

Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



1 PROPOSED EAST (FRONT) ELEVATION
A3.1 1/4"=1'-0"

Notice of Public Hearing

Dear Campbell Resident,

February 29, 2023

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday March 12, 2024, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 1191 Lenor Way

Zoning | Area Plan: R-1-6 | N/A

Neighborhood Association(s): N/A

Council District: 3

File No.: PLN-2024-8

APN: 279-20-047

Applicant: Morris Architecture LLC

Property Owner: Charles Whyte

Application Type: Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Project Description:

To allow the construction of 332 square-foot second-story addition to an existing single-family residence, with a reduction to the 2nd-story side-yard setback from approximately 9 ½ feet to approximately 6-feet.

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible, Simplemente marque (408) 866-2140 y pida traduccion en Español**

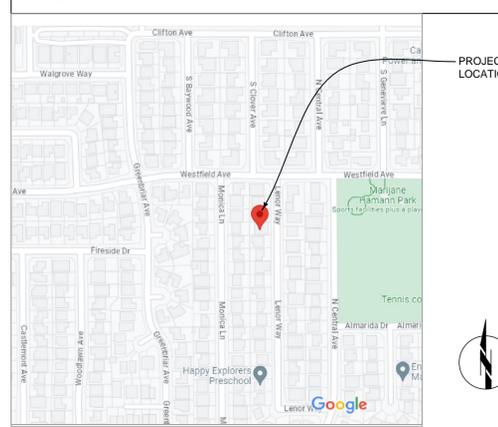


- GENERAL NOTES**
- CONSTRUCTION HOURS SHALL BE 8-5 M-F, 9-4 SATURDAYS, NO WORK SUNDAYS OR HOLIDAYS
 - CAL GREEN:** SEE SHEET GB-1 FOR CAL GREEN MANDATORY REQUIREMENTS
 - CHEMICALS:** ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBC SEC 4.504.2.4.
 - PRIOR TO FINAL INSPECTION,** THE GENERAL CONTRACTOR MUST PROVIDE A LETTER TO THE CITY OF CAMPBELL BUILDING DEPARTMENT CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, PAINT, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBC SEC. 4.504.
 - HERS VERIFICATION:** SEE SHEET EN-1 FOR MANDATORY HERS VERIFICATION REQUIREMENTS

WASTE MANAGEMENT STATEMENT
 CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MOTOR, TILE, TAPING AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STREET, NEIGHBORING PROPERTY OR THE STORM WATER SYSTEM. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN AND UPLOAD DISPOSAL RECEIPTS INTO YOUR GREEN HALO PROJECT ACCOUNT. PROOF OF RECYCLING AND DISPOSAL OF THE SITE TRASH MUST BE APPROVED AND SIGNED OFF PRIOR TO FINAL INSPECTION AND ISSUE OF A CERTIFICATE OF OCCUPANCY

- FOUNDATION / SOILS (GEOTECH. REPORT)**
- MORRIS ARCHITECTURE LLC STRONGLY RECOMMENDS THAT THE OWNER PROVIDE A FOUNDATION INVESTIGATION PREPARED BY A LICENSED GEOTECHNICAL ENGINEER OR GEOLOGIST. IT IS THE SOLE RESPONSIBILITY OF THE OWNER TO OBTAIN AND PROVIDE ONE. IN THE EVENT THAT A FOUNDATION INVESTIGATION IS NOT PROVIDED, THE ARCHITECT MAKES NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE SUITABILITY OF THE SOILS PRESENT FOR THE PROPOSED WORK, OR THAT DIFFERENTIAL SETTLEMENT WILL NOT OCCUR.
 - THE ARCHITECT IS NOT RESPONSIBLE FOR THE ADEQUACY OF THE FOUNDING SOILS. THE FOUNDATION DESIGN IS PREPARED BY THE STRUCTURAL ENGINEER AND BASED UPON A GEOTECHNICAL REPORT BY THE ABOVE LISTED GEOTECHNICAL ENGINEER. SEE STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND/OR CIVIL DRAWINGS FOR ADDITIONAL CRITERIA REGARDING FOUNDATIONS, EXCAVATION, EARTHWORK, SITE PLACEMENT OF ANY CONCRETE, AND/OR DRAINAGE RECOMMENDATIONS.

VICINITY MAP



PROJECT DIRECTORY

ARCHITECT:
 MORRIS ARCHITECTURE LLC
 12 COZZOLINO CT.
 MILLBRAE, CA 94030
 T. 650.995.1360
 RYAN@MORRIS-ARCH.COM

TITLE 24 ENERGY & GREEN:
 A PLUS GREEN ENERGY SERVICES
 41 C HANGAR WAY
 WATSONVILLE, CA 95076
 T. 408.310.0081
 JIM@APGES.COM

OWNERS:
 CHARLES & DARYA WHYTE
 1191 LENOR WAY
 SAN JOSE, CA 95128
 T. 831.207.3328
 CHARLES.R.WHYTE@GMAIL.COM
 DARYAYEMINI@GMAIL.COM

STRUCTURAL ENGINEER:
 MORRIS SHAFFER ENGINEERING
 1300 INDUSTRIAL RD.
 SUITE 114
 SAN CARLOS, CA 94070
 T. 850.595.2973
 ROBERT@MORRIS-SHAFFER.COM

PROJECT DESCRIPTION

- 2ND STORY BEDROOM ADDITION ABOVE GARAGE TO SINGLE FAMILY RESIDENCE

GENERAL NOTES

- CODES**
 THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:
 PART 2 2022 CALIFORNIA BUILDING CODE
 PART 2.5 2022 CALIFORNIA RESIDENTIAL CODE
 PART 3 2022 CALIFORNIA ELECTRICAL CODE
 PART 4 2022 CALIFORNIA MECHANICAL CODE
 PART 5 2022 CALIFORNIA PLUMBING CODE
 PART 6 2022 CALIFORNIA ENERGY CODE
 PART 9 2022 CALIFORNIA FIRE CODE
 PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 AND THE CAMPBELL MUNICIPAL CODE
- DRAWINGS**
 1. GENERAL CONDITIONS. THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
 2. DIMENSIONS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
 3. DIMENSIONS. ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
 4. DIMENSIONS. 'CLR' DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
 5. COMPLETION. THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.
- GENERAL CONTRACTOR'S RESPONSIBILITIES**
 6. PLANS ON SITE. THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
 7. DISCREPANCIES. THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
 8. SUBSTITUTIONS. THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
 9. INSPECTIONS. THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS).
 10. SAFETY. THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
 11. DEFERRED SUBMITTALS. DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
 12. WORKMANSHIP. ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
 13. MANUFACTURER'S REQUIREMENTS. THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
 14. BRACING AND SHORING. DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.
 15. PER PAR 408.5 ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM CRAWLSPACE AND ATTIC AREAS.
 16. CONSTRUCTION SITE MUST COMPLY WITH CFC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION THAT WILL INCLUDE PROTECTION FROM: TEMPORARY HEATING, FLAMMABLES, COMBUSTIBLE MATERIALS, OPEN FLAME, SPARK PRODUCTION, ACCESS AND EGRESS, WATER SUPPLY AND PORTABLE FIRE EXTINGUISHERS FOR MINOR FIRE SUPPRESSION.
 17. MAJOR ADDITION/REMODEL AND NEW HOME PROJECT SHALL RECEIVE A SECURITY FENCE WITH GREEN SITE SCREEN, PLACE A WEATHERPROOF SIGN(S) THAT SHOW : THE ADDRESS, CAMPBELL'S WORKING HOURS OF CONSTRUCTION, A CONTACT NAME, PHONE NUMBER, AND EMAIL ADDRESS OF THE CONTRACTOR.
 18. CONTRACTOR TO PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LEMINAIRES, AS PER TITLE 24 CODE PART 1, 10-103(B)

PROJECT DATA

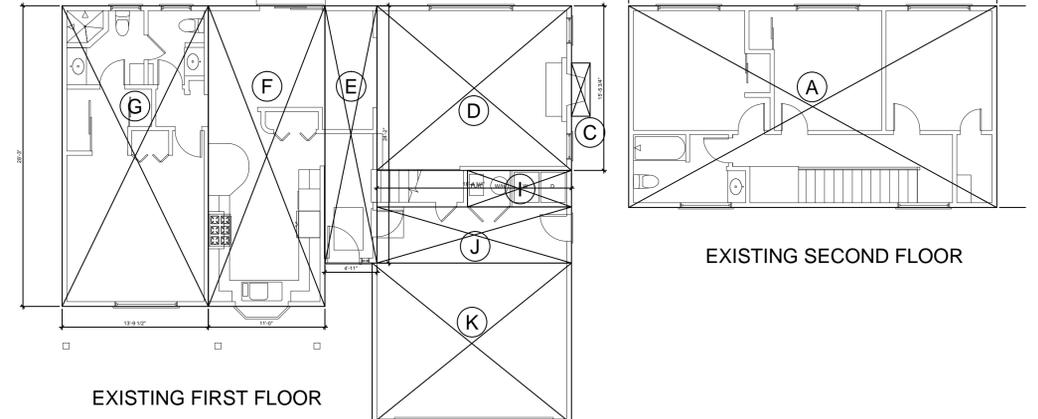
APN #	279-20-047	
ZONE	R-1-6	
FLOOD ZONE	X	
OCCUPANCY	R-3 / U	
CONSTRUCTION TYPE	V-B	
AUTOMATIC SPRINKLERS	NO	
STORIES	2	
SITE AREA	5,663 SF	
FLOOR AREA		
MAX. ALLOWED (45%)	2,548 SF	
LOCATION	EXISTING (SF)	PROPOSED (SF)
FIRST FLOOR CONDITIONED AREA	1102	1102
SECOND FLOOR CONDITIONED AREA	658	990
ATTACHED GARAGE	425	425 (45%)
TOTAL	2185	2517
AREA OF ADDITION (SF)	332	
SITE COVERAGE		
MAX. ALLOWED (40%)	2,265 SF	
LOCATION	EXISTING (SF)	PROPOSED (SF)
MAIN HOUSE FOOTPRINT	1555	1555
FRONT COVERED PORCH	170	170
REAR COVERED PATIO	440	440
TOTAL (SF)	1725 SF	1725 SF

FIRE SPRINKLER CALCS

EXISTING HOUSE (SF)	1760
NEW ADDITION	SF
BEDROOM	332
TOTAL ADDED / REMODELED	332
AREA OF ADDITION AND REMODEL IS LESS THAN 1000SF THEREFORE FIRE SPRINKLERS ARE NOT REQUIRED	

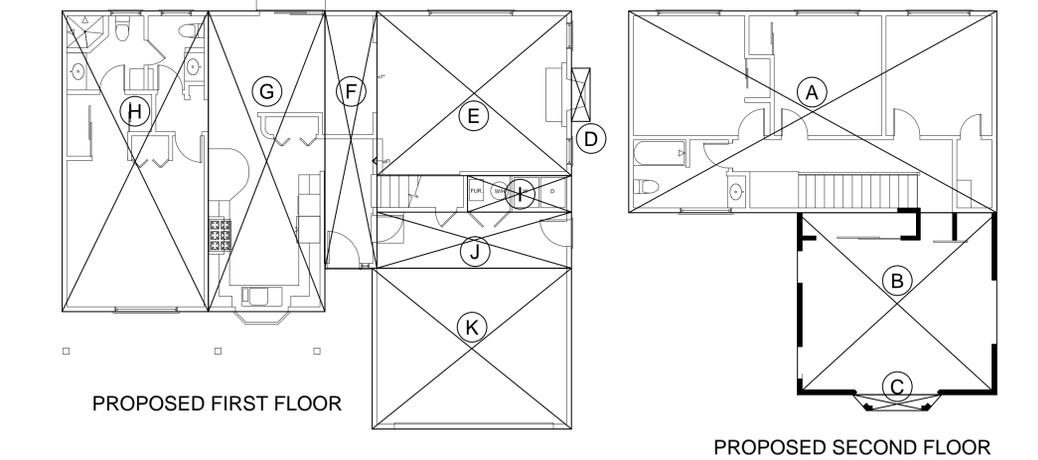
EXISTING DATA SHEET

SYMBOL	DIMENSIONS	HOUSE AREA (SF)
A	34'-8 3/4" x 18'-11 1/2"	658.4
B	NOT USED	0
C	NOT USED	0
D	5'-0" x 1'-9"	8.7
E	18'-4 1/4" x 15'-5 3/4"	284.1
F	24'-2" x 4'-11"	118.8
G	28'-3" x 11'-0"	310.7
H	28'-3" x 13'-9 1/2"	389.6
I	18'-9 3/4" x 15'-1 3/4"	33.5
J	18'-4 1/4" x 5'-3 1/4"	96.7
K	9'-9 3/4" x 5"	284.1
TOTAL FLOOR AREA		2184.6



EXISTING DATA SHEET

SYMBOL	DIMENSIONS	HOUSE AREA (SF)
A	34'-8 3/4" x 18'-11 1/2"	658.4
B	18'-9 3/4" x 17'-1"	321.3
C	IRREGULAR	10.6
D	5'-0" x 1'-9"	8.7
E	18'-4 1/4" x 15'-5 3/4"	284.1
F	24'-2" x 4'-11"	118.8
G	28'-3" x 11'-0"	310.7
H	28'-3" x 13'-9 1/2"	389.6
I	18'-9 3/4" x 15'-1 3/4"	33.5
J	18'-4 1/4" x 5'-3 1/4"	96.7
K	9'-9 3/4" x 5"	284.1
TOTAL FLOOR AREA		2516.5



ABBREVIATIONS

- | | |
|---------------------------|--------------------------------|
| A.D. AREA DRAIN | GSM GALVANIZED SHEET METAL |
| ADJ ADJUSTABLE | GYP. BD. GYPSUM BOARD |
| A.F.F. ABOVE FINISH FLOOR | HT HEIGHT |
| ALT ALTERNATE | INCAN INCANDESCENT |
| ALUM ALUMINUM | LT LIGHT |
| ANOD ANODIZED | MAX MAXIMUM |
| ARCH ARCHITECT/URAL | MECH MECHANICAL |
| BD BOARD | MFR MANUFACTURER |
| BLD'G BUILDING | MIN MINIMUM |
| BLK'G BLOCKING | MTL METAL |
| BM (N) NEW | O.C. ON CENTER |
| B.O. BOTTOM OF | O/ OVER |
| CAB CABINET | PLYWD PLYWOOD |
| C.J. CEILING JOIST | PTD PAINTED |
| CLG CEILING | PT. GR. PAINT GRADE |
| CLR CLEAR | P.T. PRESSURE TREATED |
| C.O. CLEAN OUT | RDWD REDWOOD |
| CONC CONCRETE | REFR REFRIGERATOR |
| DIA DIAMETER | REQD REQUIRED |
| DN DOWN | RS ROOM |
| DS DOWNSPOUT | R.O. ROUGH OPENING |
| DW DISHWASHER | SCHED SCHEDULE |
| DWG DRAWING | SHT SHEET |
| (E) EXISTING | SHTG SHEATHING |
| EA EACH | SIM SIMILAR |
| ELEC ELECTRIC | SKYLT SKYLIGHT |
| ELEV ELEVATION | SPEC SPECIFICATION |
| EQ EQUAL | S.S.D. SEE STRUCTURAL DRAWINGS |
| EXT EXTERIOR | ST. GR. STAIN GRADE |
| FIN FINISH | STL STEEL |
| F.J. FLOOR JOIST | T&G TONGUE & GROOVE |
| FLR FLOOR | TEMP TEMPERED |
| F.O. FACE OF | T.O. TOP OF |
| FT FEET | TYP TYPICAL |
| FTG FOOTING | UN.O. UNLESS NOTED OTHERWISE |
| FURN FURNACE/FURNITURE | V.I.C. VERIFY IN FIELD |
| GA GAUGE | WH WATER HEATER |
| GALV GALVANIZED | |

SHEET INDEX

- | | |
|------|---------------------|
| A0.1 | TITLE SHEET |
| A0.2 | SITE PLAN |
| A1.1 | DEMOLITION PLANS |
| A2.1 | FLOOR PLANS |
| A3.1 | EXTERIOR ELEVATIONS |
| A3.2 | EXTERIOR ELEVATIONS |
| A3.3 | BUILDING SECTION |

1 F.A.R. DIAGRAMS
 A0.1 1/8"=1'-0"



12 COZZOLINO CT | MILLBRAE, CA 94030
 650.995.1360 | www.morris-arch.com

WHYTE RESIDENCE
 1191 LENOR WAY
 CAMPBELL, CA 95008



All drawings and written materials contained herein constitute the original and unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect

BLDG SUBMITTAL	09.15.23
PLNG SUBMITTAL	12.22.23

TITLE SHEET

JOB #: 2314

A0.1

WHYTE RESIDENCE
 1191 LENOR WAY
 CAMPBELL, CA 95008



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▲ BLDG SUBMITTAL	09.15.23
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SITE PLAN
 JOB #: 2314

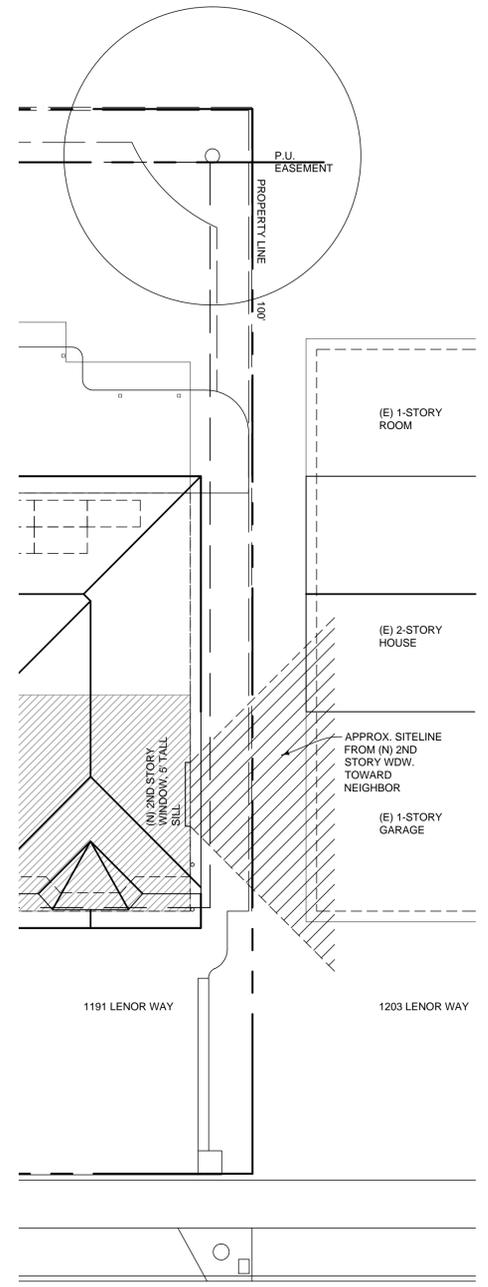
A0.2

- SITE PLAN NOTES:**
- GENERAL NOTES:** SEE SHEETS A0.1, AND FLOOR PLANS FOR ADDITIONAL INFO.
 - CAL GREEN:** SEE SHEET GR.1 FOR CAL-GREEN MANDATORY REQMENTS.
 - BOUNDARY VERIFICATION:** THE G.C. SHALL VERIFY THE LOCATIONS OF ALL PROPERTY BOUNDARIES, SETBACKS, AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK. IF THIS PROJECT INCLUDES CONSTRUCTION OF A BUILDING WITHIN 6' OF THE PROPERTY LINE, IT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE.
 - ENCROACHMENT:** THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL/ PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 - UTILITIES:** THE G.C. SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR TRENCHING.
 - UTILITIES:** SEE ELECTRICAL PLAN SHEET E2.1 FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
 - UTILITIES:** THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
 - TREE PROTECTION:** THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL JURISDICTION REQUIREMENTS. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ARBORIST PRIOR TO CUTTING. ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS.
 - SLOPED GRADE:** FINISH GRADE AROUND BUILDING TO HAVE A MIN. 5% SLOPE AWAY FROM FOUNDATION AND HAVE SUFFICIENT SLOW TO RETAIN STORM WATER ON-SITE AND NOT TO FLOW TO THE NEIGHBORS PROPERTY OR TO THE STREET.
 - FOOTING DEPTH:** (N) FOUNDATION FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL. STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - ADDRESS:** STREET ADDRESS NUMERALS TO BE ILLUMINATED, AT LEAST 4" HIGH WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. CRC R1004
 - CHIMNEYS:** THE INSTALLATION OF AN APPROVED SPARK ARRESTOR IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTORS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".

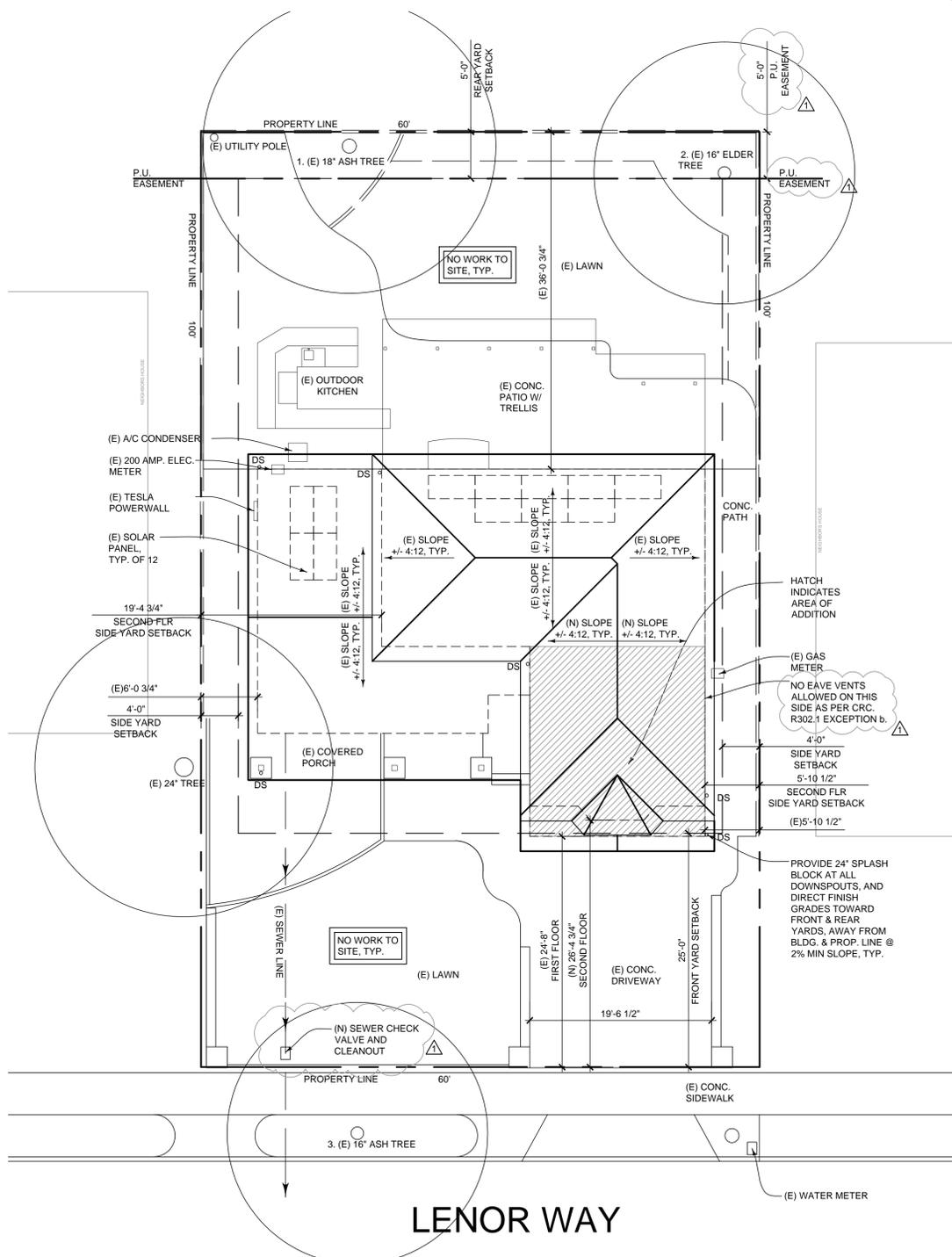
- GRADING NOTES:**
- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 2%, UNLESS OTHERWISE NOTED ON THE PLANS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD, AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION.

TREE SURVEY:

TREE NUMBER	TREE SPECIES	TREE SIZE (DIAMETER)
1.	ASH, FRAXINUS LATIFOLIA	18"
2.	ELDER, SAMBUCUS MEXICANA	16"
3.	ASH, FRAXINUS LATIFOLIA	16"



2 **SITELINE PRIVACY STUDY**
 A0.2 1/8"=1'-0"



1 **SITE PLAN**
 A0.2 1/8"=1'-0"





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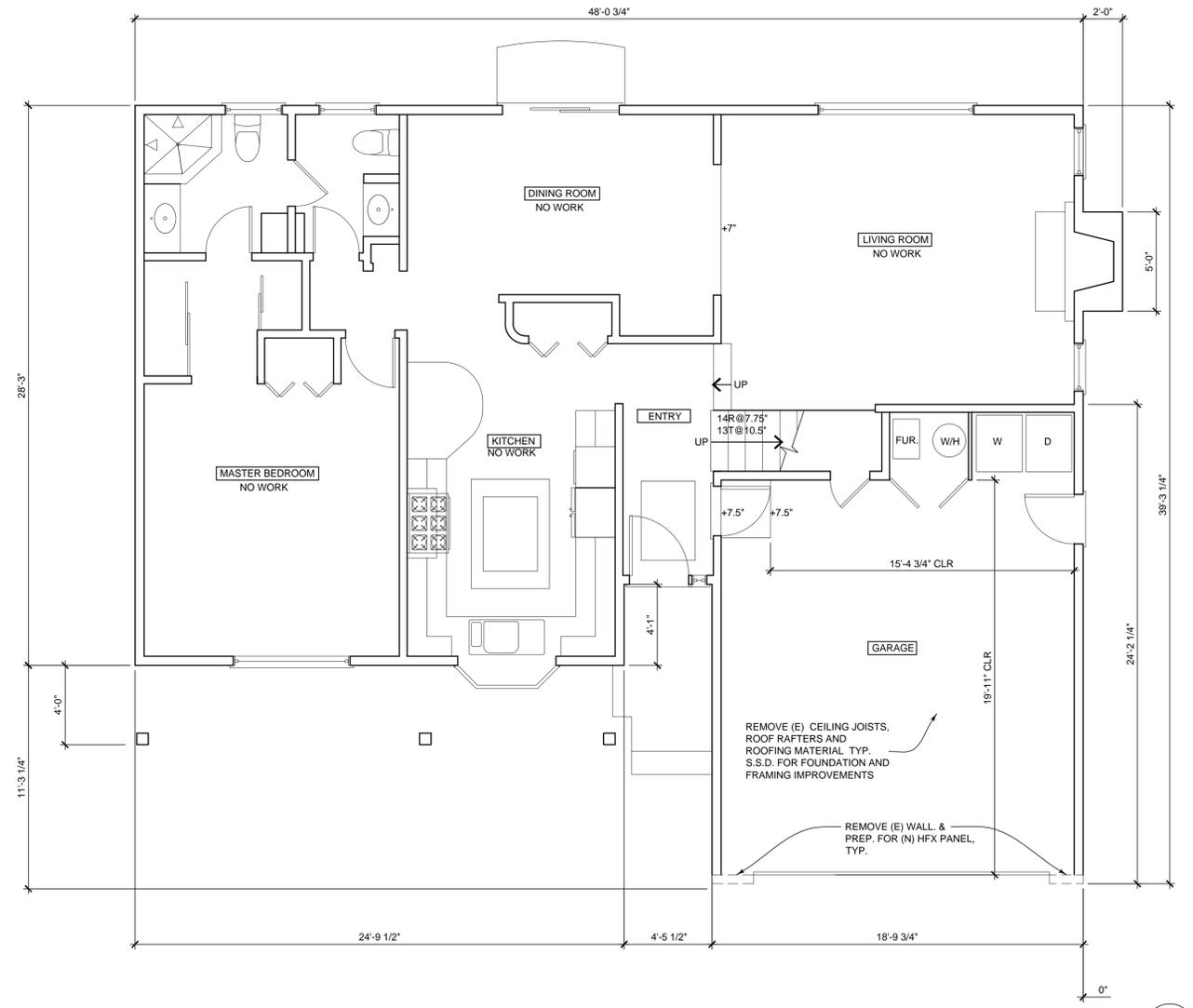
DEMO PLANS

JOB #: 2314

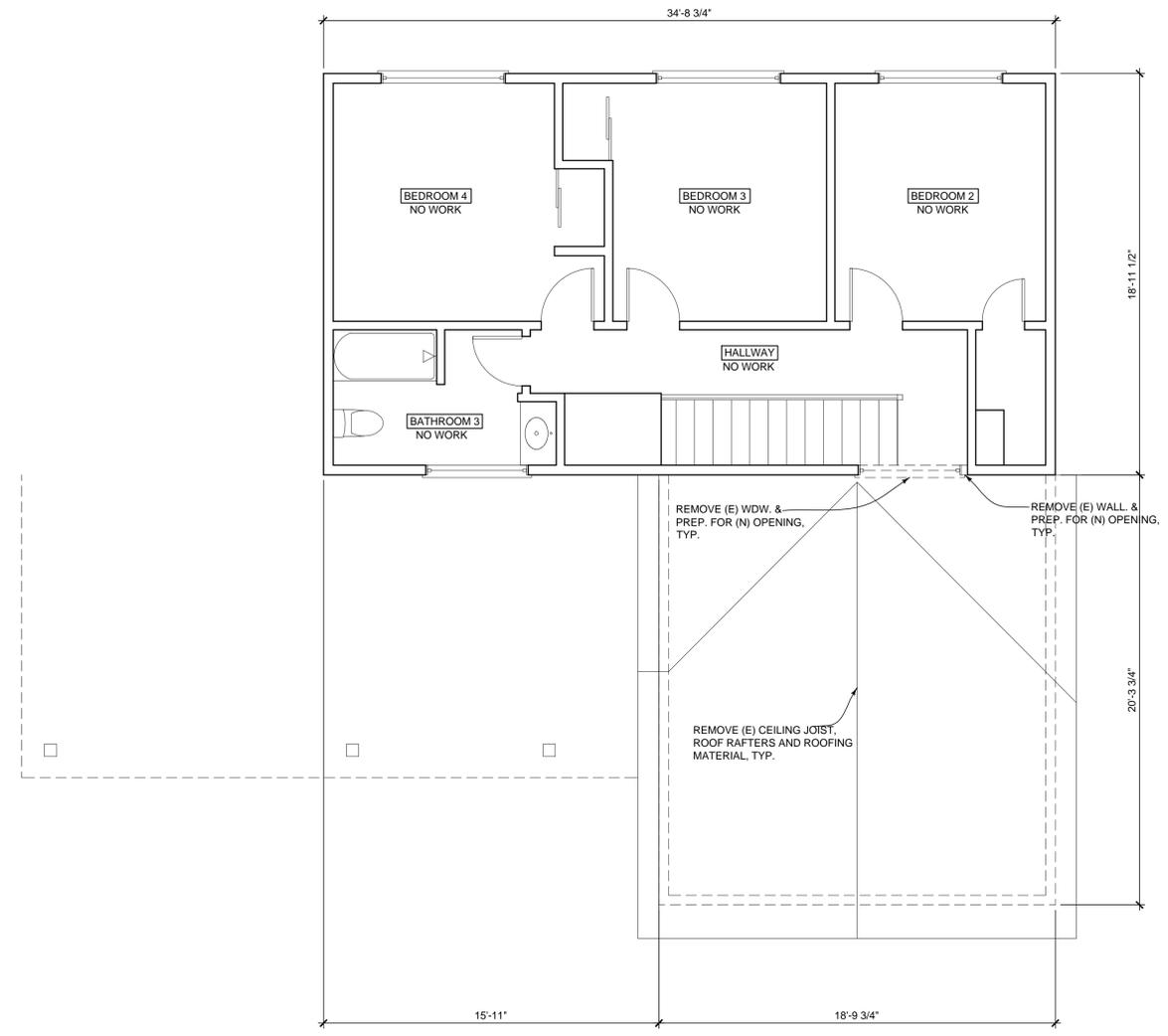
- DEMOLITION NOTES:**
1. GENERAL NOTES, SEE SHEETS A0.1 AND FLOOR PLANS FOR ADDITIONAL INFO.
 2. SITE MEETING, PRIOR TO DEMOLITION, THE G.C. SHALL CONDUCT A PRE-DEMOLITION SITE MEETING TO SCHEDULE THE WORK WITH THE OWNER, ARCHITECT, CONSULTANTS, AND SUBCONTRACTORS.
 3. PROTECTION, THE G.C. SHALL VERIFY ALL EXISTING FEATURES AND FINISHES TO REMAIN PRIOR TO DEMOLITION, AND VERIFY WITH OWNERS WHETHER REMOVED OR UNUSED PRODUCTS AND MATERIALS SHOULD BE SAVED OR DISCARDED.
 4. PROTECTION, THE G.C. SHALL TAKE ALL NECESSARY MEASURES TO PREVENT DAMAGE AND SETTLEMENT, AND PROTECT EXISTING BUILDING, APPLIANCES, AND FURNISHINGS DURING DEMOLITION. ANY DAMAGES TO THESE ITEMS SHALL BE PROMPTLY RESTORED, REPAIRED, OR REPLACED AT NO COST TO THE OWNER.
 5. PROTECTION, THE G.C. SHALL PROVIDE ALL NECESSARY TEMPORARY ENCLOSURES, COVERINGS, AND GUARDS TO ADEQUATELY PROTECT PERSONS FROM POSSIBLE INJURY.
 6. ENCROACHMENT, THE G.C. SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
 7. DISPOSAL, THE G.C. SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL CONSTRUCTION DEBRIS AND OTHER ASSOCIATED MATERIALS FROM THE STRUCTURE AND THE SITE.
 8. ELECTRICAL, ALL UNUSED AND DEMOLISHED ELECTRICAL IS TO BE REMOVED BACK TO THE NEAREST UTILIZED JUNCTION.
 9. CONTAINMENT, THE G.C. SHALL PROVIDE COVERINGS AND THE LIKE FOR CONFINING DUST AND DEBRIS TO AREAS OF THE BUILDING IN WHICH DEMOLITION AND/OR ALTERATIONS ARE BEING PERFORMED.
 10. REPAIRS, ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED DURING EXECUTION OF WORK SHALL BE EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION.
 11. SECURITY, THE G.C. SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.

- PROJECT KEYNOTES:**
1. STRUCTURE CORRECTION, AFTER DEMOLITION, THE G.C. SHALL IDENTIFY ALL REMAINING EXISTING CONDITIONS WHICH ARE UNLEVEL, OUT OF PLUMB, INADEQUATELY DRAINED OR WATERPROOFED, OR INSTALLED IN ANY OTHER MANNER WHICH DOES NOT MEET THE WORKMANSHIP EXPECTATIONS LISTED UNDER G.C. RESPONSIBILITIES ON SHEET A0.1. THE G.C. SHALL RECOMMEND CORRECTIVE ACTION TO THE OWNER AND ARCH.

WALL LEGEND:
 ——— (E) WALL
 - - - - (E) WALL TO BE REMOVED



2 1ST FLOOR DEMOLITION PLAN
A1.1 1/4"=1'-0"



1 2ND FLOOR DEMOLITION PLAN
A1.1 1/4"=1'-0"

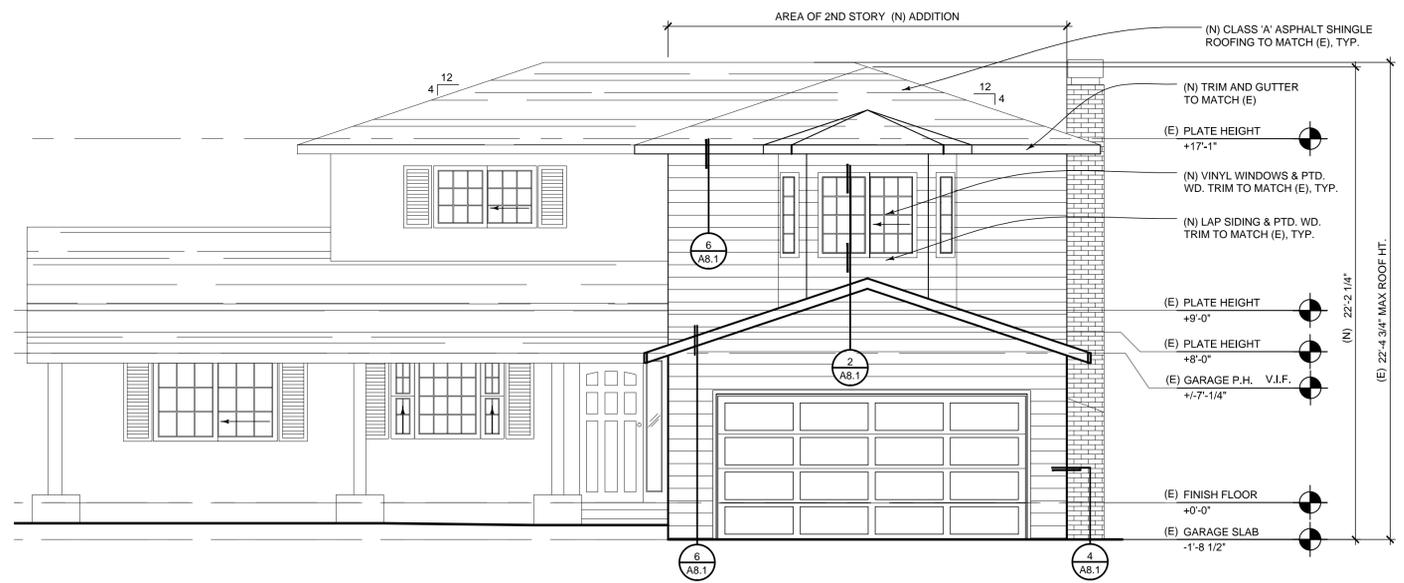
WHYTE RESIDENCE
 1191 LENOR WAY
 CAMPBELL, CA 95008



4 EXISTING WEST (BACK) ELEVATION -NO WORK
 A3.1 1/4"=1'-0"



2 EXISTING EAST (FRONT) ELEVATION
 A3.1 1/4"=1'-0"



1 PROPOSED EAST (FRONT) ELEVATION
 A3.1 1/4"=1'-0"

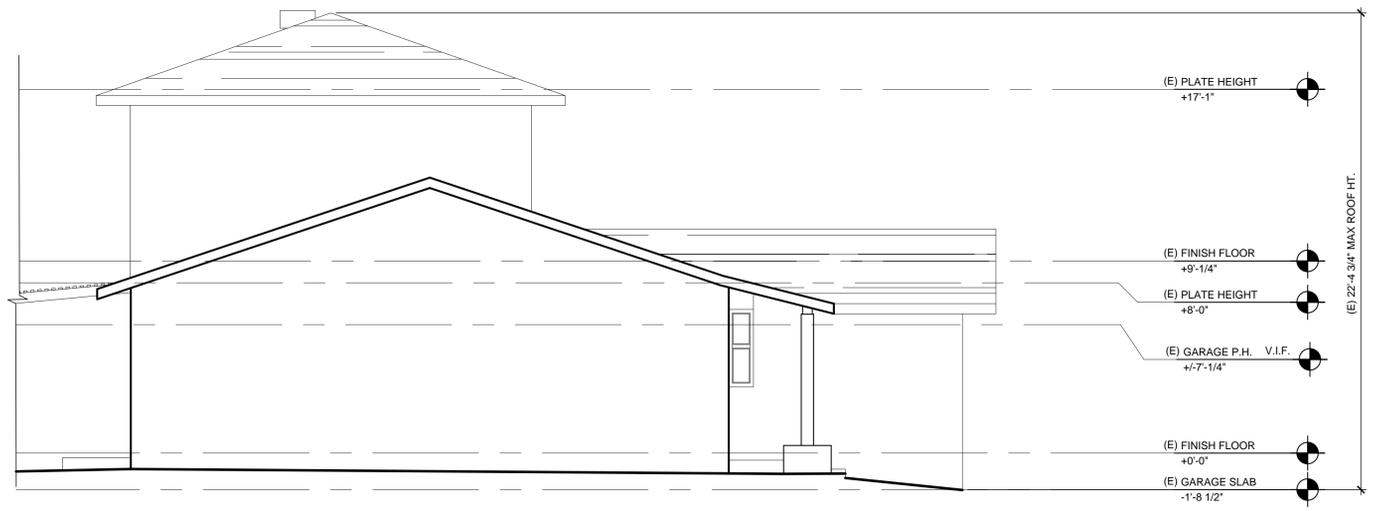


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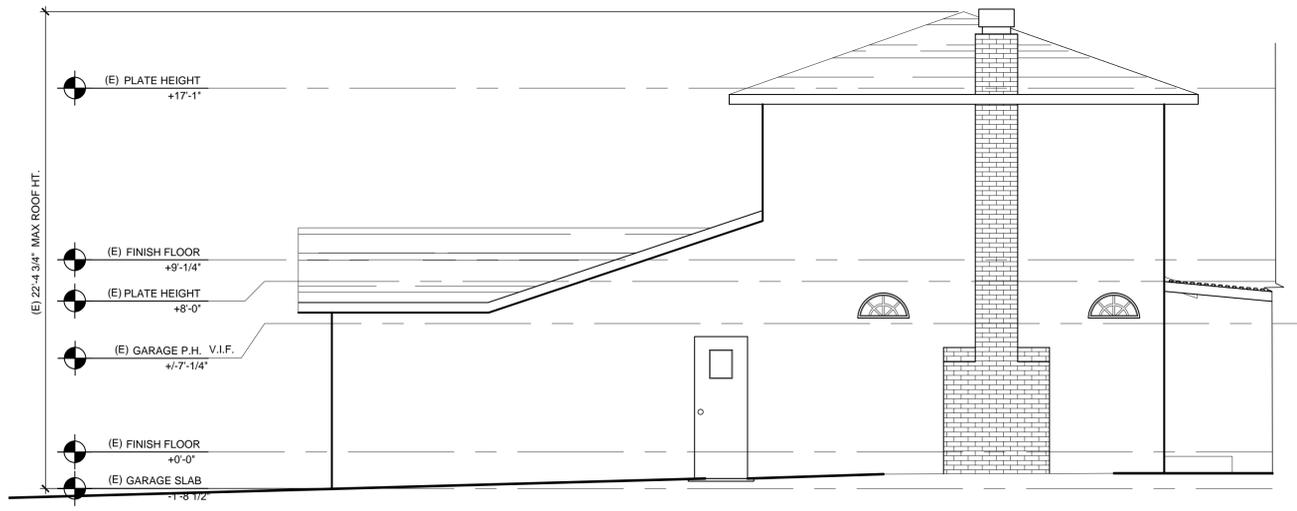
△	BLDG SUBMITTAL	09.15.23
△	PLNG SUBMITTAL	12.22.23
△		
△		
△		
△		

EXTERIOR ELEVATIONS

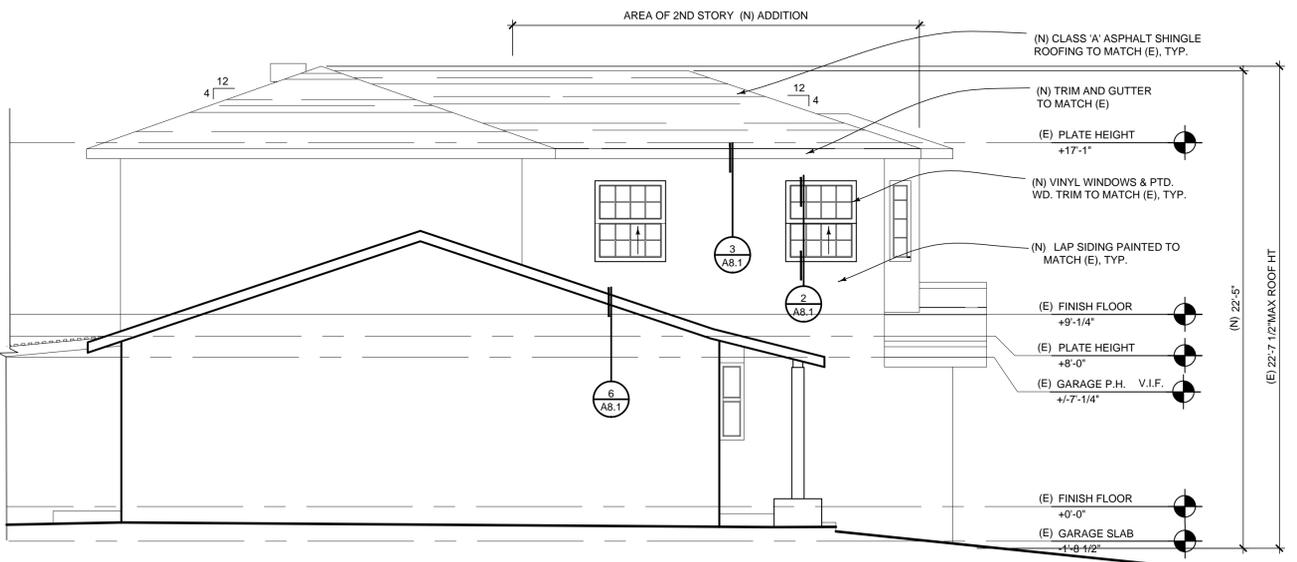
JOB #: 2314



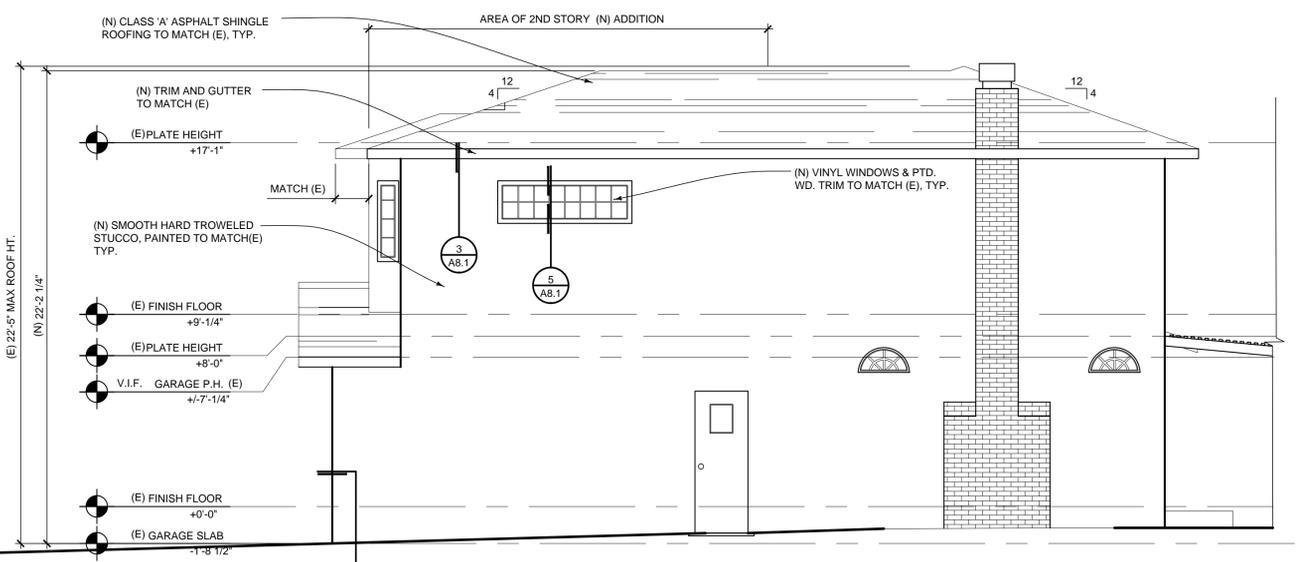
4 EXISTING SOUTH (LEFT) ELEVATION
 A3.2 1/4"=1'-0"



2 EXISTING NORTH (RIGHT) ELEVATION
 A3.2 1/4"=1'-0"



3 PROPOSED SOUTH (LEFT) ELEVATION
 A3.2 1/4"=1'-0"



1 PROPOSED NORTH (RIGHT) ELEVATION
 A3.2 1/4"=1'-0"



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△ BLDG SUBMITTAL	09.15.23
△ PLNG SUBMITTAL	12.22.23
△	
△	
△	
△	

EXTERIOR ELEVATIONS

JOB #: 2314



Image 1



Image 2



Image 3



Image 4

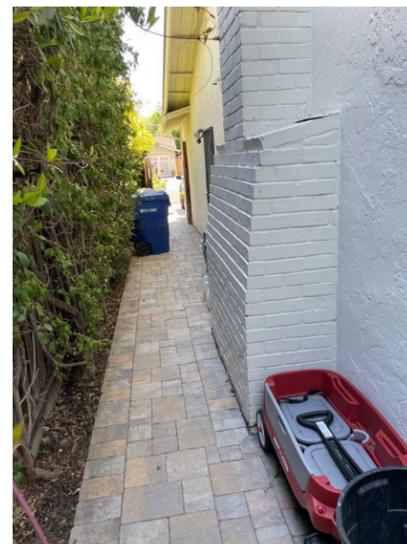


Image 5



Image 6

