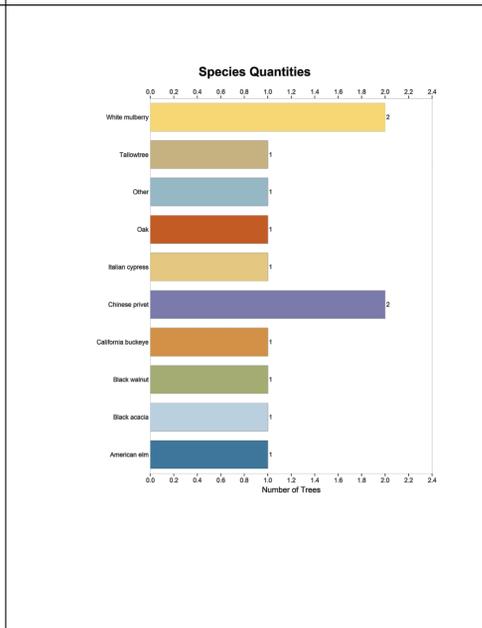
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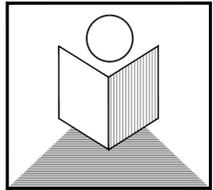
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Species	# of Trees
American elm	1
Black acacia	1
Black walnut	1
California buckeye	1
Chinese privet	2
Italian cypress	1
Oak	1
Other	1
Tallowtree	1
White mulberry	2





T.N. DESIGN

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Homes LLC  
(N) Residence

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Campbell, CA. 95028  
APN: 406-02-030

Arborist Report

no. revisions date  
DESIGN REVIEW 02/05/2024

1  
2

date issued: 02/05/2024

drawn by: NGHI THANH LE

job#: 3040-2024

drawing number

**A0.1B**

of sheets

Tree Inventory

Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
1	White mulberry <i>Morus alba</i>	15.0	<input checked="" type="checkbox"/>	15.0	4	1			



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
2	White mulberry <i>Morus alba</i>	10.0	<input type="checkbox"/>	15.0	4	1	Low		



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
3	Black acacia <i>Acacia melanoxylon</i>	10.0	<input checked="" type="checkbox"/>	30.0	3	2	Moderate		

Notes: Tree is not a protected species. Tree has developed a poor structure with the two major stems. It has developed included bark. The tree is also within the construction area and will need to be removed to provide access for construction.



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
4	American elm <i>Ulmus americana</i>	300.0	<input checked="" type="checkbox"/>	25.0	3	2	Moderate		

Notes: This is a large elm tree and it is not a protected species in campbell. The tree was topped in the past and in many areas where the cuts were made decay has developed. This will weaken the structural integrity of the tree. The tree is in the area where the construction will occur and the tree cannot be preserved. The tree will require removal to make room for construction.



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
5	Italian cypress <i>Cupressus sempervirens</i>	12.0	<input checked="" type="checkbox"/>	30.0	4	1	Low		

Notes: The tree is in good health. The tree is not a protected species. The tree is located in the construction area and will require removal.

Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
6	Oak <i>Quercus species</i>	20.0	<input checked="" type="checkbox"/>	20.0	3	2	Low		

Notes: *Quercus tomentella*. Tree is in good health. The tree has a codominant stem which is growing at sharp angles. The stems have developed included bark and this is an early sign of a structural weakness. The tree is in the construction area and will need to be removed to allow room for the construction to occur.



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
7	California buckeye <i>Aesculus californica</i>	24.0	<input type="checkbox"/>	30.0	3	1	Low		

Notes: This buckeye is located in the back right corner. The tree is in need of pruning to improve structural integrity. There are no signs of pests or diseases. The tree will be preserved during construction.



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
8	Chinese privet <i>Ligustrum lucidum</i>	14.0	<input type="checkbox"/>		4	1	Low		

Notes: This privet tree is located near the fence and below the canopy of the buckeyes. The tree has several stems which make up the canopy. Each stem is approx 3 inch in diameter. This tree is not planned to be removed. The tree however should be removed due to its invasive qualities.



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
9	Other Other	7.0	<input checked="" type="checkbox"/>	5.0	2	2	Low		

Notes: This is a large climbing rose that was pruned into a small tree. The plant has fallen over and falling at the roots. This plant should be removed. This plant is not a protected species.



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
10	Tallowtree <i>Triplaris sebifera</i>	6.0	<input checked="" type="checkbox"/>	10.0	4	1	Low		

Notes: This small tree is in good health. It is in the construction area and will need to be removed to provide access. This is not a protected tree.



Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
11	Chinese privet <i>Ligustrum lucidum</i>	10.0	<input checked="" type="checkbox"/>	15.0	1	4	Low		

Notes: This privet tree has fallen over and cannot be revived. The tree should be removed.

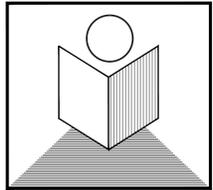


Tree	Species	DBH	Remove	Ht	Cond/% Die	Priority	Risk	Utils	Recommendations
12	Black walnut <i>Juglans nigra</i>	4.0	<input checked="" type="checkbox"/>	10.0	4	1	Low		

Notes: This small walnut is growing near the fence and too close to the building. It is also in the construction area. It should be removed.







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Calgreen  
Checklist

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD SHL 620C (New 01/23)						
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Prerequisites and Electives <sup>1</sup>		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
Innovative Concepts and Local Environmental Conditions						
A4.306.1 Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</b>						
<b>Foundation Systems</b>						
A4.403.1 A Frost-Protected Shallow Foundation (FPSF) is designed and constructed.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.403.2 Cement use in foundation mix design is reduced. Tier 1. Not less than a 20 percent reduction in cement use. Tier 2. Not less than a 25 percent reduction in cement use.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Efficient Framing Techniques</b>						
A4.404.1 Beams and headers and trimmers are the minimum size to adequately support the load.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.2 Building dimensions and layouts are designed to minimize waste.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.3 Use premanufactured building systems to eliminate solid sawn lumber whenever possible.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.4 Material lists are included in the plans which specify material quantity and provide direction for on-site cuts.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Material Sources</b>						
A4.405.1 One or more of the following building materials, that do not require additional resources for finishing are used: 1. Exterior trim not requiring paint or stain. 2. Windows not requiring paint or stain. 3. Siding or exterior wall coverings which do not require paint or stain.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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		Tier 1	Tier 2			
A4.405.2 Floors that do not require additional coverings are used including but not limited to stained, natural or stamped concrete floors.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.405.3 Postconsumer or preconsumer recycled content value (RCV) materials are used on the project. Tier 1. Not less than a 10% RCV. Tier 2. Not less than a 15% RCV.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.405.4 Renewable source building products are used.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Enhanced Durability and Reduced Maintenance</b>						
4.406.1 Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Water Resistance and Moisture Management</b>						
A4.407.1 Install foundation and landscape drains.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.2 Install gutter and downspout systems to route water at least 5 feet away from the foundation or connect to landscape drains which discharge to a dry well, sump, bioswale, rainwater capture system or other approved on-site location.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.3 Provide flashing details on the building plans and comply with accepted industry standards or manufacturer's instructions.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.4 Protect building materials delivered to the construction site from rain and other sources of moisture.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.5 In Climate Zone 16, an ice/water barrier is installed at roof valleys, eaves and wall to roof intersections.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.6 Exterior doors to the dwelling are protected to prevent water intrusion.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.7 A permanent overhang or awning at least 2 feet in depth is provided at all exterior walls.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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		Tier 1	Tier 2			
<b>Construction Waste Reduction, Disposal and Recycling</b>						
4.408.1 Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.408.1 Construction waste generated at the site is diverted to recycle or salvage in compliance with one of the following: Tier 1. At least a 65% reduction with a third-party verification. Tier 2. At least a 75% reduction with a third-party verification. Exception: Equivalent waste reduction methods are developed by working with local agencies.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Building Maintenance and Operation</b>						
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.410.2 Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82(a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Innovative Concepts and Local Environmental Conditions</b>						
A4.411.1 Items in this section are necessary to address innovative concepts or local environmental conditions.						

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		Tier 1	Tier 2			
Item 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>ENVIRONMENTAL QUALITY</b>						
<b>Fireplaces</b>						
4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Pollutant Control</b>						
4.504.1 Duct openings and other related air distribution component openings shall be covered during construction.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.3 Aerosol paints and coatings shall be compliant with product-weighted MIR Limits for VOC and other toxic compounds.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.3 Carpet and carpet systems shall be compliant with VOC limits.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.4 80% of floor area receiving resilient flooring shall comply with specified VOC criteria.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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A4.504.1 Use composite wood products made with either California Air Resources Board approved no-added formaldehyde (NAF) resins or ultra-low emitting formaldehyde (ULEF) resins.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.504.2 Install VOC compliant resilient flooring systems. Tier 1. At least 90% of the resilient flooring installed shall comply. Tier 2. 100% of the resilient flooring installed shall comply.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.504.3 Thermal insulation installed in the building shall meet the following requirements: Tier 1. Install thermal insulation in compliance with VOC limits. Tier 2. Install insulation which contains no-added formaldehyde (NAF) and is in compliance with Tier 1.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Interior Moisture Control</b>						
4.505.2 Vapor retarder and capillary break is installed at slab-on-grade foundations.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Indoor Air Quality and Exhaust</b>						
4.506.1 Each bathroom shall be provided with the following: 1. ENERGY STAR fans ducted to terminate outside the building. 2. Fans must be controlled by a humidity control (separate or built-in); OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of 50% to a maximum of 80%.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.506.1 Reserved.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.506.2 [HR] Provide filters on return air openings rated MERV 8 or higher during construction when it is necessary to use HVAC equipment.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.506.3 Direct-vent appliances shall be used when equipment is located in conditioned space; or the equipment must be installed in an isolated mechanical room.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

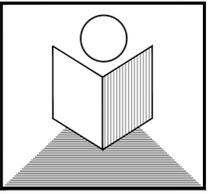
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		Tier 1	Tier 2			
<b>Environmental Comfort</b>						
4.507.2 Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J - 2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D - 2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 or equivalent.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Outdoor Air Quality Reserved</b>						
<b>Innovative Concepts and Local Environmental Conditions</b>						
A4.509.1 Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS</b>						
<b>Qualifications</b>						
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
702.2 Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Verifications</b>						
703.1 Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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<sup>1</sup>Green building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7

<sup>2</sup>Required prerequisite for this Tier.



T.N. DESIGN

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Site Images

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1	DESIGN REVIEW	02/05/2024
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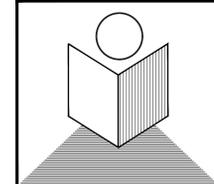
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APN: 406-02-030

EXISTING &  
PROPOSED  
SITE/ ROOF PLAN  
SCALE: 1/8" = 1'-0"

no.	revisions	date
DESIGN REVIEW		02/05/2024

date issued: 02/05/2024

drawn by: NGHI THANH LE

job#: 3040-2024

drawing number

**A1**

of sheets

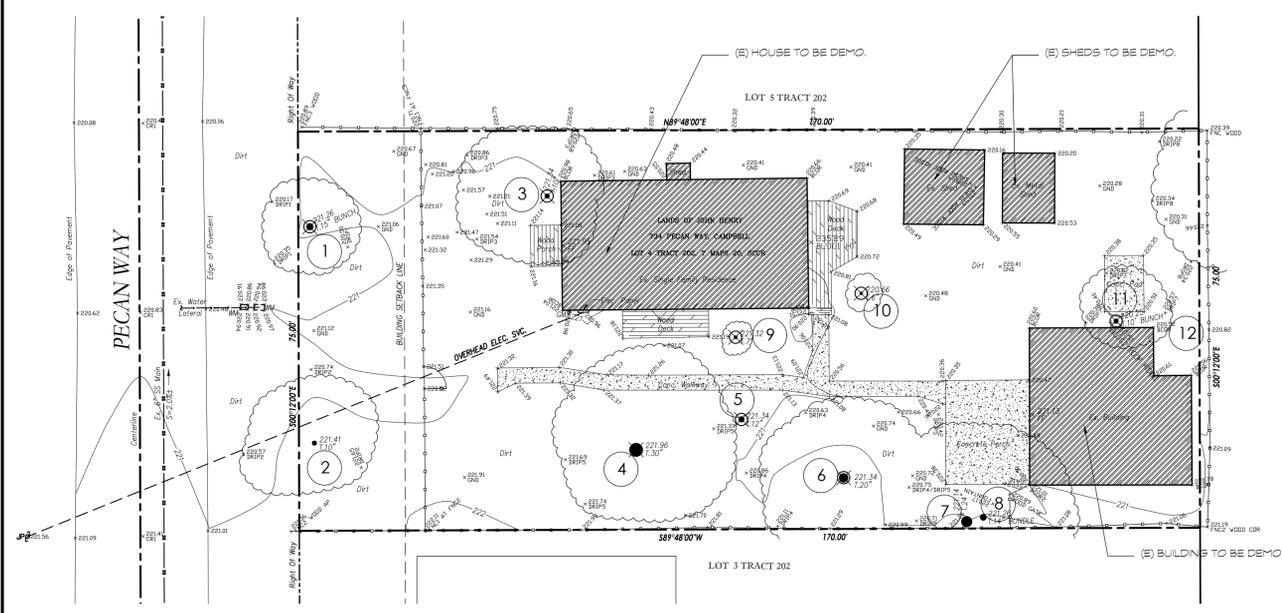
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- CALGREEN NOTES:**
1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE TO COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE
  2. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER
  3. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY
  4. A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SEC. 4.408.2, 4.408.3 OR 4.408.4 OR MEET A MORE STRINGENT LOCAL CONSTRUCTION DEMOLITION WASTE MANAGEMENT ORDINANCE.
  5. DOCUMENTATION SHALL BE PROVIDED TO THE CITY OF SAN JOSE SOLID WASTE DIVISION WHICH DEMONSTRATES COMPLIANCE PRIOR TO FINAL INSPECTION
  6. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED.
  7. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED
  8. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH SEC. 4.505.3
  9. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE.
  10. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM.
  11. DOCUMENTATION USED TO SHOW COMPLIANCE WITH CALGREEN SHALL INCLUDE BUT IS NOT LIMITED TO CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION, REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY, WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE.

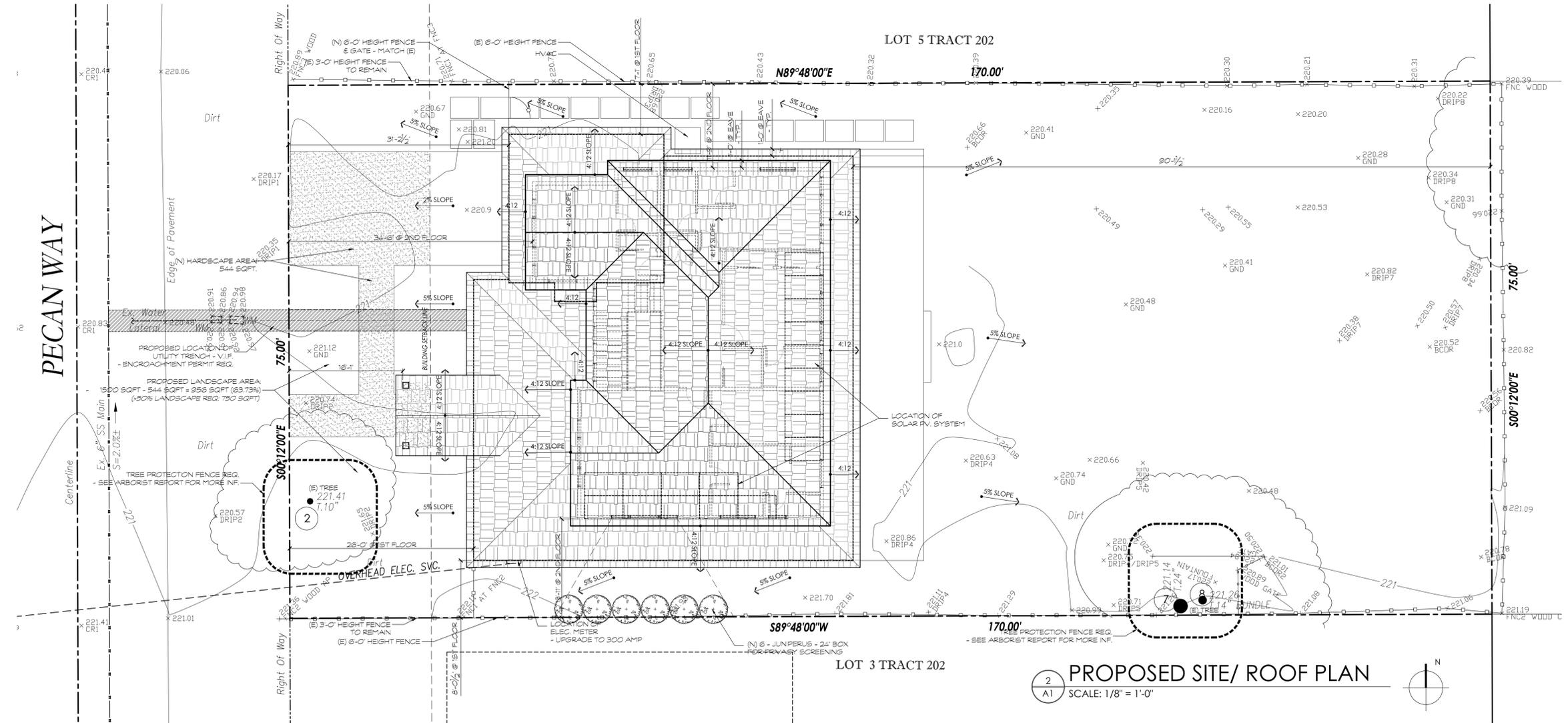
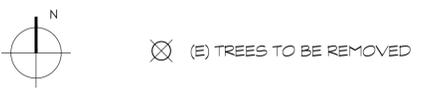
- BMP NOTES:**
- DELINEATE W/ FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREE TO BE PROTECTED AND RETAINED, AND DRAINAGE COURSES
  - CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTS CONTROL, INCLUDE INSPECTION FREQUENCY.
  - METHODS & SCHEDULE OF GRADING, EXCAVATION, FILING AND CLEANING OF VEGETATION AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL
  - SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDING METHODS AND SCHEDULE FOR PLANTING & FERTILIZATION.
  - PROVISIONS FOR TEMPORARY AND/OR PERMANENT IRRIGATION
  - PERFORM CLEANING & EARTH-MOVING ACTIVITIES DURING DRY WEATHER
  - PROTECT ALL STORM DRAIN INLETS IN VICINITY SITE USING SEDIMENT CONTROL (E.G. BERM'S, SOCKS, FIBER ROLLS, OR FILTERS)
  - TRAP SEDIMENTS ON SITE, USE BMP SUCH AS SEDIMENTS BASIN OR TRAPS, EARTHEN DIKERS OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS COVER FOR SOIL STOCK PILES, ETC.
  - PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACT USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILLER, DIKERS, MULCHING OR OTHER MEASURES AS APPROPRIATE
  - LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS
  - NO CLEANING, FUELING, MAINTAINING VEHICLES ON SITE, EXCEPT IN THE DESIGNATED AREAS WHERE WASHWATER IS CONTAINED AND TREATED.
  - STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
  - CONTRACTOR SHOULD TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/ SUBCONTRACTORS RE. CONSTRUCTION BMP'S
  - CONTROL & PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURE COPPER, AND NON-STORMWATER DISCHARGE TO STORM DRAINS AND WATERCOURSES.

- NOTE:**
- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAYBE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
  - THRU-CURB DRAINS ARE NOT ALLOWED.
  - PROVIDE (N) EARTHQUAKE-ACTUATED GAS SHUTOFF VALVES DESIGNED TO AUTOMATICALLY SHUT OFF THE GAS AT THE LOCATION OF THE VALVE IN THE EVENT OF A SEISMIC DISTURBANCE AND CERTIFIED BY THE STATED ARCHITECT AS CONFORMING TO CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 12, CHAPTER 12-16-1 - V.I.F.

- NOTE:**
- ALL DOWNSPOUTS MUST BE DISCONNECTED @ GRADE AND SLOPE TO VEGETATED AREA 5'-0" AWAY FROM FOUNDATION
  - ALL AREA DRAINS, POP-UP DISIPATORS CONNECTING PIPES... ARE REQUIRED DRAINAGE PERMIT & P.W. INSPECTION. OWNER TO APPLY FOR PERMIT PRIOR TO START THE JOB



**EXISTING/DEMO. SITE PLAN**  
SCALE: 1/8" = 1'-0"



**PROPOSED SITE/ ROOF PLAN**  
SCALE: 1/8" = 1'-0"



<b>* FLOOR VENT CALCULATION</b>		
AREA REQ. FLOOR VENT:	2186 /150	2186 SQ. FT.
AREA OF VENT REQ.	24 X .62 SQFT/EA*	14.88 SQ.FT.
PROVIDE: 24 -V26 VENTS	TOTAL	11.46 SQ.FT.

\* 89 SQIN/EA = .62 SQFT. - SEE CUT SHEET

**ASHRAE 62.2 COMPLIANCE NOTES:**

- ALL BATHROOM FANS ARE INTERMITTENTED & REQ. 50 CFM MIN. W/ HUMIDITY CONTROL
- KITCHEN HOOD FAN IS 100 CFM. MIN.
- HVAC FILTER IS MERV 6 MIN., 1" THICK W/ MAX. 0.1" W.C. PRESSURE DROP

**EGRESS WINDOW REQ.:**

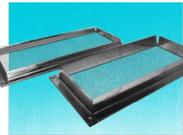
- AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SQUARE FEET IN OPENING AREA
- MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH
- HAVE EGRESS OPENING NO MORE THAN 44" A.F.F.
- **IN ORDER TO MEET THE REQUIRED 5.7 SQFT TOTAL, EITHER THE WIDTH OR HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION**

**FIRE/SAFETY REQ.:**

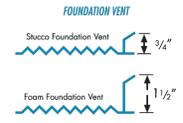
- FIRE ALARMS SHOULD BE LISTED AS COMPLYING WITH UL217 AND BE INSTALLED & MAINTAINED IN ACCORDANCE WITH NFPA 72 & MANUF. INSTRUCTION
- CARBON MONOXIDE ALARM SHALL BE LISTED AS COMPLYING WITH UL2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA720 AND THE MANF. INSTRUCTIONS
- ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE HARDWIRE, INTERCONNECTED AND HAVE BATTERY BACK-UP

ALL SPECIAL ITEMS ARE NON-RETURNABLE.  
TEL: 408-778-0606  
FAX: 408-778-0879  
7 AM TO 4:30 PM PST

**VENTS**

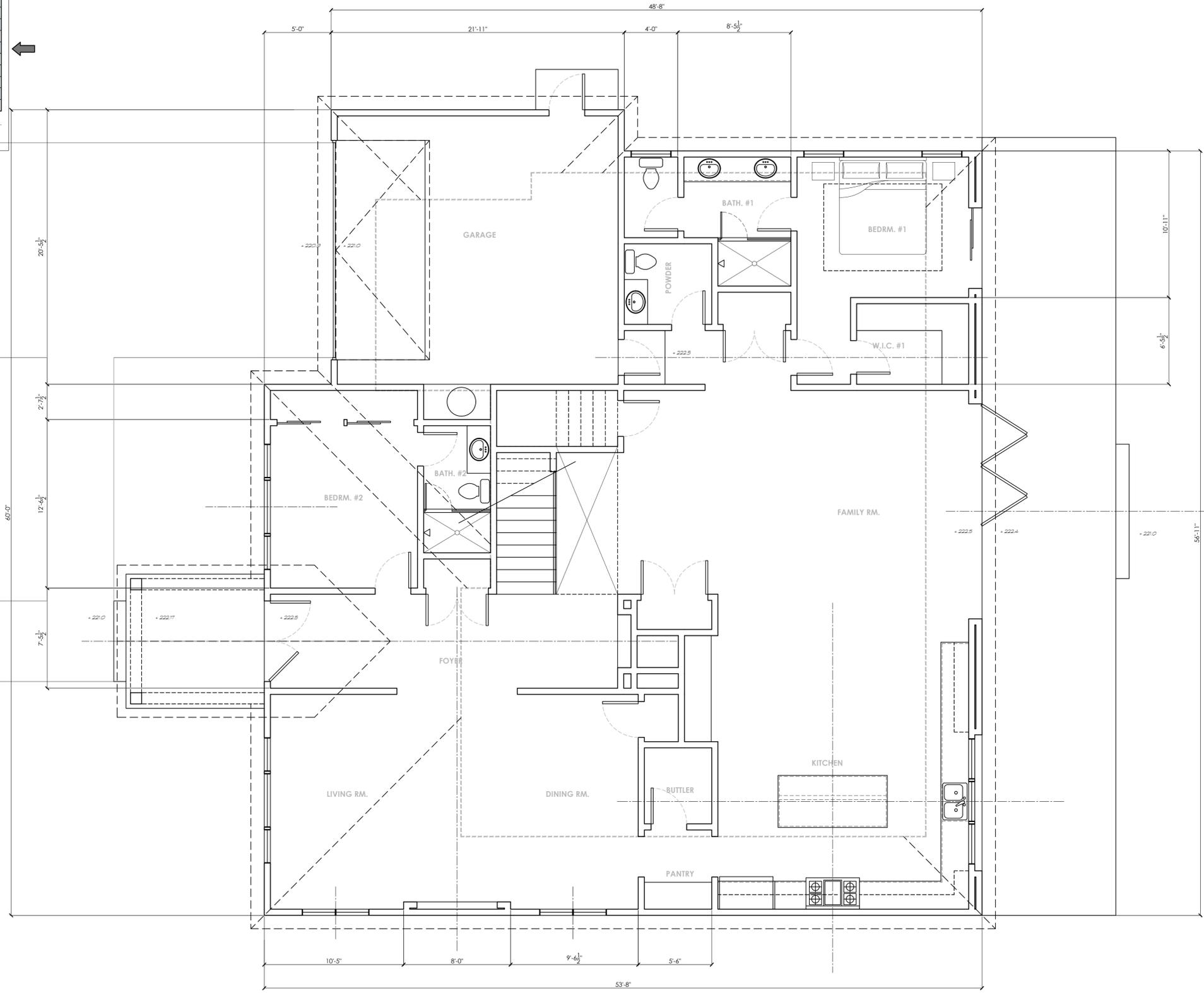


ITEM NUMBER	DESCRIPTION	QTY/BOX	FREE FLOW AREA	LBS/BOX
V23	14" x 4" 4M	75	42 sq. in.	36.00
V238	14" x 4" 8M	75	38 sq. in.	36.00
V27	14" x 6" 4M	50	62 sq. in.	29.00
V278	14" x 6" 8M	50	57 sq. in.	30.00
V26	14" x 8" 4M	50	89 sq. in.	36.00
V268	14" x 8" 8M	50	81 sq. in.	37.00
V3244	24" x 4" 4M	50	69 sq. in.	30.00
V3248	24" x 4" 8M	50	63 sq. in.	31.00
V6244	24" x 6" 4M	50	104 sq. in.	42.00
V6248	24" x 6" 8M	50	95 sq. in.	43.00



The one piece foundation vent ... No rivets or welds to weaken or leak! Excellent for use wherever screen is required by code. ECONOMIC, FAST, REVERSIBLE for use on stucco or rustic construction. Nail holes provided in each corner for fast, easy installation.  
Available with New Wall (FOAM) Flange.

- ⊙ SMOKE DETECTOR
- ⊙ SMOKE/CARBON MONOXIDE ALARM

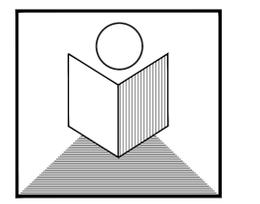


**PROJECT FIXTURES SCHEDULE:**

SECTION 4.303.1 WATER REDUCTION FIXTURE FLOW RATES	
FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE
Showerheads	1.8 gpm @ 80 psi
Lavatory faucets, residential	1.2 gpm @ 60 psi <sup>1,3</sup>
Lavatory faucets, nonresidential	0.4 gpm @ 60 psi <sup>1,3</sup>
Kitchen faucets	1.5 gpm @ 60 psi <sup>2,4</sup>
Metering Faucets	0.2 gallons/cycle
Gravity tank type water closets	1.28 gallons/flush <sup>5</sup>
Flushometer tank water closets	1.28 gallons/flush <sup>5</sup>
Flushometer valve water closets	1.28 gallons/flush <sup>5</sup>
Urinals	0.125 gallons/flush
Clothes Washers	ENERGY-STAR certified
Dishwashers	ENERGY-STAR certified

<sup>1</sup> Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.  
<sup>2</sup> Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.  
<sup>3</sup> Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.  
<sup>4</sup> Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout.  
<sup>5</sup> Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.  
 Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2.  
 Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

**PROPOSED 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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Fax: 415-775-5342  
E-mail: lenghiarch@hotmail.com

**MyEdge (N) Residence**

4354 Vanderbilt Dr  
Campbell, CA. 95008  
APN: 403-53-049

**PROPOSED 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

no.	revisions	date
	DESIGN REVIEW	04/04/2019
	PERMIT	06/04/2019
1	REVISION #1	11/01/2020
2		
3		

date issued: 11/01/2020

drawn by: NGHI THANH LE

job#: 2290-2019

drawing number

**A2**  
of sheets

**ASHRAE 62.2 COMPLIANCE NOTES:**

- ALL BATHROOM FANS ARE INTERMITTENT & REQ. 50 CFM MIN. W/ HUMIDITY CONTROL
- KITCHEN HOOD FAN IS 100 CFM. MIN.
- HVAC FILTER IS MERV 6 MIN., 1" THICK W/ MAX. 0.1" W.C. PRESSURE DROP

**EGRESS WINDOW REQ.:**

- AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SQUARE FEET IN OPENING AREA
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- HAVE EGRESS OPENING NO MORE THAN 44" A.F.F.
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- FIRE ALARMS SHOULD BE LISTED AS COMPLYING WITH UL217 AND BE INSTALLED & MAINTAINED IN ACCORDANCE WITH NFPA 72 & MANUF. INSTRUCTION
- CARBON MONOXIDE ALARM SHALL BE LISTED AS COMPLYING WITH UL2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA720 AND THE MANF. INSTRUCTIONS
- ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE HARDWIRE, INTERCONNECTED AND HAVE BATTERY BACK-UP

**\* UPPER ROOF VENT CALCULATION**

ROOF AREA REQ. VENT:	2082 /300*	2082 SQ. FT.
AREA OF VENT REQ.	5 FLAT VENTS 5 X .42 SQFT/EA**	4.94 SQ. FT (50% = 3.47)
PROVIDE HIGH:	2 LOUVER VENT 2 X .875 SQFT/EA***	2.10 SQ. FT.
		1.75 SQ. FT.
		3.85 SQ. FT (>50% REQ.)
PROVIDE LOW:	3-2 1/2" VENT HOLE/BAY X 40 BAYS 3 X .0341 SQFT/EA X 40 BAYS****	4.09 SQ. FT.
		4.09 SQ. FT. (>50% HIGH)
TOTAL HIGH		
TOTAL LOW		

- Ⓢ SMOKE DETECTOR
- Ⓢ SMOKE/CARBON MONOXIDE ALARM

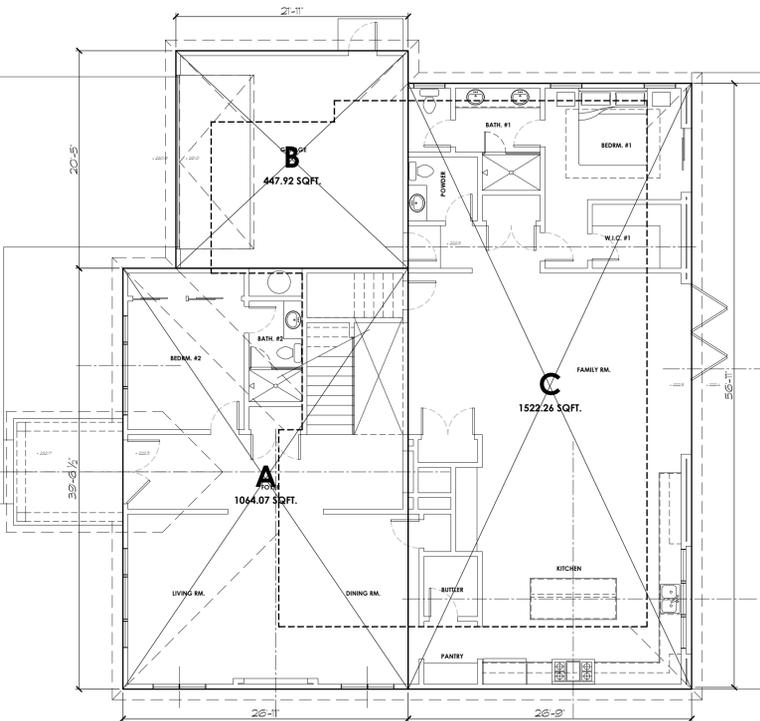
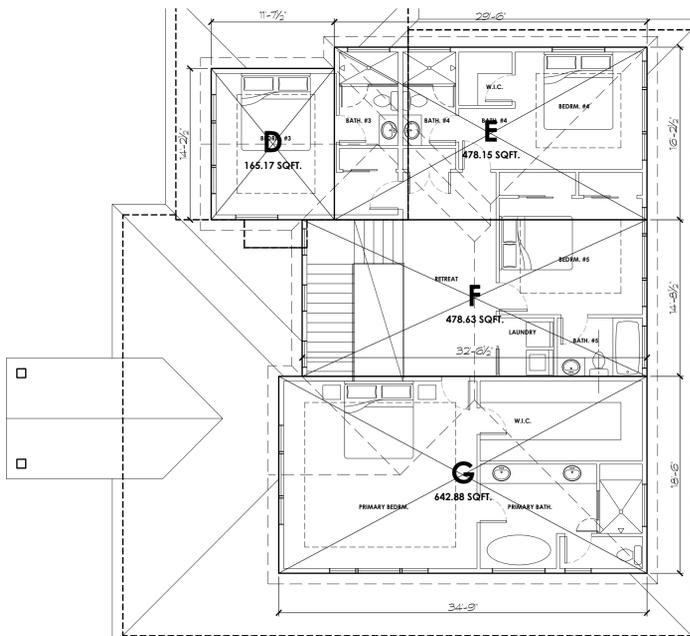
\* DESIGN 50% HIGH & LOW VENTS  
 \*\* 60 SQIN/EA = .42 SQFT. - SEE CUT SHEET/A4  
 \*\*\* 126 SQIN/EA = .875 SQFT. - SEE CUT SHEET/A5  
 \*\*\*\* .0341 SQFT/EA

**PROJECT FIXTURES SCHEDULE:**

**\* LOWER ROOF VENT CALCULATION**

ROOF AREA REQ. VENT:	994 /300*	994 SQ. FT.
AREA OF VENT REQ.	2 FLAT VENTS 2 X .42 SQFT/EA**	3.31 SQ. FT (50% = 1.66)
PROVIDE HIGH:	1 LOUVER VENT 1 X .875 SQFT/EA***	0.84 SQ. FT.
		0.875 SQ. FT.
		1.715 SQ. FT (>50% REQ.)
PROVIDE LOW:	3-2 1/2" VENT HOLE/BAY X 20 BAYS 3 X .0341 SQFT/EA X 20 BAYS****	2.05 SQ. FT.
		2.05 SQ. FT. (>50% HIGH)
TOTAL HIGH		
TOTAL LOW		

\* DESIGN 50% HIGH & LOW VENTS  
 \*\* 60 SQIN/EA = .42 SQFT. - SEE CUT SHEET/A4  
 \*\*\* 126 SQIN/EA = .875 SQFT. - SEE CUT SHEET/A5  
 \*\*\*\* .0341 SQFT/EA



**\* GRAPHIC AREA CALCULATION**

- AREA A:	26'-11" X 36'-9 1/2"	1064.07 SQFT.
- AREA B:	21'-11" X 20'-5"	471.92 SQFT.
- AREA C:	26'-9" X 56'-11"	1522.26 SQFT.
- AREA D:	11'-7 1/2" X 20'-5"	447.92 SQFT.
- AREA E:	29'-6" X 16'-2 1/2"	478.15 SQFT.
- AREA F:	32'-6 1/2" X 14'-8 1/2"	478.63 SQFT.
- AREA G:	34'-9" X 18'-6"	642.88 SQFT.
TOTAL		4799.08 SQFT. = 4799 SQFT.

**WHOLE HOUSE VENTILATION CAL:**

Conditioned Floor Area (ft²)	Bedrooms				
	0-1	2-3	4-5	6-7	>7
≤1500	30	45	60	75	90
1501-3000	45	60	75	90	105
3001-4500	60	75	90	105	120
4501-6000	75	90	105	120	135
6001-7500	90	105	120	135	150
>7500	105	120	135	150	165

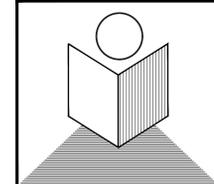
$4026(3\%) + (6+1) \times 7.5 = 92.76 \leftarrow \text{REQ. OF 105 CFM}$

**2 GRAPHIC AREA CALCULATION**

SCALE: 1/8" = 1'-0"

**1 PROPOSED 2ND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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 APN: 403-53-049

**PROPOSED 2ND  
 FLOOR PLAN**

SCALE: 1/4" = 1'-0"

no.	revisions	date
	DESIGN REVIEW	04/04/2019
	PERMIT	06/04/2019
1	REVISION #1	11/01/2020
2		
3		

date issued: 11/01/2020

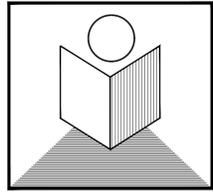
drawn by: NGHI THANH LE

job#: 2290-2019

drawing number

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of sheets



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Valley US  
Homes LLC  
(N) Residence

734 Pecan Way  
Campbell, CA. 95028  
APN: 406-02-030

PROPOSED  
STREETSCAPE  
ELEVATIONS

SCALE: 1/8" = 1'-0"

no.	revisions	date
1	DESIGN REVIEW	02/05/2024


date issued: 02/05/2024

drawn by: NGHI THANH LE

job#: 3040-2024

drawing number

**A4.0**

of sheets



720 PECAN WAY



734 PECAN WAY



748 PECAN WAY



760 PECAN WAY



1103 HAZEL AVE.



721 PECAN WAY



735 PECAN WAY

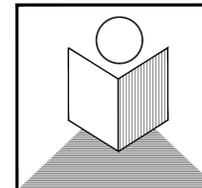


761 PECAN WAY



769 PECAN WAY





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Campbell, CA. 95028  
APN: 406-02-030

**PROPOSED  
BUILDING  
ELEVATIONS**

SCALE: 1/4" = 1'-0"

no.	revisions	date
1	DESIGN REVIEW	02/05/2024

date issued: 02/05/2024

drawn by: NGHI THANH LE

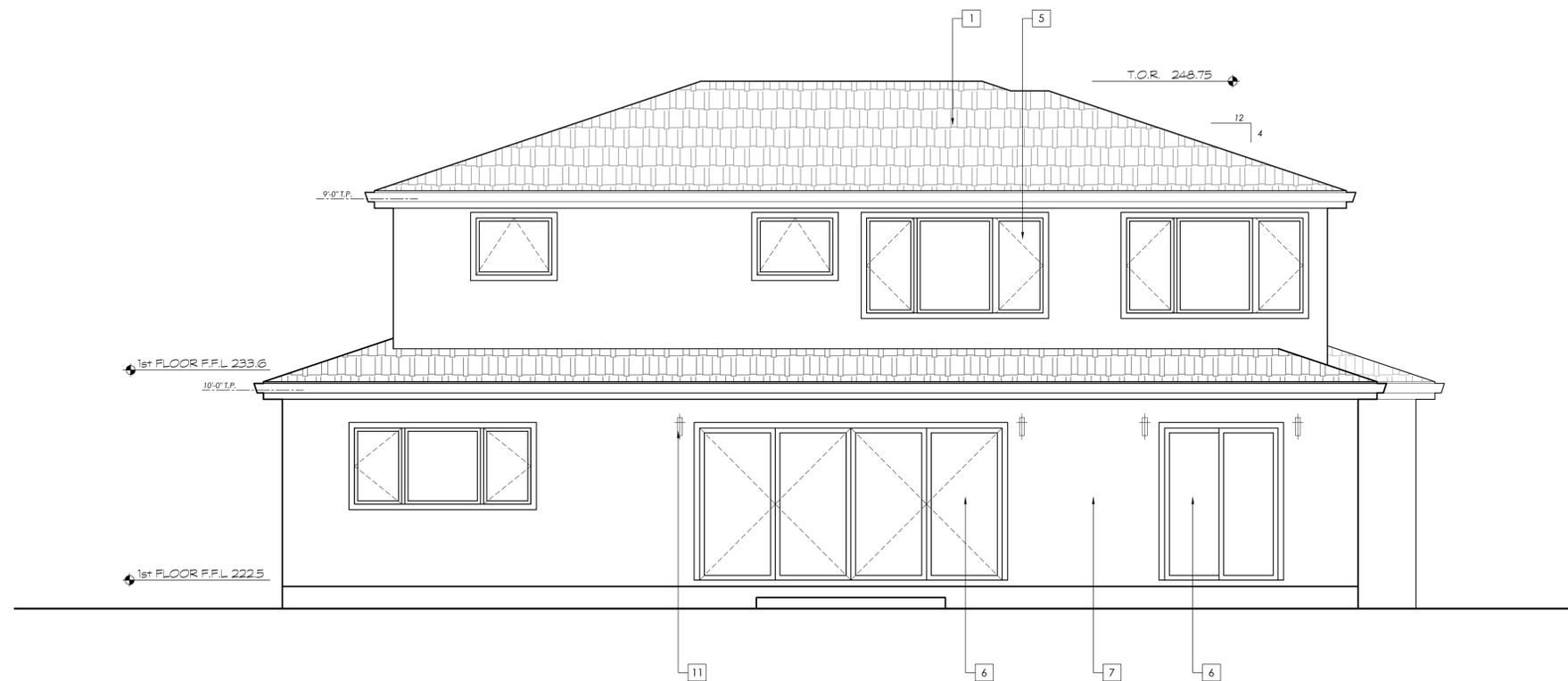
job#: 3040-2024

drawing number

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of sheets

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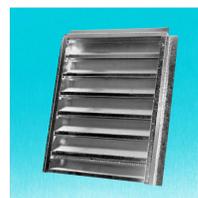
1. LIGHT WEIGHT CONC. ROOF - CLASS 'A'
2. SOLID GARAGE DR - STAINED
3. SOLID WD. ENTRY DOOR W/ ARCH TRANSOM ABOVE
4. STUCCO COLUMN W/ STONE BASE
5. DOUBLE PANE WINDOW
6. EXTERIOR DOOR
7. 7/8" FINISH STUCCO - SMOOTH FINISH - 3 COATS O/ LATCH
8. 4' HEIGHT & 1/2" THICK MIN. BUILDING ADDRESS LOCATION
9. 2X8 FASCIA W/ GSM GUTTER - PAINT
10. NOT USED
11. EXTERIOR DOWN LIGHTING
12. NOT USED
13. STONE VENEER

NOTE:  
- ALL DOWNSPOUTS MUST BE DISCONNECTED @ GRADE AND SLOPE TO VEGETATED AREA 5'-0" AWAY FROM FOUNDATION  
- ALL AREA DRAINS, POP-UP DISIPATORS CONNECTING PIPES... ARE NOT PERMITTED

**1**  
A5 **PROPOSED REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**GABLE VENT**

ITEM NUMBER	DESCRIPTION	QTY/BOX	FREE FLOW AREA	LBS/BOX
V60	14" x 8" BM	10 or 18	39 sq. in.	16.00
V604	14" x 8" 4M	10 or 18	43 sq. in.	15.00
V61	14" x 12" BM	10 or 12	76 sq. in.	22.00
V614	14" x 12" 4M	10 or 12	84 sq. in.	21.00
V62	14" x 18" BM	10 or 12	114 sq. in.	30.00
V624	14" x 18" 4M	10 or 12	125 sq. in.	29.00
V63	14" x 24" BM	10 or 6	151 sq. in.	39.00
V634	14" x 24" 4M	10 or 6	166 sq. in.	38.00

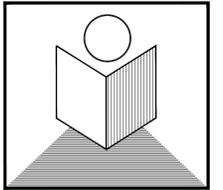


**GABLE VENT**  
Special sizes available upon request and are subject to quote.

Heavy duty construction. For use on Wood (Flush Mount), New Wall (Foam), or Stucco siding. Screened with 4 or 8 mesh galvanized expanded metal to keep birds and insects out. Standard vent 1 1/2" deep. All Flush Flange Gable Vents are subject to an extra charge.



**2**  
A5 **PROPOSED SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**T.N. DESIGN**

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Valley US  
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734 Pecan Way  
Campbell, CA. 95028  
APN: 406-02-030

**PROPOSED  
BUILDING  
SECTIONS**  
SCALE: 1/4" = 1'-0"

no.	revisions	date
1	DESIGN REVIEW	02/05/2024

date issued: 02/05/2024

drawn by: NGHI THANH LE

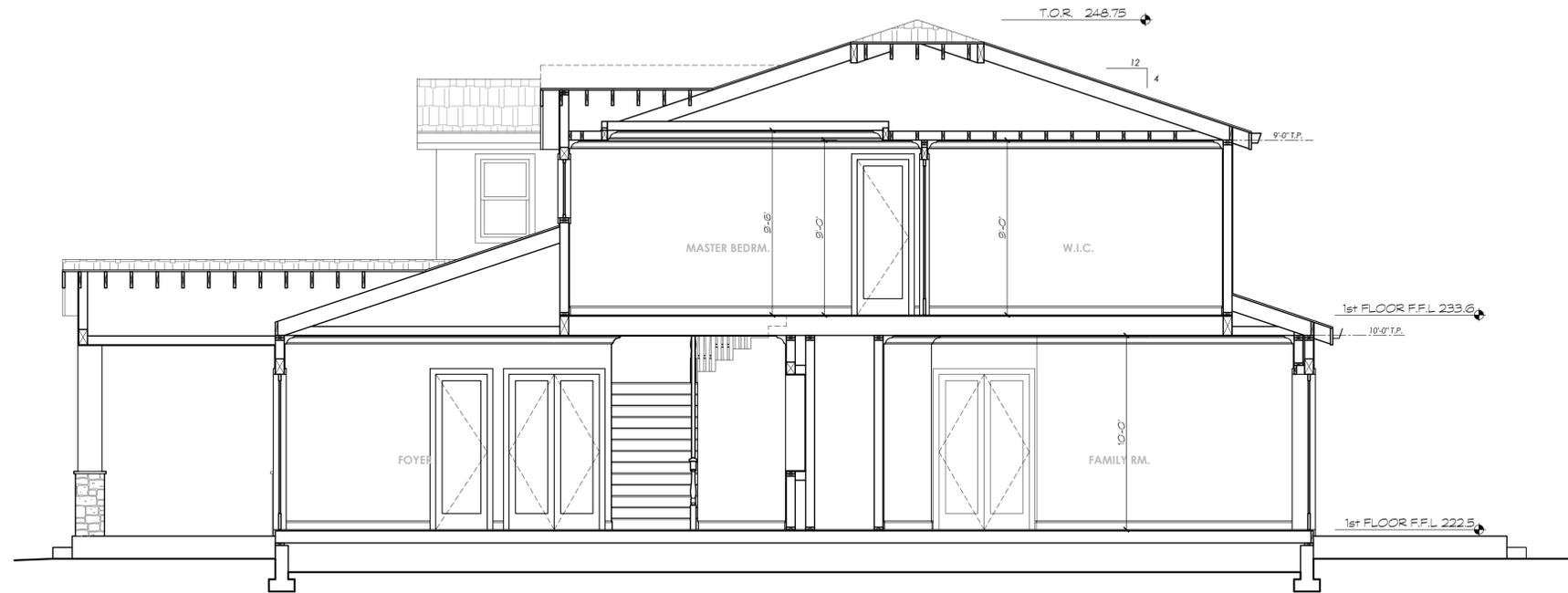
job#: 3040-2024

drawing number

**A6**

of sheets

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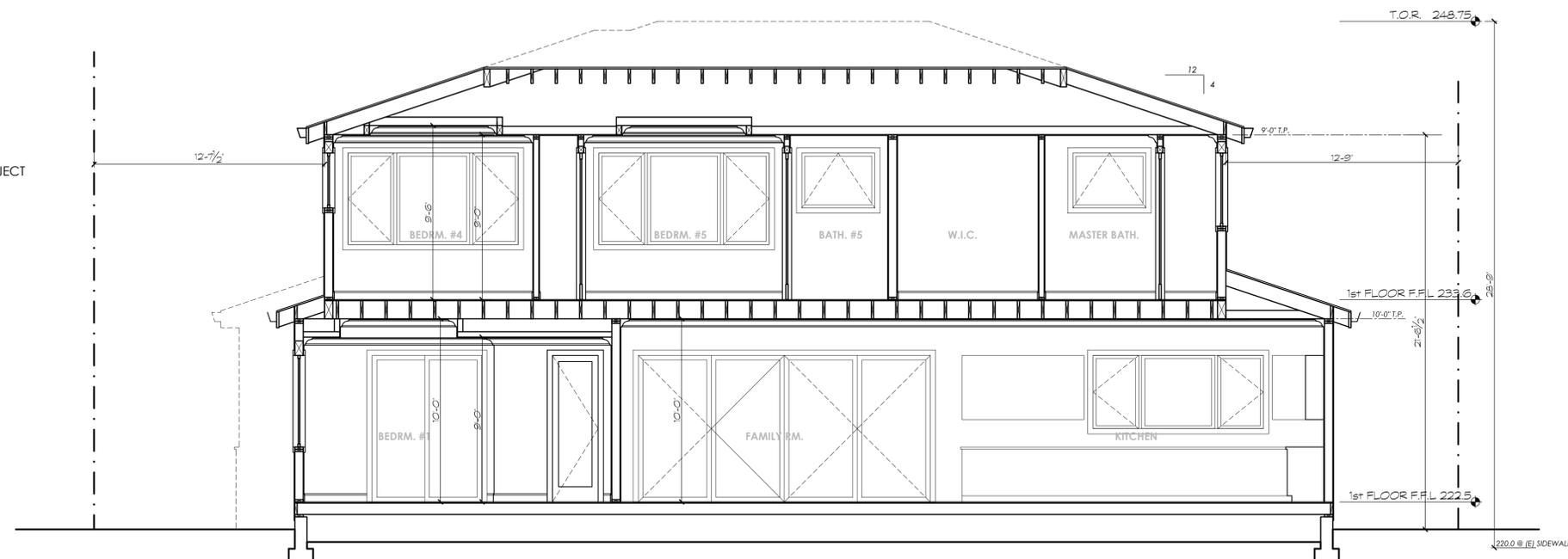


NOTE:  
- ALL DOWNSPOUTS MUST BE DISCONNECTED @ GRADE AND SLOPE TO VEGETATED AREA 5'-0" AWAY FROM FOUNDATION  
- ALL AREA DRAINS, POP-UP DISIPATORS CONNECTING PIPES... ARE NOT PERMITTED

**1**  
**A6** PROPOSED BUILDING SECTION A-A  
SCALE: 1/4" = 1'-0"

INSULATION SCHEDULE	
R-21 BAT.	ALL EXTERIOR WALLS
R-19 BAT.	FLOORS
R-38 BAT.	ROOF

NOTE:  
1. STUCCO LATH SHALL HAVE 2 LAYERS OF GRADE "D" PAPER WHEN APPLIED OVER WOOD SHEATHING W/ PROPER CLEARANCE TO WEEP SCREED OF 2" TO PAVED SURFACE OR 4" TO EARTH.  
2. PROVIDED RADIANT BARRIER ROOF SHEATHING TYPE FOR THIS PROJECT



**2**  
**A6** PROPOSED BUILDING SECTION B-B  
SCALE: 1/4" = 1'-0"

