


City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423

## Project Image



# Notice of Public Hearing

Dear Campbell Resident,

March 29, 2024

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday April 9, 2024, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

**Project Address:** 1796 Grace Avenue

**Zoning | Area Plan:** R-1-6 | N/A

**Neighborhood Association(s):** N/A

**Council District:** 2

**File No.:** PLN-2024-20

**APN:** 288-25-045

**Applicant:** Ramin Zohoor

**Property Owner:** Tilman and Friederike Wekel

**Application Type:** Site and Architectural Review

**Project Planner:** Larissa Lomen, Assistant Planner

**Project Description:**

Site and Architectural Review to allow a second story, 534 square foot addition to an existing single-family dwelling requesting a reduced 5-foot, 3-inch setback.

**You may participate virtually or watch online:**

- ◇ Register online to speak via Zoom:  
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:  
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS ) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

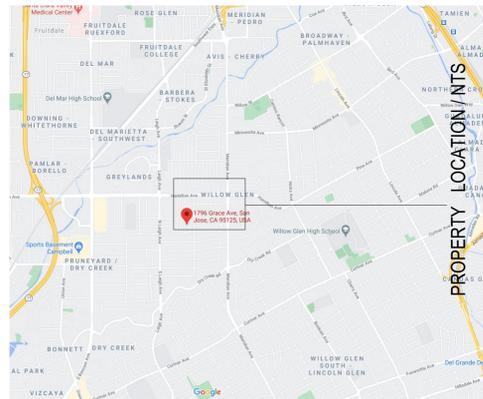
\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traduccion en Español



# GRACE AVE, RESIDENCE

SAN JOSE, CA 95125

## VICINITY MAP:



## PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 28825045  
 PROJECT TYPE: ADDITION / REMODEL  
 PROJECT LOCATION: 1796 GRACE AVE, SAN JOSE CA 95125  
 ZONING: R-1-6  
 OCCUPANCY GROUP: R-3/U  
 CONSTRUCTION TYPE: V - B  
 NUMBER OF FLOORS: 2  
 FIRE PROTECTION: NO FIRE SPRINKLER  
 BEDROOM: 6 TOTAL  
 BATHROOM: 4 FULL BATH  
 GARAGE: 2 CARS GARAGE  
 LOT AREA: 8236 SQ.FT  
 TRACT: 3254 CHERRY LANE, ADDN BOOK 162 PAGE 38 LOT 42

## CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL 2022 EDITION  
 B. CALIFORNIA BUILDING 2022 EDITION  
 C. CALIFORNIA GREEN BUILDING 2022 EDITION  
 D. CALIFORNIA MECHANICAL 2022 EDITION  
 E. CALIFORNIA PLUMBING 2022 EDITION  
 F. CALIFORNIA ELECTRICAL 2022 EDITION  
 G. CALIFORNIA ENERGY: 2022 EDITION  
 H. CALIFORNIA FIRE: 2022 EDITION  
 ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS. 2022 EDITION  
 I. CAMPBELL MUNICIPAL CODE 2022 EDITION

## GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM DESIGNER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

## PROJECT CONTACT:

OWNER: TILMAN & FRIEDRIKE WEKEL  
 1796 GRACE AVE,  
 SAN JOSE, CA 95125  
 TELL : 669-261-0980  
 EMAIL: ---  
 DESIGNER: RAMIN ZOHOOR  
 1828 S MILPITAS BLVD, #509  
 MILPITAS, CA 95035  
 TEL: 408-497-5071  
 EMAIL: ZOHOOR.RAMIN@GMAIL.COM  
 BUILDER: DREAM HOME REMODELING  
 1828 S MILPITAS BLVD, #509  
 MILPITAS, CA 95035  
 TEL: 408-539-2340  
 ENERGY: GM DESIGN  
 122 WENDY CT,  
 UNION CITY, CA 94587  
 TELL: 408-568-5644  
 EMAIL: gmartinez601@gmail.com

## DRAWING INDEX:

ARCHITECTURAL PLAN:  
 A-00.01: ARCHITECTURAL COVER SHEET  
 TOPO & BOUNDARY MAP  
 AS-1: SITE PLAN CONDITIONS & PRIVACY SHEET  
 A-01: EXISTING FLOOR PLAN 1ST AND 2ND LEVEL  
 A-02: PROPOSED FLOOR PLAN 2ND LEVEL  
 A-03: EXISTING ROOF PLAN 1ST AND 2ND LEVEL  
 A-04: PROPOSED ROOF PLAN 1ST AND 2ND LEVEL  
 A-05: EXISTING ELEVATIONS  
 A-06: PROPOSED ELEVATIONS  
 A-07: SITE PHOTOGRAPHY  
 A-08: FLOOR AREA DIAGRAM  
 A-09: BUILDING SECTION

## AREA CALCULATION:

EXISTING CONDITION:  
 "E" LIVING SPACE: 1310 SQF (1ST FLOOR)  
 "E" LIVING SPACE: 952 SQF (2ND FLOOR)  
 "E" GARAGE: 400 SQF  
 "E" PORCH: 60 SQF  
 "N" ADDITION: 534 SQF HABITABLE SPACE 2ND FLR  
 PROPOSED CONDITION:  
 "E" LIVING SPACE: 1310 SQF (1ST FLOOR)  
 "N" LIVING SPACE: 1486 SQF (2ND FLOOR)  
 "E" GARAGE: 400 SQF  
 "E" PORCH: 60 SQF  
 LOT AREA: 8,236 SQF  
 LOT COVERAGE: ( LIVING AREA+GARAGE+PORCH )  
 1310+400+60= 1770/8236 = 0.215= 21.5 %  
 FLOOR AREA : ( LIVING AREA+GARAGE )  
 1310+1486+400 = 3196 / 8236 = 0.388 = 39.0 %

## SCOPE OF WORK:

- EXISTING TWO STORY HOUSE WITH NEW ADDITION ON THE SECOND FLOOR AT 534 SQ.FT.  
 - NO WORK TO BE DONE ON THE EXISTING FIRST FLOOR OF THE HOUSE.  
 - CREATING A NEW TWO BEDROOM, AND ONE BATHROOM ON THE SECOND FLOOR AT TOTAL OF 534 SQ.FT.  
 - CONVERTING AN EXISTING BEDROOM SPACE TO AN OFFICE AND CREATING ACCESS TO THE NEW BEDROOMS AND BATHROOM.  
 - NEW BATHROOM TO HAVE FULL SIZE SHOWER, TUB, TOILET, AND SINK SPACE.  
 - KEEP EXISTING GAS METER IN SAME PLACE.  
 - KEEP EXISTING TANK WATER HEATER AS IS.  
 - KEEP EXISTING AC UNIT AS IS.  
 - KEEP EXISTING ELECTRICAL PANEL SAME AMP AT SAME LOCATION NO CHANGE.

## ADDITIONAL NOTES:

MINIMUM 65 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED OR SALVAGED PER CALIFORNIA GREEN BUILDING CODE SECTION 4.408.1

## PLUMBING NOTES: (IMPORTANT READ)

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

NOTE:  
 THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

REMODELING FOR:

## GRACE AVE, RESIDENCE

1796 GRACE AVE,  
 SAN JOSE, CA 95125

REVISION TABLE:



DESIGNER:  
 RAMIN ZOHOOR

TEL: 408-497-5071  
 ZOHOOR.RAMIN@GMAIL.COM

SHEET TITLE:

## COVER SHEET

PROJECT ID :  
 DATE : AUGUST 2023  
 SCALE :  
 DRAWN BY : RAMIN ZOHOOR

SHEET NUMBER:

A-00.01

OWNERSHIP: RAMIN ZOHOOR

*R. Zohoor*

**SURVEYOR'S NOTE**

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

*Koen Wilson* 12/4/23  
 KOEN T. WILSON LS 9440 DATE

**SITE BENCHMARK**

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 500.00' AT CONTROL POINT #1.

**GENERAL NOTES**

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).
4. LOCATIONS OF ALL EXISTING ONSITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.

**UNDERGROUND UTILITY NOTE**

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

**SETBACK LINES NOTE**

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

**TITLE REPORT NOTE**

A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS SHOWN ON THIS SURVEY WERE TAKEN FROM RECORDED AND UNRECORDED DOCUMENTS PROVIDED TO US BY THE CLIENT. WE CANNOT DETERMINE IF ANY EASEMENTS SHOWN HEREON ARE STILL VALID AND IN EXISTENCE. OTHER EASEMENTS WHICH ARE NOT SHOWN HEREON MAY ALSO EXIST. A CURRENT TITLE REPORT IS REQUIRED IN ORDER TO DETERMINE THE VALIDITY AND EXISTENCE OF ANY EASEMENTS OF RECORD. THE BOUNDARY WAS DETERMINED FROM THE CURRENT VESTING DEED.

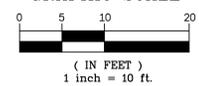
**LEGEND**

- FOUND 1" IRON PIPE OPEN MONUMENT WELL
- PROPERTY LINE
- - - EASEMENT LINE
- - - TIE LINE
- SS- UG SEWER LINE
- W- UG WATER LINE
- G- UG GAS LINE
- PH- UG PHONE LINE
- E- UG ELEC LINE
- OH- OVERHEAD LINE
- UTILITY BOX COM PH TRFC IRR
- ⊗ TRAFFIC SIGNAL
- ⊗ LAMP POST
- ⊗ WOOD FENCE
- ⊗ CHAIN LINK FENCE
- ⊗ GUYWIRE
- MAILBOX
- CONCRETE
- BUILDING
- BRICKS
- PAVERS
- DETECTABLE WARNING SURFACE
- ⊗ JP JOINT POLE
- ⊗ PP POWER POLE
- ⊗ UP UTILITY POLE
- ⊗ TP TELEPHONE POLE
- ⊗ BOLLARD
- ⊗ VALVE
- ⊗ HCP SYMBOL
- ⊗ SIGN
- ↑ TRAFFIC ARROWS
- ⊗ SANITARY SEWER MANHOLE
- ⊗ STORM DRAIN MANHOLE
- ⊗ COMMUNICATION MANHOLE
- ⊗ PERC TEST
- ⊗ FIRE HYDRANT
- ⊗ SEWER CLEANOUT
- ⊗ SURVEY CONTROL POINT
- ⊗ ELECTRIC METER
- ⊗ GAS METER
- ⊗ WATER METER
- ⊗ LIGHT POLE AND LIGHT
- ⊗ WALL
- ⊗ DROP INLET
- ⊗ MONITORING WELL

**ABBREVIATIONS**

- LO LIVE OAK
- WO WHITE OAK
- EUC EUCALYPTUS
- RW REDWOOD
- PUE PUBLIC UTILITY EASEMENT
- FF FINISH FLOOR ELEVATION
- WCE WIRE CLEARANCE EASEMENT

**GRAPHIC SCALE**



**CONTROL POINTS**

Point	Northing	Eastng	Elevation	Description
1	5067.299	4987.910	500.000	CP N+T
3	5145.305	5018.585	499.505	CP N+T
9	5122.001	5129.266	501.034	CP SPIKE

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on this map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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Email: [koenw@wilsonlandsurveys.com](mailto:koenw@wilsonlandsurveys.com)  
[www.wilsonlandsurveys.com](http://www.wilsonlandsurveys.com)

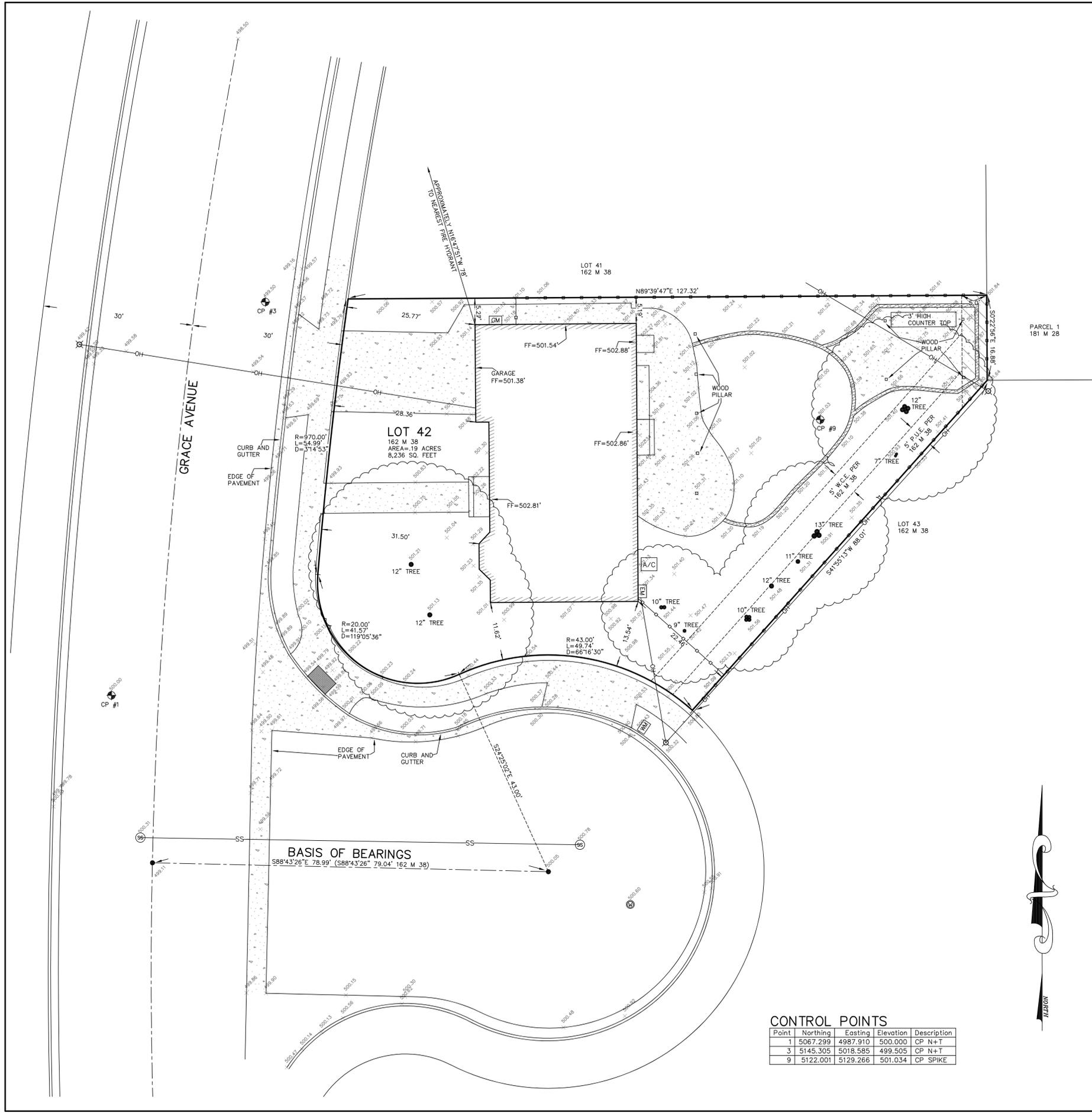
261 CARLTON CT  
 LOS GATOS, CA 95032 408-427-2279

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 AS REQUESTED BY:  
**DREAMHOME REMODELING**

LEGAL DESCRIPTION: LOT 42, TRACT 3254, 162 M 38, CITY OF PALO ALTO, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APN: 288-25-045  
 DATE: NOVEMBER 2023  
 FILENAME: P-178 GRACE DREAMHOME TOPO  
 SITE ADDRESS: 1796 GRACE AVE, SAN JOSE, CA

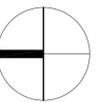
DRAWN BY: ARD	SCALE: 1"=10'	PROJECT: P-178	JOB NUMBER: P-178	SHEET: 1 OF 1
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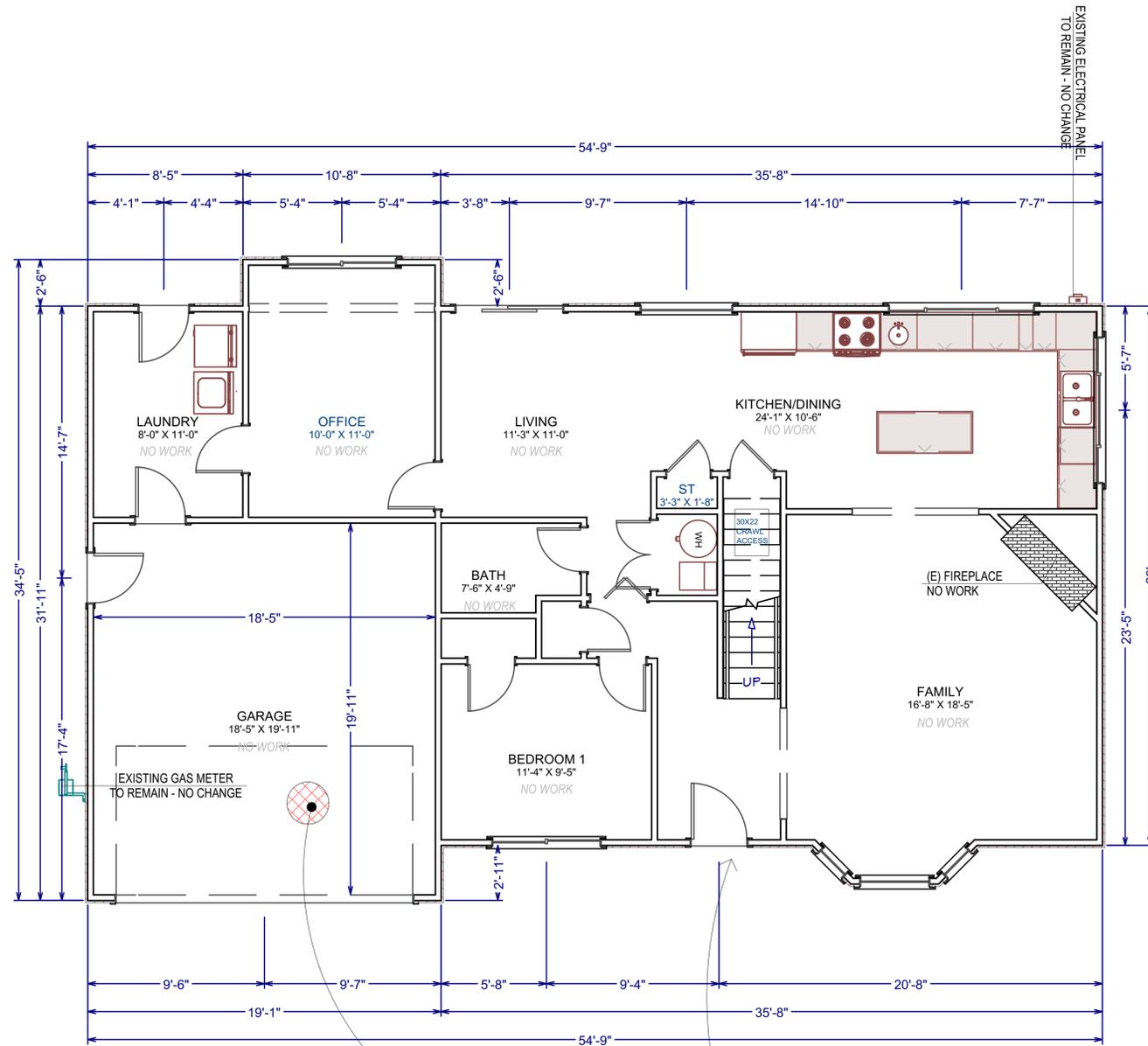


**LEGEND:**

EXISTING WALL TO STAY  
 EXISTING WALL REMOVED



NORTH

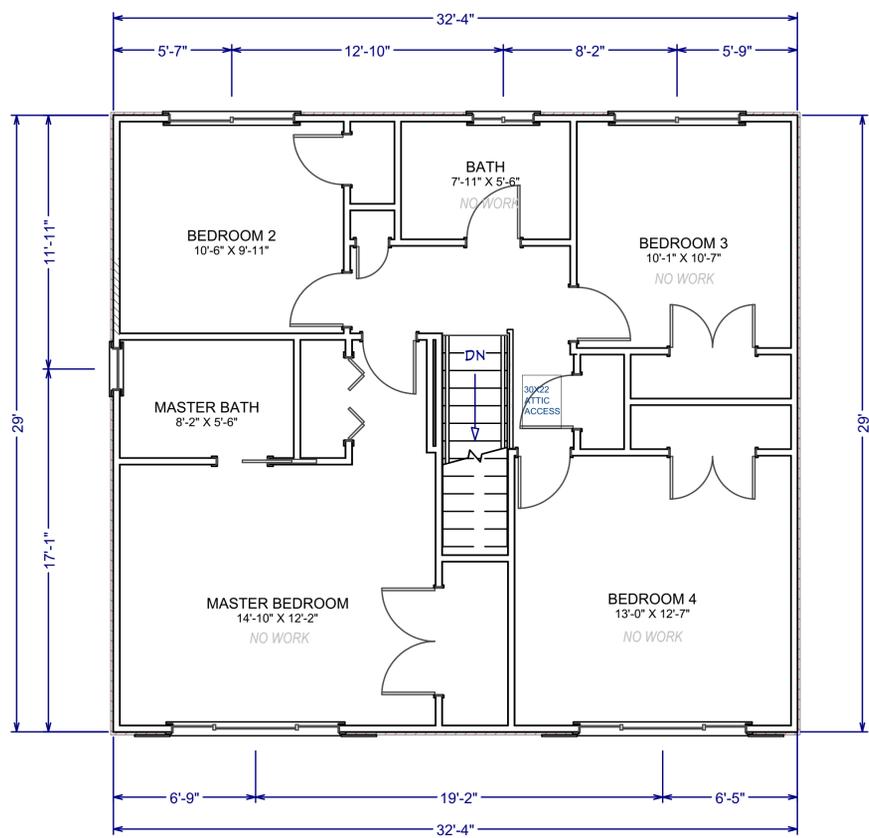


**FIRE RATED WALL & CEILING**  
 Garage attached to or within 3 feet of the dwelling unit shall be separated from dwelling with not less than 1/2-inch Type 'X' gypsum board on the garage side of the walls extending from foundation to underside of roof sheathing. GARAGE CEILING WITH 5/8" Type 'X' gypsum board WITH LIVING SPACE ABOVE

**HOUSE NUMBER NOTES:**

EXISTING HOUSE NUMBER : APPROVED ADDRESS NUMBER SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTERS SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)

1 EXISTING FLOOR PLAN - MAIN LEVEL (NO WORK)  
 SC: 1/4" = 1'-0"



2 EXISTING FLOOR PLAN - SECOND LEVEL  
 SC: 1/4" = 1'-0"

REMODELING FOR:  
**GRACE AVE, RESIDENCE**  
 1796 GRACE AVE,  
 SAN JOSE, CA 95125

REVISION TABLE:


DESIGNER:  
 RAMIN ZOHOOOR  
 TEL: 408-497-5071  
 ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:  
**EXISTING 1ST AND 2ND FLOOR CONDITIONS**

PROJECT ID :  
 DATE : AUGUST 2023  
 SCALE :  
 DRAWN BY : RAMIN ZOHOOOR

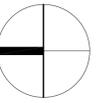
SHEET NUMBER:  
**A-01**

OWNERSHIP: RAMIN ZOHOOOR

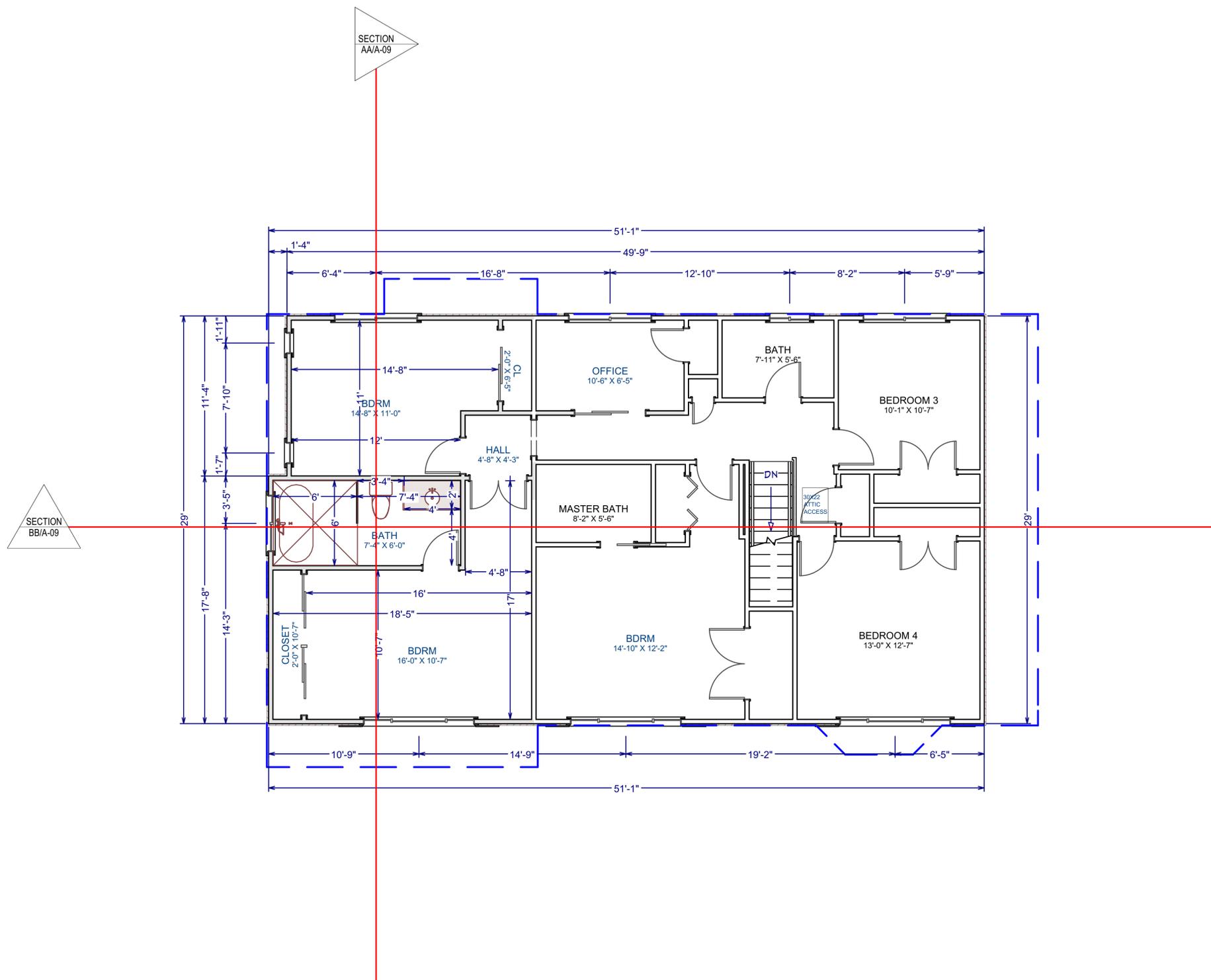
*R. Zohoor*

**LEGEND:**

-  EXISTING WALL TO STAY
-  NEW CONSTRUCTION WALL
-  FIRST FLOOR OUTLINE FLOOR PLAN AS SHOWN ON SHEET A-01



NORTH



REMODELING FOR:

**GRACE AVE,  
RESIDENCE**

1796 GRACE AVE,  
SAN JOSE, CA 95125

REVISION TABLE:

NO.	DESCRIPTION

DESIGNER:  
RAMIN ZOHOOOR

TEL: 408-497-5071  
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**PROPOSED  
2ND  
FLOOR  
CONDITIONS**

PROJECT ID :  
DATE : AUGUST 2023  
SCALE :  
DRAWN BY : RAMIN ZOHOOOR

SHEET NUMBER:

**A-02**

OWNERSHIP: RAMIN ZOHOOOR

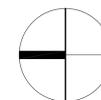


**1** PROPOSED FLOOR PLAN - MAIN LEVEL  
SC : 1/4" = 1'-0"

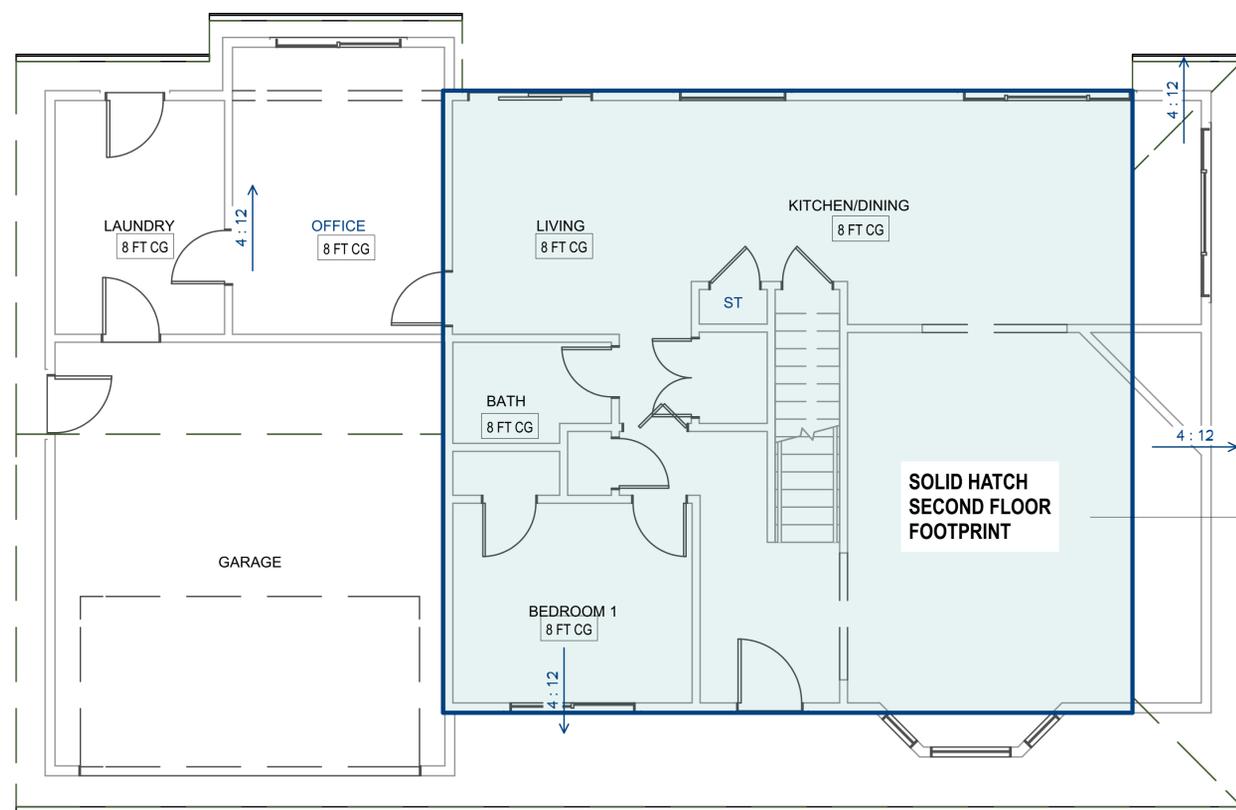
LEGEND:

WALLS

GRAPHIC SCALE : 1/8" INCH = 1 FEET  
0 1 2 3 4 5 10 15



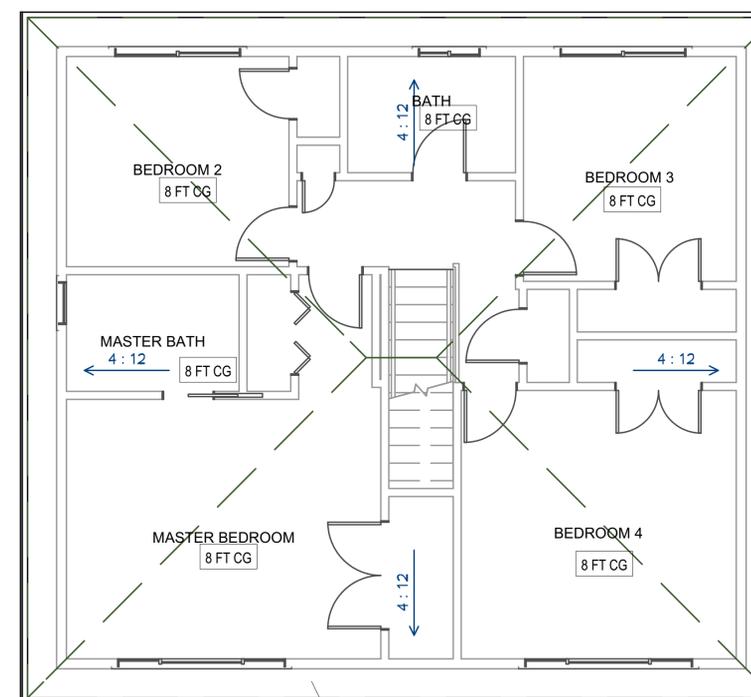
NORTH



EXISTING ROOF PITCH 4:12  
NEW ADDITION TO MATCH  
AT SAME ROOF PITCH 4:12

EXISTING ROOF PLAN - 1ST FLR

SC : 1/4" = 1'-0"



EXISTING ROOF COMP. SHINGLES MIN CLASS 'B'  
WITH TWO LAYERS OF #15 UNDERLAYMENT S  
NO WORK TO BE DONE -

EXISTING ROOF PITCH 4:12  
NEW ADDITION TO MATCH  
AT SAME ROOF PITCH 4:12

EXISTING ROOF PLAN - 2ND FLR

SC : 1/4" = 1'-0"

REMODELING FOR:

**GRACE AVE,  
RESIDENCE**

1796 GRACE AVE,  
SAN JOSE, CA 95125

REVISION TABLE:

NO.	DESCRIPTION

DESIGNER:  
RAMIN ZOHOOOR

TEL: 408-497-5071  
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**EXISTING  
CEILING &  
ROOF PLAN  
CONDITIONS**

PROJECT ID :  
DATE : AUGUST 2023  
SCALE :  
DRAWN BY : RAMIN ZOHOOOR

SHEET NUMBER:

**A-03**

OWNERSHIP: RAMIN ZOHOOOR

*Ramin Zohoor*



EXISTING FRONT ELEVATIONS

SC : 1/4" = 1'-0"



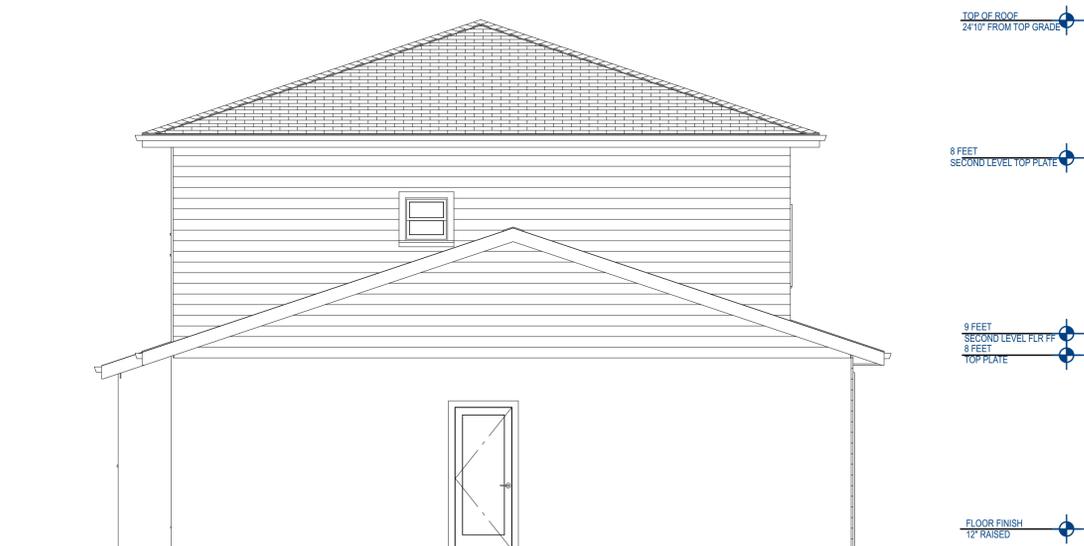
EXISTING REAR ELEVATIONS

SC : 1/4" = 1'-0"



EXISTING LEFT ELEVATIONS

SC : 1/4" = 1'-0"



EXISTING RIGHT ELEVATIONS

SC : 1/4" = 1'-0"



REMODELING FOR:

**GRACE AVE,  
RESIDENCE**

1796 GRACE AVE,  
SAN JOSE, CA 95125

REVISION TABLE:

△	

DESIGNER:  
RAMIN ZOHOOOR  
TEL: 408-497-5071  
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**EXISTING  
ELEVATIONS**

PROJECT ID :  
DATE : AUGUST 2023  
SCALE :  
DRAWN BY : RAMIN ZOHOOOR

SHEET NUMBER:

**A-05**

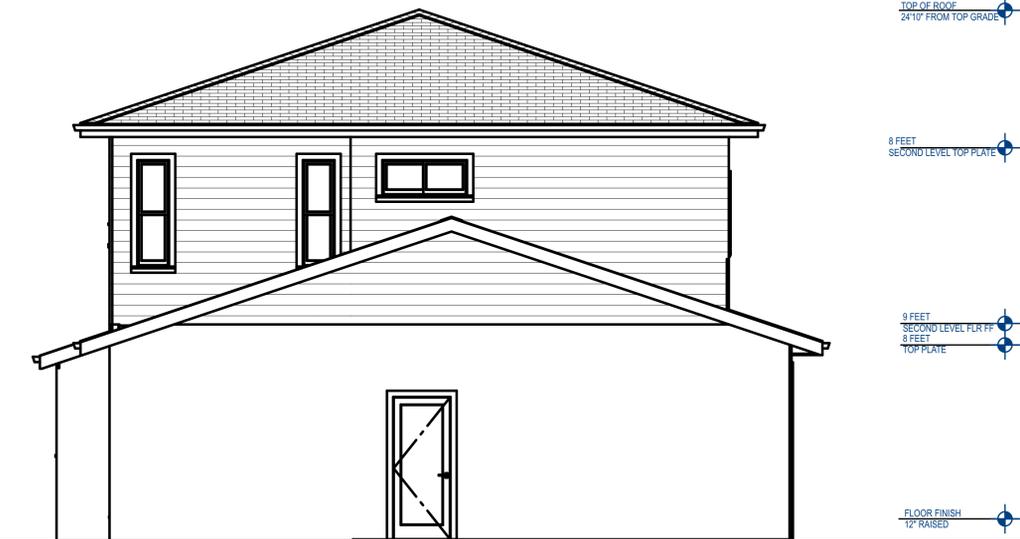
OWNERSHIP: RAMIN ZOHOOOR

*R. Zohoor*

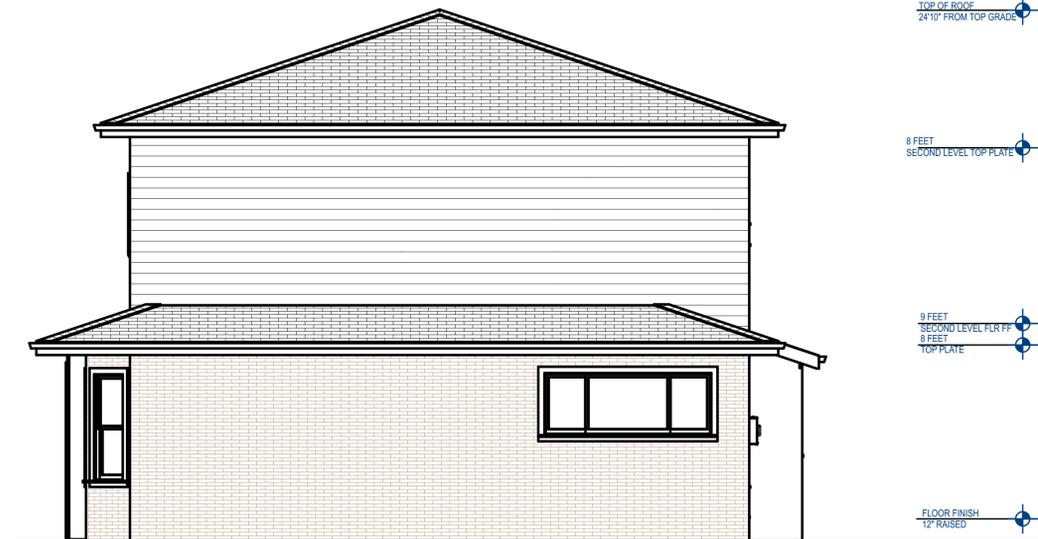
PROPOSED FRONT ELEVATIONS  
SC: 1/4" = 1'-0"



PROPOSED REAR ELEVATIONS  
SC: 1/4" = 1'-0"



PROPOSED LEFT ELEVATIONS  
SC: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATIONS  
SC: 1/4" = 1'-0"

REMODELING FOR:  
**GRACE AVE,  
RESIDENCE**  
1796 GRACE AVE,  
SAN JOSE, CA 95125

REVISION TABLE:

△	

DESIGNER:  
RAMIN ZOHOOR  
TEL: 408-497-5071  
ZOHOO.RAMIN@GMAIL.COM

SHEET TITLE:

**PROPOSED  
ELEVATIONS**

PROJECT ID :  
DATE : AUGUST 2023  
SCALE :  
DRAWN BY : RAMIN ZOHOOR

SHEET NUMBER:

**A-06**

OWNERSHIP: RAMIN ZOHOOR

*R. Zohoor*



REMODELING FOR:

**GRACE AVE,  
RESIDENCE**

1796 GRACE AVE,  
SAN JOSE, CA 95125

REVISION TABLE:

△

DESIGNER:  
RAMIN ZOHOOR  
TEL: 408-497-5071  
ZOHOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**SITE  
PHOTOGRAPHY**

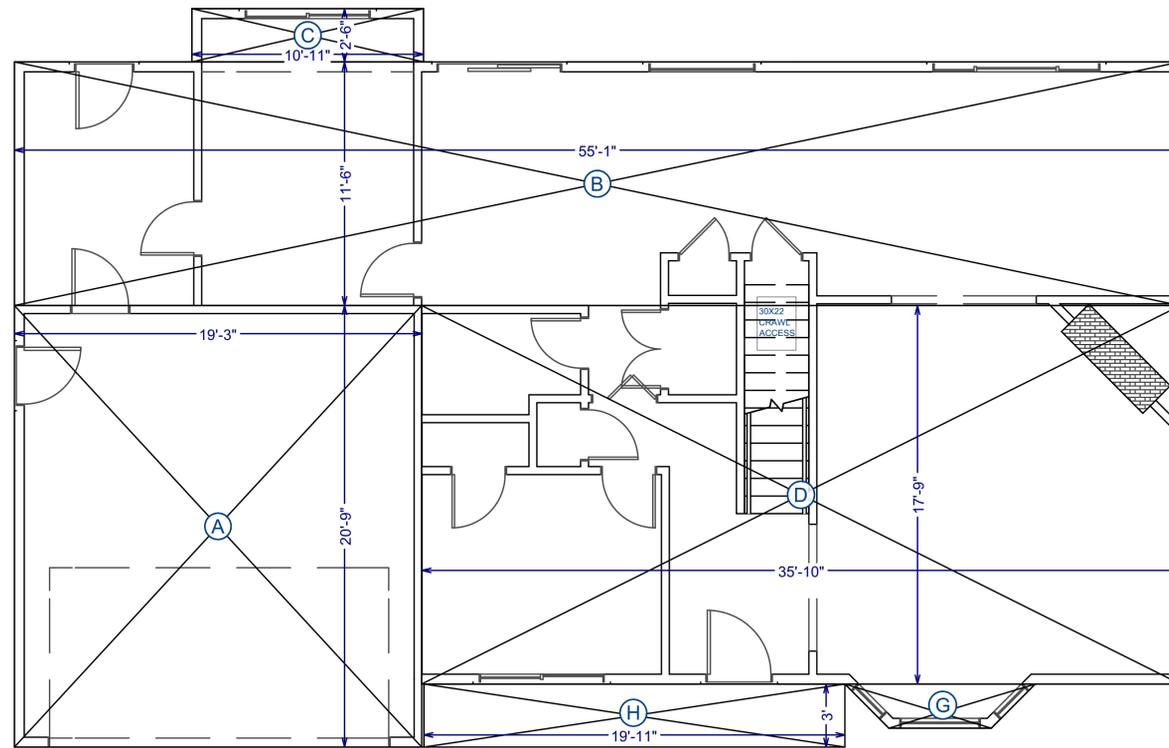
PROJECT ID :  
DATE : AUGUST 2023  
SCALE : 1/4" = 1'  
DRAWN BY : RAMIN ZOHOOR

SHEET NUMBER:

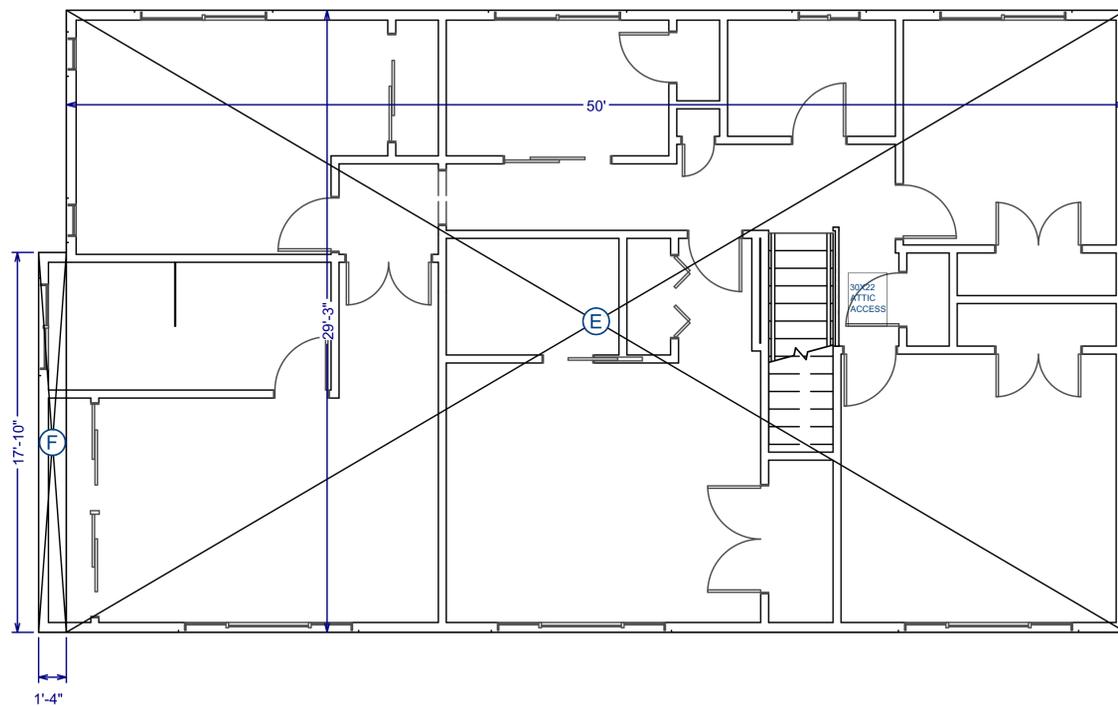
**A-07**

OWNERSHIP: RAMIN ZOHOOR

*R. Zohoor*



PROPOSED FAR FIRST FLOOR  
 SC: 1/4" = 1'-0"



PROPOSED FAR SECOND FLOOR  
 SC: 1/4" = 1'-0"

LABEL	MEASUREMENTS	AREA		
A	20'9"X19'3"	400		
B	55'1"X11'6"	633		
C	2'6"X10'11"	27		
D	17'9"X35'10"	636		
E	29'3"X50'0"	1462		
F	1'4"X17'10"	24		
G		14		
H	3'0"X19'11"	60		
			TOTAL FAR	3196
			TOTAL LOT C.	1770

REMODELING FOR:

**GRACE AVE,  
 RESIDENCE**

1796 GRACE AVE,  
 SAN JOSE, CA 95125

REVISION TABLE:

NO.	DATE	DESCRIPTION

DESIGNER:  
 RAMIN ZOHOOR  
 TEL: 408-497-5071  
 ZOHOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**FAR DIAGRAM**

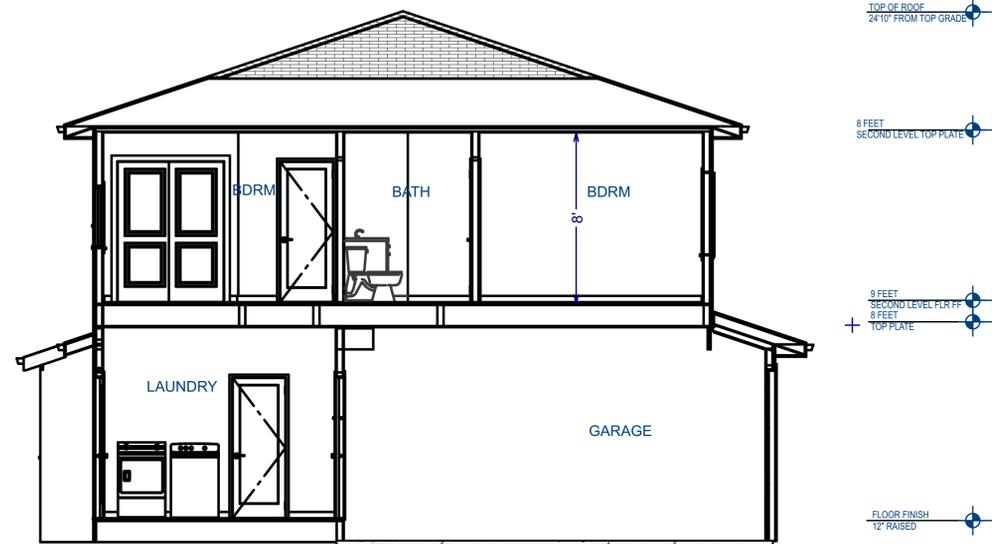
PROJECT ID :  
 DATE : AUGUST 2023  
 SCALE :  
 DRAWN BY : RAMIN ZOHOOR

SHEET NUMBER:

**A-08**

OWNERSHIP: RAMIN ZOHOOR

*R. Zohoor*



1 CROSS SECTION A-A  
SC: 1/4" = 1'-0"



1 CROSS SECTION B-B  
SC: 1/4" = 1'-0"

REMODELING FOR:

**GRACE AVE,  
RESIDENCE**

1796 GRACE AVE,  
SAN JOSE, CA 95125

REVISION TABLE:

△

DESIGNER:  
RAMIN ZOHOOOR  
TEL: 408-497-5071  
ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**CROSS  
SECTIONS**

PROJECT ID :  
DATE : AUGUST 2023  
SCALE :  
DRAWN BY : RAMIN ZOHOOOR

SHEET NUMBER:

**A-09**

OWNERSHIP: RAMIN ZOHOOOR

*R. Zohoor*