

Location of Proposed Project




City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

April 6, 2024

The Community Development Director will be rendering a decision on the following project.

Project Address: 54 W. Rincon Ave.

Zoning | Area Plan: NC-MU | N/A

Neighborhood Association(s): N/A

Council District: 3

File No.: PLN-2023-197

APN: 305-33-017

Applicant: FTG Builders Inc

Property Owner: FTG Builders Inc

Application Type: Administrative Housing Development Project Permit, Tentative Parcel Map, and Tree Removal Permit.

Project Planner: Daniel Fama, Senior Planner

Email Contact: daniel@campbellca.gov

Phone Contact: (408) 866-2193

Project Description: Construction of an approximately 10,000 square-foot, 3-story, 4-unit residential condominium building.

CEQA Determination: This project is Categorically Exempt under Sections 15303(b) (New Construction of Small Structures) and 15315 (Minor Land Divisions) of the California Environmental Quality Act (CEQA), pertaining to the construction of a multi-family residential structure designed for not more than six dwelling units and the division of property in an urbanized areas into four or fewer parcels when in conformance with the City's General Plan and Zoning Code, respectively.

Comment Period: You have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on **April 6, 2024**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 PM on **April 16, 2024**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. **Please note that this application is subject to the Housing Accountability Act, which restricts the City's ability to deny, reduce the density of, or make infeasible compliant housing development projects.**

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



FOUR NEW RESIDENCES

54 W. RINCON AVENUE
CAMPBELL, CALIFORNIA

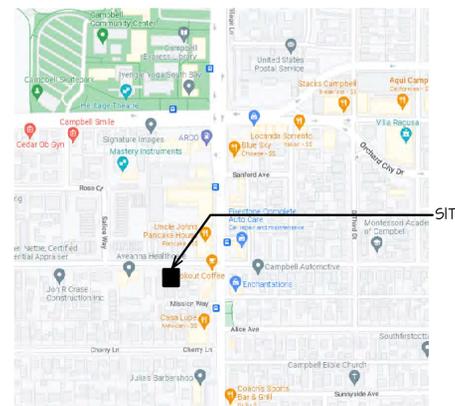
BY
FTG BUILDERS, INC.

PROJECT DATA (SQUARE FEET, UNLESS OTHERWISE NOTED)

A	UNIT NUMBER	1	2	3	4	COMMON	WHOLE SITE
B	LOT SIZE (GROSS & NET)	--	--	--	--	--	8,000 (0.1836547 acre)
C	UNIT PLAN TYPE	A	A REV.	B	B REV.	--	
D	FIRST FLOOR	568.54	568.54	0	0	263.49	3,586.17*
E	SECOND FLOOR	632.97	632.97	471.55	471.55	55.94	3,383.35*
F	THIRD FLOOR	657.64	657.64	815.31	815.31	0	3,156.66*
G	TOTAL LIVING SPACE	1,859.15	1,859.15	1,786.86	1,786.86	319.43	10,126.18*
H	AVERAGE UNIT SIZE	--	--	--	--	--	1,823.01
I	GARAGE	--	--	--	--	1,791.43	1,791.43
J	PRIVATE STORAGE ROOM	62.44	62.44	55.72	62.44	--	242.74
K	COVERED PORCH / STOOP	13.38	13.38	--	--	56.77	83.53
L	BUILDING LOT COVERAGE (STRUCTURE COVERAGE)	--	--	--	--	--	3,580.48
M	BUILDING LOT COVERAGE %	--	--	--	--	--	44.76
N	FLOOR AREA RATIO	--	--	--	--	--	1.27
O	LANDSCAPING COVERAGE	--	--	--	--	--	1,540.33
P	LANDSCAPING COVERAGE %	--	--	--	--	--	19.25
Q	PAVEMENT COVERAGE	--	--	--	--	--	2,817.75
R	PAVEMENT COVERAGE %	--	--	--	--	--	35.22
S	REQ. MIN. PRIVATE OPEN SPACE	0	0	0	0	--	--
T	"DOOR YARD" (PRIVATE OPEN SPACE)	165.46	165.46	--	--	--	330.92
U	REAR DECK (PRIVATE OPEN SPACE)	--	--	147.37	147.37	--	294.74
V	NUMBER OF BEDROOMS	4	4	4	4	--	16
W	PARKING SPACES: MINIMUM / PROPOSED	--	--	--	--	--	0 / 8
X	FRONT SETBACK: MIN. / MAX. / PROPOSED	--	--	--	--	--	15' / 20' / 15'
Y	LEFT SIDE (EAST) SETBACK: MINIMUM / PROPOSED	--	--	--	--	--	5'-0" / 7'-0"
Z	RIGHT SIDE (WEST) SETBACK: MINIMUM / PROPOSED	--	--	--	--	--	5'-0" / 24'-9 3/4"
AA	REAR SETBACK: MINIMUM / PROPOSED	--	--	--	--	--	3'-0" or HALF OF BLDG. HT. / 5'-6" & < HALF OF BLDG. HT.
BB	FLOOR TO FLOOR HEIGHT: 1ST TO 2ND	--	--	--	--	--	10'-3"
CC	FLOOR TO FLOOR HEIGHT: 2ND TO 3RD	--	--	--	--	--	9'-3"
DD	BUILDING HEIGHT: MAXIMUM / PROPOSED	--	--	--	--	--	45' / 29'-11"
EE	HEIGHT TO EAVES WITHIN 25' OF REAR P.L.: MAX. / PROP.	--	--	--	--	--	25' / 25'
FF	DEPTH OF MAIN BODY OF BUILDING: MAX. / PROP.	--	--	--	--	--	120' / 74'-6"
GG	DEPTH OF HABITABLE SPACE AT GROUND FLOOR: MIN. / PROP.	--	--	--	--	--	25' / 30'
HH	DISTANCE FROM FRONT P.L. TO PARKING: MIN. / PROP.	--	--	--	--	--	40' / 45'
II	BLDG. WITHIN 6' SIDE SETBACK WINDOW PRIVACY ZONE:	--	--	--	--	--	NONE
JJ	BUILDING TYPE:	--	--	--	--	--	"MAIN STREET BUILDING"
KK	"DESIGN SITE" MINIMUM / MAXIMUM / PROPOSED	--	--	--	--	--	25'W X 100'D / 100'W X 100'D / 80'W X 100'D
LL	BUILDING MASSING TYPE:	--	--	--	--	--	"FLAT ROOF BOX"

* INCLUDES VOIDS FOR UTILITY CHASES AND 1" AIR GAP BETWEEN UNITS, EXCEEDS SUM OF LIVING UNITS AND COMMON AREAS.

VICINITY MAP



SITE ADDRESS

54 W. RINCON AVENUE
CAMPBELL, CA 95008

ASSESSOR'S PARCEL NUMBER

305-33-017

ZONING DISTRICT

T4N.M-OPEN : NEIGHBORHOOD MEDIUM
WITH "WALKABLE OVERLAY"

GENERAL PLAN LAND USE DISTRICT

MU-N : NEIGHBORHOOD COMMERCIAL MIXED USE

DESIGN SITES

ONE DESIGN SITE 80' X 100' (WHOLE PARCEL) WITH
ONE BUILDING

GROUND FLR. NON-RESIDENTIAL REQ.

NOT REQUIRED. SITE IS NOT IN A DESIGNATED TIER 1
OR TIER 2 AREA.

"LARGE SITE"

SITE IS NOT A "LARGE SITE" PER MFDD5 SECTION 3.020.

SHEET INDEX

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TM-1	PROPOSED SUBDIVISION PLAN & NOTES
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TM-3	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
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L2.1	PLANTING PLAN
L2.2	PLANT PALETTE AND IMAGERY
L3.0	IRRIGATION DETAILS

SCOPE OF WORK

REDEVELOP 8,000 S.F. SITE FROM ONE SINGLE-FAMILY
RESIDENCE TO FOUR RESIDENTIAL CONDOMINIUMS IN ONE
THREE-STORY BUILDING. PROPOSED RESIDENCES WOULD
SHARE A COMMON ENTRY AT THE FRONT OF THE
BUILDING AND INCLUDE FOUR BEDROOMS AND 1,786-1,859
S.F. OF LIVING SPACE. THERE WILL BE EIGHT
OFF-STREET PARKING SPACES IN A COMMON GARAGE
WITH PRIVATE STORAGE ROOMS FOR EACH UNIT AROUND
THE EDGES. A COMMON TRASH ROOM, CONNECTED TO
THE GARAGE, WILL PROVIDE SPACE TO STORE
GARBAGE AND RECYCLING CARTS. THE GARAGE WOULD
BE ACCESSED VIA A DRIVEWAY ALONG THE WEST SIDE.

ADJACENCY MAP

SEE DEVELOPMENT SITE PLAN ON SHEET S1
FOR ADJACENT PROPERTY INFO.

RESIDENTIAL DENSITY

21.78 UNITS / ACRE

APPLICABLE BUILDING CODES

PROJECT SHALL COMPLY WITH THE FOLLOWING:
CALIFORNIA FIRE CODE (CFC) 2022
CALIFORNIA BUILDING CODE (CBC) 2022
CITY OF CAMPBELL MUNICIPAL CODE (CMC)
CALIFORNIA CODE OF REGULATIONS (CCR)

DEFERRED SUBMITTALS:

FIRE SPRINKLER DESIGN
FIRE ALARM SYSTEM

PROP. CONSTRUCTION TYPE:

R-2 (OCCUPANCY TYPE)
V-A (CONSTRUCTION TYPE)

SCOPE OF PROJECT:

NEW 10,126 SF 3-STORY R-2 BUILDING WITH FOUR
RESIDENTIAL UNITS

AJS Architecture | Planning

Anthony Sarboraria, AIA
2038 Fourth Street
Livermore, California 94550
925.980.4103
Tony@AJSArchitecturePlanning.com

FTG Builders, Inc.

1565 Lafayette Street
Santa Clara, California 95050
408.878.5327
doris@ftgbuilders.com

54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

COVER SHEET

PLN2023-197 RESUBMITTAL - 3/15/2024
Project No.: 121.001

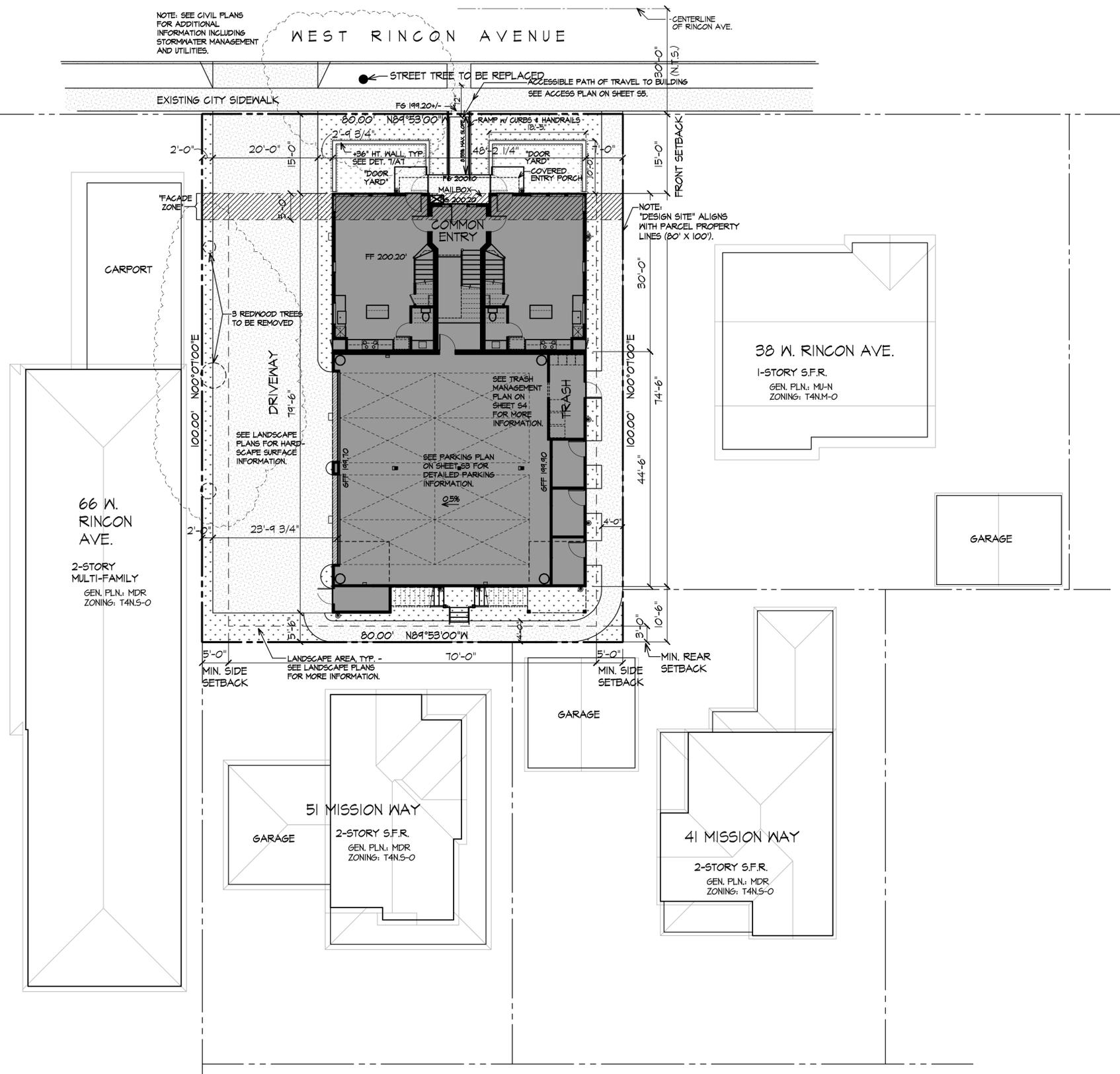
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NOTE: SEE CIVIL PLANS FOR ADDITIONAL INFORMATION INCLUDING STORMWATER MANAGEMENT AND UTILITIES.

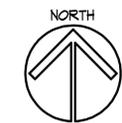
WEST RINCON AVENUE

CENTERLINE OF RINCON AVE.

- ADDITIONAL SITE INFORMATION:
- FENCES: SHEET S3
 - PRIVACY: SHEET S3
 - PARKING: SHEET S3
 - ALT. SITE CONFIGURATION: SHEET S4
 - EMERGENCY ACCESS: SHEET S4
 - TRASH MANAGEMENT: SHEET S4
 - MAIL DELIVERY: SHEET S5
 - ACCESSIBILITY: SHEET S5



DEVELOPMENT SITE PLAN



AJS Architecture | Planning
 Anthony Sarbararia, AIA
 2038 Fourth Street
 Livermore, California 94550
 925.980.4103
 Tony@AJSArchitecturePlanning.com

FTG Builders, Inc.
 1565 Lafayette Street
 Santa Clara, California 95050
 408.878.5327
 doris@ftgbuilders.com

54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

DEVELOPMENT SITE PLAN

PLN2023-197 RESUBMITTAL - 3/15/2024
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① ADJACENT LOT - EAST
(38 W. RINCON AVE.)



② PROJECT SITE
(54 W. RINCON AVE.)



③ ADJACENT LOT - WEST
(66 W. RINCON AVE.)



④ ACROSS THE STREET
(65 W. RINCON AVE.)



⑤ PROJECT SITE



⑥ REDWOOD TREES &
ADJACENT BUILDING
FROM SITE



⑦ REAR NEIGHBORS
FROM SITE

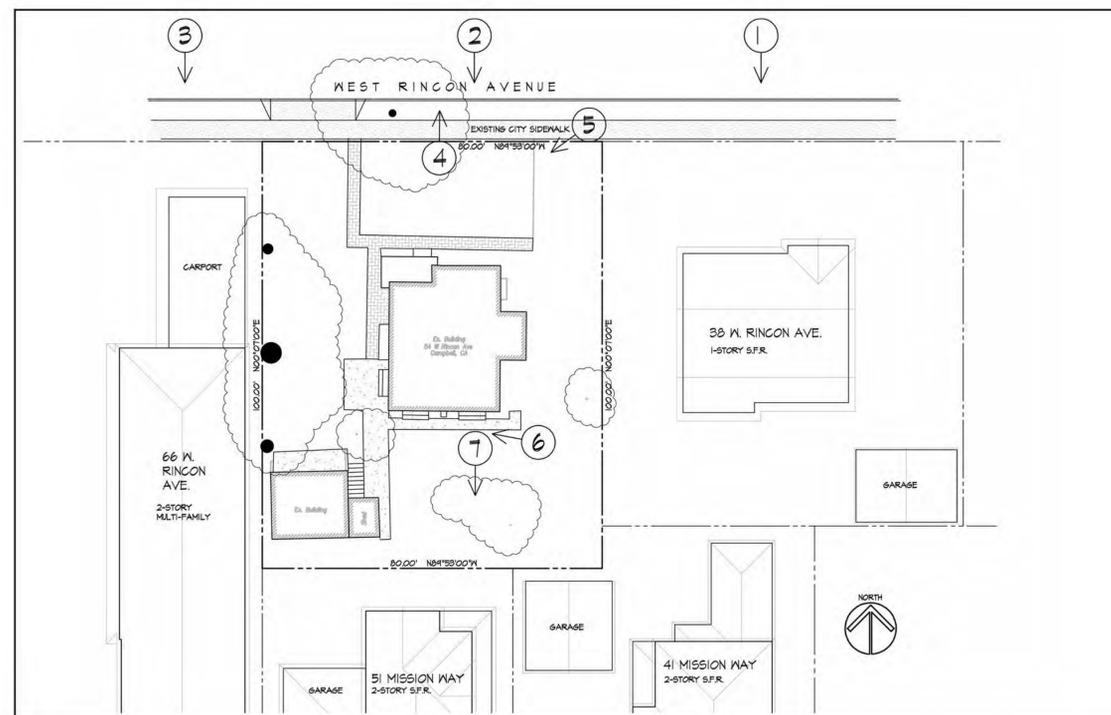
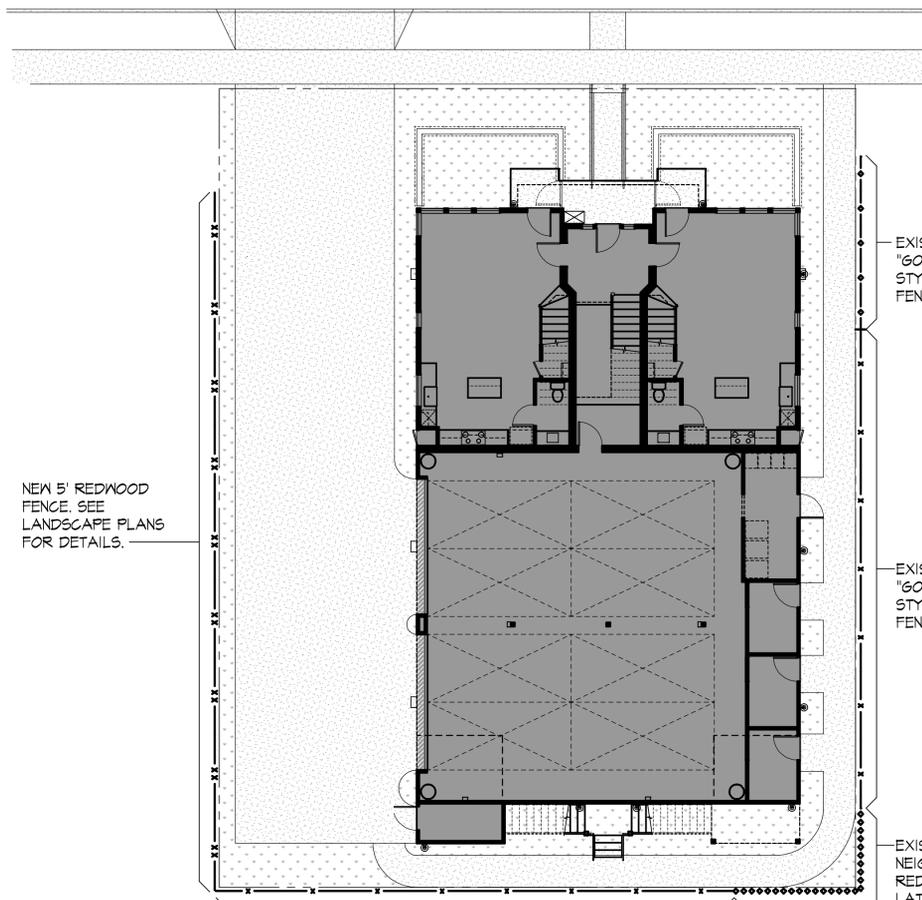
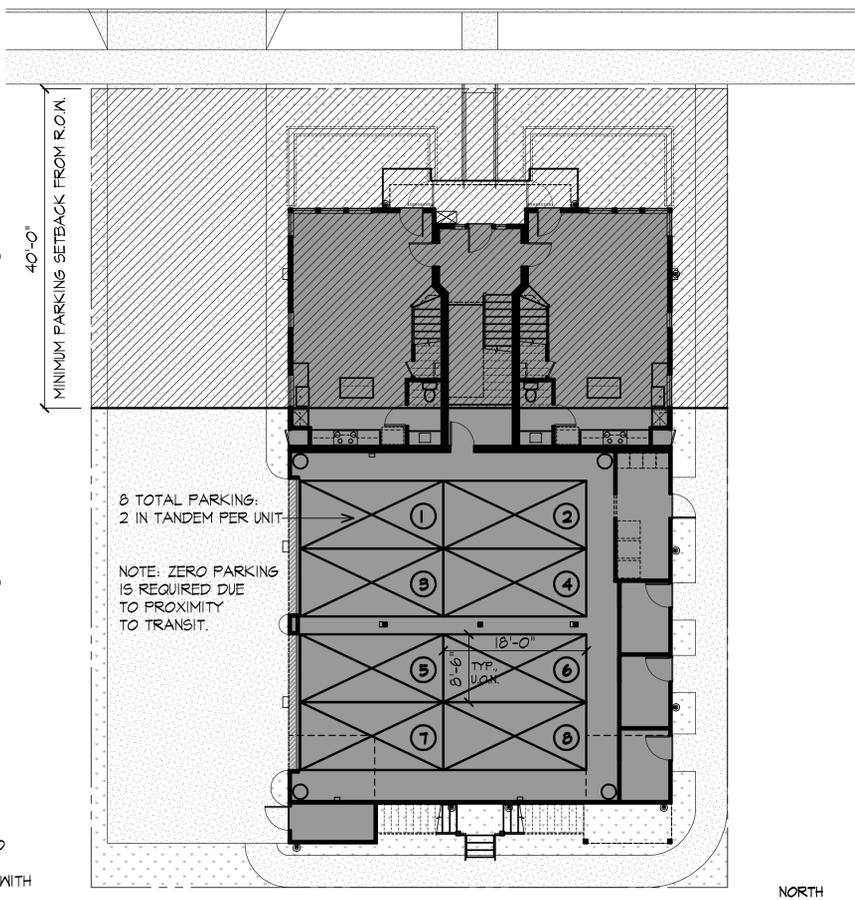


PHOTO KEY/LEGEND



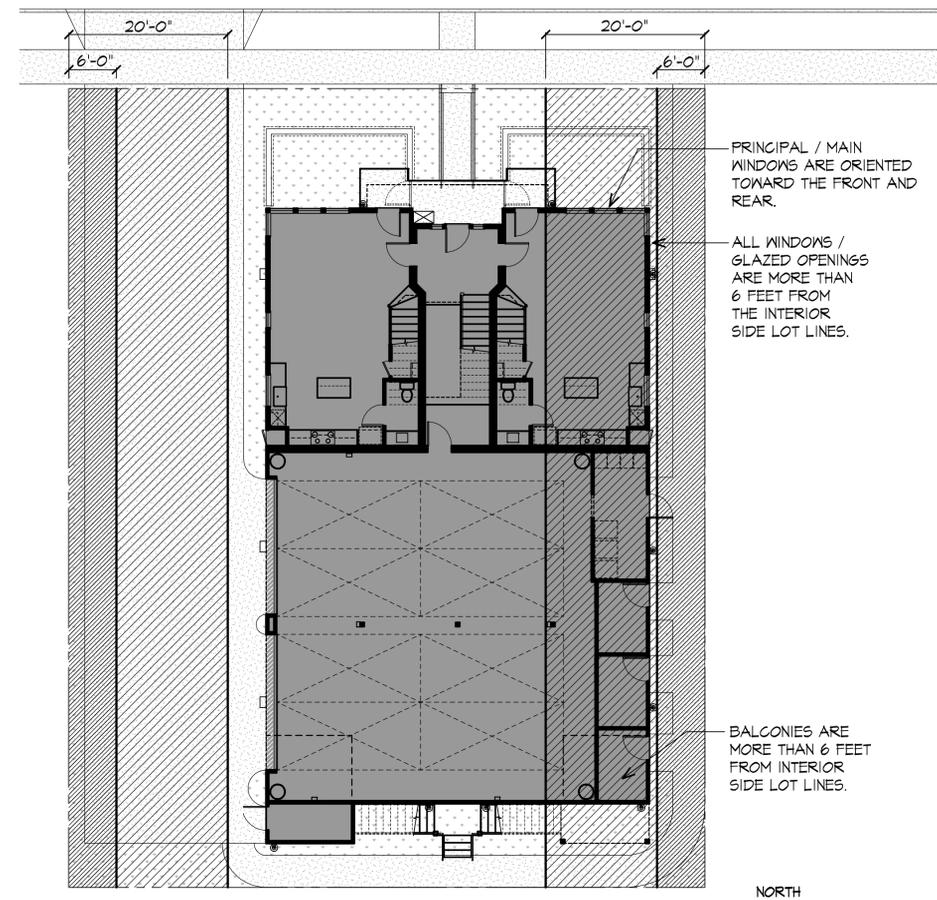
FENCE DIAGRAM

SCALE: 3/32" = 1'-0" (IF PRINTED ON 24"x36" SHEET)



PARKING PLAN

SCALE: 3/32" = 1'-0" (IF PRINTED ON 24"x36" SHEET)



PRIVACY PLAN

SCALE: 3/32" = 1'-0" (IF PRINTED ON 24"x36" SHEET)



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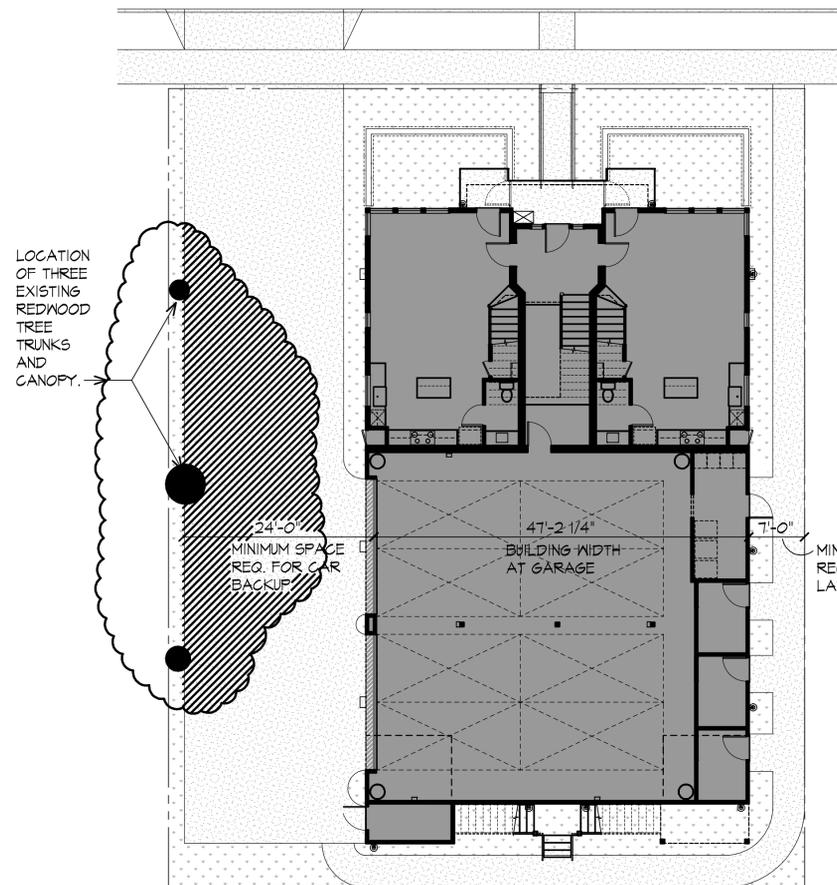
54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

**PRIVACY PLAN
 PARKING PLAN
 FENCE DIAGRAM**

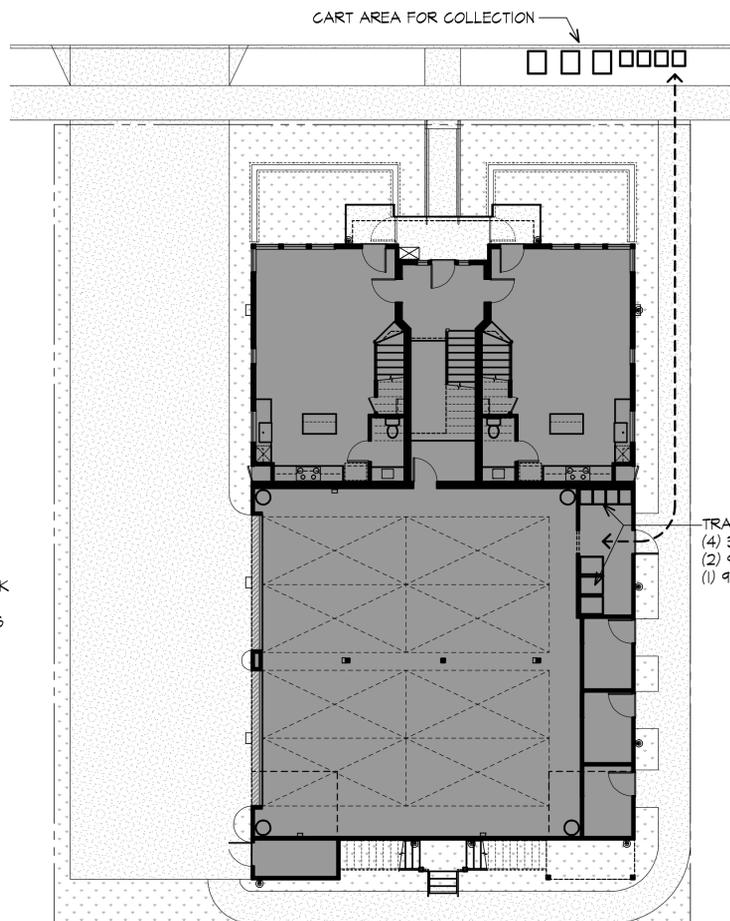
PLN2023-197 RESUBMITTAL - 3/15/2024
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ALTERNATE SITE CONFIGURATION EXHIBIT

SCALE: 3/32" = 1'-0" (IF PRINTED ON 24"x36" SHEET)



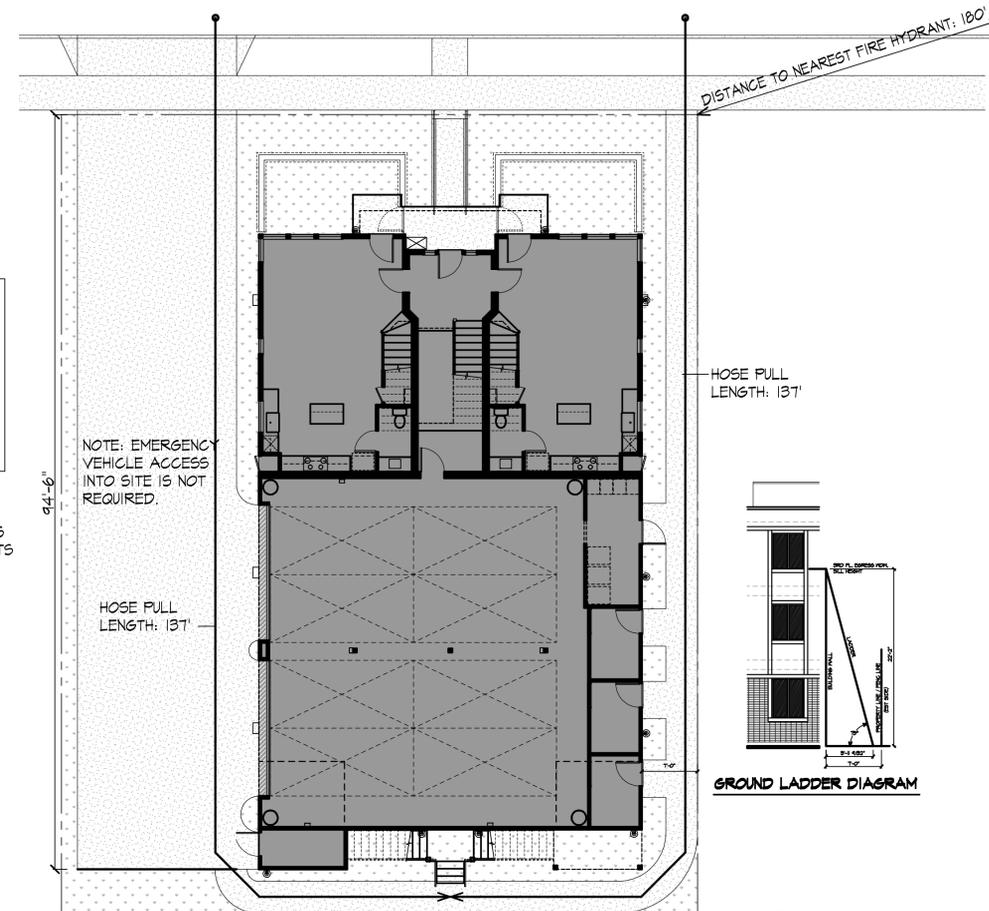
TRASH MANAGEMENT PLAN

SCALE: 3/32" = 1'-0" (IF PRINTED ON 24"x36" SHEET)



NOTE:
MAX. HEIGHT OF
ROOF PARAPET
IS +29'-11" ABOVE
ADJACENT
FINISHED GRADE.
AERIAL FIRE
TRUCK LADDER
ACCESS NOT
REQUIRED.

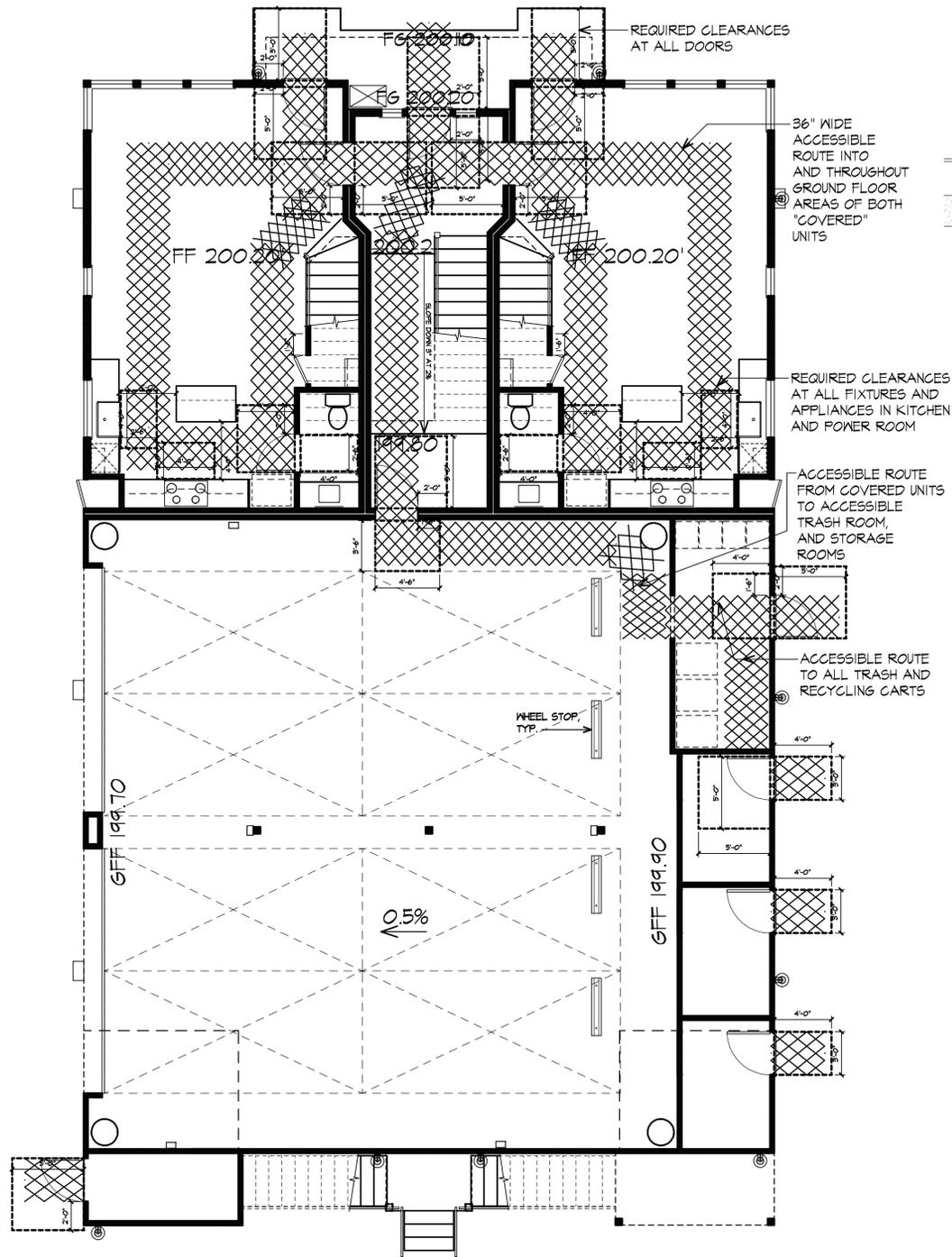
TRASH ROOM:
(4) 95 GAL. GARBAGE CARTS
(2) 95 GAL. RECYCLING CARTS
(1) 95 GAL. ORGANICS CART



EMERGENCY ACCESS PLAN

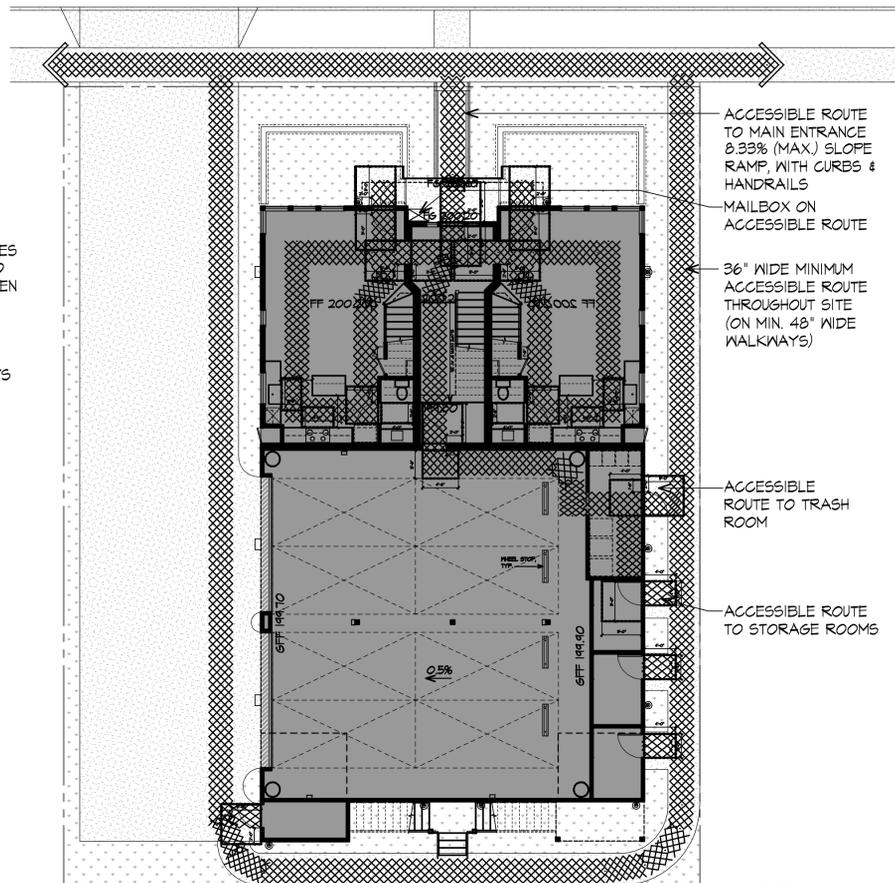
SCALE: 3/32" = 1'-0" (IF PRINTED ON 24"x36" SHEET)





ACCESSIBILITY PLAN - INTERIOR

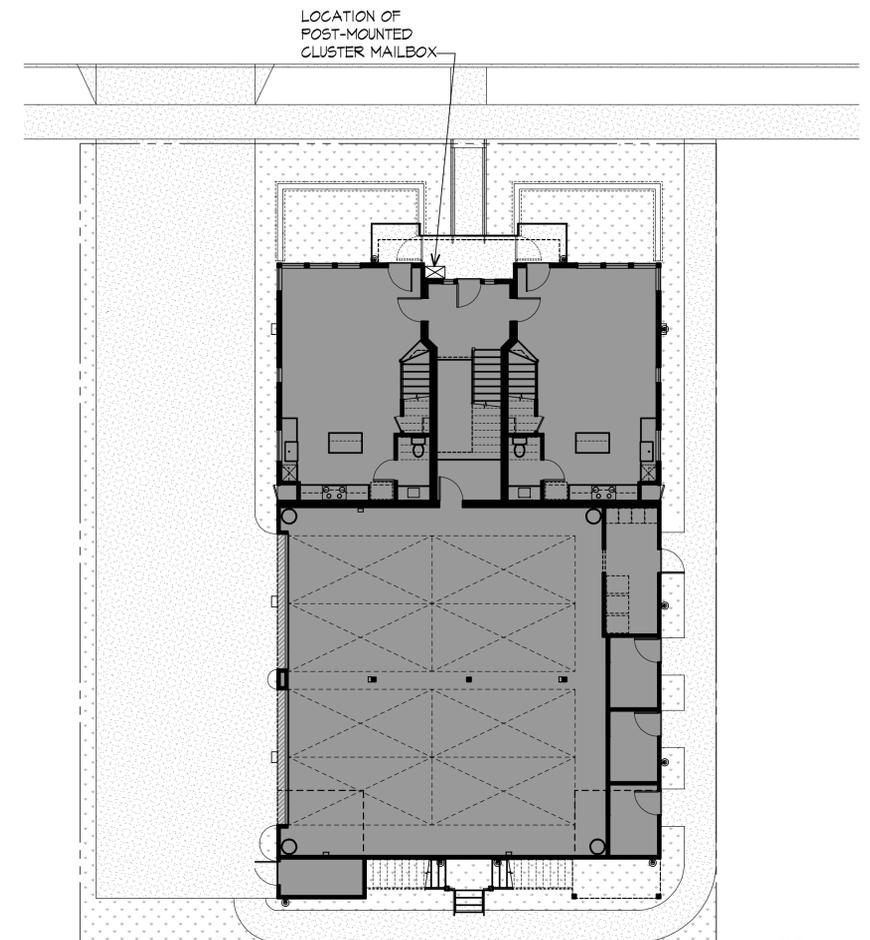
SCALE: 3/16" = 1'-0" (IF PRINTED ON 24"x36" SHEET)



ACCESSIBILITY PLAN

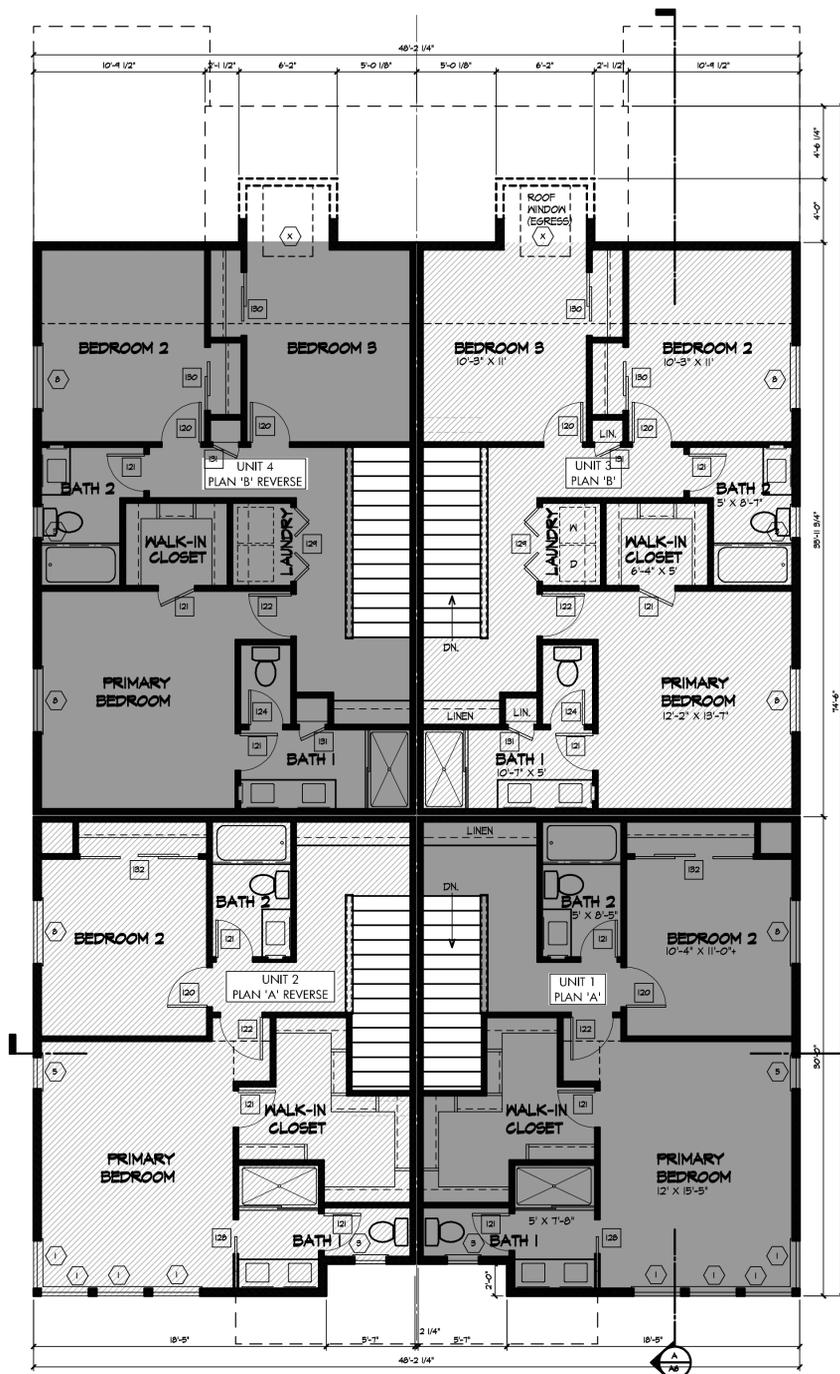
SCALE: 3/32" = 1'-0" (IF PRINTED ON 24"x36" SHEET)

NOTE:
ALL ASPECTS OF THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE FAIR HOUSING ACT (FHA) AND CALIFORNIA BUILDING CODE (CBC) CHAPTER 11A. THE "SAFE HARBOR" IS THE FAIR HOUSING ACT DESIGN MANUAL.

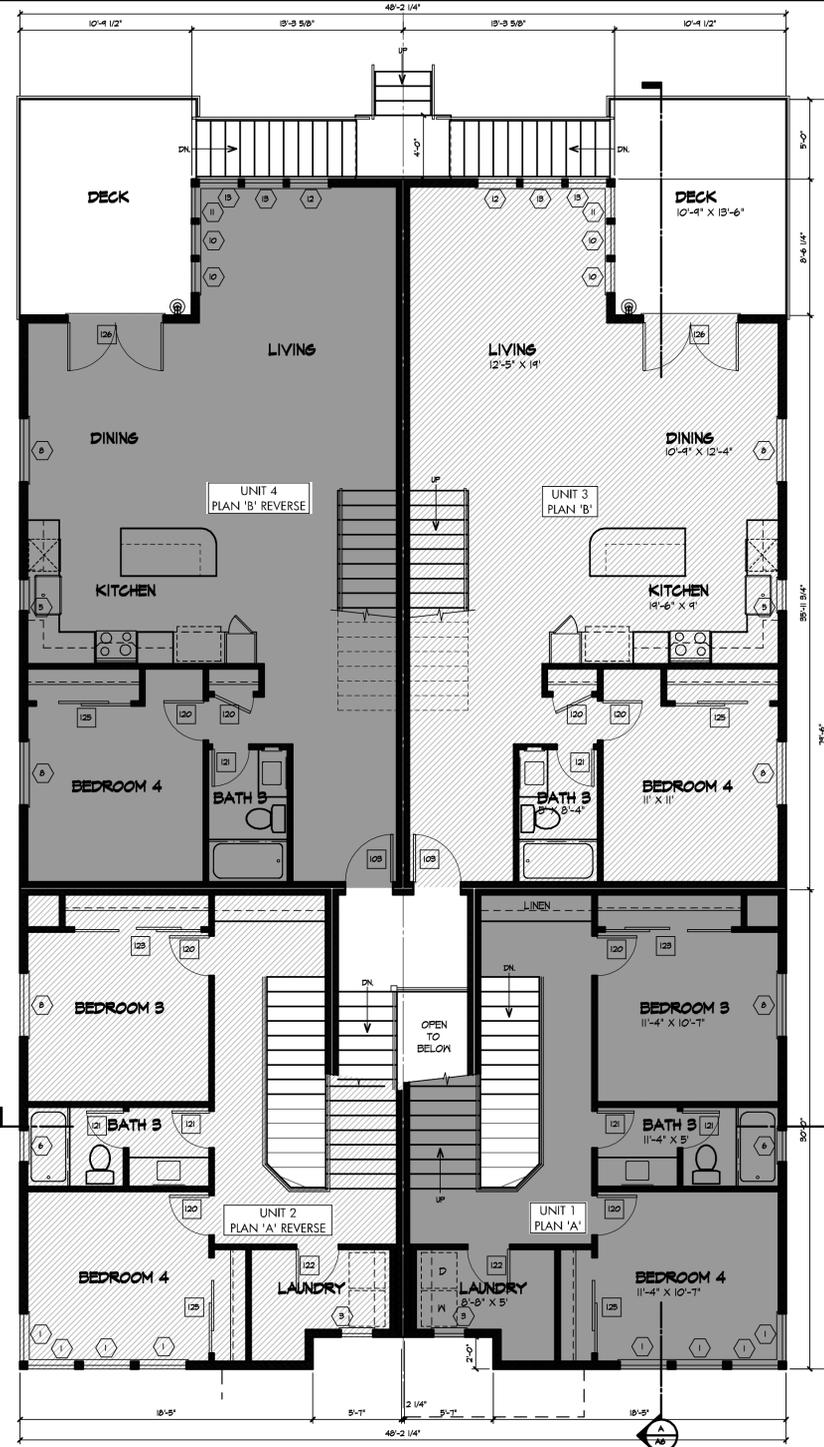


MAIL DELIVERY PLAN

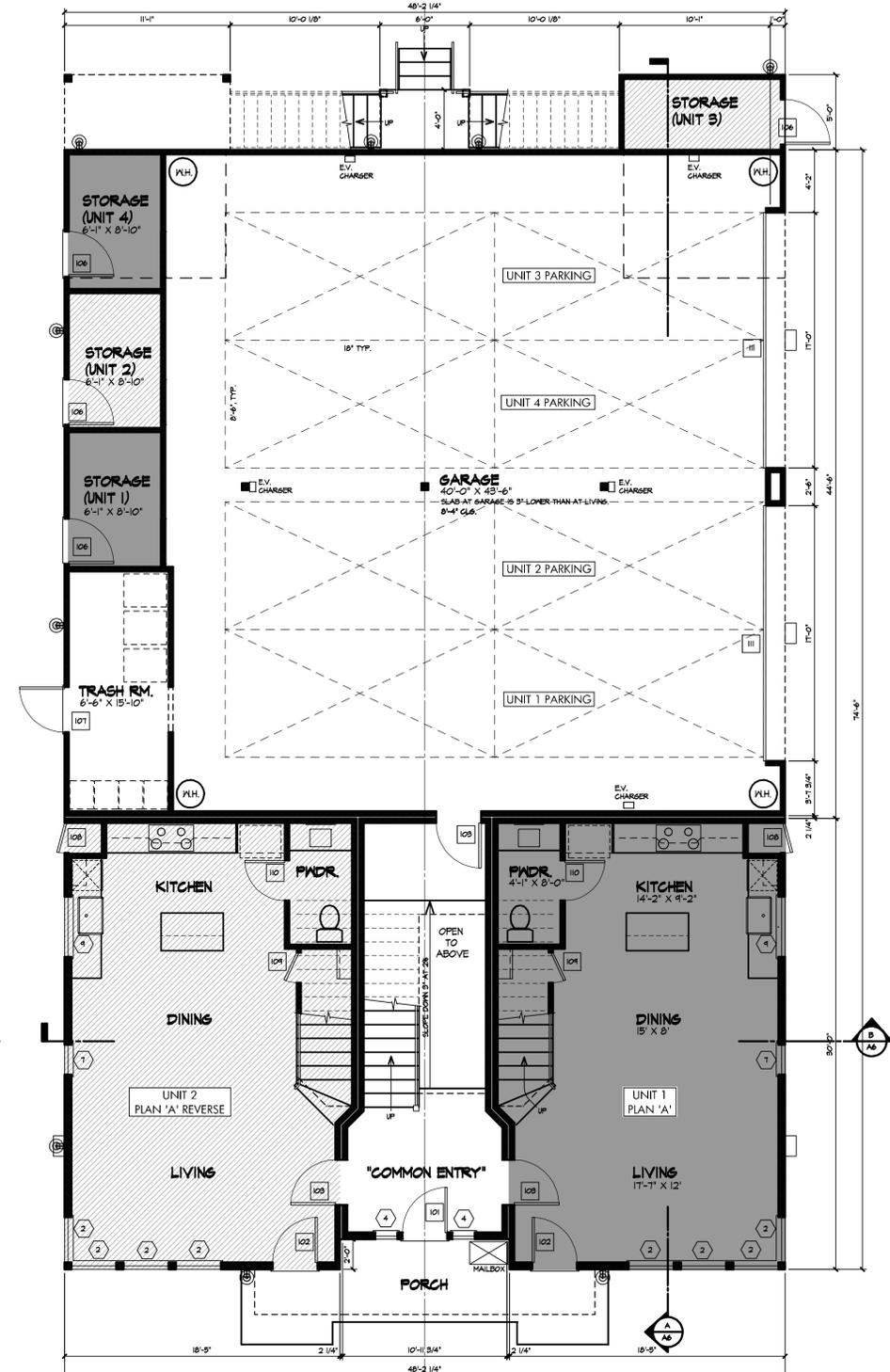
SCALE: 3/32" = 1'-0" (IF PRINTED ON 24"x36" SHEET)



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



WINDOW SCHEDULE

#	WINDOW TYPE	NOMINAL UNIT SIZE	MFR. UNIT NO.	MATERIAL	TEMPERED GLAZING	WIND. HEAD HT.	REMARKS
1	CASEMENT	3046		GLAD WOOD	N	6'-0"	
2	CASEMENT	3050		GLAD WOOD	N	6'-0"	
3	CASEMENT	2030		GLAD WOOD	Y	6'-0"	
4	FIXED	1616		GLAD WOOD	Y	6'-0"	
5	CASEMENT	2046		GLAD WOOD	N	6'-0"	
6	CASEMENT	2026		GLAD WOOD	Y	6'-0"	
7	CASEMENT	2050		GLAD WOOD	N	6'-0"	
8	FRENCH CASEMENT	4046		GLAD WOOD	N	6'-0"	
9	FRENCH CASEMENT	4050		GLAD WOOD	N	6'-0"	
10	LGHT. & FIXED	2040 & 2020		GLAD WOOD	Y	6'-0"	
11	FIXED & FIXED	2040 & 2020		GLAD WOOD	Y	6'-0"	
12	CGMT. & FIXED	2640 & 2620		GLAD WOOD	Y	6'-0"	
13	FIXED & FIXED	2640 & 2620		GLAD WOOD	Y	6'-0"	

DOOR SCHEDULE

#	DOOR TYPE	PANEL WIDTH	PANEL HEIGHT	MATERIAL	HARDWARE GROUP	REMARKS
101	SINGLE EXTERIOR	3'-0"	6'-6"	WOOD w/ GLASS		
102	SINGLE EXTERIOR	3'-0"	6'-6"	WOOD w/ GLASS		
103	SINGLE INTERIOR	3'-0"	6'-6"	SOLID CORE WOOD		
104	SINGLE INTERIOR	3'-0"	6'-6"	METAL		
105	SINGLE INTERIOR	3'-0"	6'-6"	METAL		
106	SINGLE EXTERIOR	3'-0"	6'-6"	METAL		
107	SINGLE EXTERIOR	3'-0"	6'-6"	METAL		
108	SINGLE EXTERIOR	2'-0"	6'-6"	METAL		
109	SINGLE INTERIOR	2'-0"	6'-6"	SOLID CORE WOOD		
110	SINGLE INTERIOR	2'-0"	6'-6"	SOLID CORE WOOD		
111	GARAGE DOOR	17'-0"	8'-0"	METAL		
112	SINGLE INTERIOR	2'-4"	6'-6"	SOLID CORE WOOD		
113	SINGLE INTERIOR	2'-4"	6'-6"	SOLID CORE WOOD		
114	SINGLE INTERIOR	2'-4"	6'-6"	SOLID CORE WOOD		
115	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
116	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
117	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
118	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
119	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
120	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
121	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
122	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
123	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
124	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
125	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
126	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
127	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
128	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
129	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
130	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
131	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		
132	2-PANEL BYPASS	3'-0"	6'-6"	SOLID CORE WOOD		

UNIT & BUILDING SIZE (SQ. FT.)

	PLAN 'A'	PLAN 'B'	COMMON AREAS	WHOLE BLDG.
FIRST FLOOR:	568.54	0	263.41	1,400.57
SECOND FLOOR:	632.97	971.55	55.94	3,264.48
THIRD FLOOR:	657.64	815.31	0	2,445.90
TOTAL:	1,859.15	1,786.86	319.43	7,611.45
PRIVATE STORAGE:	62.44	62.44	55.42	242.74
GARAGE:	N.A.	N.A.	N.A.	1,741.43
TRASH ROOM:	N.A.	N.A.	N.A.	120.00
COVERED PORCH (FRONT):	N.A.	N.A.	N.A.	56.77
PRIVATE DECK (REAR):	0	147.37	0	244.74

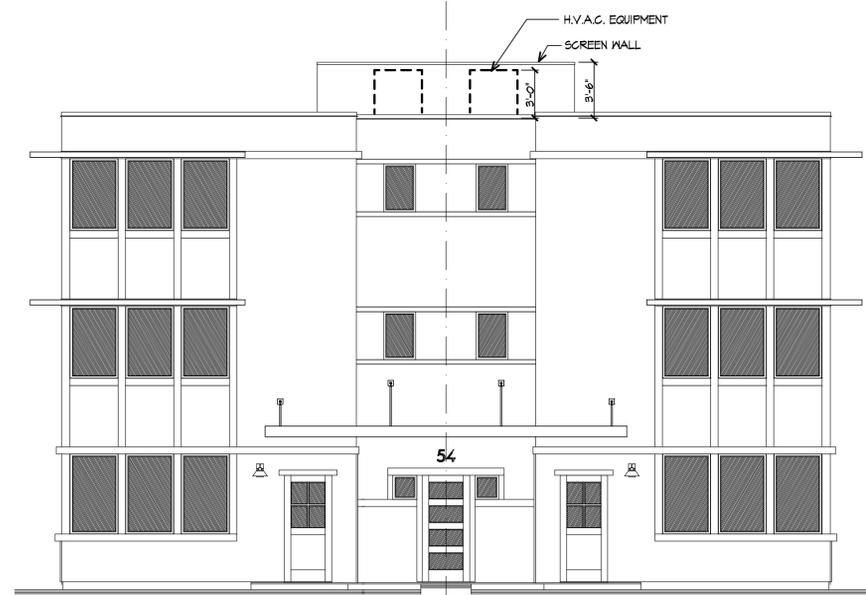
FLOOR PLANS

AJS Architecture | Planning FTG Builders, Inc.
 Anthony Sarboraria, AIA 1565 Lafayette Street
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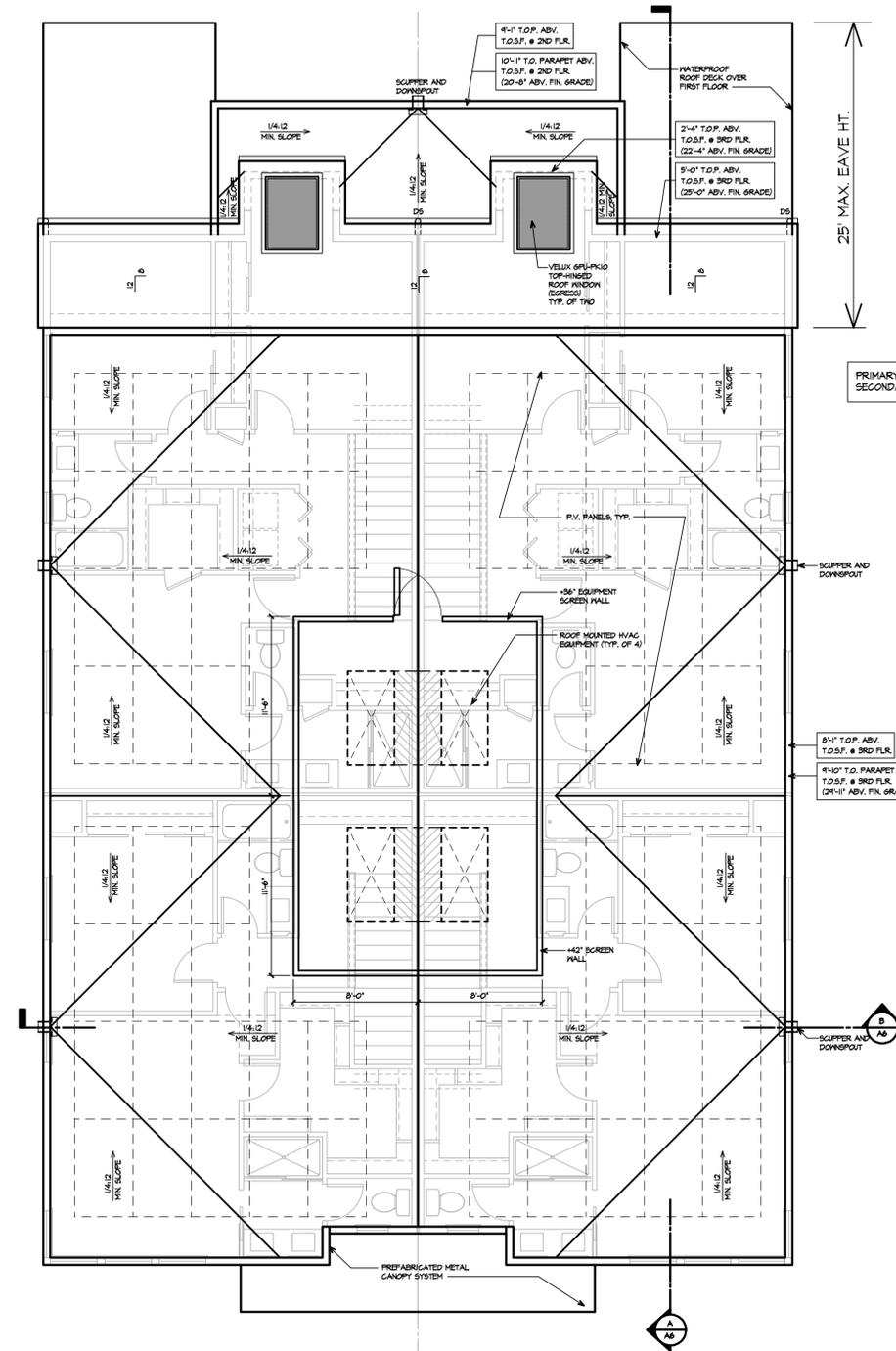
54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

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SITELINE DRAWING



ROOF PLAN



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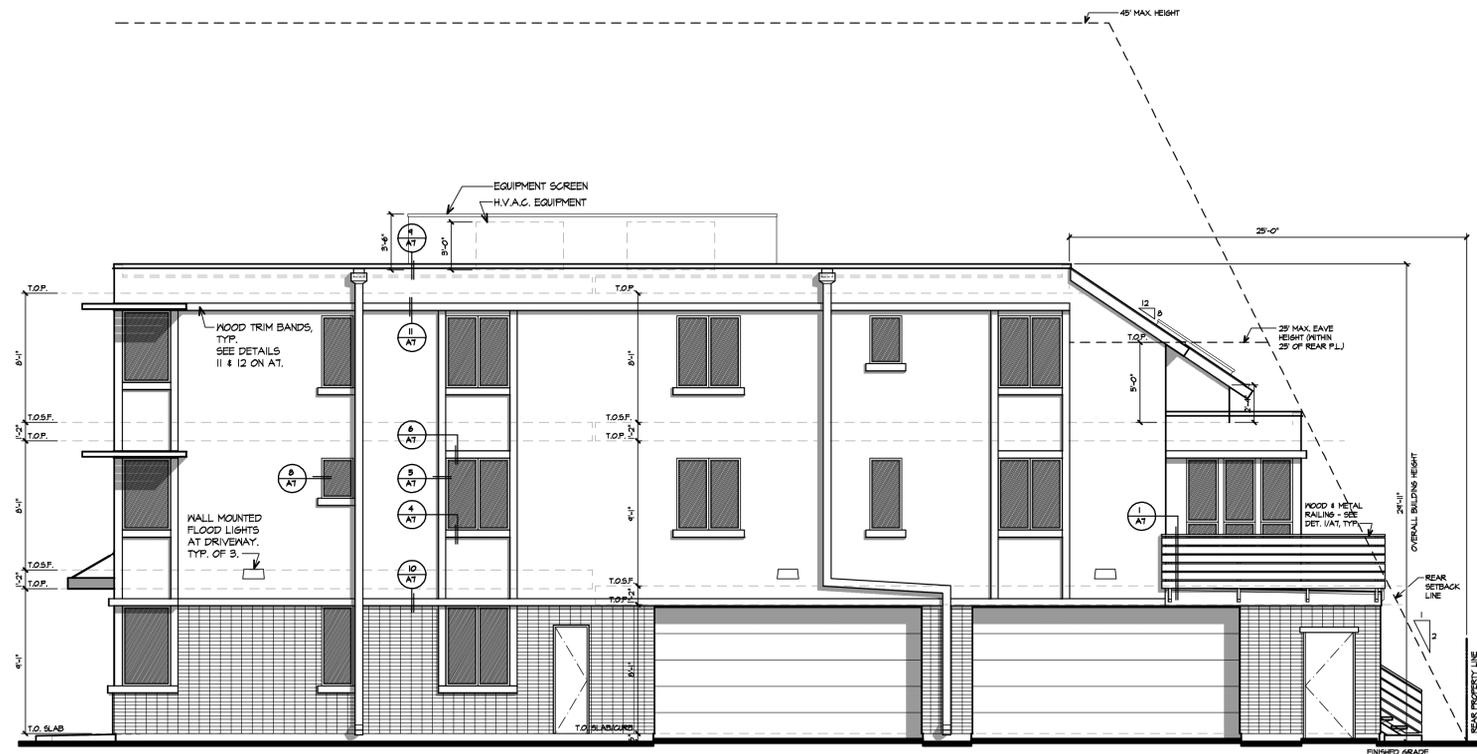
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54 WEST RINCON AVENUE

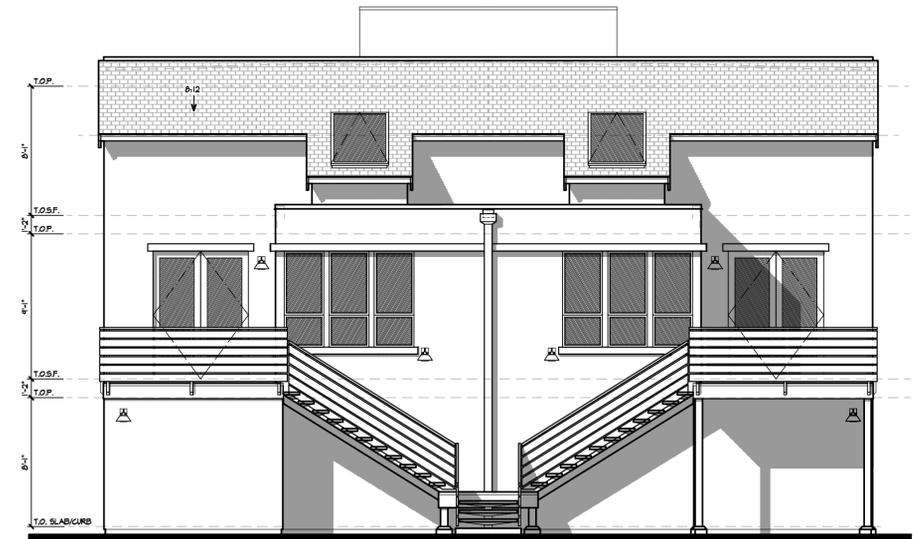
CAMPBELL, CALIFORNIA

ROOF PLAN
 SITELINE DIAGRAM

PLN2023-147 RESUBMITTAL - 3.15.2024
 Project No.: 121.001



RIGHT SIDE / WEST ELEVATION



REAR / SOUTH ELEVATION



LEFT SIDE / EAST ELEVATION



FRONT / NORTH ELEVATION



NOTE:
SEE SHEET A4 FOR COLORS,
MATERIALS AND COLOR ELEVATION.

EXTERIOR PAINT COLORS

COLOR TYPE	COLOR	FRONT %	RIGHT %	LEFT %	REAR %
PRIMARY BODY	SW 6075	50	51	51	55
SECONDARY BODY	SW 1030	36	33	37	31
TERTIARY COLOR (TRIM)	SW 1551	8	6	6	6
ACCENT	SW 1069	6	10	6	8
FRONT DOOR	SW 6348				

NOTE:
"BIRD SAFE" WINDOW SCREENS
WILL BE INCORPORATED ON ALL
WINDOWS WHERE RECOMMENDED
BY BEST PRACTICES.

AJS Architecture | Planning

Anthony Sarbararia, AIA
2038 Fourth Street
Livermore, California 94550
925.980.4103
Tony@AJSArchitecturePlanning.com

FTG Builders, Inc.

1565 Lafayette Street
Santa Clara, California 95050
408.878.5327
doris@ftgbuilders.com

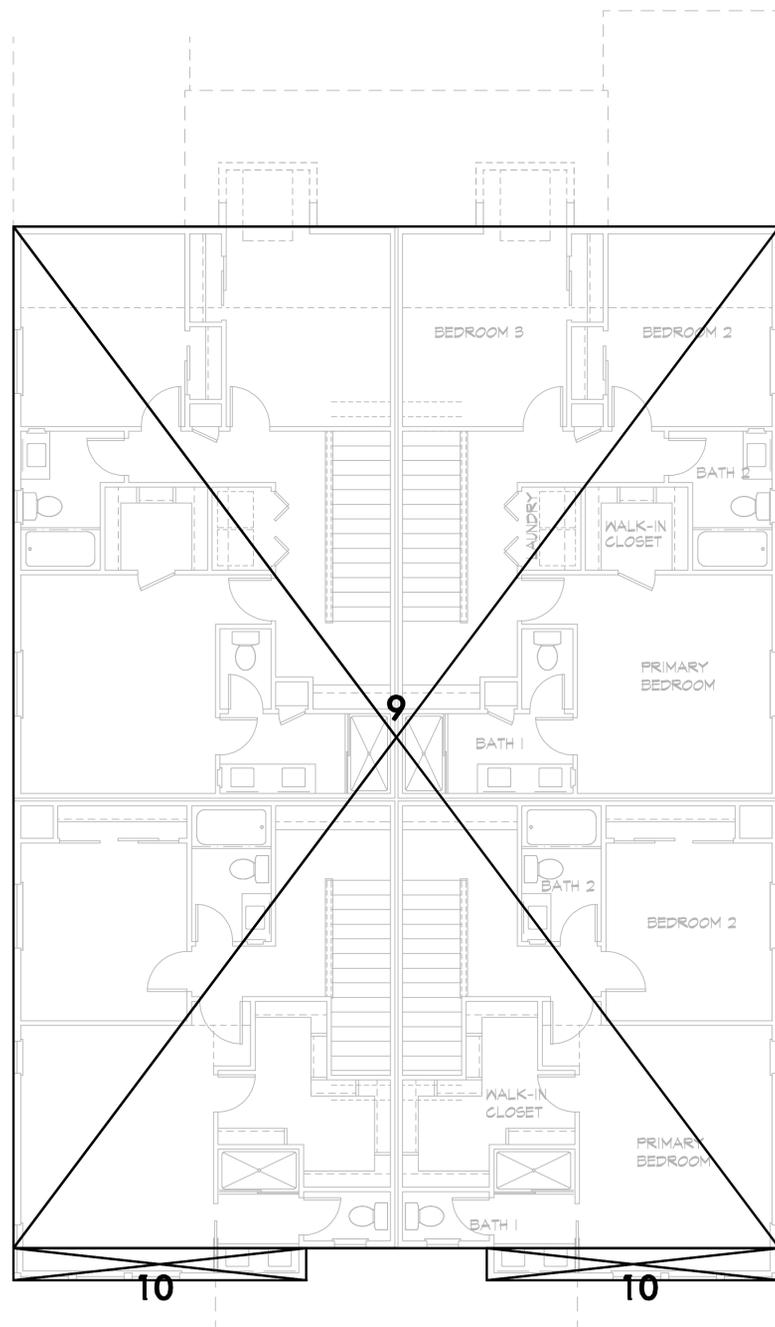
54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

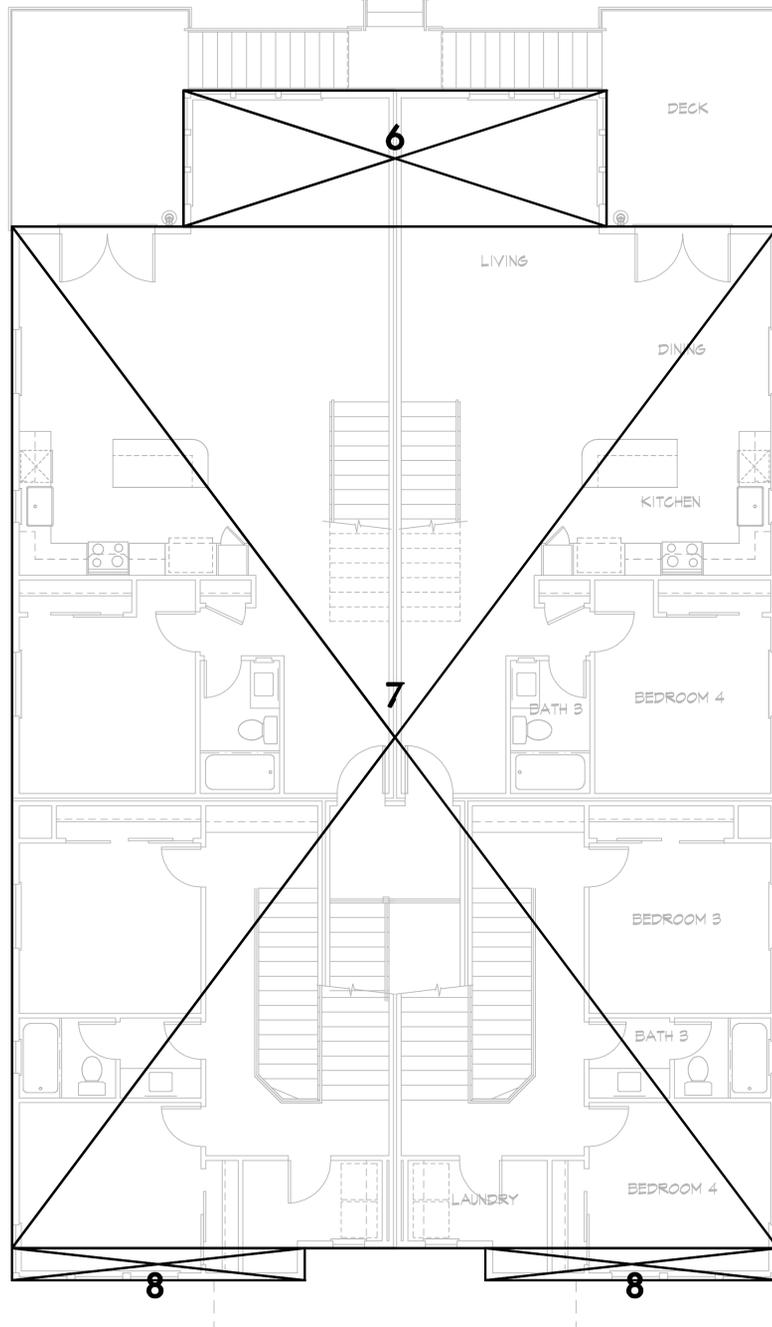
EXTERIOR ELEVATIONS

PLN2023-197 RESUBMITTAL - 3.15.2024
Project No.: 121.001

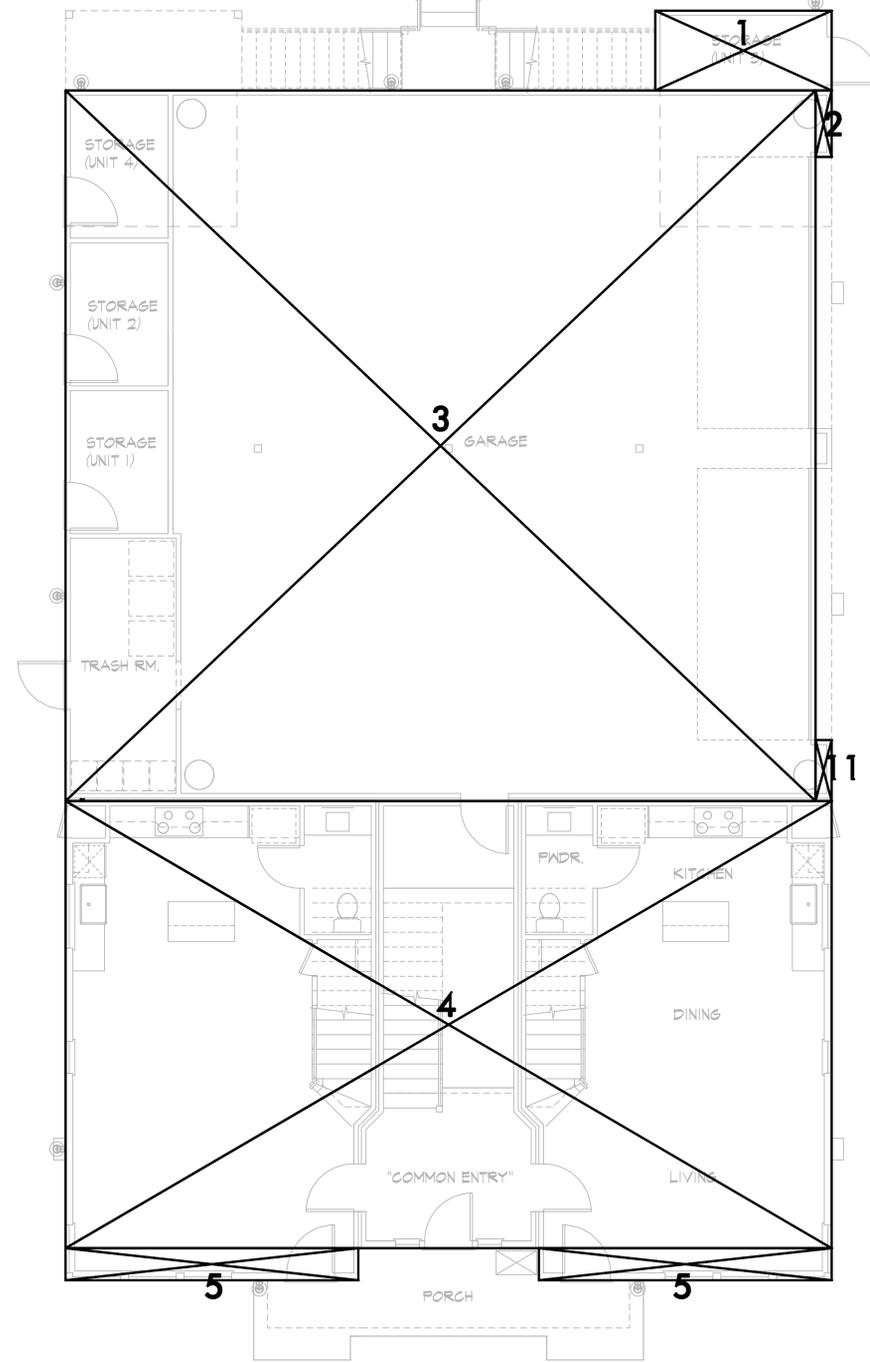
A3



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



FLOOR AREA CALCULATIONS (SQUARE FEET)

FIRST FLOOR

1: 11'-1" x 5'-0" =	55.42	x 1 =	55.42
2: 1'-0" x 4'-2" =	4.17	x 1 =	4.17
3: 47'-2 1/4" x 44'-6" =	2,099.84	x 1 =	2,099.84
4: 48'-2 1/4" x 28'-0" =	1,349.25	x 1 =	1,349.25
5: 18'-5" x 2'-0" =	36.83	x 2 =	73.66
11: 1'-0" x 3'-10" =	3.83	x 1 =	3.83
TOTAL:			3,586.17

SECOND FLOOR

6: 26'-7 1/4" x 8'-6 1/4" =	226.69	x 1 =	226.69
7: 48'-2 1/4" x 63'-11 3/4" =	3,083.00	x 1 =	3,083.00
8: 18'-5" x 2'-0" =	36.83	x 2 =	73.66
TOTAL:			3,383.35

A9: 3'-8 1/2" x 11'-8 1/4" =	43.32	x 2 =	86.64
A10: 2'-6" x 1'-2 1/2" =	3.02	x 2 =	6.04
A11: (1'-6" x 1'-6")/2 =	1.13	x 2 =	2.26
TOTAL (STAIRWELL VOID TO BE SUBTRACTED):			94.94

THIRD FLOOR

7: 48'-2 1/4" x 63'-11 3/4" =	3,083.00	x 1 =	3,083.00
8: 18'-5" x 2'-0" =	36.83	x 2 =	73.66
			3,156.66

A5: 3'-8 1/2" x 12'-2 1/2" =	45.27	x 2 =	90.54
B4: 3'-8 1/2" x 11'-11" =	44.19	x 2 =	88.38
TOTAL (STAIRWELL VOID TO BE SUBTRACTED):			178.92

WHOLE STRUCTURE

FIRST FLOOR:	3,586.17
SECOND FLOOR:	3,383.35
THIRD FLOOR:	3,156.66
TOTAL:	10,126.18

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FTG Builders, Inc.

Anthony Sarboraria, AIA
2038 Fourth Street
Livermore, California 94550
925.980.4103
Tony@AJSArchitecturePlanning.com

1565 Lafayette Street
Santa Clara, California 95050
408.878.5327
doris@ftgbuilders.com

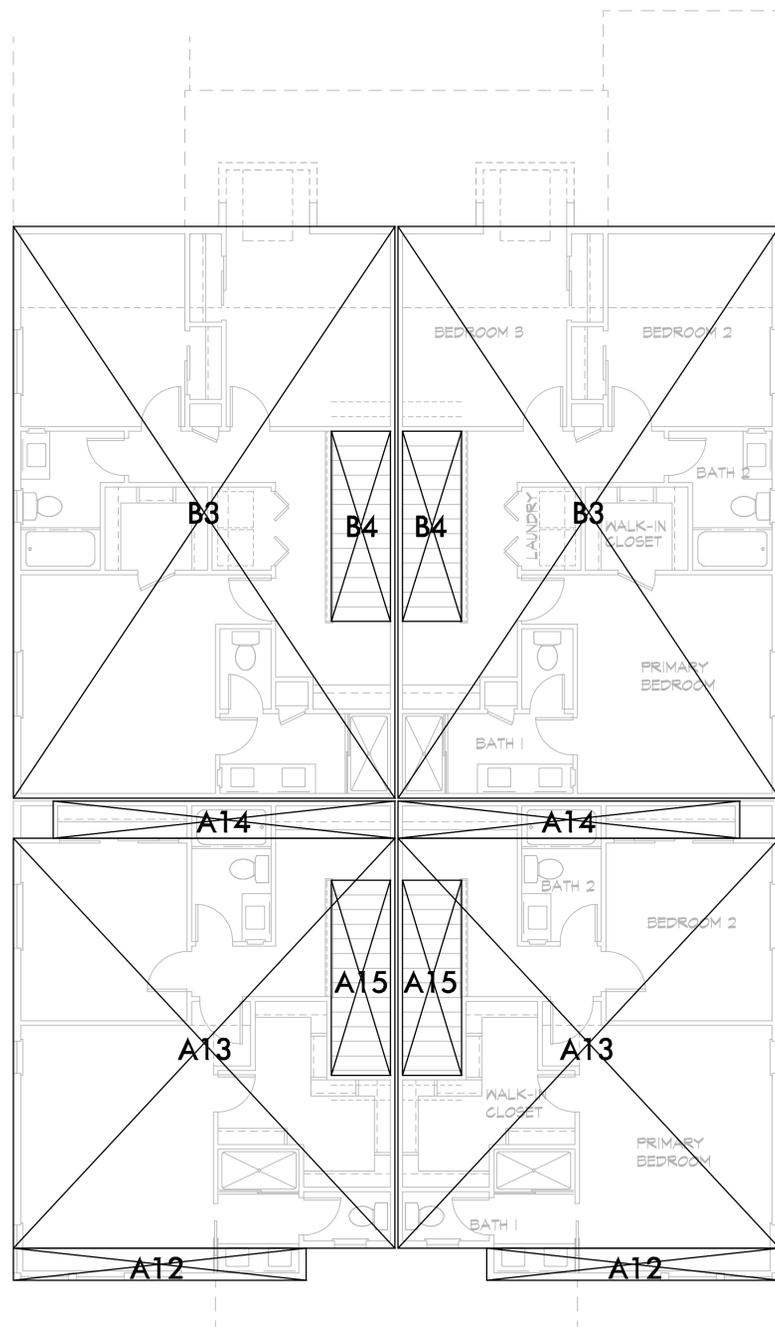
54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

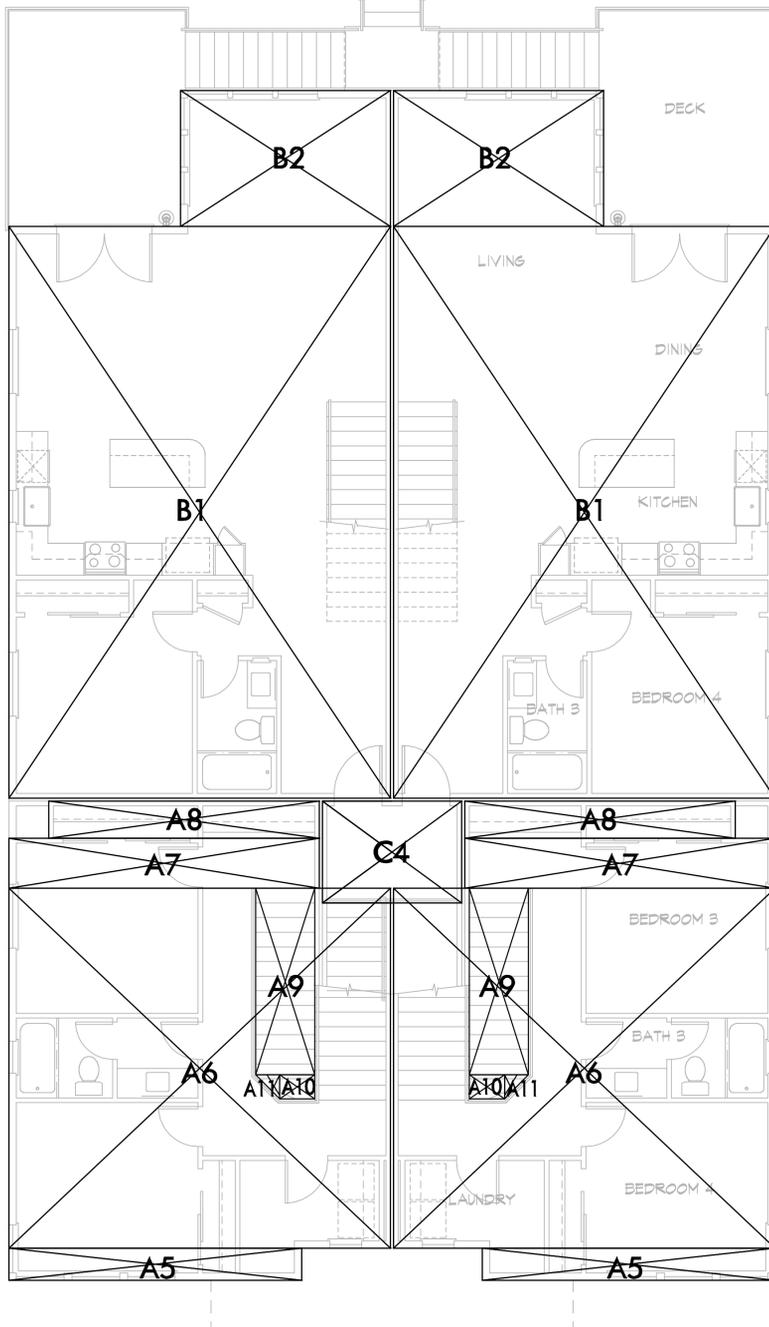
FLOOR AREA DIAGRAMS - WHOLE STRUCTURE

PLN2023-147 RESUBMITTAL - 3.15.2024
Project No.: 121.001

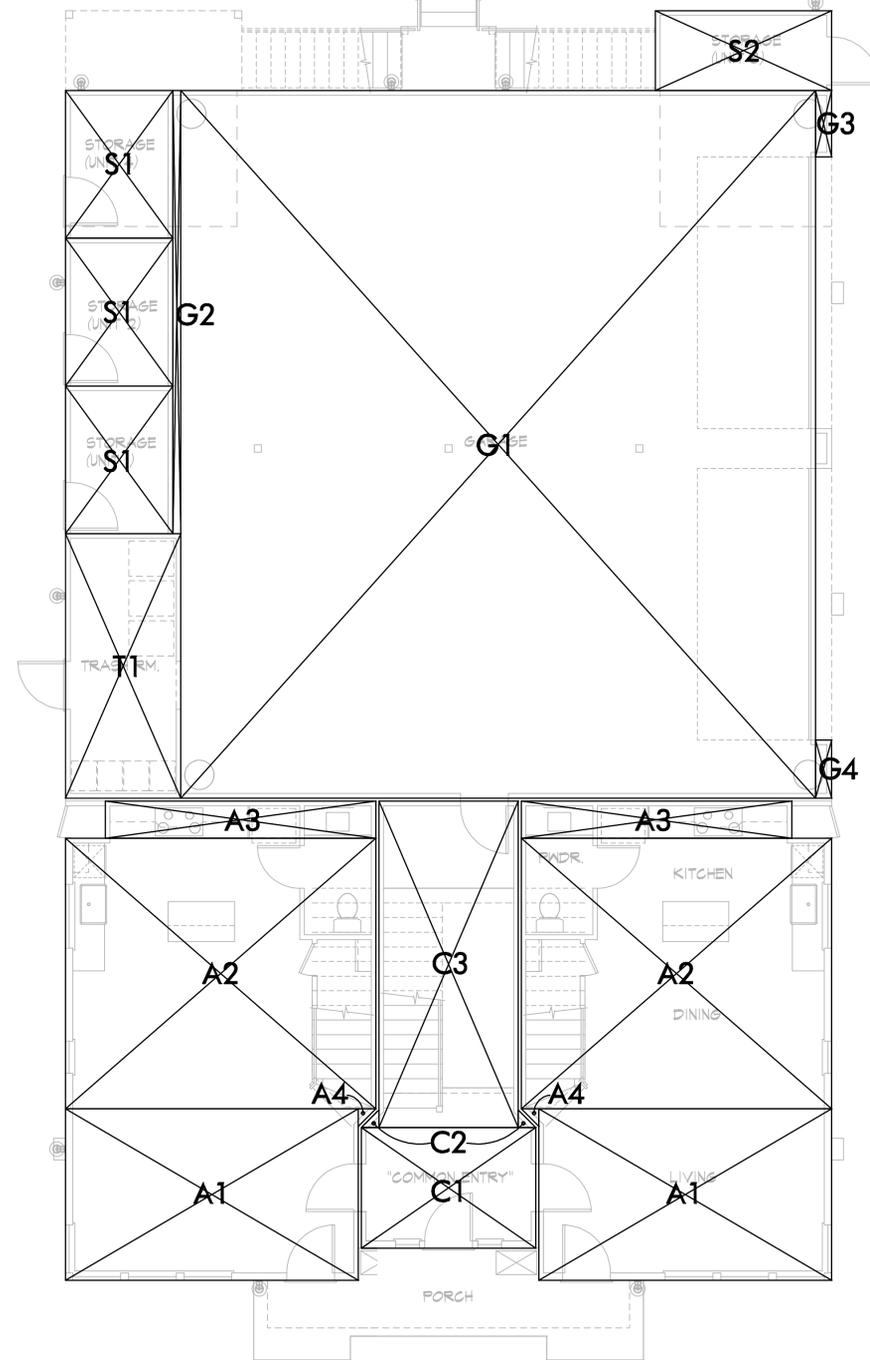




THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



AJS Architecture | Planning

Anthony Sarboraria, AIA
2038 Fourth Street
Livermore, California 94550
925.980.4103
Tony@AJSArchitecturePlanning.com

FTG Builders, Inc.

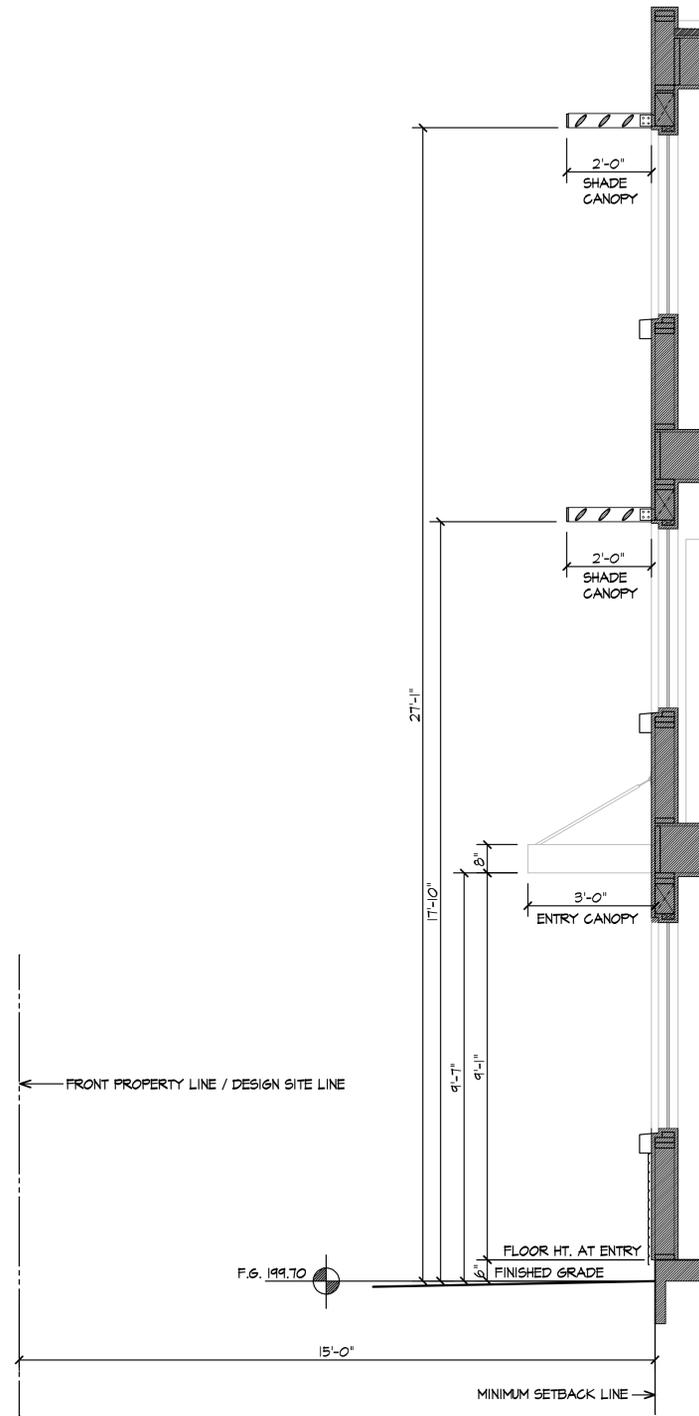
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Santa Clara, California 95050
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54 WEST RINCON AVENUE

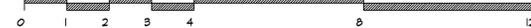
CAMPBELL, CALIFORNIA

FLOOR AREA DIAGRAMS - PER UNIT

PLN2023-147 RESUBMITTAL - 3.15.2024
Project No.: 121.001



BUILDING FRONTAGE PROFILE SECTION



SECTION "A"



SECTION "B"



AJS Architecture | Planning
 Anthony Sarboraria, AIA
 2038 Fourth Street
 Livermore, California 94550
 925.980.4103
 Tony@AJSArchitecturePlanning.com

FTG Builders, Inc.
 1565 Lafayette Street
 Santa Clara, California 95050
 408.878.5327
 doris@ftgbuilders.com

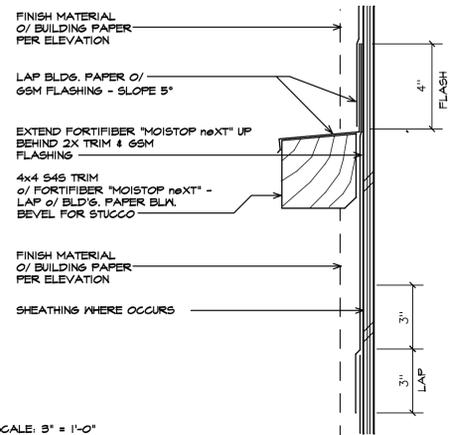
54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

**BUILDING CROSS SECTIONS
 BUILDING FRONTAGE PROFILE SECTION**

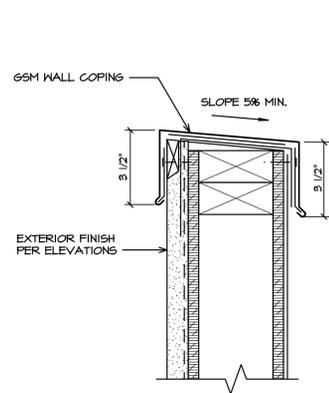
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 Project No.: 121.001





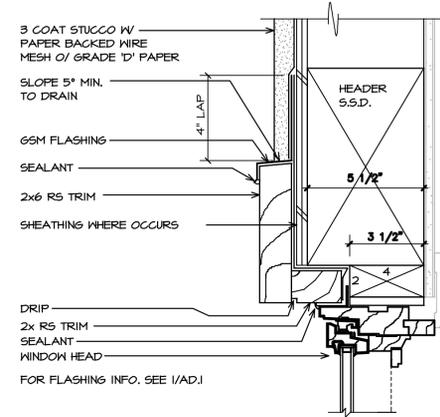
SCALE: 3" = 1'-0"

1-PIECE HORIZONTAL TRIM BAND - MEDIUM (12)



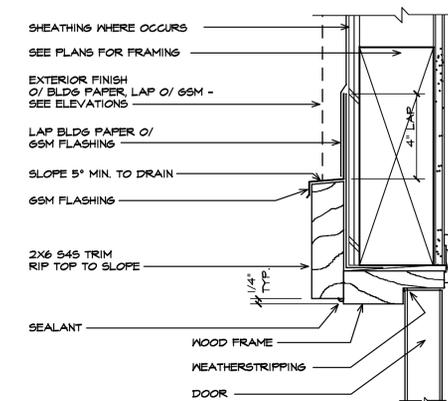
SCALE: 3" = 1'-0"

PARAPET WALL CAP (9)



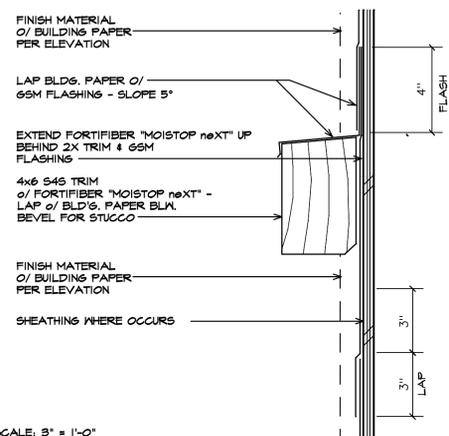
SCALE: 3" = 1'-0"

RECESSED WINDOW HEAD (6)



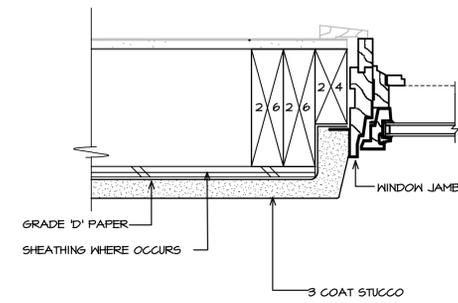
SCALE: 3" = 1'-0"

INSWINGING DOOR HEAD (3)



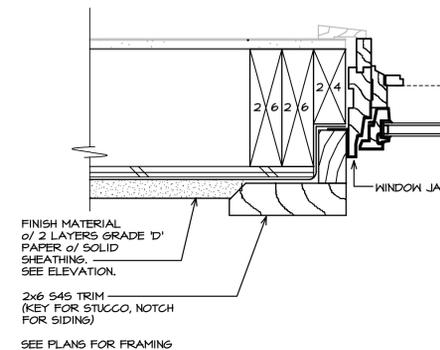
SCALE: 3" = 1'-0"

1-PIECE HORIZONTAL TRIM BAND - LARGE (11)



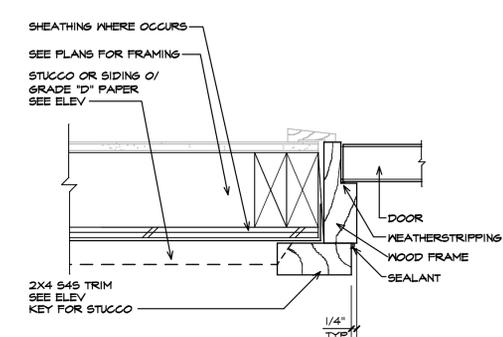
SCALE: 3" = 1'-0"

RECESSED WINDOW JAMB (8)



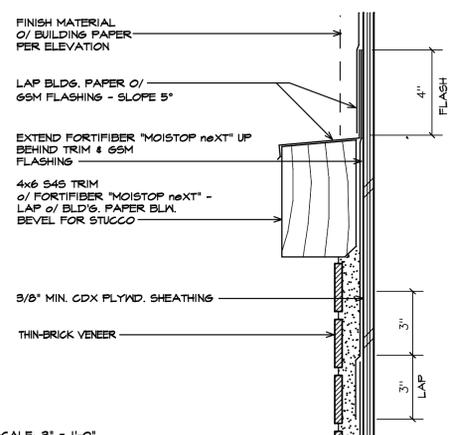
SCALE: 3" = 1'-0"

RECESSED WINDOW JAMB (5)



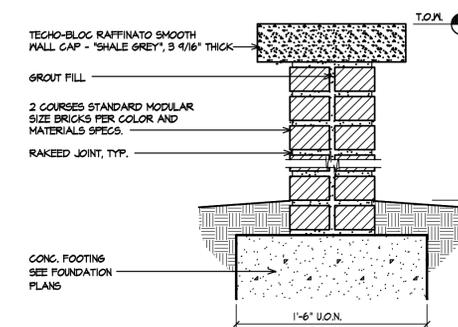
SCALE: 3" = 1'-0"

INSWINGING DOOR JAMB (2)



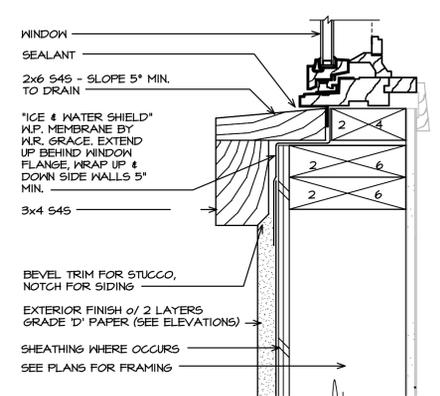
SCALE: 3" = 1'-0"

CAP AT THIN BRICK VENEER (10)



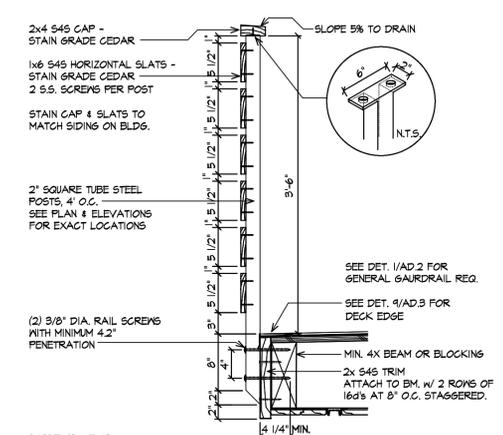
SCALE: 1 1/2" = 1'-0"

BRICK SITE WALL (7)



SCALE: 3" = 1'-0"

RECESSED WINDOW SILL TRIM (4)



SCALE: 1" = 1'-0"

DECK RAILING (1)

AJS Architecture | Planning

Anthony Sarbararia, AIA
2038 Fourth Street
Livermore, California 94550
925.980.4103
Tony@AJSArchitecturePlanning.com

FTG Builders, Inc.

1565 Lafayette Street
Santa Clara, California 95050
408.878.5327
doris@ftgbuilders.com

54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

ARCHITECTURAL DETAILS

PLN2023-197 RESUBMITTAL - 3.15.2024
Project No.: 121.001

A7



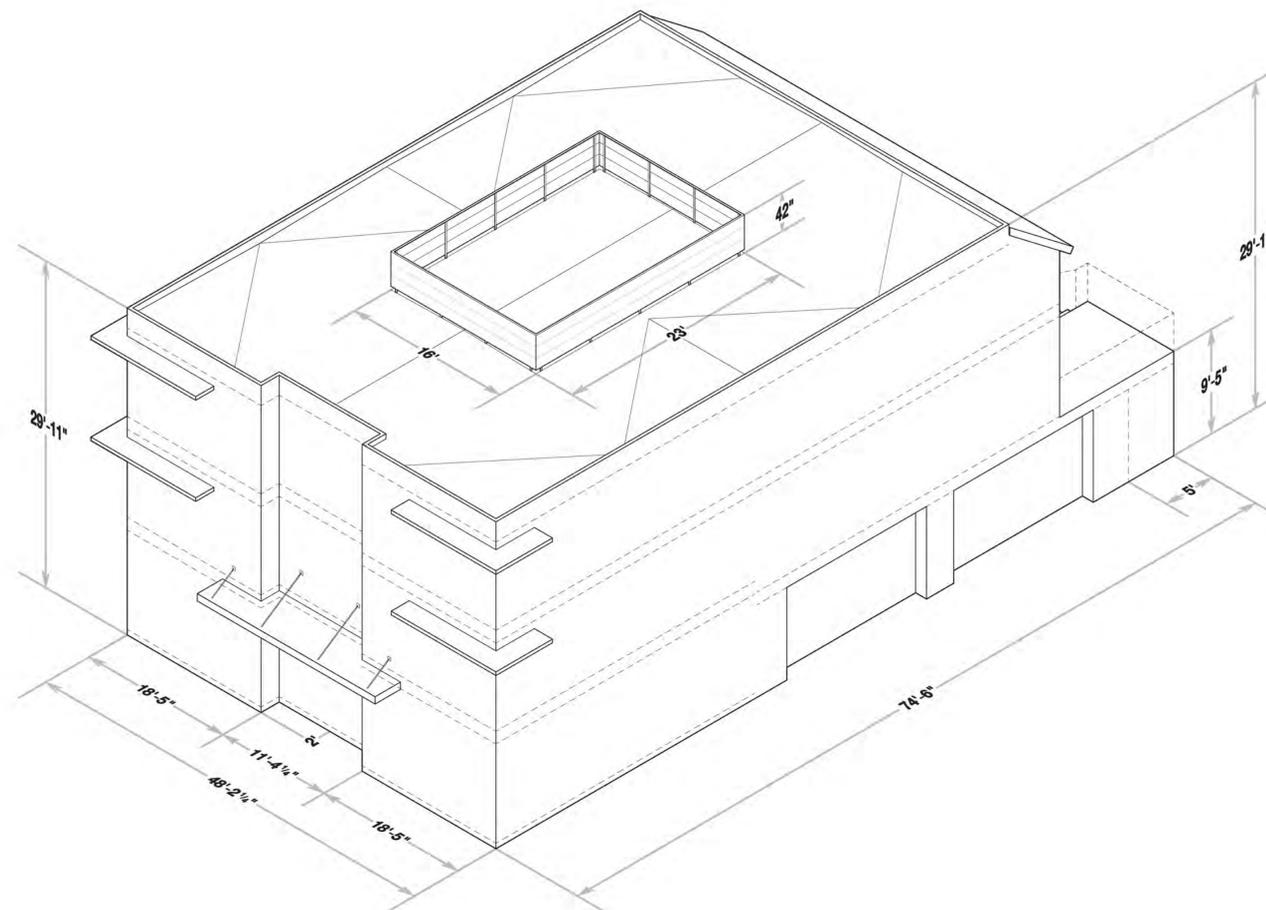
FRONT / NORTH ELEVATION

STREETSCAPE - WEST RINCON AVENUE

1/8" = 1' SCALE

ISOMETRIC MASSING PLAN

MAIN BODY MASSING TYPE: FLAT ROOF BOX



AJS Architecture | Planning
 Anthony Sarbararia, AIA
 2038 Fourth Street
 Livermore, California 94550
 925.980.4103
 Tony@AJSArchitecturePlanning.com

FTG Builders, Inc.
 1565 Lafayette Street
 Santa Clara, California 95050
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54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

STREETSCAPE & MAIN BODY MASSING TYPE

NOVEMBER 30, 2023
 Project No.: 121.001

AS



SHADE CANOPY

Manufacturer: MASA
 Model: Ecoshade 200 Series
 Color: Black



LIGHT FIXTURE

Manufacturer: Avalon
 Model: 20131LEDDMG-BL
 Color: Black
 Size: 10 inch



WALL-MOUNTED FLOOD LIGHTS
 (Lights located on the driveway)

Manufacturer: Gardco
 Model: 101L
 Color: Bronze
 Size: 16" W.



BRICK VENEER

Manufacturer: McNear
 Model: Town
 Color: Manchester
 Size: Modular

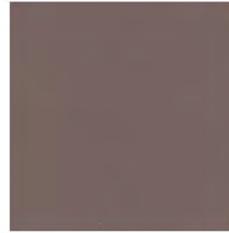


MAILBOX

Manufacturer: Florence Corp.
 Model: Vital 1570-4T5
 Color: Black

EXTERIOR PAINT COLORS

Note: All paint colors listed are by Sherwin-Williams.



Main Body Color
 SW 6075 | Garret Gray



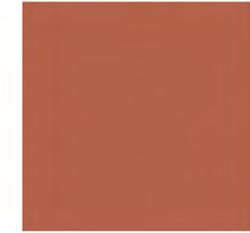
Secondary Color
 SW 7030 | Anew Gray



Trim Color
 SW 7551 | Greek Villa



Sec. Trim Color
 SW 7069 | Iron Ore



Accent Color
 SW 6348 | Raynard



COLOR FRONT ELEVATION

AJS Architecture | Planning

Anthony Sarbararia, AIA
 2038 Fourth Street
 Livermore, California 94550
 925.980.4103
 Tony@AJSArchitecturePlanning.com

FTG Builders, Inc.

1565 Lafayette Street
 Santa Clara, California 95050
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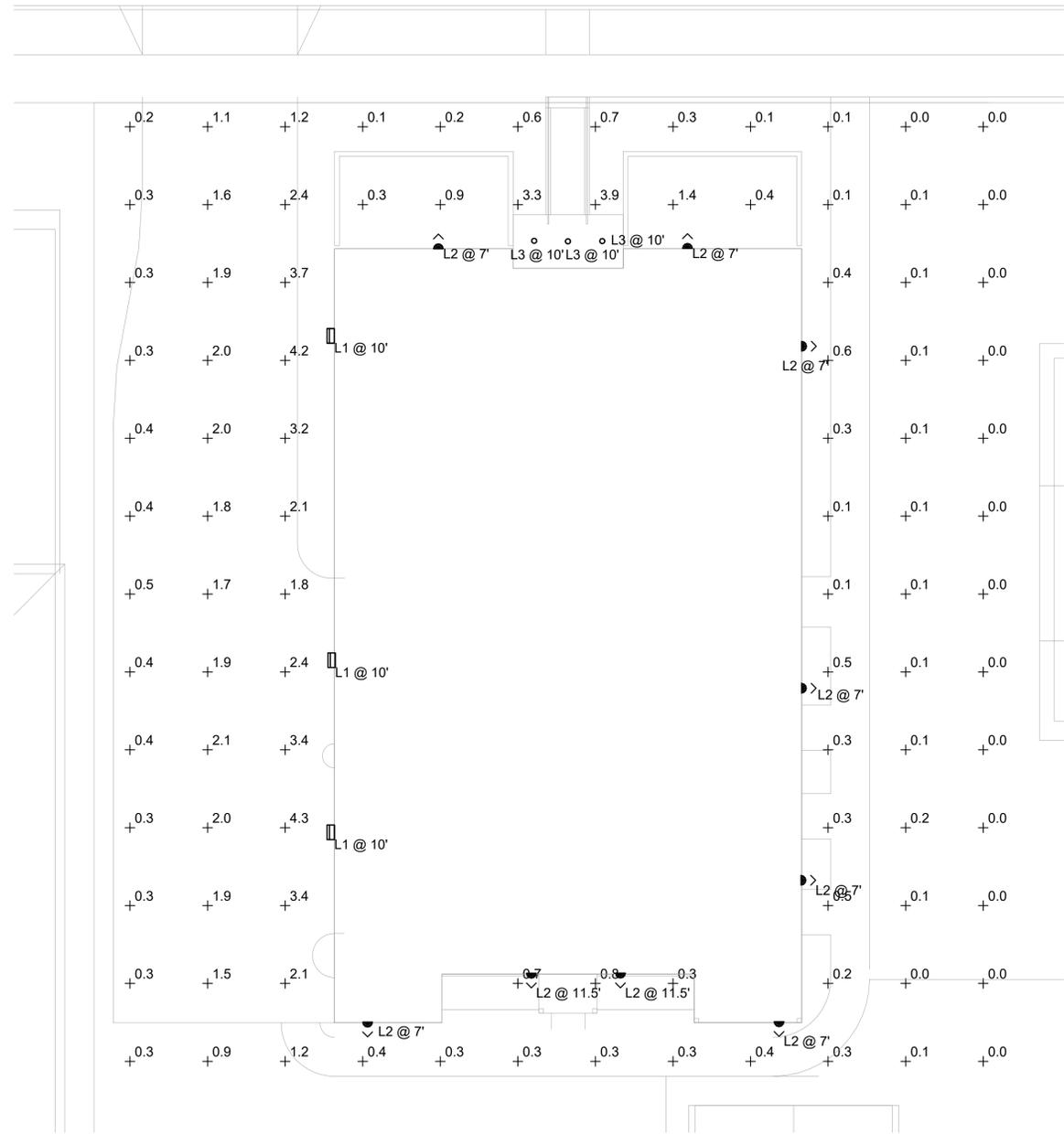
54 WEST RINCON AVENUE

CAMPBELL, CALIFORNIA

COLOR / MATERIALS & COLOR
 FRONT ELEVATION

NOVEMBER 30, 2023
 Project No.: 121.001





ELECTRICAL - PHOTOMETRIC PLAN

SCALE: 1/8"=1'-0"

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Number Lamps	Lamp Output	Description	LLF	Input Power
	L1	3	SIGNIFY GARDCO	101L-16L-530-NW-G2-2	1	3619	101L LED Sconce	0.81	28.1
	L2	9	Access Lighting	20131LEDDMG-BL	1	454	Wall Sconce	0.81	12
	L3	3	Lithonia Lighting	LDN6 27/05 LO6AR LD	1	448.89 9	6IN LDN, 2700K, 500LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	0.81	5.83

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	0.8 fc	4.3 fc	0.0 fc	N/A	N/A

REVISIONS		
NO.	DATE	DESCRIPTION



PROJECT NAME:
54 RINCON AVE
 54 W RINCON AVE,
 CAMPBELL, CA 95008

SHEET TITLE:
 ELECTRICAL
 PHOTOMETRIC PLAN

DRAWN: GMEP
 CHECKED: GMEP
 DATE: 03/07/2024
 SCALE: AS NOTED
 JOB NO.: 24-050
 SHEET:

E-2.0

LEGEND

SYMBOL	DESCRIPTION
	HINGE LINE/TOP/TOE
	CONCRETE V-DITCH
	GRADED SWALE
	CONTOUR LINES
	DAYLIGHT LINE/LIMIT OF GRADING
	PROPERTY LINE / BOUNDARY / RIGHT-OF-WAY
	EASEMENT LINE
	CENTERLINE (CL)
	FENCE (CHAIN LINK)
	DRIVEWAY
	CURB, GUTTER & SIDEWALK
	RETAINING WALL (AS DESCRIBED) w/ SUB-DRAIN
	CITY STANDARD BARRICADE
	WATER LINE AND VALVE
	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
	STORM DRAIN LINE AND MANHOLE
	SOLID SUBDRAIN WITH CLEANOUTS
	WATER LATERAL / METER
	SANITARY SEWER CLEANOUT (SSCO)
	AREA DRAIN WITH SUMP BOTTOM (NDS 1212 OR APPROVED EQUAL)
	FLAT DRAIN INLET AS SPECIFIED
	FIRE HYDRANT
	STREETLIGHT STANDARD WITH MAST ARM AND LUMINAIRE (ELECTROLIER)
	PULL BOX (AS NOTED)
	ELECTRICAL CONDUIT
	GAS MAIN
	TELEPHONE CONDUIT
	STREET MONUMENT
	BOLLARD
	JOINT POLE w/ GUY ANCHOR
	PERCENT GRADE
	VERTICAL GRADE BREAK (PROFILE)
	BIO-RETENTION AREA NUMBER
	TREE

ABBREVIATIONS

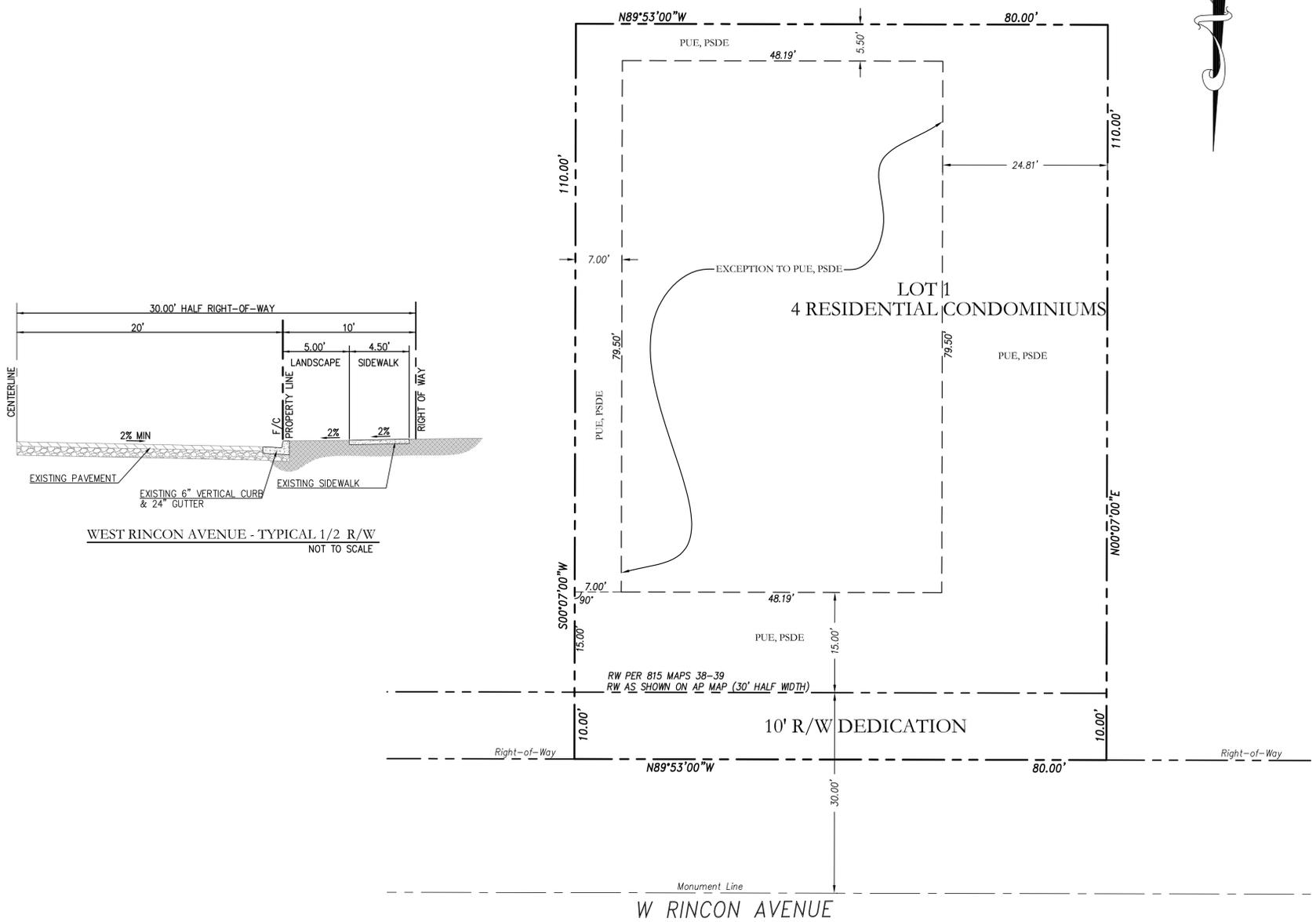
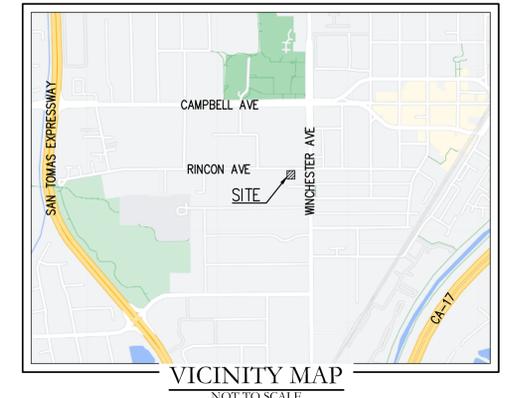
AB	AGGREGATE BASE	N/B	NORTH BOUND
AC	ASPHALT CONCRETE	P	PAD
AD	AREA DRAIN	PA	PLANTER AREA
BC	BEGIN CURVE	PL, P/L	PROPERTY LINE
BM	BENCHMARK	PCC	POINT OF COMPOUND CURVATURE
BMP	BEST MANAGEMENT PRACTICE	PERF.	PERFORATED
BOT.	BOTTOM	PIE	PRIVATE INGRESS & EGRESS EASEMENT
BSW	BACK OF SIDEWALK	PRC	POINT OF REVERSE CURVATURE
BVC	BEGIN VERTICAL CURVE	PROJ.	PROJECTED
BW	BOTTOM OF WALL (EXPOSED)	PSDE	PRIVATE STORM DRAIN EASEMENT
CL	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
CB	CATCH BASIN	PV	PAVEMENT/ASPHALT GRADE
CO	CLEAN OUT	PVI	POINT OF VERTICAL INTERSECTION
CR	CURB RETURN	R=	RADIUS OF CURVE
DI	DRAIN INLET	Δ=	INCLUDED ANGLE OF CURVE
DS	ROOF DOWN SPOUT	L=	ARC LENGTH OF CURVE
EC	END CURVE	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RIM	RIM ELEVATION
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EVC	END VERTICAL CURVE	S	SLOPE
EX	EXISTING	S/B	SOUTH BOUND
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SD	STORM DRAIN
FC, F/C	FACE OF CURB	SDCO	STORM DRAIN CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION	SDE	STORM DRAIN EASEMENT
FF	FINISHED FLOOR	SDMH	STORM DRAIN MANHOLE
FG	FINISHED GRADE	SE	SIDEWALK EASEMENT
FH	FIRE HYDRANT	SF	SQUARE FEET
FL	FLOW LINE	S.O.	SIDE OPENING
FOGLN	FOG LINE (WHITE STRIPE)	SS	SANITARY SEWER
GB	GRADE BREAK	SS	SANITARY SEWER EASEMENT
GI	GREASE INTERCEPTOR	SSCO	SANITARY SEWER CLEANOUT
GM	GAS METER	SSMH	SANITARY SEWER MANHOLE
GR	GRATE ELEVATION	STD	STANDARD
HP	HIGH POINT	TB	TOP OF BERM
IRR	IRRIGATION	TC	TOP OF CURB
JT	JOINT TRENCH	TCM	TREATMENT CONTROL MEASURE
LF	LINEAL FEET	TW	TOP OF WALL
LIP	LIP OF GUTTER	TYP	TYPICAL
LP	LOW POINT	VC	VERTICAL CURVE
MAX	MAXIMUM	W	WATER LINE
MH	MANHOLE	WM	WATER METER

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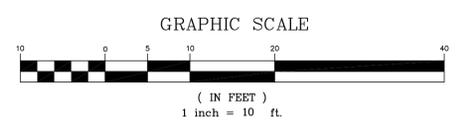
TENTATIVE PARCEL MAP

54 W RINCON AVENUE

CITY OF CAMPBELL SANTA CLARA COUNTY CALIFORNIA



PROPOSED SUBDIVISION PLAN
 SCALE: 1"=10'



SHEET INDEX

SHEET NO.	DESCRIPTION
TM-1	PROPOSED SUBDIVISION PLAN & NOTES
TM-2	EXISTING CONDITION MAP & PRELIMINARY DEMOLITION PLAN
TM-3	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
L-1.0	LANDSCAPE PLAN

PROJECT GENERAL NOTES:

- OWNER: JRR, LLC
2975 SCOTT BLVD, SUITE 100
SANTA CLARA, CA 95054
- APPLICANT/DEVELOPER: JRR, LLC
2975 SCOTT BLVD, SUITE 100
SANTA CLARA, CA 95054
- CIVIL ENGINEER: STERLING CONSULTANTS
4650 FREMONT BLVD, SUITE 205
FREMONT, CA 94538
CONTACT: DILIP S. KISHINEVI, P.E., QSD
TEL: 925-705-3633
- LANDSCAPE ARCHITECT: WILSON AND ASSOCIATES
815 SAN DIEGO ROAD
BERKELEY, CA 94707
CONTACT: CHARLES WILSON, LA
TEL: 510-644-9602
- SOILS ENGINEER: TBD
- APNs: 305-33-017
- EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL
- PROPOSED LAND USE: MULTI FAMILY RESIDENTIAL
- SITE AREA: GROSS - 8,800 SF (0.2020 ACRES)
NET - 8,000 SF (0.1837 ACRES)
- NUMBER OF UNITS: 4 FOR SALE CONDOMINIUMS
- GENERAL PLAN: PROFESSIONAL OFFICE
- EXISTING ZONING: P-D (PLANNED DEVELOPMENT)
- PROPOSED ZONING: P-D (PLANNED DEVELOPMENT)
- WATER SYSTEM: SAN JOSE WATER COMPANY
- SEWER SYSTEM: WEST VALLEY SANITATION DISTRICT
- STORM DRAIN SYSTEM: CITY OF CAMPBELL
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (P.G.&E.)
- CABLE: COMCAST CABLE
- TOPOGRAPHY: EXISTING TOPOGRAPHY IS BASED ON A FIELD SURVEY DONE BY STERLING CONSULTANTS IN DECEMBER 2021.
- BOUNDARY: BOUNDARY AS SHOWN IS BASED ON A FIELD SURVEY DONE BY STERLING CONSULTANTS IN DECEMBER 2021.
- STREETS: ACCESS TO THE PROPOSED LOTS IS THROUGH WEST RINCON AVENUE.
- FLOOD ZONE: ZONE x; PANEL NO. 06085C0237H
- GRADING: TENTATIVE GRADES FOR THE PROPOSED SUBDIVISION ARE SHOWN ON SHEET TM-3.
- DIMENSIONS: LOT DIMENSIONS (SHOWN TO NEAREST TENTH OF A FOOT) AND AREAS SHOWN HEREIN ARE APPROXIMATE AND SUBJECT TO MINOR CHANGES DURING FINAL DESIGN.
- CONTOURS: EXISTING CONTOURS ARE SHOWN.
- UTILITIES: ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. ALL STORM DRAINS, SANITARY SEWERS AND WATER MAINS SHALL ADHERE TO MINIMUM SIZES & SLOPES PER THE GOVERNING AGENCIES.
- STORMWATER: THE LOT IS UNDER 10,000 SF AND THEREFORE WILL NOT REQUIRE TREATMENT AREAS BASED ON C3.
- MONUMENTS: DEVELOPER SHALL INSTALL IRON PIPES AT PROPERTY CORNERS PER APPROVED FINAL MAP TO THE SATISFACTION OF THE CITY ENGINEER.
- FIRE SPRINKLERS: FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 EDITION STANDARD.

DATE:	SCALE:	DRAWN:	DESIGNED:	ENGINEER:	MANAGER:	NO.	BY	DATE	REVISIONS	CITY APPR
MARCH 15, 2024	AS NOTED	DSK	DSK	DSK	DSK					

PREPARED BY, OR UNDER THE DIRECTION OF:
 NOT APPROVED FOR CONSTRUCTION

PREPARED BY:
STERLING CONSULTANTS
 4650 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
 1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
 JJRR, LLC
 2975 SCOTT BLVD., SUITE 100
 SANTA CLARA, CA 95054

APN: 305-33-017 54 W RINCON AVENUE

54 WEST RINCON HOMES
PROPOSED SUBDIVISION PLAN & NOTES

CITY OF CAMPBELL COUNTY OF SANTA CLARA CALIFORNIA

SHEET NO.
TM-1
 1 OF 4 SHEETS
 JOB NO.
 2021-133

DEMOLITION LEGEND

- PROPERTY LINE
- SAWCUT LINE
- 183.45
27' DIA + TAG 3 EX. TREE WITH GROUND ELEV., DBH.
- ✕ REMOVE EXISTING TREE
- ▨ REMOVE EXISTING AC/CONC./BUILDING

REMOVAL NOTES

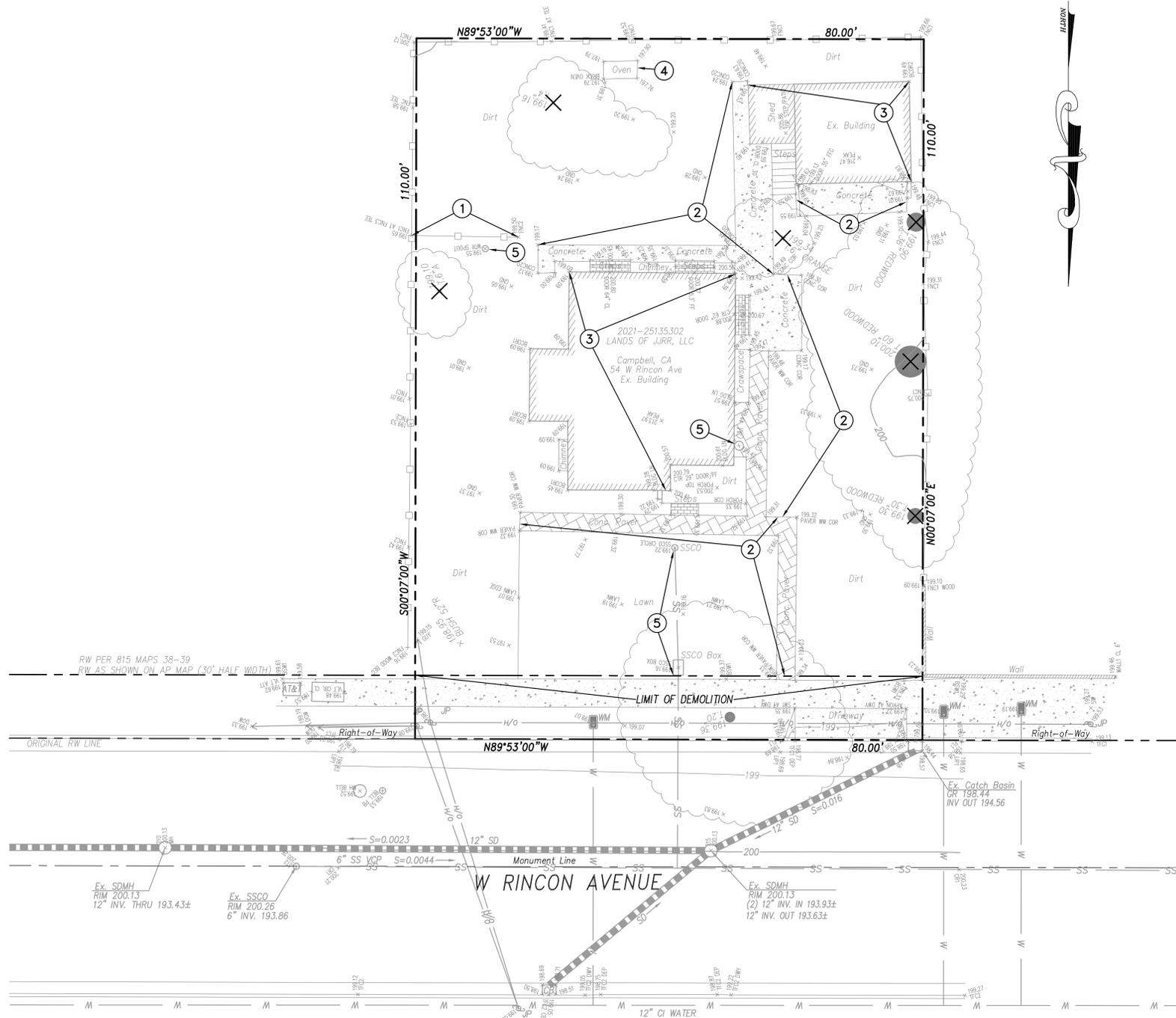
- ① REMOVE EXISTING FENCE
- ② REMOVE EXISTING CONCRETE
- ③ REMOVE EXISTING BUILDING
- ④ REMOVE EXISTING OVEN
- ⑤ REMOVE EXISTING UTILITY

PROTECTION NOTES

- Ⓐ PROTECT EXISTING UTILITY

DEMOLITION NOTES

1. DEVELOPER'S CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM CITY OF CAMPBELL'S BUILDING DEPARTMENT PRIOR TO START OF DEMOLITION.
2. THE PROPERTY LINE SHALL BE THE LIMITS OF DEMOLITION UNDER THE PERMIT.
3. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO START OF DEMOLITION ON THE SITE.
4. UTILITIES TO BE ABANDONED WITHIN THE AREAS OF PROPOSED IMPROVEMENTS SHALL BE REMOVED IN THEIR ENTIRETY OR ABANDONED IN PLACE PER RECOMMENDATIONS OF THE PROJECT SOILS REPORT.



EXISTING CONDITION & PRELIMINARY DEMOLITION PLAN
SCALE: 1"=10'

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DATE: MARCH 15, 2024					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR

PREPARED BY, OR UNDER THE DIRECTION OF:
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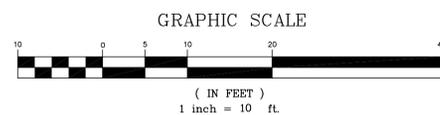


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FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
JJRR, LLC
2975 SCOTT BLVD., SUITE 100
SANTA CLARA, CA 95054

APN: 305-33-017
54 WEST RINCON HOMES
EXISTING CONDITION MAP & PRELIMINARY DEMOLITION PLAN
CITY OF CAMPBELL, COUNTY OF SANTA CLARA, CALIFORNIA

SHEET NO.
TM-2
2 OF 4 SHEETS
JOB NO.
2021-133



GROSS LOT AREA = 8,800.00 SQ. FT. (0.2020 ACRES)

VERTICAL DATUM: NAVD 88. HELD ELEVATION OF 199.81' AT CITY OF CAMPBELL BM 38

BASIS OF BEARINGS: BASIS OF BEARINGS: S 89°53'00" E ALONG THE CENTERLINE OF W. RINCON AVE. AS SHOWN ON PARCEL MAP, BOOK 815 OF MAPS AT PAGES 38-39, SANTA CLARA COUNTY RECORDS.

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.



GRADING NOTES:

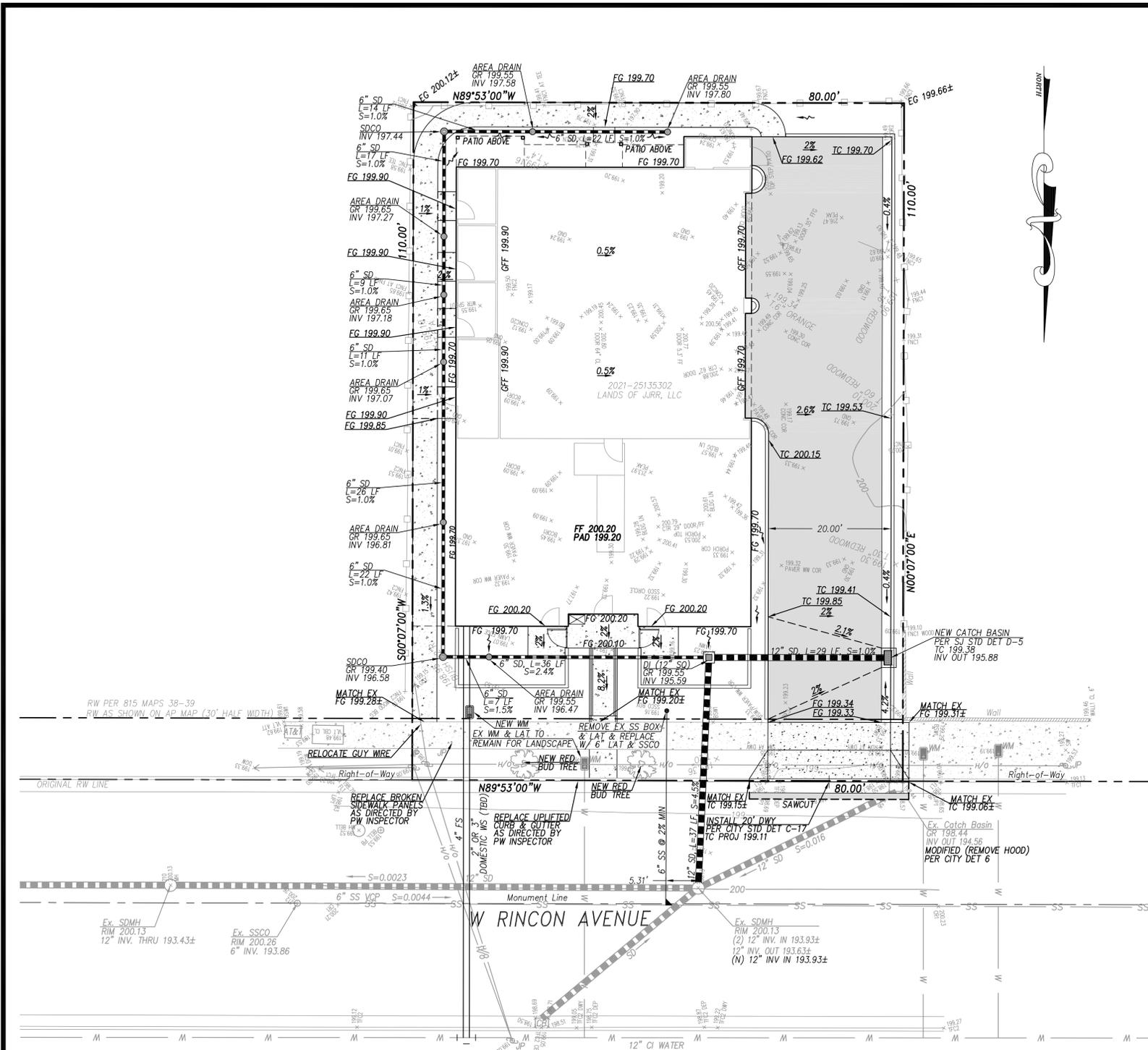
1. SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
2. ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
3. ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
4. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
5. DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEPED PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
7. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
8. FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEEPED.
9. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
10. WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS, BACKFILL AND COMPACT DURING ROUGH GRADING. THE INSPECTOR MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.
11. PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES, IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH. THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
12. EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE CITY OF CAMPBELL'S INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.
13. ALL NEW/UPGRADED UTILITIES SHALL BE INSTALLED UNDERGROUND.

EARTHWORK SUMMARY

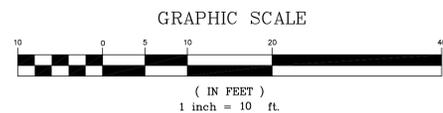
MEASURED RAW CUT: 54 CY
 (UNDER FOOTPRINT & DRIVEWAY) (ASSUME 12" DRIVEWAY SECTION)
 MEASURED RAW FILL: 5 CY
 (UNDER FOOTPRINT)
 ESTIMATED EXPORT: 49 CY

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.

NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.



PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
 SCALE: 1"=10'



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DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR

PREPARED BY, OR UNDER THE DIRECTION OF:
 NOT APPROVED FOR CONSTRUCTION

PREPARED BY:
STERLING CONSULTANTS
 4650 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
 1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
 JJRR, LLC
 2975 SCOTT BLVD., SUITE 100
 SANTA CLARA, CA 95054

APN: 305-33-017	54 WEST RINCON HOMES PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN	SHEET NO. TM-3 3 OF 4 SHEETS JOB NO. 2021-133
CITY OF CAMPBELL	COUNTY OF SANTA CLARA	CALIFORNIA

APPLICATION INFORMATION

- | | |
|---------------------------------------|---|
| 1. DATE | MARCH 15, 2024 |
| 2. PROJECT APPLICANT | PATRICK HEALY, RLA (phealy83@gmail.com) |
| 3. PROJECT ADDRESS | 54 WEST RINCON AVE, CAMPBELL, CA 95008 |
| 4. TOTAL LANDSCAPE AREA (SQUARE FEET) | 1,561 SF |
| 5. PROJECT TYPE | NEW |
| 6. WATER SUPPLY TYPE AND PURVEYOR | POTABLE, PURVEYOR: SAN JOSE WATER SERVICE |
| 7. CONTACT INFORMATION | PROPERTY OWNER: RODNEY TERRA, JR.
(rodney@ftgbuilders.com) |

LICENSED LANDSCAPE PROFESSIONAL/APPLICANT STATEMENT:
"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE
PRESCRIPTIVE COMPLIANCE OPTION TO THE MWEL0".

 3/15/2024
PATRICK HEALY, CA RLA #6267

CONSULTANT



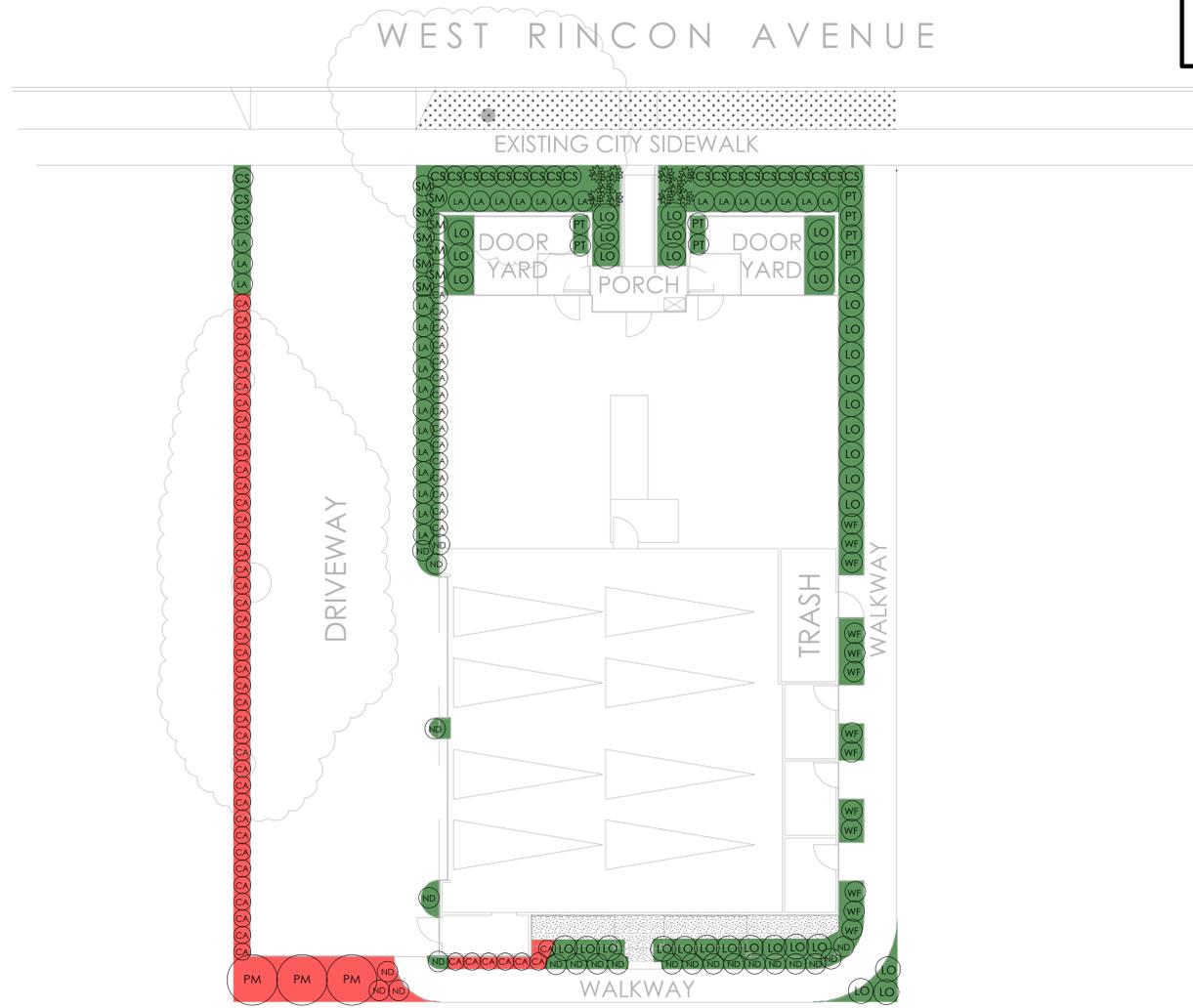
PATRICK HEALY DESIGN
3820 QUINLAN LN
SAN JOSE CA 95118

STAMP



LANDSCAPE AREA CALCULATIONS

	LOW WATER USE PLANTING AREA (WUCOLS 0.3)	885 SF (57%)
	MODERATE WATER USE PLANTING AREA (WUCOLS 0.5)	294 SF (18%)
	MULCH AREAS	382 SF (25%)
TOTAL LANDSCAPE AREA		1,561 SF

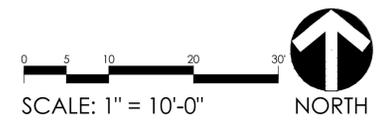


54 WEST RINCON AVE
CAMPBELL, CA 95008

SUBMITTAL	DATE
PLN2023-197 Resubmittal	3.15.2024

NO.	REVISIONS	DATE

DATE: 3.15.2024
SCALE: AS SHOWN
DESIGNED BY: PH
DRAWN BY: PH
JOB NO: **23-008**

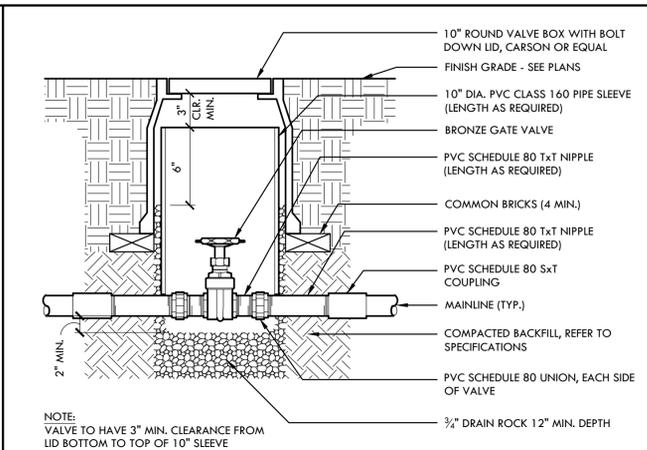
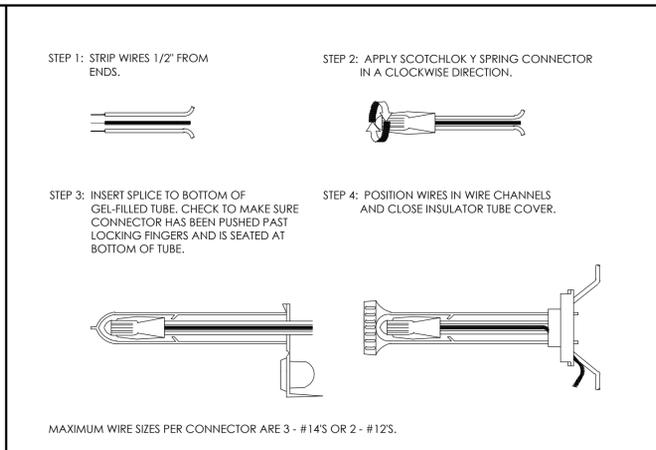


SHEET TITLE:
**WELO APPLICATION
AND CALCS PLAN**
SHEET NAME:
L1.2



PATRICK HEALY DESIGN
3820 QUINLAN LN
SAN JOSE CA 95118

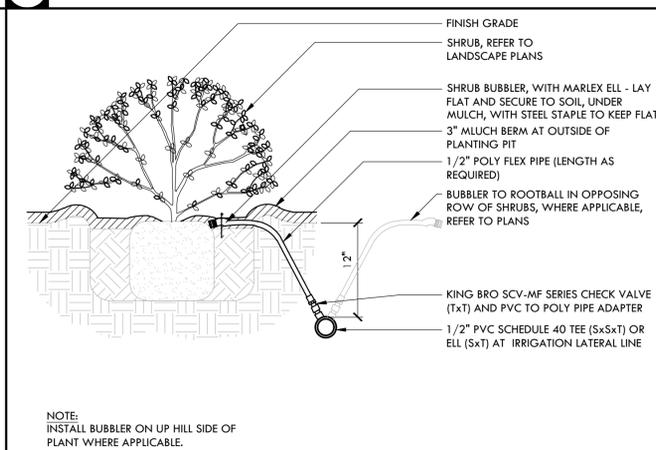
STAMP



P L

H CONTROL WIRE CONNECTION NTS

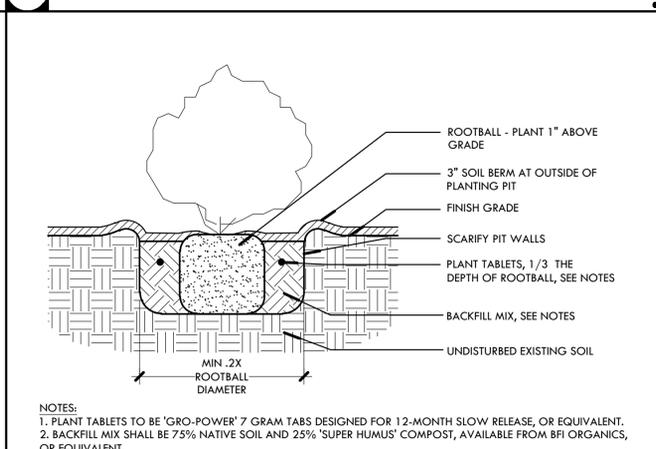
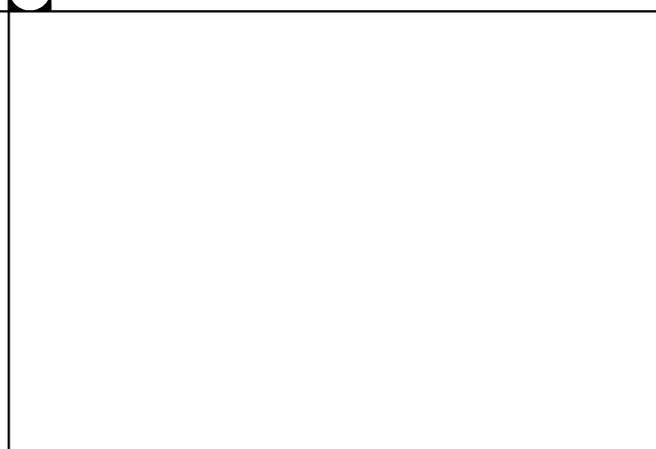
D GATE VALVE - 2" AND SMALLER IN SIZE NTS



O K

G SHRUB BUBBLER ASSEMBLY NTS

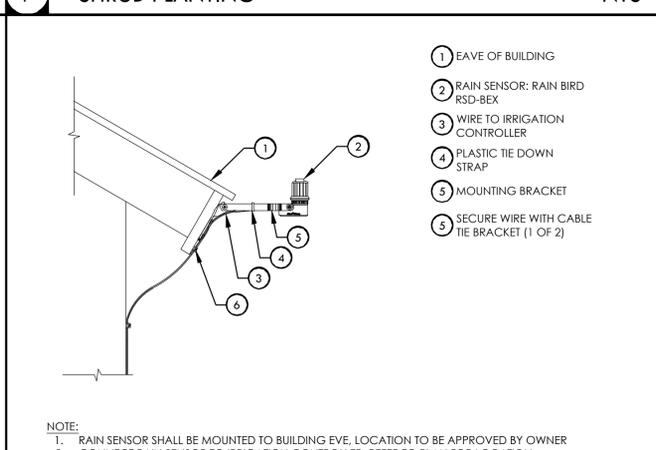
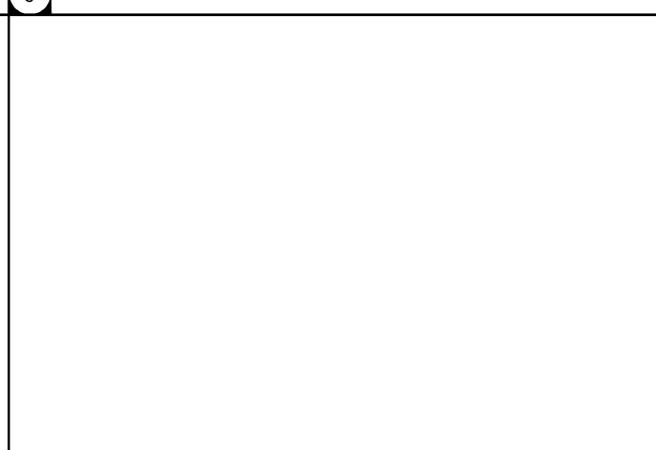
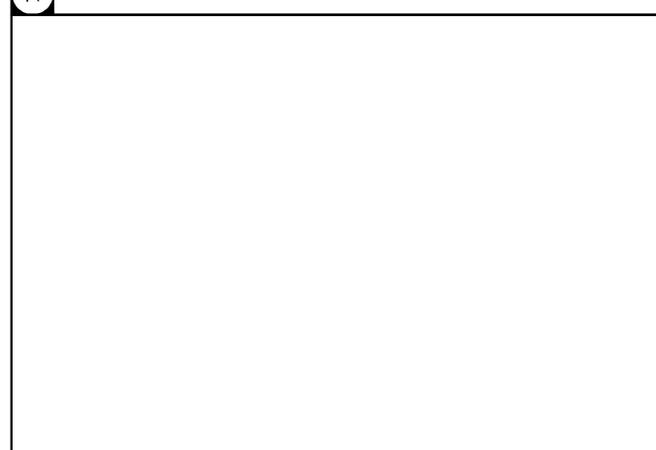
C IRRIGATION PIPE TRENCHING NTS



N J

F SHRUB PLANTING NTS

B ANTI-SIPHON REMOTE CONTROL VALVE (FOR BUBBLERS) NTS



M I

E RAIN SENSOR ROOF BRACKET NTS

A WALL MOUNT CONTROLLER NTS

54 WEST RINCON AVE
CAMPBELL, CA 95008

SUBMITTAL	DATE
PLN2023-197 Resubmittal	3.15.2024

NO.	REVISIONS	DATE

DATE: 3.15.2024
SCALE: AS SHOWN
DESIGNED BY: PH
DRAWN BY: PH
JOB NO: 23-008

SHEET TITLE: IRRIGATION DETAILS

SHEET NAME: L3.0

ABBREVIATIONS

ADA	AMERICAN DISABILITIES ACT	MECH	MECHANICAL
AFF	ABOVE FINISHED FLOOR	MH	METAL HALIDE
AHJ	AIR HANDLING UNIT	MLO	MAIN LUGS ONLY
AP	ACCESS PANEL	MIN	MINIMUM
APCI	ARC FAULT CIRCUIT INTERRUPTER	MM	MICROWAVE
A/C	AMPERES INTERRUPTING CAPACITY	(N)	NEK
(SYMMETRICAL)		N/A	NOT APPLICABLE
AS/AF	AMP SWITCH, AMP FUSE	NC	NORMALLY CLOSED
AMP, A	AMPERE	NEC	NATIONAL ELECTRICAL CODE
ARCH	ARCHITECTURAL	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
AMS	AMERICAN WIRE GAUGE	NO	NORMALLY OPEN
BLDG	BUILDING	P	POLE
BKR	BREAKER	PB	PULLBOX
		PC	PHOTOCELL
		PH OR φ	PHASE
		PWR	POWER
CLG	CEILING	RECPT, REC	RECEPTACLE
C	CONDUIT	REF	REFRIGERATOR
CB	CIRCUIT BREAKER	REQD	REQUIRED
CKT	CIRCUIT	RPM	REVOLUTIONS PER MINUTE
Δ	DELTA CONNECTED	ST	SHUNT TRIP
DIST	DISTRIBUTION	SP	SUMP PUMP
DEG	DEGREE	SPEC	SPECIFICATION
DWG	DRAWING	SYS	SYSTEMS
D/M	DISH WASHER	SYM	SYMMETRICAL
EF	EXHAUST FAN	TELCOM	TELECOMMUNICATIONS
EG	EQUIPMENT GROUND	TV	TELEVISION
ELEC	ELECTRICAL	TYP	TYPICAL
ELEV	ELEVATOR	UG	UNDERGROUND
EQ	EQUIPMENT	UTIL	UTILITY
EP	EXPLOSION PROOF	UPS	UNINTERRUPTIBLE POWER SUPPLY
FACP	FIRE ALARM CONTROL PANEL	V	VOLTS
FDR	FEEDER	VA	VOLT AMPERE
FLA	FULL LOAD AMPS	VD	VOLTAGE DROP
FLUOR	FLUORESCENT	V/PHZ	VOLTS/PHASE/HERTZ
G/GRD	GROUND	W	WIRE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WP	WEATHERPROOF
HP	HORSE POWER	XFR	TRANSFORMER
HPS	HIGH PRESSURE SODIUM	XFR	TRANSFER
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	Y	WYE CONNECTED
INCAND	INCANDESCENT		
JB/BOX	JUNCTION BOX		
KVA	KILOVOLT AMPERES		
KW	KILOWATTS		
KWH	KILOWATTS PER HOUR		
KCML	THOUSAND CIRCULAR MILS		
LCP	LIGHTING CONTROL PANEL		
LPS	LOW PRESSURE SODIUM		
LTS	LIGHTING		
M	METER		
MAX	MAXIMUM		
MCB	MAIN CIRCUIT BREAKER		

ELECTRICAL SYMBOLS

NOTE: 'NL' DENOTES 90 MINUTE BATTERY BACKUP

SYMBOL	MEANING	SYMBOL	MEANING
	SWITCH		ELECTRICAL PANEL
	3-WAY SWITCH		DUPLEX RECEPTACLE
	DIMMER SWITCH		240V RECEPTACLE
	HIGH EFFICACY FIXTURE (CEILING)		FLOOR RECEPTACLE RECEPTACLE
	HIGH EFFICACY FIXTURE (WALL)		JUNCTION BOX
	HIGH EFFICACY FIXTURE (RECESS)		RECESSED DOWNLIGHT
	PENDANT LIGHT FIXTURE (CEILING)		HOMERUN: HFC= PANEL DESTINATION, 2,4,6=CIRCUITS
	1'X4' LED STRIP LIGHT		CIRCUIT BREAKER
	2'X4' LED STRIP LIGHT		FUSE
	EXHAUST FAN		EXHAUST FAN/LED LIGHT COMBO (RECESSED)
	UL 2034/2075 CARBON MONOXIDE ALARM		DOOR BELL
	UL 2034/2075 SMOKE DETECTOR		MANUAL MOTOR RATED SWITCH
			VACANCY SENSOR
			3 POLE DISCONNECT SWITCH
			GROUND

ELECTRICAL GENERAL NOTES

- The entire installation shall comply with 2020 NEC, 2022 California Energy Code, 2022 California Electrical Code, and all applicable local codes and regulation.
- All electrical prefabricated equipment shall be designed and constructed in such a manner that all portions, elements, sub-assemblies and/or parts of said equipment, and the equipment as a whole including its attachments, will resist a load which exceeds the force level used to restrain and anchor the equipment to the supporting structure.
- All electrical materials and equipment shall be new and shall be listed by Underwriter's Laboratories (UL) and bear their label or listed or certified by a nationally recognized testing authority where UL does not have a listing. Custom made equipment shall have complete test data submitted by the manufacturer attesting to its safety. In addition, the materials, equipment, and installation shall comply with the requirements of the following:
 - American Society of Testing Materials (ASTM)
 - Insulated Power Cable Engineers Association (IPCEA)
 - American Standard Association (ASA)
 - National Fire Protection Association (NFPA)
 - American National Standard Institute (ANSI)
 - NEC National Electrical Code (NEC)
 - Institute of Electrical and Electronic Engineers (IEEE)
 - All local codes having jurisdiction

Where the codes have different levels of requirements, the most stringent rule shall apply.
- The contractor shall visit the site including all areas indicated on the drawings. He shall thoroughly familiarize himself with the existing conditions and by submitting a bid, accepts the conditions under which he shall be required to perform his work.
- It shall be contractor's responsibility to obtain a complete set of contract documents, addenda, drawings and specifications. He shall check the drawings of the other trades and shall carefully read the entire specifications and determine his responsibilities. Failure to do so shall not release the contractor from doing the work in complete accordance with the drawings and specifications.
- The contractor shall coordinate his work with other trades at the site. Any costs to install work to accomplish said coordination which differs from the work as shown on the drawings shall be incurred by the contractor. Any discrepancies, ambiguities or conflicts shall be brought to the attention of the engineer during bid time for clarification. Any such conflicts not clarified prior to bid shall be subject to the interpretation of the engineer at no additional cost to the owner.
- The contractor shall provide and keep up-to-date a complete record set of drawings. These prints shall be corrected accordingly and show every change from the original drawings. This set of drawing shall be kept on the job site and shall be used only as a record set. This shall not be construed as authorization for the contractor to make changes in the layout without definite instruction in each case. Upon completion of the work, a set of reproducible contract drawings shall be obtained from the engineer, and all changes as noted on the record set of drawings shall be incorporated on reproducible bond with black ink in a neat, legible, understandable and professional manner per Client's request.
- In some instance, it may be necessary to defer work in certain areas and locations until such time as existing facilities can be temporarily or permanently rearranged by the owner. Therefore, whenever it becomes necessary for the contractor to perform work under this contract in existing areas in which the owner's work is being performed, the contractor shall advise the owner relative to this requirement and shall follow closely the directive issued by the engineer insofar as time and procedure are concerned.
- All interruption of electrical power shall be kept to a minimum. However, when an interruption is necessary, the shutdown must be coordinated with the owner 7 days prior to the outage. Any overtime pay and work required to be accomplished on weekends shall be included in the contractor's bid. Work in existing switchboards or panelboards shall be coordinated with the owner prior to removing access panels or doors.
- It shall be responsibility of the contractor to review and to coordinate with the mechanical, fire protection and plumbing drawings for duct lines and equipment.
- All equipment mounted on roof for connection of HVAC equipment shall be mounted on unistrut stands utilizing approved pitch pockets, flashing, etc..
- After all requirements of the specifications and/or the drawings have been fully completed, representatives of the owner will inspect the work. The contractor shall provide competent personnel to demonstrate the operation of any item or system to the full satisfaction of each representative. Final acceptance of the work will be made by the owner after receipt of approval and recommendation of acceptance from each representative.
- The contractor shall furnish a one year written guarantee of materials and workmanship from the date of substantial completion.
- Coordinate with other trades as to the exact location and configuration of their respective equipment, supply power and make connection to motors and equipment requiring electrical connections as indicated on the single line diagram, electrical drawings and drawings of other trade. Review the drawings of other trades for control diagram, size and locations of equipment. Disconnect switches, starters, wiring, controls and conduit for mechanical and plumbing operations shall be provided. The contractor shall be responsible for obtaining manufacturer's shop drawings prior to roughing in all conduit to this equipment.
- Exact method and location of conduit penetration and openings in concrete or masonry walls, gradebeams, floors or structural steel members shall be as directed by the structural engineer. Perform coring, sawcutting, patching, and refinishing of walls and surfaces wherever it is necessary to penetrate openings shall be sealed in an approved method to meet the fire rating of the particular wall, floor or ceiling. Exact method and locations of conduit penetrations and openings in concrete walls or floors shall be for UL approved systems.
- Connections to vibrating equipment, mechanical and plumbing equipment and seismic separations:
 - Liquid-tight conduit in all locations
 - Maximum length of flexible conduit runs shall be 6'-0" u.O.N.
- Equipment outlets, lighting fixtures, conduit, wire and connection methods in HVAC air-plenums shall be approved for use in plenums and shall conform to 2022 CEC.
- Conduit shall not be installed in any floor slab. Conduit shall be installed concealed in the ceiling space, concealed in walls, or below slab on grade. Unless otherwise noted.

ELECTRICAL SHEET INDEX

NO.	SHEET	DESCRIPTION
1	E-10	ELECTRICAL GENERAL NOTES, SYMBOLS, & SHEET INDEX
2	E-20	ELECTRICAL PHOTOMETRIC PLAN

- Whenever a discrepancy in quantity or size of conduit, wire, equipment devices, circuit breakers, ground fault protection system, etc., (all materials), arises on the drawings or specifications, the contractor shall be responsible for providing and installing all materials and services required by the strictest conditions noted on the drawings or in the specifications to ensure complete and operable systems as required by the owner and engineer.
- It shall be contractor's responsibility to verify type of ceiling systems and to furnish approved lighting fixtures of the type required for mounting in subject ceiling. Where fixtures are recessed into plaster or drywall ceilings, they shall be complete with necessary mounting hardware and plaster frames.
- All recessed lighting fixtures, speakers, receptacles, switches, etc., mounted in the fire rated ceilings or walls shall be enclosed with an approved enclosure carrying the same fire rating as the ceiling or wall by this contractor.
- Utility penetrations of any kind in fire and smoke partitions and ceiling assemblies, shall be firestopped and sealed with an approved material securely installed.
- Utility and electrical outlets or boxes shall be securely fastened to the stud of framing of the wall, partition or ceiling assembly. The opening in the gypsum board facing shall be cut so that the clearance between the box and the gypsum board does not exceed 1/8 inch. In smoke walls or partitions, the 1/8 inch clearance shall be filled with an approved fire-rated sealant.
- Architectural reflected ceiling plans indicating the location of lighting fixtures shall take precedence over the locations of same shown on the electrical drawings. Install the lighting fixtures in any given area to agree with the reflected ceiling plans. Discrepancies shall be brought to the attention of the architect.
- The exact locations and mounting heights of lighting fixtures located in mechanical equipment spaces and storage shall be coordinated in the field before installation to avoid interferences with ducts, piping and other mechanical equipment and all mounting hardware shall be included in base bid. When locations and mounting heights are determined, obtain approval from the engineer prior to installation.
- Maximum number of conductors in outlet or junction boxes shall conform to 2022 CEC.
- The exact locations of all electrical devices and equipment shall be coordinated with the architectural elevations, details or sections prior to installation. All electrical devices and equipment shall be recessed in walls, unless otherwise noted. Outlets not indicated on architectural elevations shall be coordinated with the architect prior to rough-in, unless otherwise noted.
- Review architectural elevations of casework. Outlets mounted above or below, or adjacent to casework shall be coordinated with the architectural drawings, prior to final rough-in. Electrical drawings shall govern number and type of outlets. However, locations shall be as indicated on architectural elevations. Provide conduit, wires and outlets for work required in casework installations. Reference architectural details for method of routing conduit within casework construction. Provide box extensions through all casework. Finish flush with face of splash, cabinets, etc. Mounting heights of all devices and equipment are from finished floor to center of devices and equipment, unless otherwise noted. Boxes installed in locations not approved by the architect shall be relocated as directed by the architect at no additional cost to the owner.
- Drawings are diagrammatic only and do not show special conduit routing or lengths required for a complete installation. Routing of raceways shall be at the option of the contractor but shall be in strict compliance with structural requirements and specifications, unless otherwise noted and shall be coordinated with other trades. Do not scale the electrical drawings for locations of any electrical architectural, structural, civil, or mechanical items or features. Refer to architectural and structural dimensional drawings.
- The equipment grounding conductor runs shall be installed and run continuous from panel to last outlets. This wire shall be pigtailed in each outlet for connection to box and device so that if device is removed, ground will not be interrupted. All equipment grounding conductors shall be insulated green or bare conductors. Alternate methods of identification shall be used.
- For small ac motors not having built-in thermal overload protection, provide manual motor starters with overload heater elements sized to the nameplate current rating of the motor. Small ac motors with built-in thermal overload protection, provide a horse power rated toggle type disconnect switch.
- Boxes shall be sized for the number and sizes of conductors and conduit entering the box and equipped with plaster extension rings where required.
- Lamps: all fixtures shall be high efficacy per CEC 2022 Table 150.0-A.
- Where lighting fixtures require the use of acrylic plastic lenses, they shall be 100 percent virgin acrylic thermoplastic, not less than 0.125" thick with an unpenetrated depth of not less than 0.045" equal to ksh-k12, unless otherwise noted.
- Provide sound insulation at all conduit penetrations at sound barrier rated walls. Typical unless otherwise noted.
- Where outlets occur at tackable wall panels or other wall finishes, provide extension rings as required so that no space will exist between device plate and backbox, per NEC 370.20, typical. See architectural elevations for wall finishes and locations.
- All conductors for branch circuits shall be THHN/THWN copper AWG or KCML per NEC table 310.16. Grounding shall be "Green wire" or bare copper wire sizes per NEC table 250.122.
- Grounding System:
 - The grounding system shall be derived per NEC 250.50:
 - A) 10' of meter underground water pipe
 - B) Meter frame of building or structure where effectively grounded
 - C) An electrode encased by at least 2" of concrete located within or near the bottom of a concrete foundation that is in direct contact with the earth. 20' zinc galvanized or other electrically conductive steel reinforcing bar or rod of not less than 1/2" in diameter or bare copper conductor not smaller than #4AWG.
- Listed or labeled equipment shall be installed and used in accordance with any instructions included in the listing or labeling. Section 110.3(b)
- Contractor must verify locations of all equipment and points of connection and coordinate with construction manager, architect, civil engineer, landscape architect, and utility consultants prior to start of construction. No compensation will be made for relocation of equipment and associated cost.
- This document is not for bid or construction until the plan has been reviewed and approved by all authorities having jurisdiction and the permit is obtained. No compensation will be made for additional work due to the violation of this requirement.

REVISIONS

NO.	DATE	DESCRIPTION

SEAL



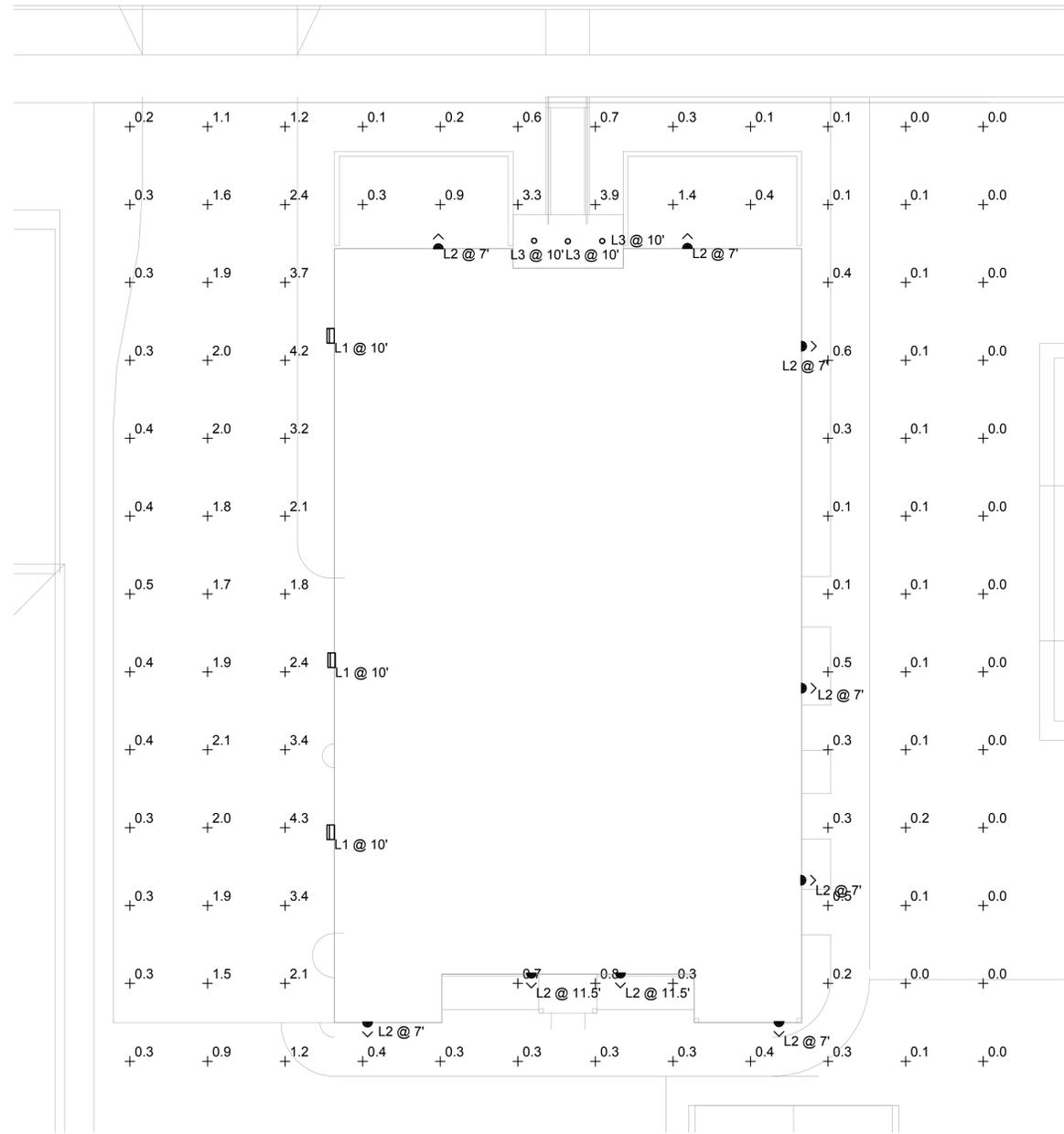
28430 Rancho Pkwy. S. Ste 120
Lake Forest, CA 92630
Tel: 949-257-0066

PROJECT NAME:
54 RINCON AVE
54 W RINCON AVE,
CAMPBELL, CA 95008

SHEET TITLE:
ELECTRICAL
GENERAL NOTES, SYMBOLS, &
SHEET INDEX

DRAWN
GMEP
CHECKED
GMEP
DATE
03/07/2024
SCALE
AS NOTED
JOB NO.
24-050
SHEET

E-1.0



ELECTRICAL - PHOTOMETRIC PLAN

SCALE: 1/8"=1'-0"

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Number Lamps	Lamp Output	Description	LLF	Input Power
	L1	3	SIGNIFY GARDCO	101L-16L-530-NW-G2-2	1	3619	101L LED Sconce	0.81	28.1
	L2	9	Access Lighting	20131LEDDMG-BL	1	454	Wall Sconce	0.81	12
	L3	3	Lithonia Lighting	LDN6 27/05 LO6AR LD	1	448.89 9	6IN LDN, 2700K, 500LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	0.81	5.83

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	0.8 fc	4.3 fc	0.0 fc	N/A	N/A

REVISIONS		
NO.	DATE	DESCRIPTION



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54 RINCON AVE
 54 W RINCON AVE,
 CAMPBELL, CA 95008

SHEET TITLE:
 ELECTRICAL
 PHOTOMETRIC PLAN

DRAWN: GMEP
 CHECKED: GMEP
 DATE: 03/07/2024
 SCALE: AS NOTED
 JOB NO.: 24-050
 SHEET:

E-2.0