

City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423



# Notice of Public Hearing

Dear Campbell Resident,

May 3, 2024

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday May 14, 2024, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

**Project Address:** 601 Almarida DR.  
**Zoning | Area Plan:** MDH | N/A  
**Neighborhood Association(s):** Hamann Park  
**Council District:** 3  
**File No.:** PLN-2024-44  
**APN:** 27930043  
**Applicant:** Raintree Partners  
**Property Owner:** Raintree Campbell LLC  
**Application Type:** Extension of Approval  
**Project Planner:** Daniel Fama, Senior Planner  
**Email Contact:** [danielf@campbellca.gov](mailto:danielf@campbellca.gov)  
**Phone Contact:** (408) 866-2193

## Project Description:

Request for a 24-month extension of the approved Site and Architectural Review Permit and Tree Removal Permit (PLN2018-00202) that allowed the construction of a three-story, 60-unit apartment building within an existing 180-unit apartment community (The Franciscan).

## You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:  
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:  
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**\*\*Asistencia en Español disponible, Simplemente marque (408) 866-2140 y pida traducción en Español**





**CITY OF CAMPBELL**  
COMMUNITY DEVELOPMENT DEPARTMENT

**APPROVED PROJECT**

File No(s): PLN2018-00202  
 Approving Body: PC  
 Approval Date: 5/24/2022  
 Reso./Ord. No.: 4643  
 Notes: Reflects Desk Item

*Approval of these plans is subject to the conditions of approval specified within the above referenced resolution(s) and/or ordinance(s), any "red-line" revisions or notes made to these plans, and compliance with all applicable City, State, and Federal laws and regulations. Approval of these plans shall not be construed as to impede the City from requiring corrections of errors or omissions.*

**PLANNING SUBMITTAL**



**FRANCISCAN APARTMENTS**

601 Almarida Drive  
Campbell, CA 95008  
08.17.20

**OWNER:** RAIN TREE PARTNERS  
 25 TAYLOR STREET  
 SAN FRANCISCO, CA 94102  
 NICHOLAS LEONE, AIA  
 415.272.7541  
 nleone@raintreepartners.com

**ARCHITECT:** LOWNEY ARCHITECTURE  
 360 17TH STREET, SUITE 200  
 OAKLAND, CA 94612  
 MARK DONAHUE  
 510.269.1123  
 mark@lowneyarch.com

**LANDSCAPE ARCHITECT:** LOWNEY ARCHITECTURE  
 360 17TH STREET, SUITE 200  
 OAKLAND, CA 94612  
 JENNIFER IVANOVICH  
 510.269.1112  
 jennifer@lowneyarch.com

**CIVIL ENGINEER:** TALUS ENGINEERING  
 811 SAN RAMON VALLEY BLVD  
 DANVILLE, CA 94526  
 EASTON MCALLISTER, PE  
 415.948.0440  
 easton@talus-eng.com

**LIGHTING DESIGNER:** HLB LIGHTING  
 300 BRANNAN STREET, SUITE 212  
 SAN FRANCISCO, CA 94107  
 BRANDON THRASHER  
 415.348.8273  
 bthrasher@hlblighting.com

Amended per Desk Item  
 Sheets C.01 to C.04  
 Sheet Total: 41

**ARCHITECTURAL**

- A001 PROJECT INFORMATION
- A002 NEIGHBORHOOD CONTEXT
- A003 SITE PHOTOS
- A010 EXISTING SITE & DEMOLITION PLAN
- A011 OVERALL ARCHITECTURAL SITE PLAN
- A012 PARKING / LOADING
- A013 FENCING AND CIRCULATION PLAN
- A014 FENCING DETAILS
- A015 EMERGENCY ACCESS PLAN
- A016 TRASH MANAGEMENT PLAN
- A017 OPEN SPACE DIAGRAM
- A018 FLOOR AREA DIAGRAMS
- A019 LOT COVERAGE DIAGRAM
- A020 3D RENDERING - VIEW FROM ALMARIDA DRIVE
- A200 UNDERGROUND PARKING
- A201 LEVEL 1 PLAN
- A202 LEVELS 2+3 PLANS
- A301 STREETScape EXHIBIT
- A302 EXTERIOR ELEVATIONS
- A303 EXTERIOR ELEVATIONS
- A304 EXISTING BUILDING ELEVATIONS
- A305 EXISTING BUILDING ELEVATIONS
- A306 EXISTING BUILDING ELEVATIONS
- A311 SITE CROSS SECTIONS
- A312 BUILDING SECTIONS
- A350 MATERIAL PALETTE

**LANDSCAPE**

- L101 OVERALL SITE LANDSCAPE PLAN
- L102 PROPOSED LANDSCAPE PLAN
- L103 TREE REMOVAL PLAN
- L104 TREE REPLACEMENT PLAN
- L201 EXTERIOR LIGHTING PLAN

**LIGHTING DESIGN**

- LTG-1 EXTERIOR LIGHTING LAYOUT
- LTG-2 EXTERIOR LIGHTING PHOTOMETRIC PLAN

**CIVIL**

- C.01 GRADING AND DRAINAGE PLAN
- C.02 STORM WATER CONTROL PLAN
- C.03 SITE AREA CALCULATIONS

**SHEET TOTAL: 41**

Current and Adjacent Property Land Use

- The current property, The Franciscan, is owned by the applicant, Raintree Franciscan LLC. The Franciscan, is a 1971 constructed, 180-unit garden style apartment community located at 601 Almarida Drive ("Existing Project"). The Property consists of 16 two-story buildings and 2 one-story buildings on 7.5 gross acres. The Property offers a mix of 90 one-bedroom and 90 two-bedroom units. The Property assemblage is generally bound by single family residences to the north and east, a standalone retail building (currently vacant) to the south, and a Kohl's retail store and associated parking lot to the west.

Project Overview

- The Applicant proposes to add a 60-unit residential building, leasing office, and new amenities to the Existing Project ("Proposed Addition"). The unit mix of the Proposed Addition includes 7 studio, 36 one-bedroom, and 17 two-bedroom units.
- The 60-unit multifamily building and amenity building will be constructed in a single phase with an anticipated construction timeframe of 18-24 months. The buildings will be wood-framed with stucco and stained wood siding. Architectural elements such as the proposed metal railings, wood siding, and clay tile roof are incorporated into the design of the buildings to complement the elements of the surrounding apartment buildings on site.
- Each apartment unit in the proposed project contains designer interiors, vinyl wood plank flooring, designer cabinetry, and central heating and air conditioning.
- Exterior amenities include a roof deck, fitness center, community room, contemporary mail room with package storage lockers, and pool deck. The proposed project's site landscaping is designed with drought tolerant planting and will complement the existing landscaping of the community.
- The Project will also result in the removal and replacement of a leasing office/storage building, fitness facility, laundry room, pool, spa, and 6 trees..

Parking

- In connection with the development of the Proposed Addition, per density bonus standard for a development within 1/2 mile of a major transit stop ordinance, a total of 43 parking spaces are required. A total of 178 on-site parking stalls are required per density bonus standards for the Existing Project and the Proposed Project, combined. A total of 263 parking spaces are proposed through a combination of a subterranean parking garage and on-grade parking. A total of 73 parking stalls will be provided in the subterranean parking garage.

Amenities

- The amenity building has a leasing office, a fitness center, a roof deck, and a community room with kitchen and seating for community gatherings. The outdoor recreation area offers a swimming pool and spa, outdoor kitchen, lounge seating, and dining areas. A roof deck is located above the leasing office and includes outdoor kitchen and lounge seating.

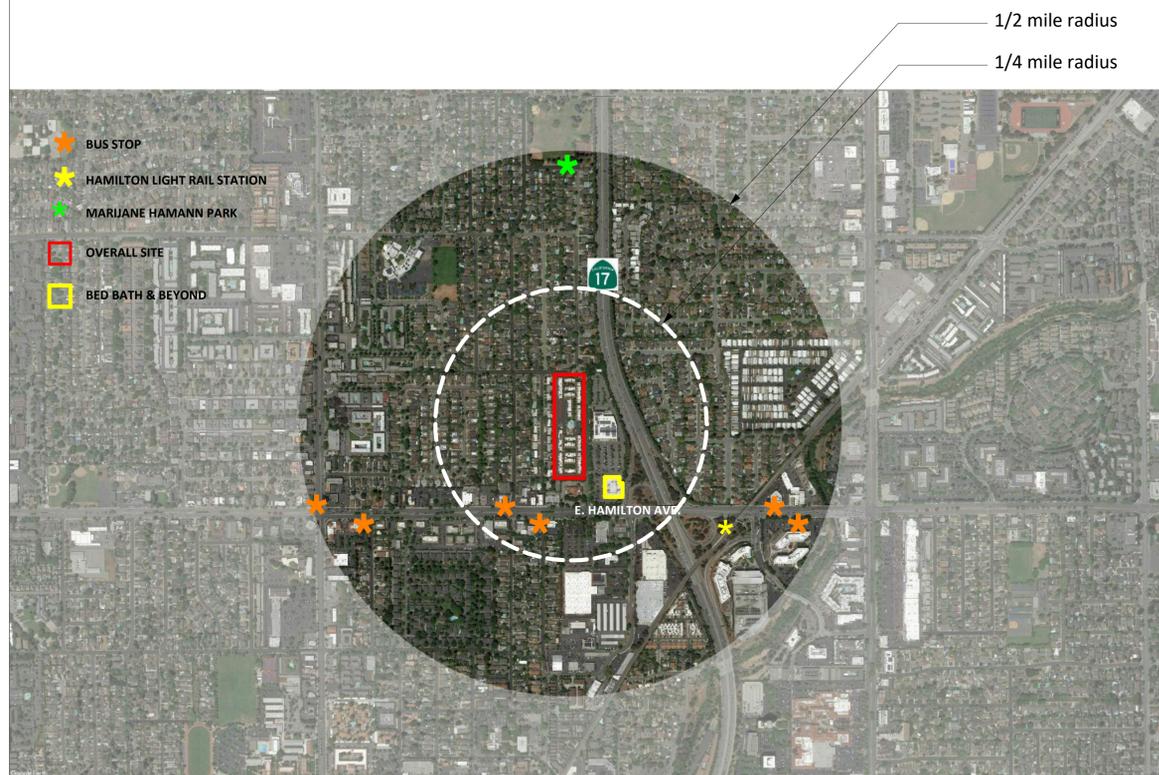
Code

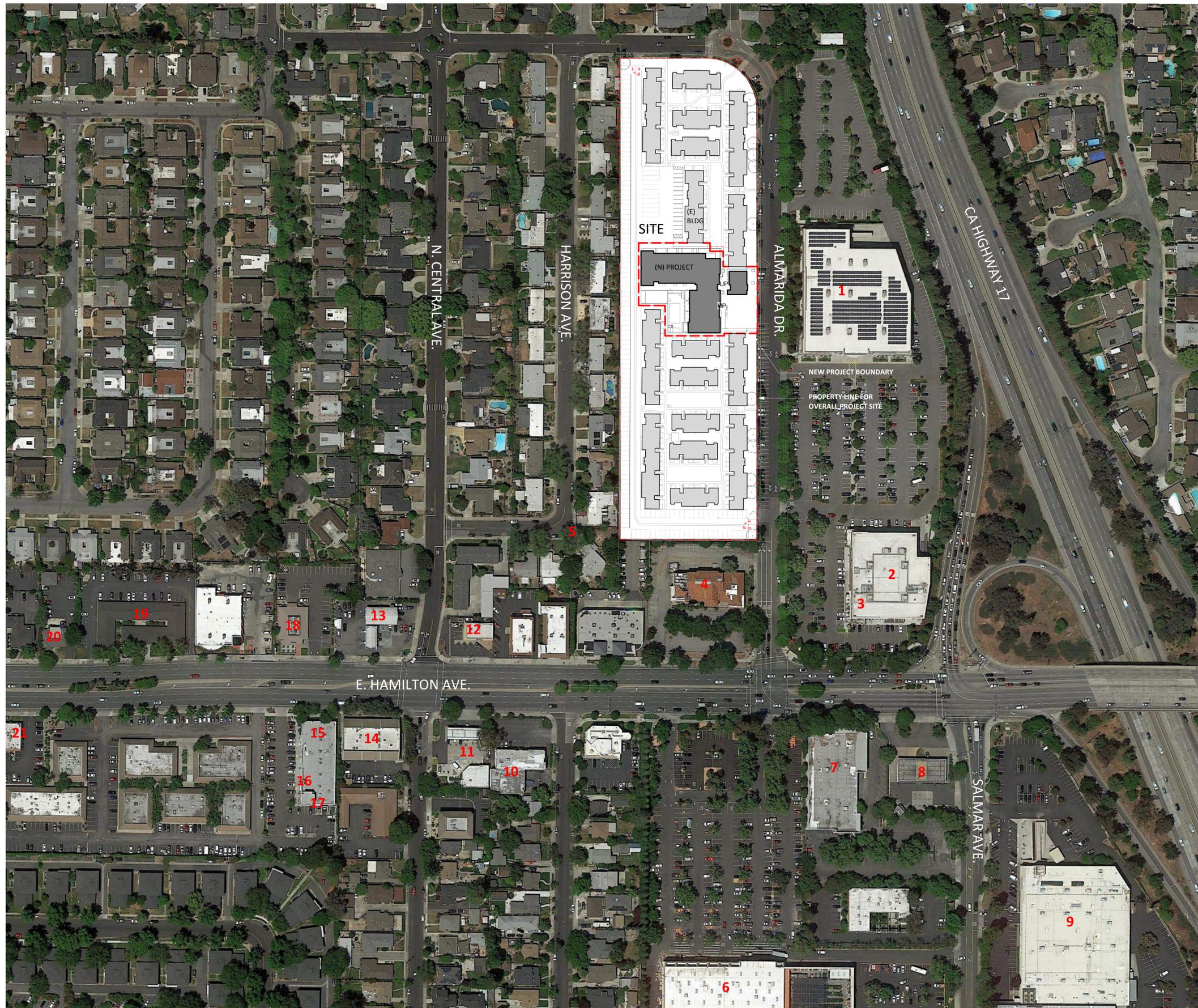
- The project is designed to meet the 2019 California Building Code.

Fire Life Safety

- Emergency Radio Responder Coverage shall be provided and installed per CFC Sec 510.
- Two-way communication system shall be provided and installed in accordance with NFPA 72 (2016 edition), CEC (2013 edition), the CFC (2016 edition), the CBC (2016 edition) and applicable local codes.
- Fire alarm system shall be provided and installed per CFC Sec. 907 and NFPA 72. Plans will be provided as a deferred submittal.

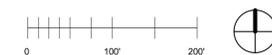
VICINITY MAP





**KEY**

- 1. KOHL'S
- 2. BED BATH & BEYOND
- 3. PANERA BREAD
- 4. FORMER ELEPHANT BAR RESTAURANT
- 5. PRESCHOOL
- 6. HOME DEPOT
- 7. STAPLES
- 8. GAS STATION
- 9. FRY'S ELECTRONICS
- 10. BICYCLE SHOP
- 11. GAS STATION
- 12. LIQUOR STORE
- 13. GAS STATION
- 14. OPTOMETRIST
- 15. STARBUCKS
- 16. SUBWAY
- 17. DAY SPA
- 18. MOUNTAIN MIKE'S PIZZA
- 19. DENTIST
- 20. CHIROPRACTOR
- 21. ITALIAN RESTAURANT





1



2



3



4



5



6



7



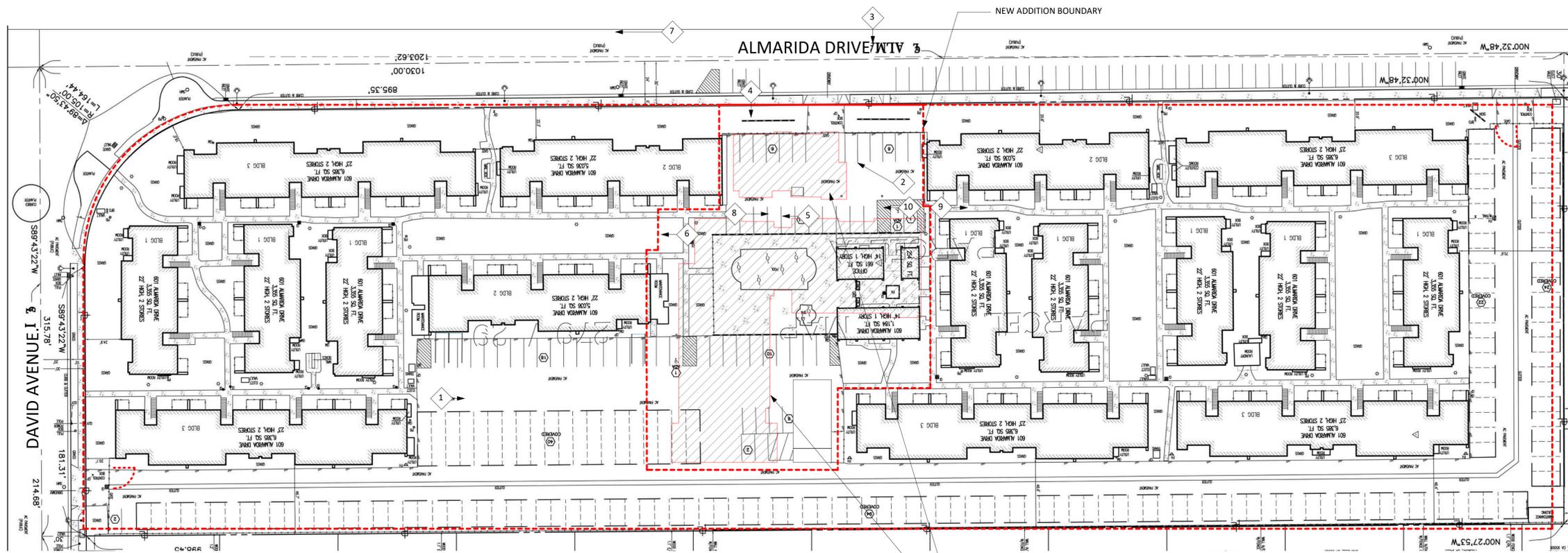
8



9



10



LOCATION OF PROPOSED BUILDINGS

\*THIS PLAN INDICATES DEMOLITION OF THE EXISTING AND NOT-APPROVED SITE CONFIGURATION AND LAYOUT.



**EXISTING PARKING SUMMARY\***

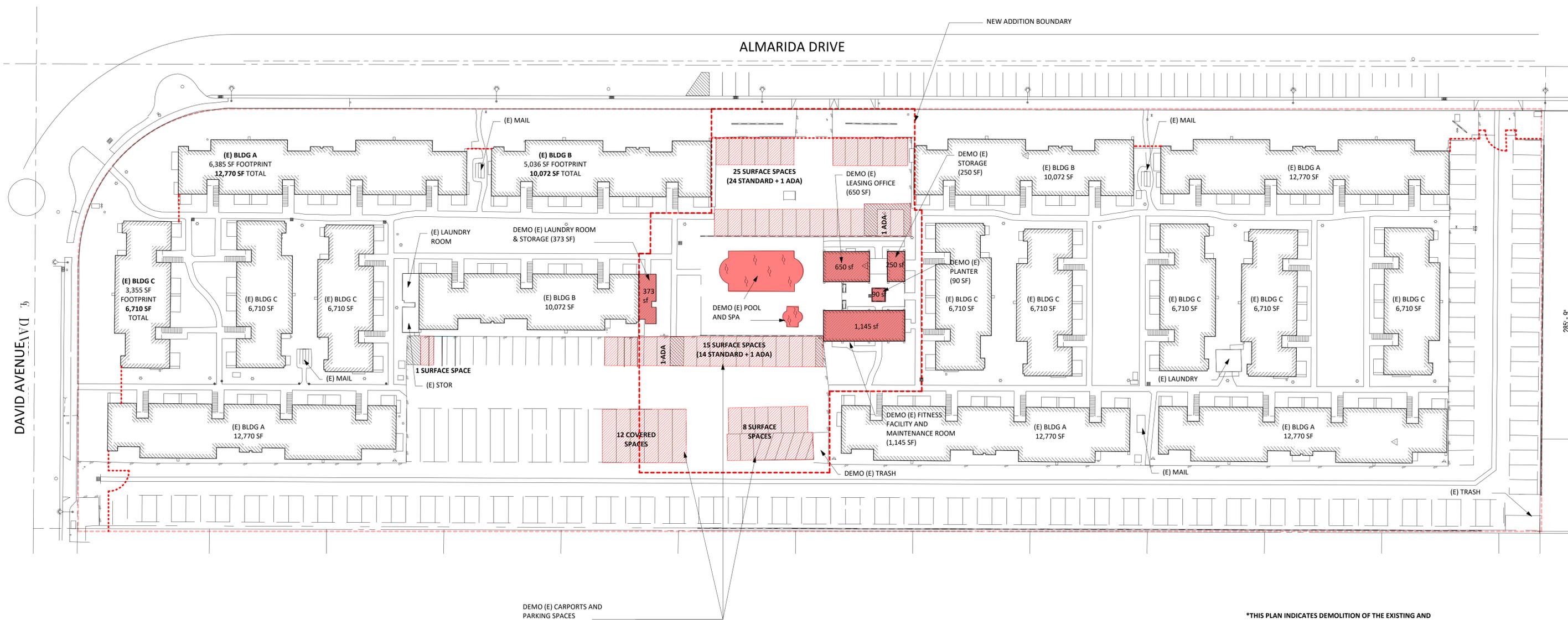
| OFF-STREET PARKING | COVERED | SURFACE | ADA | TOTAL SPACES |
|--------------------|---------|---------|-----|--------------|
| EXISTING SPACES    | 180     | 60      | 2   | 242          |
| DEMO SPACES        | -12     | -47     | -2  | -61          |
| EXISTING TO REMAIN | 164     | 13      | 0   | 181          |

\*Existing conditions do not meet minimum code requirements for parking

**EXISTING BUILDING AREA SUMMARY**

| BUILDING                                 | AREA/BLDG | QTY | TOTAL AREA |
|--|-----------|-----|------------|
| UNIT BLDG TYPE A                         | 12,770 SF | 5   | 63,850 SF  |
| UNIT BLDG TYPE B                         | 10,072 SF | 3   | 30,216 SF  |
| UNIT BLDG TYPE C                         | 6,710 SF  | 8   | 53,680 SF  |
| LEASING OFFICE / POOL (TO BE DEMOLISHED) | 2,508 SF  |     | 2,508 SF   |

|            |                               |
|------------|-------------------------------|
| 150,254 SF | TOTAL (E) BLDG AREA           |
| -2,508 SF  | DEMO SCOPE                    |
| 147,746 SF | TOTAL (E) BLDG AREA TO REMAIN |



\*THIS PLAN INDICATES DEMOLITION OF THE EXISTING AND NOT-APPROVED SITE CONFIGURATION AND LAYOUT.

1 SITE DEMOLITION PLAN  
1/32" = 1'-0"



PLANNING INFORMATION:

| Development Data   | Square Feet |                           | Percent of Site |          |
|--|-------------|---------------------------|-----------------|----------|
|  | Existing    | Proposed                  | Existing        | Proposed |
| Building Coverage  | 75,972      | 102,198                   | 27%             | 36%      |
| Landscape Coverage                                       | 92,913      | 91,424                    | 33%             | 32%      |
| Paving Coverage  | 115,061     | 90,324                    | 40%             | 29%      |
| Floor Area Ratio (Total Bldg SF divided by net lot size) | 150,254     | 201,054 (excludes garage) | 53%             | 71%      |

| Adjacent Land Uses: | Use         |
|---------------------|-------------|
| North               | Residential |
| South               | Commercial  |
| East                | Commercial  |
| West                | Residential |

Existing Buildings To Remain:

| Type         | Area (SF) | Qty. | Total (SF)     |
|--------------|-----------|------|----------------|
| BLDG A       | 12,770    | 5    | 63,850         |
| BLDG B       | 10,072    | 3    | 30,216         |
| BLDG C       | 6,710     | 8    | 53,680         |
| <b>TOTAL</b> |           |      | <b>147,746</b> |

| Parking: | # Standard                     | # Compact | # Accessible | # TOTAL |
|----------|--------------------------------|-----------|--------------|---------|
| Existing | 240 (180 COVERED +60 OPEN AIR) | 0         | 0            | 240     |
| Proposed | 256 (183 ONSITE +73 GARAGE)    | 0         | 0            | 256     |
| Approved | 267                            | 0         | 0            | 267     |

| Residential Projects:          | UNIT TYPE |     |     |     |     |     |     |
|--------------------------------|-----------|-----|-----|-----|-----|-----|-----|
|                                | A         | B   | C   | D   | E   | F   | G   |
| Living Area (avg.sq.ft)        | 250       | 300 | 300 | 300 | 314 | 300 | 322 |
| Garage Area (sq.ft)            | -         | -   | -   | -   | -   | -   | -   |
| Total Area (sq.ft)             | 348       | 637 | 644 | 827 | 889 | 909 | 940 |
| Number of Bedrooms             | 1         | 1   | 2   | 2   | 2   | 2   | 2   |
| Total Number of Units per Type | 7         | 33  | 3   | 2   | 5   | 6   | 4   |

= 60 TOTAL

ZONING INFORMATION

SITE ADDRESS: 601 ALMARIDA DRIVE CAMPBELL, CA 95008

ASSESSOR'S PARCEL #: 279-30-043

ZONING DISTRICT: R-3

GENERAL PLAN: HIGH-DENSITY RESIDENTIAL

SETBACKS

|          | FRONT  | STREET SIDE | SIDE/REAR         |
|----------|--------|-------------|-------------------|
| REQUIRED | 20'    | 12'         | 5' or 1/2 wall ht |
| PROVIDED | 20'-6" | 404'        | 44'-11"           |

LOT AREA

325,763 GSF (7.48 GR. ACRES)  
283,946 NSF

DENSITY

| GENERAL PLAN             | ALLOWED DENSITY     | LOT AREA       | ALLOWED UNITS | EXISTING UNITS/ DENSITY      | PROPOSED UNITS/ DENSITY      |
|--------------------------|---------------------|----------------|---------------|------------------------------|------------------------------|
| HIGH DENSITY RESIDENTIAL | 21-27 D.U./GR. ACRE | 7.48 GR. ACRES | 157 - 202     | 180 UNITS (24 D.U./GR. ACRE) | 240 UNITS (32 D.U./GR. ACRE) |

UNIT MATRIX

|              | STUDIO (TYPE A) | 1BR (B,C) | 2BR (D,E,F,G) | TOTAL/FL  |
|--------------|-----------------|-----------|---------------|-----------|
| LEVEL 3      | 3               | 13        | 5             | 21        |
| LEVEL 2      | 2               | 11        | 7             | 20        |
| LEVEL 1      | 2               | 12        | 5             | 19        |
| <b>TOTAL</b> | <b>7</b>        | <b>36</b> | <b>17</b>     | <b>60</b> |
| RATIO        | 12%             | 60%       | 28%           |           |
| AVG SIZE     | 353 SF          | 640 SF    | 900 SF        |           |

DENSITY BONUS CALCULATION

|   | STUDIO (TYPE A) | 1BR (B,C) | 2BR (D,E,F,G) | TOTAL |
|---|-----------------|-----------|---------------|-------|
| BASE UNIT COUNT                                   | 7               | 36        | 17            | 60    |
| DENSITY BONUS UNITS (11% VLI)                     | 1               | 4         | 2             | 7     |
| ALLOWED DENSITY PER ACRE WITH DENSITY BONUS (35%) | 21 - 27         | 29 - 37   | 32            |       |
| PROPOSED DENSITY PER ACRE                         |                 |           |               |       |

NEW BUILDING INFORMATION

|                           | RESIDENTIAL BUILDING  | AMENITY BUILDING                            | UNDERGROUND GARAGE      |
|---------------------------|-----------------------|---|-------------------------|
| NUMBER OF STORIES:        | 3                     | 2   | 1 (BELOW GRADE)         |
| ALLOWABLE HEIGHT:         | 40 FT / 3 STORIES     | 40 FT / 3 STORIES                           |                         |
| PROPOSED HEIGHT:          | 37'-0" (TOP OF RIDGE) | 27'-7" (TOP OF RIDGE)                       | -10'-0"                 |
| CONSTRUCTION TYPE:        | TYPE V-A              | TYPE V-A                                    | TYPE I-A                |
| SPRINKLERED:              | YES                   | YES   | YES                     |
| OCCUPANCY CLASSIFICATION: | R2 (RESIDENTIAL)      | R2 (RESIDENTIAL) B (BUSINESS) A3 (ASSEMBLY) | S2 (PARKING)            |
| BUILDING AREA             |                       |   |                         |
| FLOOR LEVEL               | P3                    |   |                         |
|                           | P2                    |   |                         |
|                           | P1                    |   | 32,280 SF               |
|                           | L1                    | 16,246 SF                                   | 1,792 SF                |
|                           | L2                    | 16,246 SF                                   | 3,106 SF, 1,013 SF DECK |
|                           | L3                    | 15,936 SF                                   | 462 SF BALC.            |
| <b>TOTAL</b>              | <b>48,428 SF</b>      | <b>4,898 SF</b>                             | <b>32,280 SF</b>        |

REQUIRED ON-SITE PARKING (SEE A012 FOR ADD'L DETAILS)

CA STATE DENSITY BONUS STANDARD FOR A DEVELOPMENT WITHIN 1/2 MILE OF A MAJOR TRANSIT STOP:

| TYPE      | 180 (E) UNITS | RATIO   | (E) PARKING SPACES | 60 (N) UNITS | (N) PARKING SPACES |
|-----------|---------------|---------|--------------------|--------------|--------------------|
| STUDIO    | 0             | 0.5     | 0                  | 7            | 3.5                |
| 1 BEDROOM | 90            | 0.5     | 45                 | 36           | 18.0               |
| 2 BEDROOM | 90            | 1.0     | 90                 | 17           | 17.0               |
| OFFICE    |               | 1/225SF |                    | 903 SF       | 4.0                |
|           |               |         | <b>135</b>         | <b>+</b>     | <b>42.5</b>        |

= 178 REQUIRED SPACES

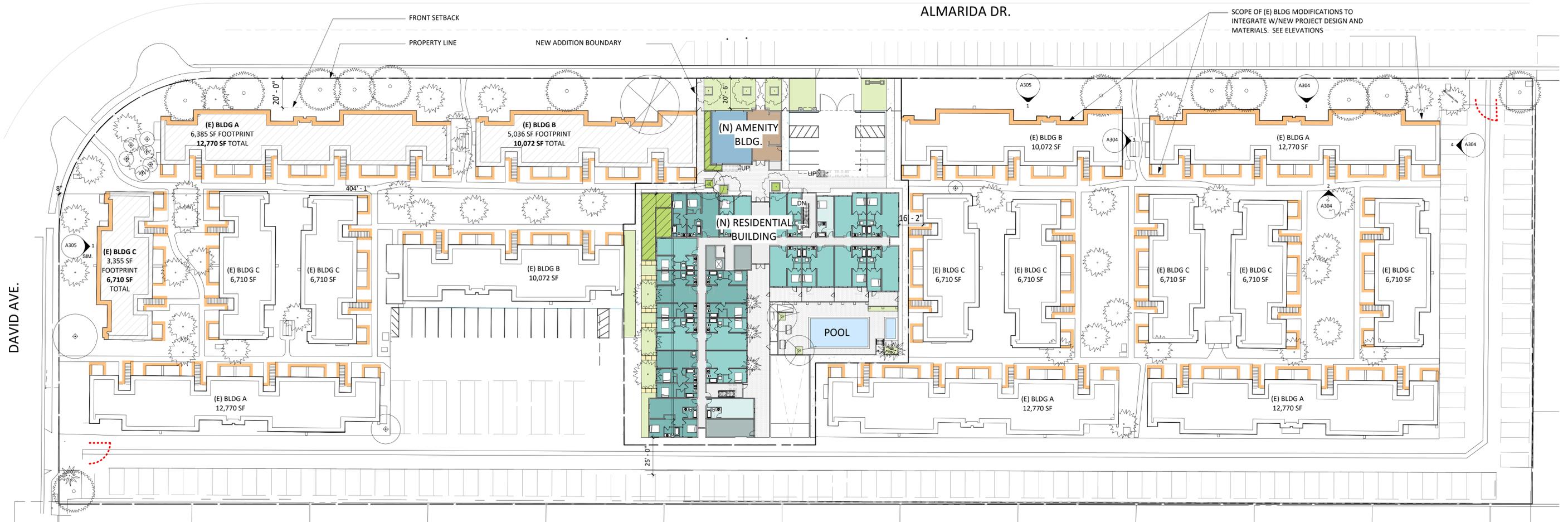
| PROVIDED PARKING SPACES: | EXISTING:  | PROPOSED:  | REMOVED:   | ADDED: | TOTAL:            |
|--------------------------|------------|------------|------------|--------|-------------------|
|                          | 242 SPACES | -61 SPACES | +82 SPACES |        | <b>263 SPACES</b> |

PARKING SURPLUS: (263 PROVIDED - 178 REQUIRED) = 85 SPACES

OPEN SPACE CALCULATIONS

|   | 300 SF/D.U. | 180 (E) UNITS +60 (N) UNITS | TOTAL            |
|---|-------------|-----------------------------|------------------|
| OPEN SPACE REQUIRED:                                |             |                             | 54,000*          |
|   |             |                             | 18,000           |
| <b>TOTAL OPEN SPACE REQUIRED =</b>                  |             |                             | <b>72,000 SF</b> |
| OPEN SPACE PROVIDED:                                |             |                             |                  |
| (N) COMMUNITY ROOF DECK                             |             |                             | 1,037 SF         |
| (N) POOL AREA                                       |             |                             | 2,553 SF         |
| PRIVATE PATIOS/BALCONIES: (N)                       |             |                             | 1,208 SF         |
| PUBLIC OPEN SPACE: (E)                              |             |                             | 29,171 SF        |
| (N)   |             |                             | 4,883 SF         |
| <b>TOTAL OPEN SPACE PROVIDED (EXISTING + NEW) =</b> |             |                             | <b>38,852 SF</b> |

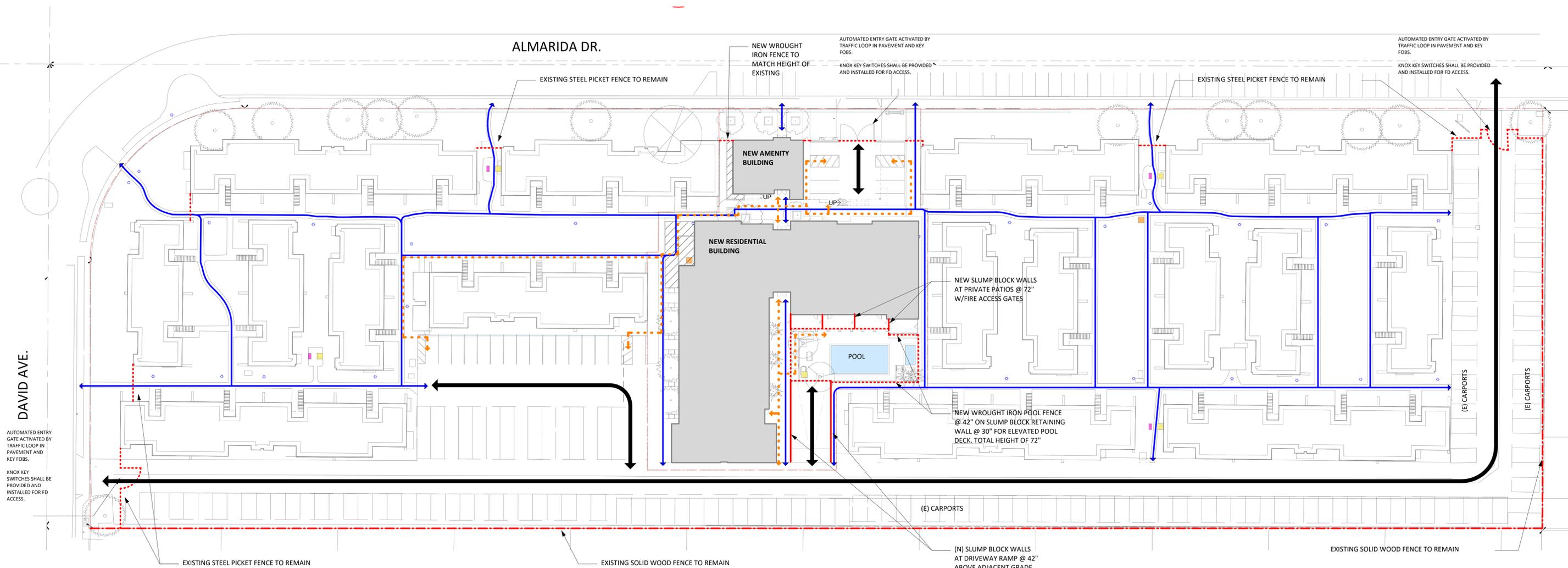
\*PREVIOUSLY DEFICIENT WHEN BUILT, SEE A017





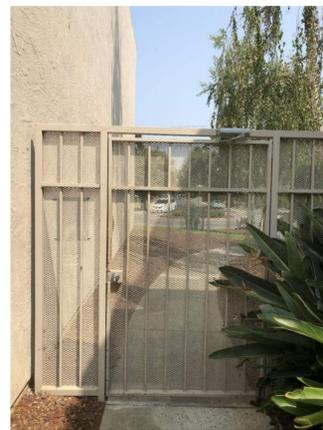
LEGEND

-  PEDESTRIAN PATH
-  VEHICULAR TRAVEL
-  ACCESSIBLE PATH
-  SOLID FENCE (WOOD--6 FT HT)
-  PICKET FENCE (STEEL--6 FT HT)
-  BLOCK WALL (VARIES AS NOTED)
-  LIGHT POLE
-  MAILBOXES
-  TRASH CAN
-  DOG WASTE
- 
- 





EXISTING SOLID WOOD FENCE



EXISTING STEEL PICKET GATE



EXISTING STEEL PICKET FENCE



PROPOSED PLASTER WALL TYPOLOGY



PROPOSED WROUGHT IRON FENCE AND RAILINGS TYPOLOGY @ POOL



NOTE: FENCE HEIGHT 6'-0" TYPICAL

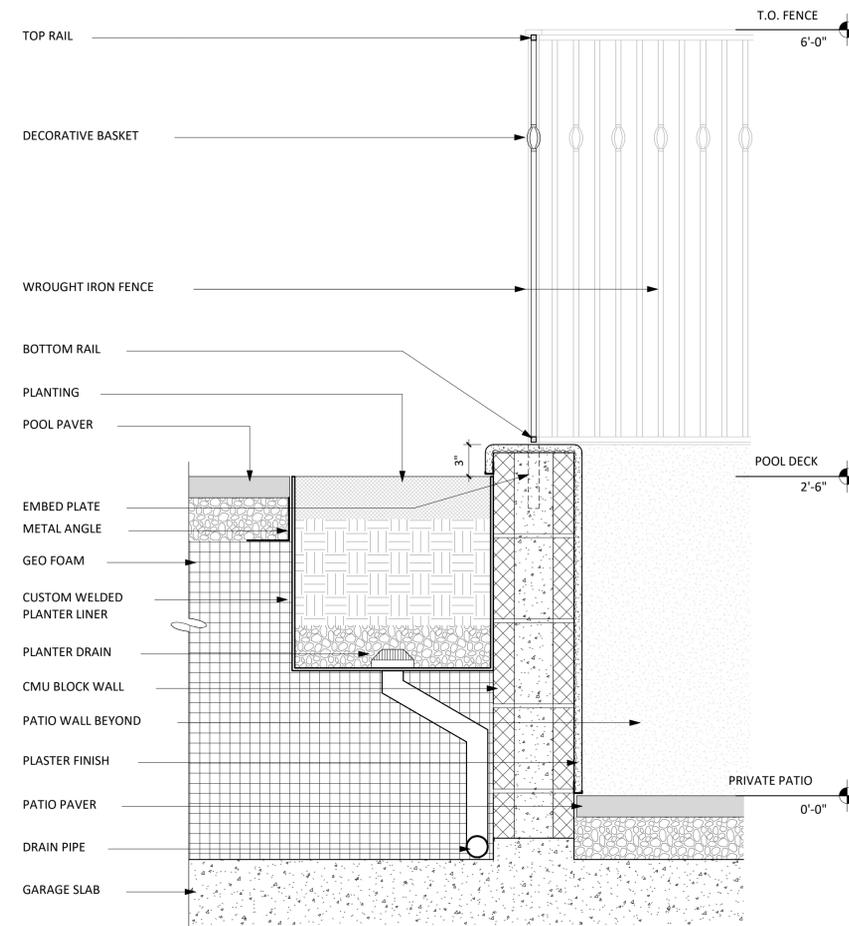
EXISTING SWINGING STEEL GATE

**PROPOSED**

**EXISTING**

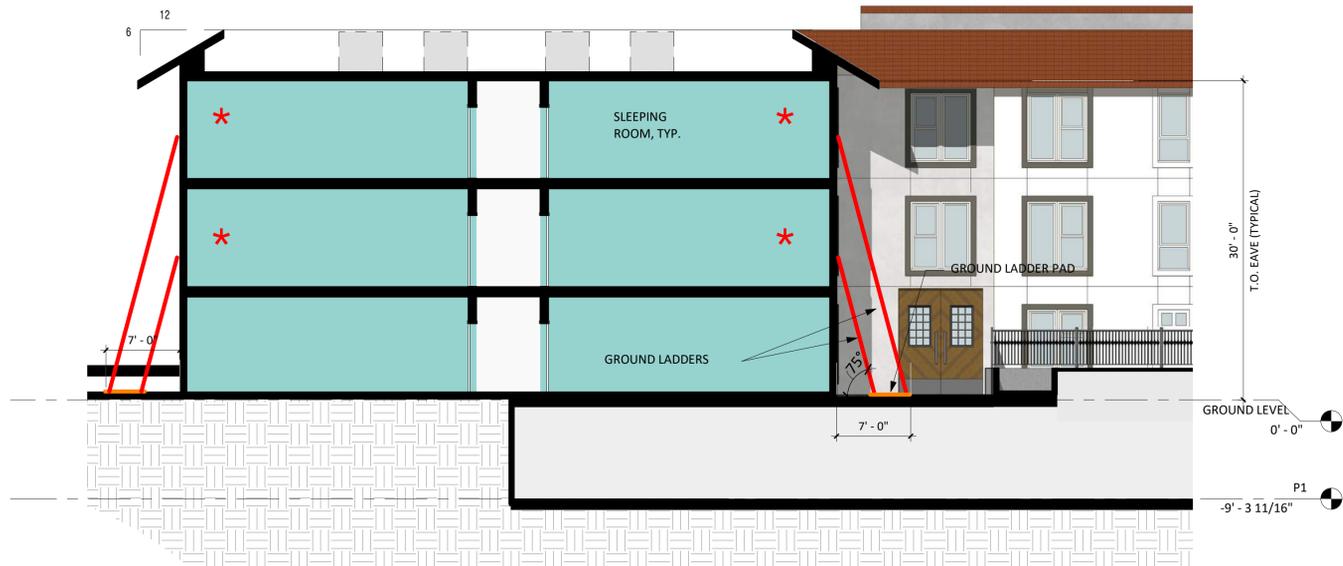


TOP OF FENCE 6'-0" ABOVE ADJACENT GRADE



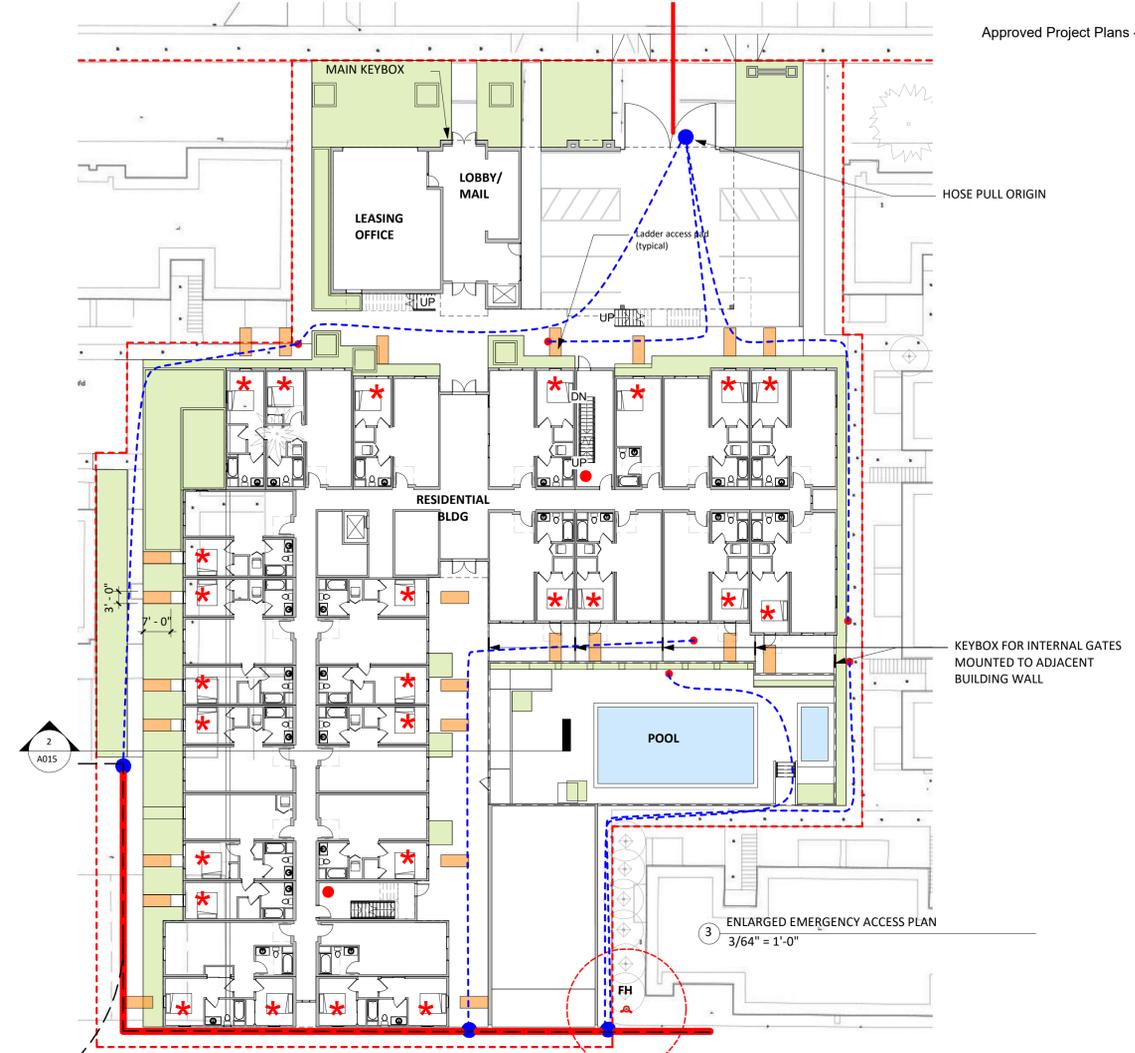
1 POOL FENCE 1 1/2" = 1'-0"

PROPOSED POOL ENCLOSURE

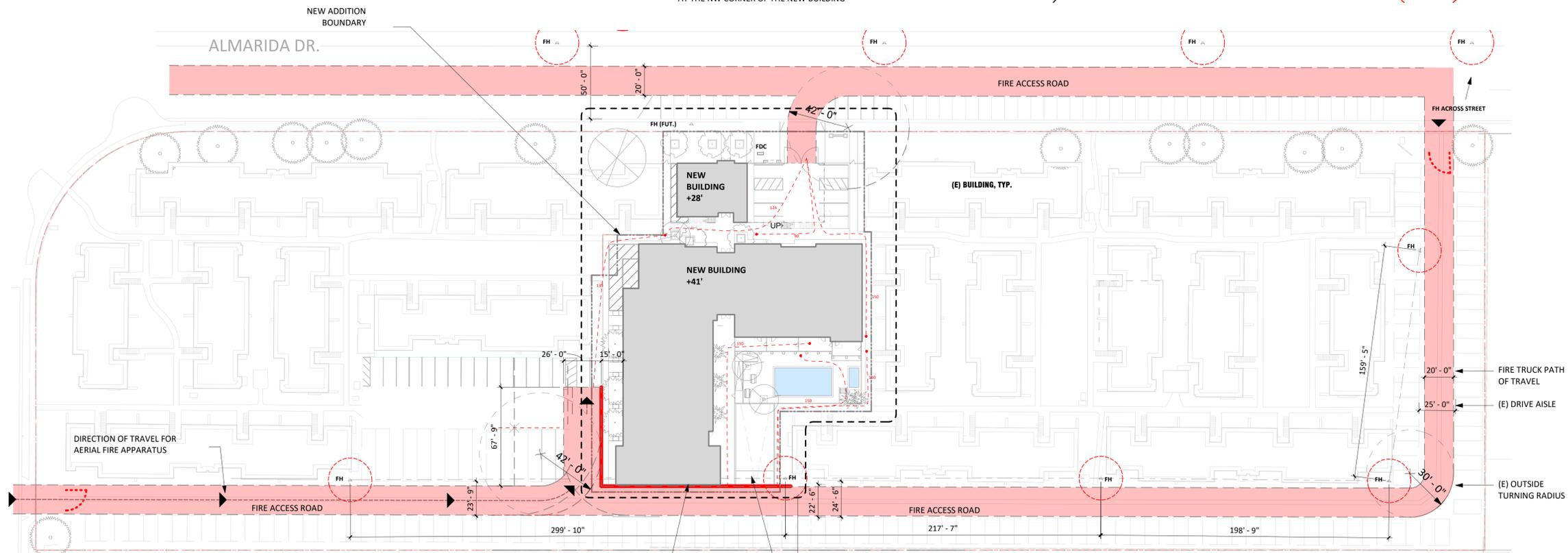


2 BUILDING SECTION EMERGENCY ACCESS  
1/8" = 1'-0"

NOTE: PER DISCUSSIONS WITH SCCFD, AERIAL ACCESS NOT REQUIRED. IN ORDER TO MEET HOSE PULL REQUIREMENTS, TWO POINTS OF ACCESS ARE PROVIDED: ONE IN THE FRONT DRIVEWAY OF THE COMMUNITY BUILDING AND ONE FROM THE INTERNAL PARKING ROAD AT THE NW CORNER OF THE NEW BUILDING



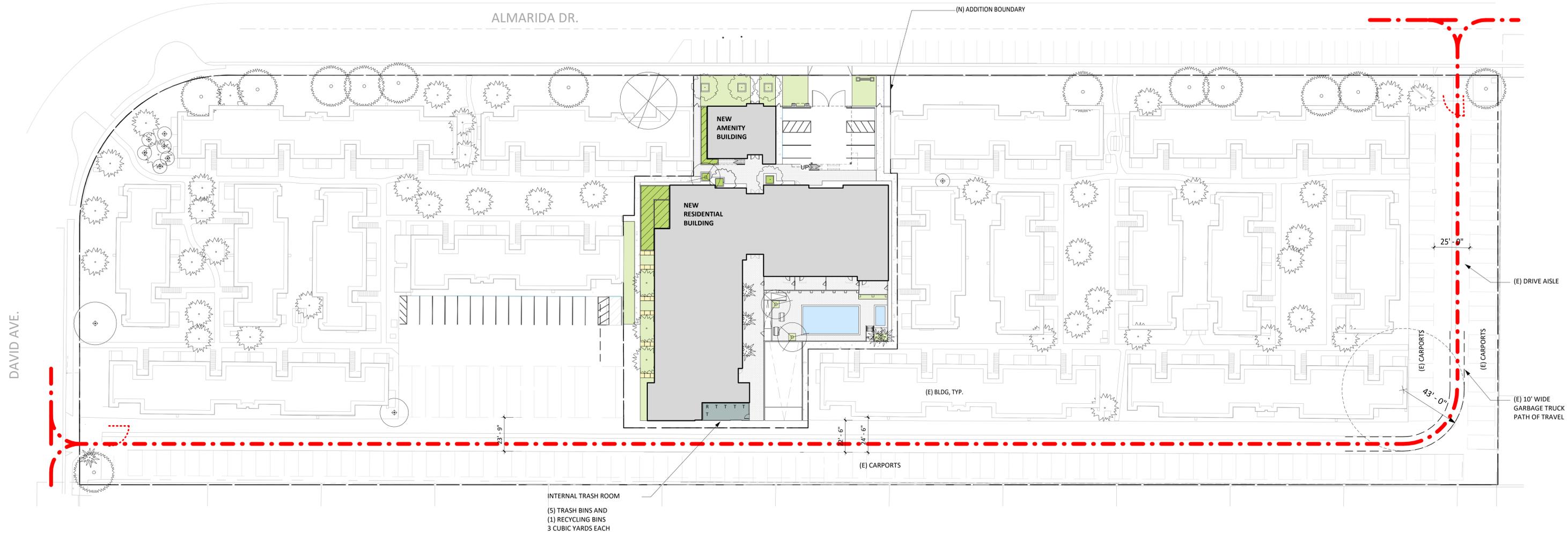
3 ENLARGED EMERGENCY ACCESS PLAN  
3/64" = 1'-0"



1 OVERALL SITE EMERGENCY ACCESS PLAN  
1" = 40'-0"

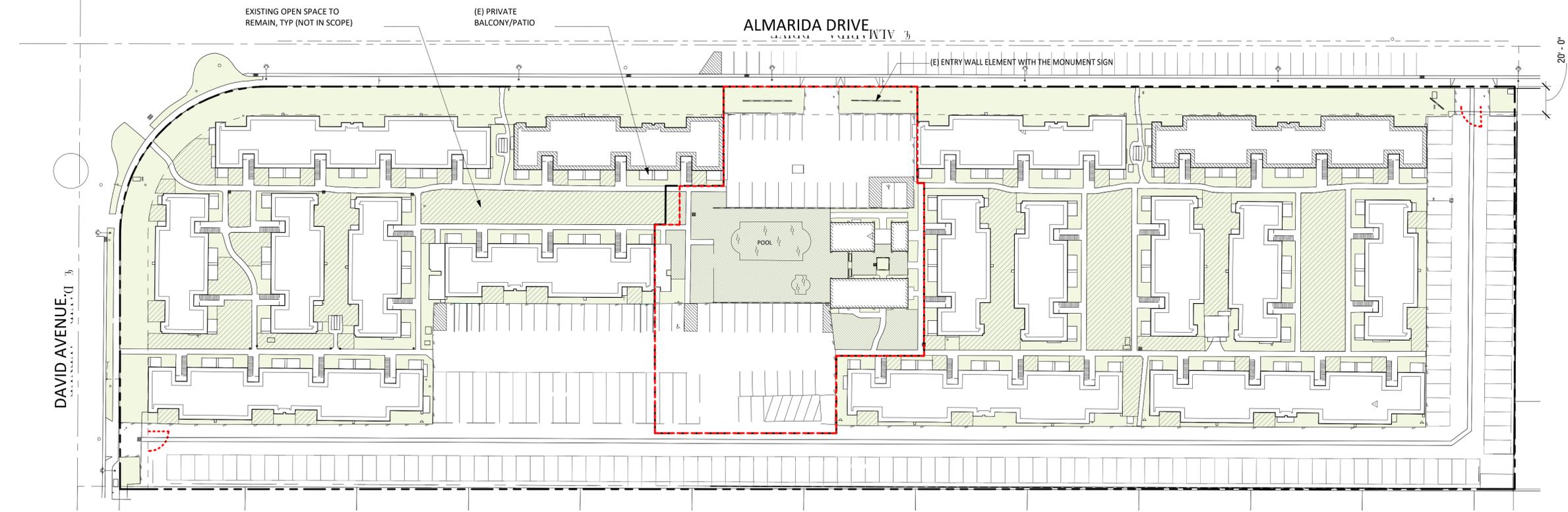
**LEGEND**

- \* RESCUE WINDOW
- — — 150' HOSE PULL
- STANDPIPE
- 3'-0" 3'-9" GROUND LADDER PAD ACCESS
- FIRE ACCESS ROAD
- CURB STRIPE
- ▶ DIRECTION OF TRAVEL
- FH (E) FIRE HYDRANT, 15' CLR. EITHER SIDE



① OVERALL SITE PLAN TRASH  
1/32" = 1'-0"





**LEGEND**

- EXISTING LANDSCAPED AREA
- EXISTING PUBLIC OPEN SPACE AREA (10' MIN. DIM.)
- ADDITION BOUNDARY / DEMO SCOPE

**OPEN SPACE CALCULATIONS: EXISTING**  
TABLE 21.08.070

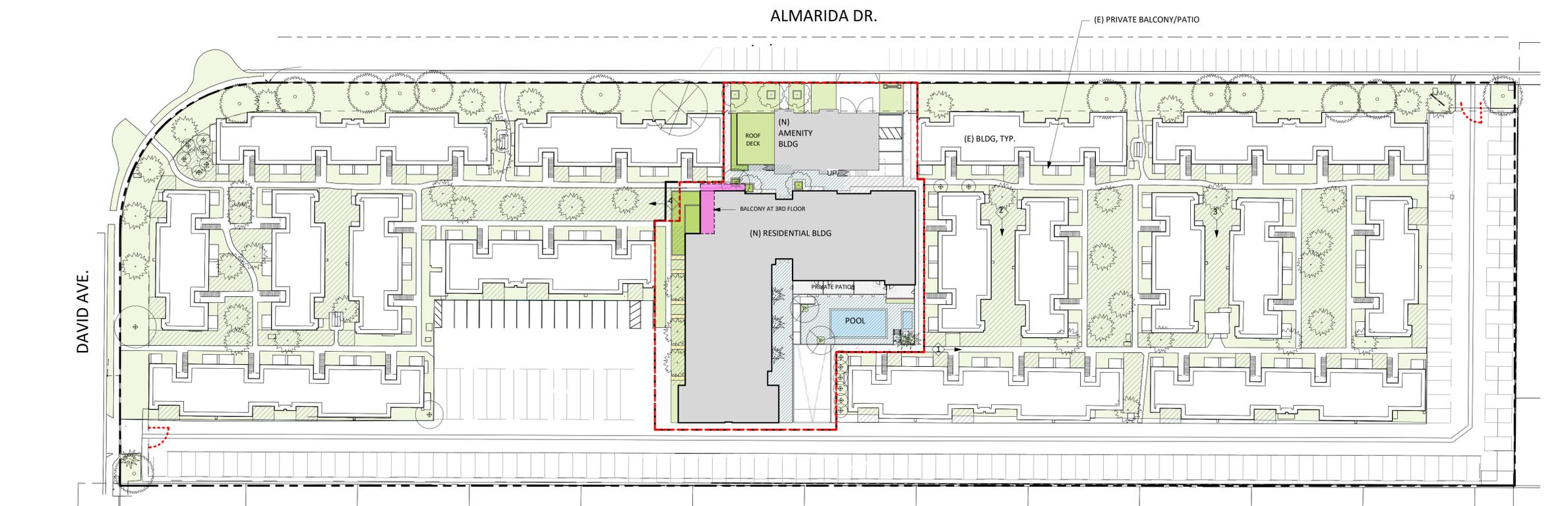
**REQUIRED:** 300 SF/UNIT  
180 EXISTING UNITS  
180 UNITS X 300 SF/UNIT = **54,000 SF REQUIRED**

**PROVIDED:**  
EXISTING TO REMAIN (NOT IN SCOPE)  
PUBLIC OPEN SPACE: 29,171 SF

**EXISTING (DEMO SCOPE)**  
PUBLIC OPEN SPACE/POOL: 9,894 SF

**EXISTING + DEMO = 39,065 SF PROVIDED**

2 OVERALL SITE PLAN EXISTING OPEN SPACE  
1" = 40'-0"



**LEGEND**

- EXISTING LANDSCAPED AREA
- EXISTING PUBLIC OPEN SPACE AREA
- PROPOSED LANDSCAPED AREA
- PROPOSED PUBLIC OPEN SPACE AREA
- POOL / PLAZA
- NEW PRIVATE PATIOS
- ROOF DECK
- ADDITION BOUNDARY

**OPEN SPACE CALCULATIONS: PROPOSED**  
TABLE 21.08.070

**REQUIRED:** 300 SF/UNIT  
180 EXISTING UNITS + 60 NEW UNITS  
240 UNITS X 300 SF/UNIT = **72,000 SF REQUIRED**

**PROVIDED:**  
EXISTING TO REMAIN (NOT IN SCOPE)  
PUBLIC OPEN SPACE: 29,171 SF

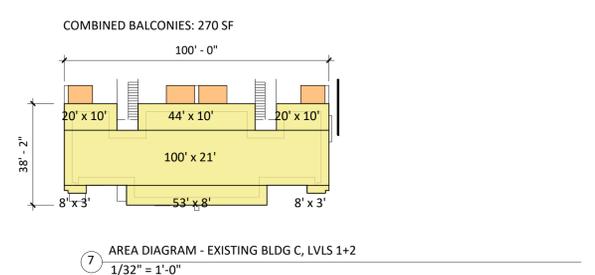
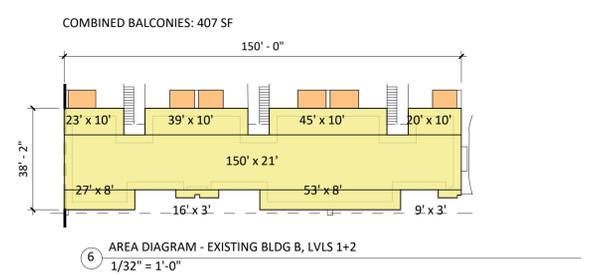
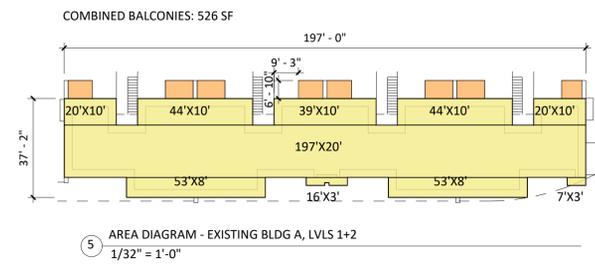
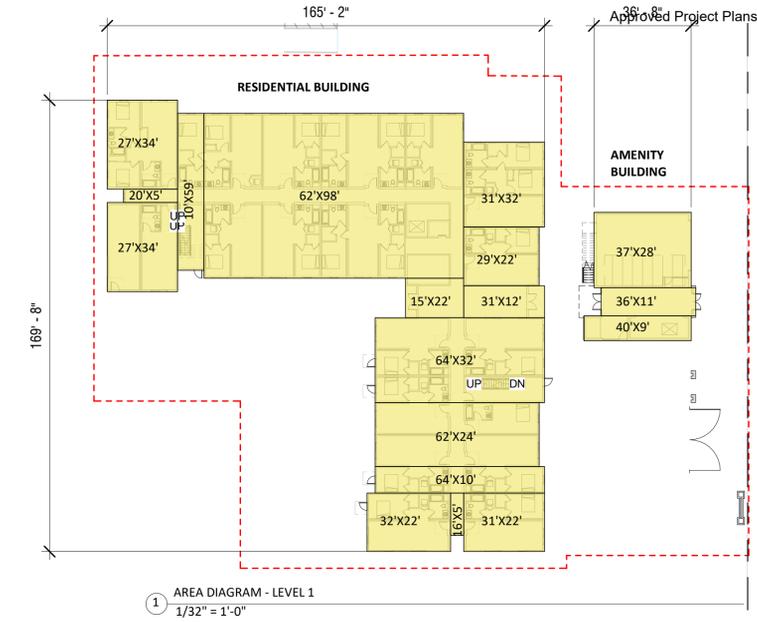
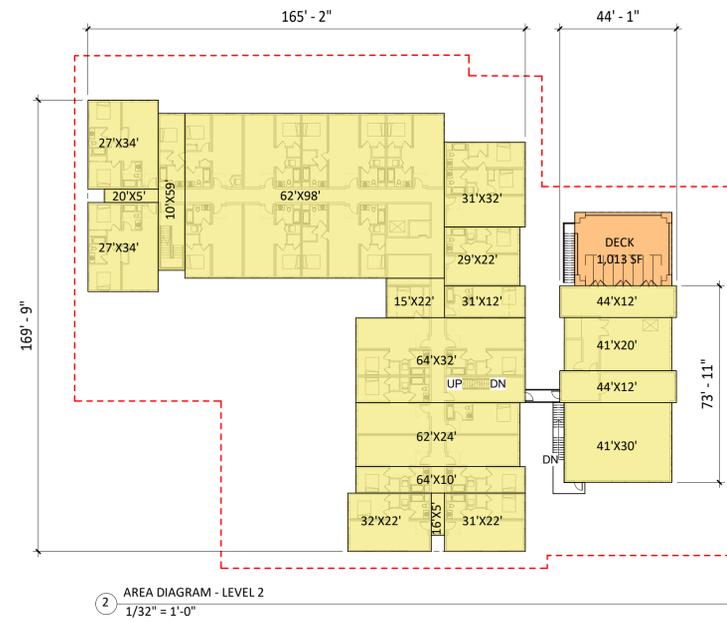
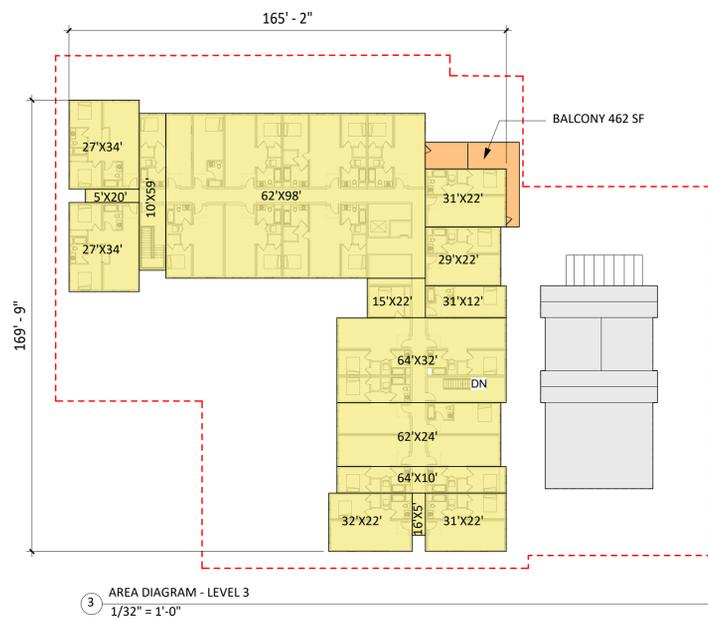
**NEW PROJECT SCOPE**  
PUBLIC OPEN SPACE: 4,883 SF  
POOL/POOL DECK: 2,553 SF  
PRIVATE PATIOS: 1,208 SF  
ROOF DECK: 1,037 SF  
9,681 SF

**EXISTING + NEW = 38,852 SF PROVIDED**

PERCENTAGE OF LANDSCAPED AREA  
73,032SF LANDSCAPE / 283,946SF SITE = 26%

1 OVERALL SITE PLAN PROPOSED OPEN SPACE  
1" = 40'-0"





**NEW**

**LEVEL P1**

| UNDERGROUND PARKING |           |
|---------------------|-----------|
| 94' x 165':         | 15,510 SF |
| 60' x 112':         | 6,720 SF  |
| 75' x 134':         | 10,050 SF |
| <b>32,280 SF</b>    |           |

**LEVEL 3**

| RESIDENTIAL BUILDING |          |
|----------------------|----------|
| 27' x 34':           | 918 SF   |
| 5' x 20':            | 100 SF   |
| 27' x 34':           | 918 SF   |
| 10' x 59':           | 590 SF   |
| 62' x 98':           | 6,076 SF |
| 31' x 22':           | 682 SF   |
| 29' x 22':           | 638 SF   |
| 31' x 12':           | 372 SF   |
| 64' x 32':           | 2,048 SF |
| 62' x 24':           | 1,488 SF |
| 64' x 10':           | 640 SF   |
| 32' x 22':           | 704 SF   |
| 16' x 5':            | 80 SF    |
| 31' x 22':           | 682 SF   |
| <b>15,936 SF</b>     |          |

**LEVEL 2**

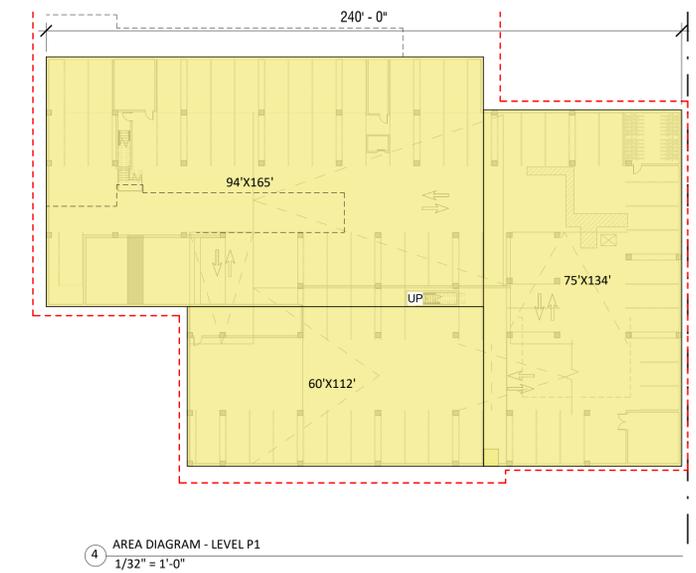
| RESIDENTIAL BUILDING |          |
|----------------------|----------|
| 27' x 34':           | 918 SF   |
| 5' x 20':            | 100 SF   |
| 27' x 34':           | 918 SF   |
| 10' x 59':           | 590 SF   |
| 62' x 98':           | 6,076 SF |
| 31' x 32':           | 992 SF   |
| 29' x 22':           | 638 SF   |
| 31' x 12':           | 372 SF   |
| 64' x 32':           | 2,048 SF |
| 62' x 24':           | 1,488 SF |
| 64' x 10':           | 640 SF   |
| 32' x 22':           | 704 SF   |
| 16' x 5':            | 80 SF    |
| 31' x 22':           | 682 SF   |
| <b>16,246 SF</b>     |          |

**LEVEL 1**

| RESIDENTIAL BUILDING |          |
|----------------------|----------|
| 27' x 34':           | 918 SF   |
| 5' x 20':            | 100 SF   |
| 27' x 34':           | 918 SF   |
| 10' x 59':           | 590 SF   |
| 62' x 98':           | 6,076 SF |
| 31' x 32':           | 992 SF   |
| 29' x 22':           | 638 SF   |
| 31' x 12':           | 372 SF   |
| 64' x 32':           | 2,048 SF |
| 62' x 24':           | 1,488 SF |
| 64' x 10':           | 640 SF   |
| 32' x 22':           | 704 SF   |
| 16' x 5':            | 80 SF    |
| 31' x 22':           | 682 SF   |
| <b>16,246 SF</b>     |          |

| AMENITY BUILDING |          |
|------------------|----------|
| 44' x 12':       | 528 SF   |
| 41' x 20':       | 820 SF   |
| 44' x 12':       | 528 SF   |
| 41' x 30':       | 1,230 SF |
| <b>3,106 SF</b>  |          |
| <b>19,352 SF</b> |          |

| AMENITY BUILDING |          |
|------------------|----------|
| 37' x 28':       | 1,036 SF |
| 36' x 11':       | 396 SF   |
| 40' x 9':        | 360 SF   |
| <b>1,792 SF</b>  |          |
| <b>18,038 SF</b> |          |



**EXISTING**

**BUILDING C**

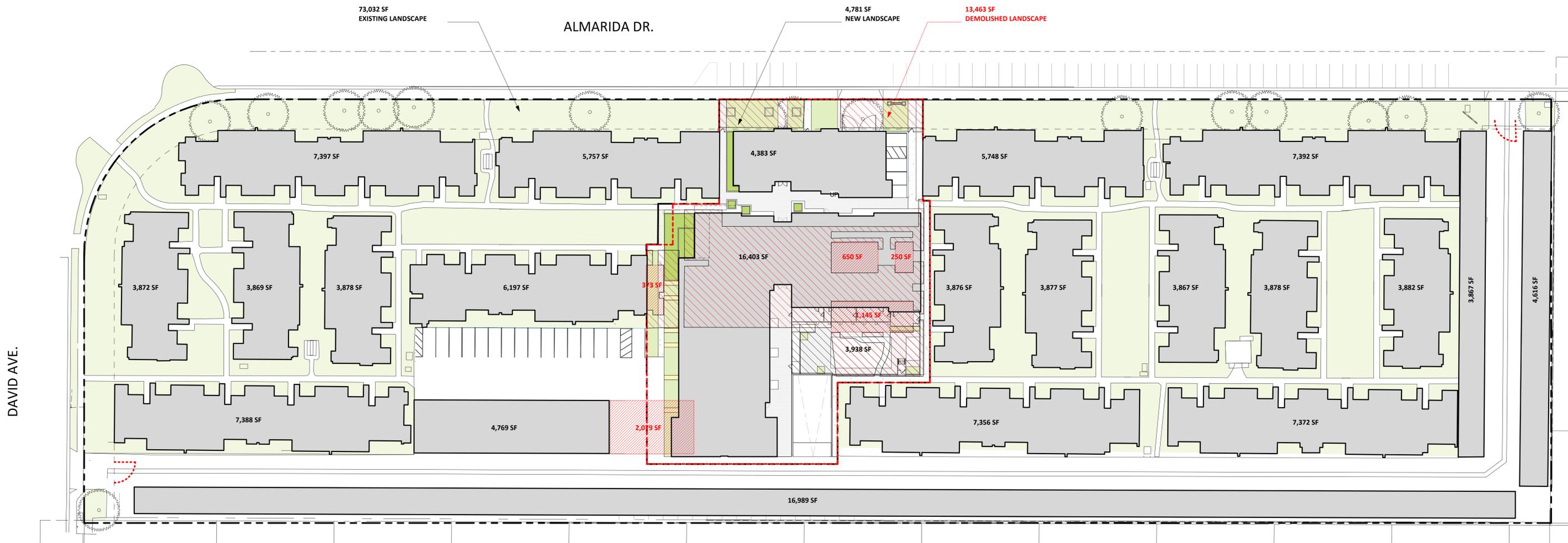
| EXISTING BLDG LVLS 1+2 |          |
|------------------------|----------|
| 100' x 21':            | 2,100 SF |
| 20' x 10':             | 200 SF   |
| 44' x 10':             | 440 SF   |
| 20' x 10':             | 200 SF   |
| 8' x 3':               | 24 SF    |
| 53' x 8':              | 424 SF   |
| 8' x 3':               | 24 SF    |
| <b>3,412 SF</b>        |          |

**BUILDING B**

| EXISTING BLDG LVLS 1+2 |          |
|------------------------|----------|
| 150' x 21':            | 3,150 SF |
| 23' x 10':             | 230 SF   |
| 39' x 10':             | 390 SF   |
| 45' x 10':             | 450 SF   |
| 20' x 10':             | 200 SF   |
| 27' x 8':              | 216 SF   |
| 16' x 3':              | 48 SF    |
| 53' x 8':              | 424 SF   |
| 9' x 3':               | 27 SF    |
| <b>5,135 SF</b>        |          |

**BUILDING A**

| EXISTING BLDG LVLS 1+2 |          |
|------------------------|----------|
| 197' x 20':            | 3,940 SF |
| 20' x 10':             | 200 SF   |
| 44' x 10':             | 440 SF   |
| 39' x 10':             | 390 SF   |
| 44' x 10':             | 440 SF   |
| 20' x 10':             | 200 SF   |
| 53' x 8':              | 424 SF   |
| 16' x 3':              | 48 SF    |
| 53' x 8':              | 424 SF   |
| 7' x 3':               | 21 SF    |
| <b>6,527 SF</b>        |          |



**PREVIOUS LOT COVERAGE\***

| EXISTING BUILDINGS | CARPORTS  | LANDSCAPE |
|--------------------|-----------|-----------|
| 7,397 SF           | 4,769 SF  | 73,032 SF |
| 5,757 SF           | 16,989 SF | 13,553 SF |
| 5,748 SF           | 3,867 SF  |           |
| 7,392 SF           | 4,616 SF  |           |
| 3,872 SF           |           |           |
| 3,869 SF           | 2,079 SF  |           |
| 3,878 SF           |           |           |
| 6,197 SF           |           |           |
| 3,876 SF           |           |           |
| 3,877 SF           |           |           |
| 3,867 SF           |           |           |
| 3,878 SF           |           |           |
| 3,882 SF           |           |           |
| 7,388 SF           |           |           |
| 7,356 SF           |           |           |
| 7,372 SF           |           |           |

**NEW LOT COVERAGE\***

| EXISTING BUILDINGS | NEW BUILDINGS | CARPORTS  | EXISTING LANDSCAPE | NEW LANDSCAPE |
|--------------------|---------------|-----------|--------------------|---------------|
| 7,397 SF           | 4,383 SF      | 4,769 SF  | 73,032 SF          | 4,781 SF      |
| 5,757 SF           | 16,403 SF     | 16,989 SF |                    | 3,938 SF      |
| 5,748 SF           |               | 3,867 SF  |                    |               |
| 7,392 SF           |               | 4,616 SF  |                    |               |
| 3,872 SF           |               |           |                    |               |
| 3,869 SF           |               |           |                    |               |
| 3,878 SF           |               |           |                    |               |
| 6,197 SF           |               |           |                    |               |
| 3,876 SF           |               |           |                    |               |
| 3,877 SF           |               |           |                    |               |
| 3,867 SF           |               |           |                    |               |
| 3,878 SF           |               |           |                    |               |
| 3,882 SF           |               |           |                    |               |
| 7,388 SF           |               |           |                    |               |
| 7,356 SF           |               |           |                    |               |
| 7,372 SF           |               |           |                    |               |

**KEY:**

BLACK: EXISTING / NEW  
 RED: DEMOLISHED

\* "Lot coverage" means the horizontal area measured within the outside of the exterior walls on the ground floor of all buildings and accessory structures on a lot, including garages, carports, and covered porches.

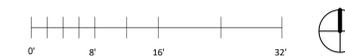
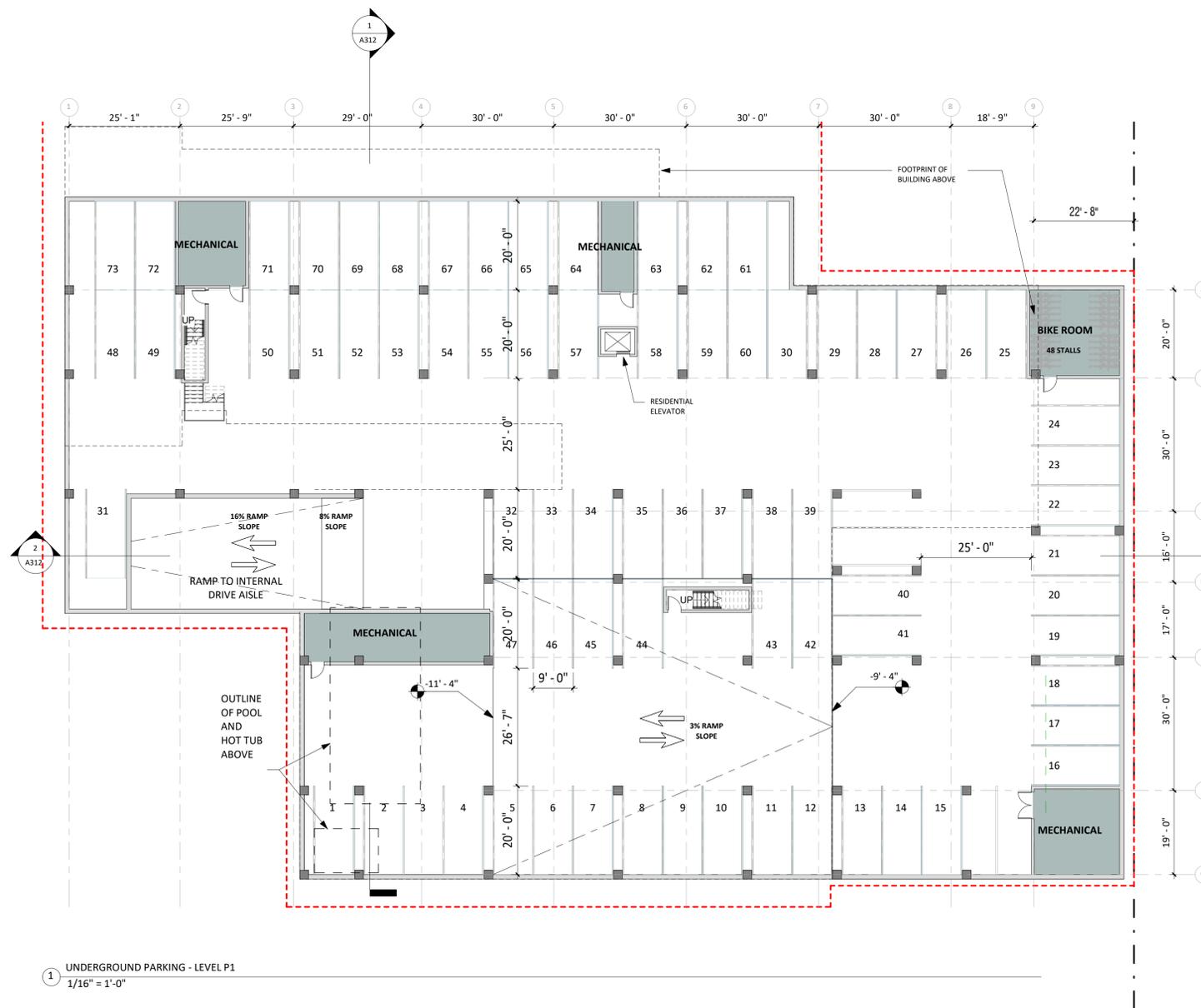
Maximum allowable lot coverage = 40%

1,145 SF  
 650 SF  
 373 SF  
 250 SF

88,024 SF + 32,320 SF = 120,344 SF 86,565 SF  
 % LOT COVERAGE = 37%

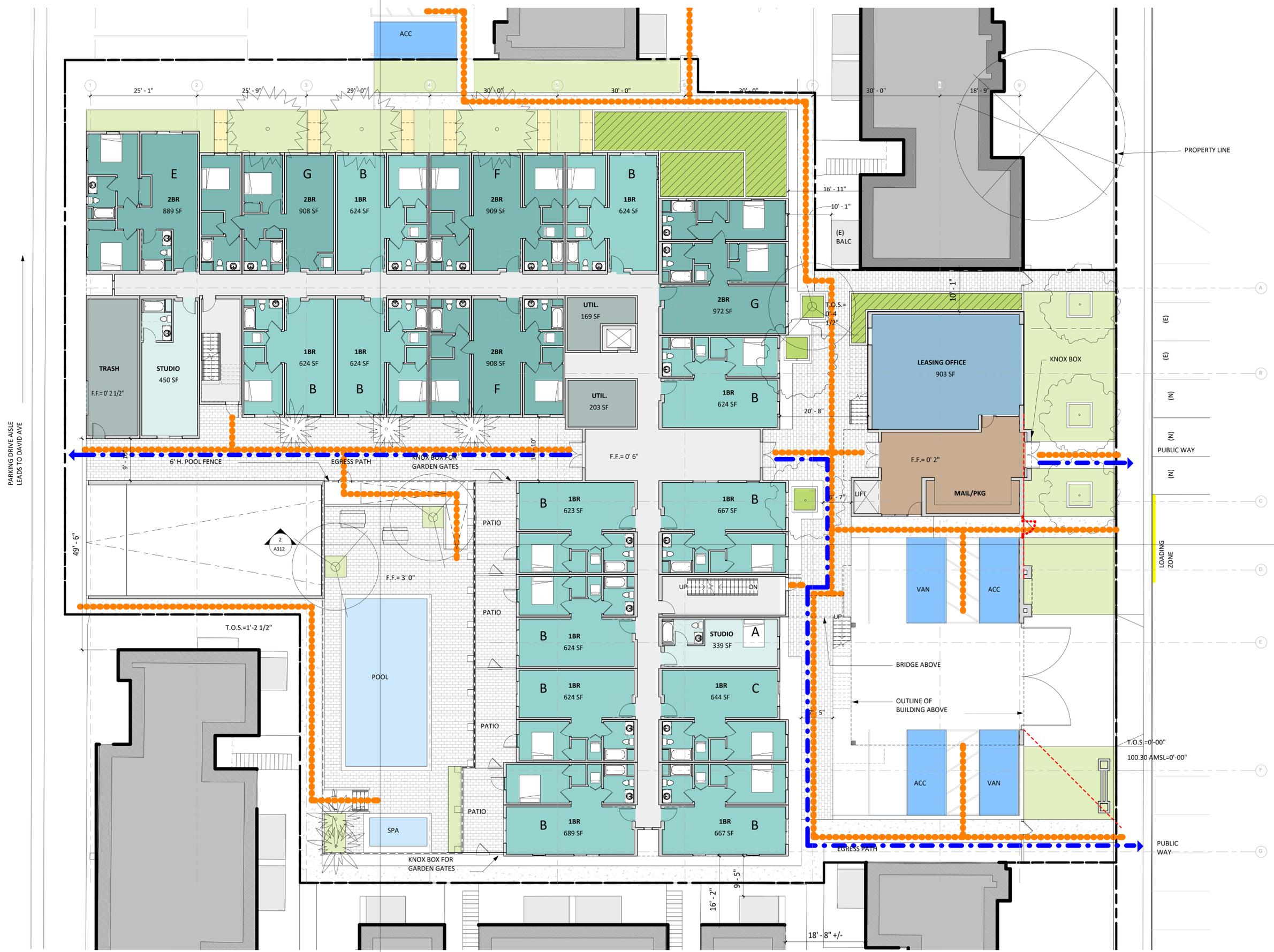
85,606 SF + 20,786 SF + 30,241 SF = 136,633 SF 73,032 SF + 8,719 SF = 81,751 SF  
 % LOT COVERAGE = 42%

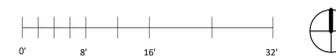
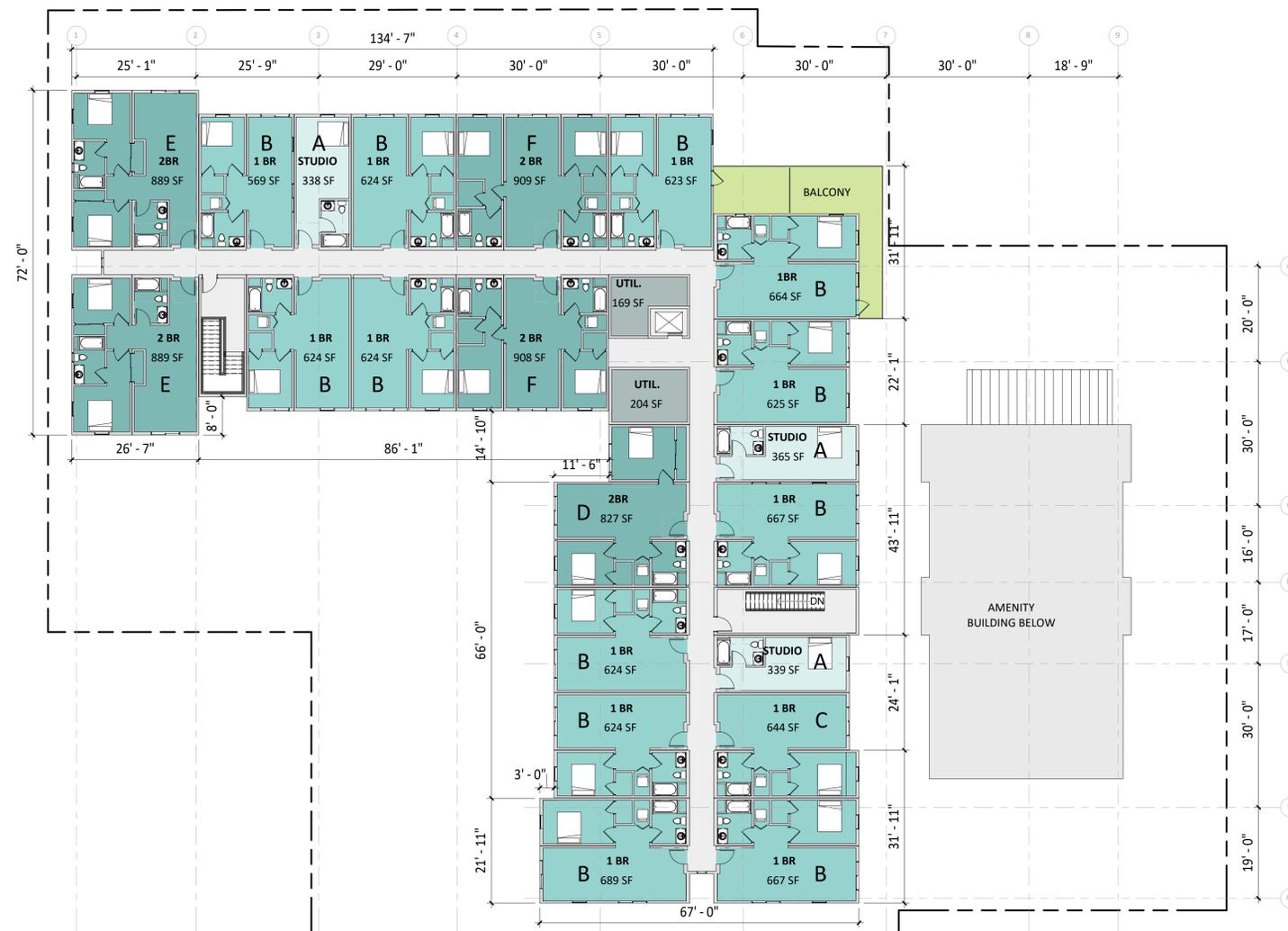
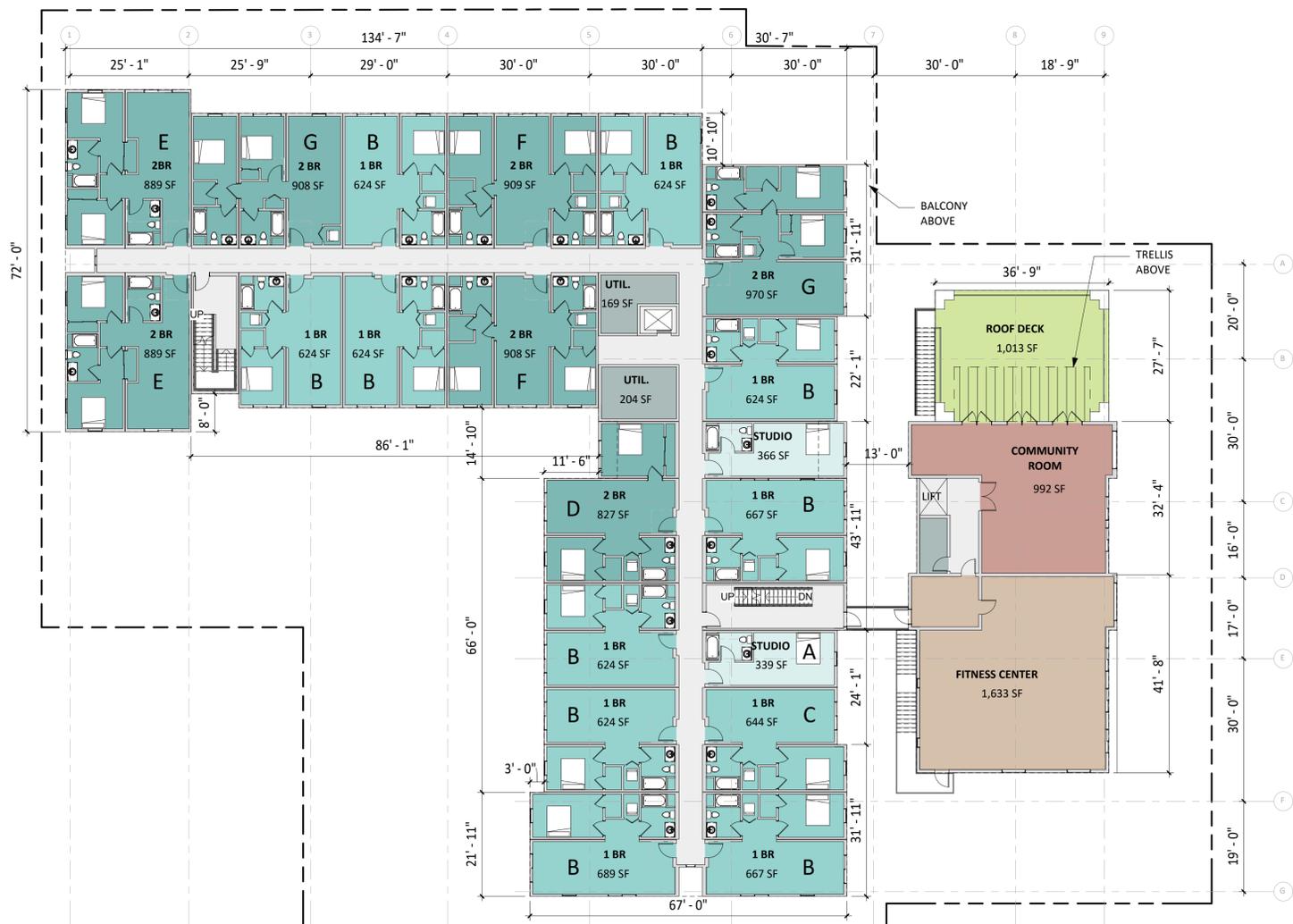




**LEGEND**

- EXISTING BUILDING NOT IN CONTRACT
- ACCESSIBLE PATH OF TRAVEL
- EGRESS PATH OF TRAVEL







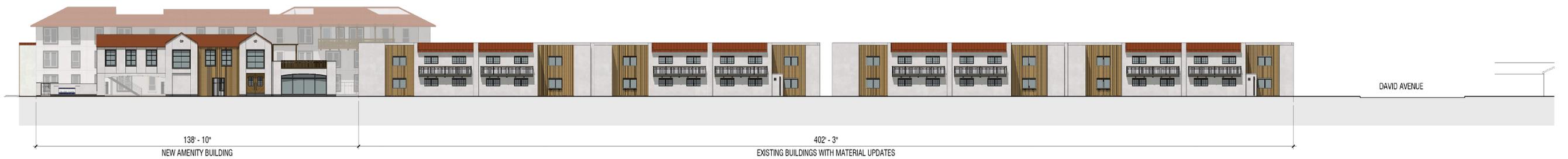
① EXISTING ALMARIDA STREETScape (WEST)  
3/64" = 1'-0"



② PROPOSED ALMARIDA STREETScape (WEST)  
3/64" = 1'-0"



③ EXISTING ALMARIDA STREETScape (EAST)  
3/64" = 1'-0"



④ PROPOSED ALMARIDA STREETScape (EAST)  
3/64" = 1'-0"



**MATERIAL LEGEND**

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
- 5 FLAT TERRA COTTA ROOF TILE
- 6 RESIDENTIAL WINDOW FRAME - MIKRON BLEND, ADOBE
- 7 AMENITY WINDOW FRAME - MIKRON, ARCHITECTURAL BRONZE
- 8 PAINTED STUCCO SHERWIN WILLIAMS "SPARE WHITE" SW 6203
- 9 PAINTED STUCCO SHERWIN WILLIAMS "AGREEABLE GRAY" SW 7029
- 10 METAL GUARDRAIL SHERWIN WILLIAMS "URBANE BRONZE" SW 7048
- 11 GARAGE ENTRY RAMP
- 12 METAL ROLL-UP DOOR AT TRASH ROOM





3 EAST ELEVATION incl AMENITY and ENTRY WALL  
1" = 10'-0"

### MATERIAL LEGEND

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
- 5 FLAT TERRA COTTA ROOF TILE
- 6 RESIDENTIAL WINDOW FRAME - MIKRON BLEND, ADOBE
- 7 AMENITY WINDOW FRAME - MIKRON, ARCHITECTURAL BRONZE
- 8 PAINTED STUCCO SHERWIN WILLIAMS "SPARE WHITE" SW 6203
- 9 PAINTED STUCCO SHERWIN WILLIAMS "AGREEABLE GRAY" SW 7029
- 10 METAL GUARDRAIL SHERWIN WILLIAMS "URBANE BRONZE" SW 7048
- 11 GARAGE ENTRY RAMP
- 12 METAL ROLL-UP DOOR AT TRASH ROOM



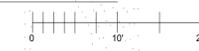
4 WEST ELEVATION AMENITY BUILDING  
1" = 10'-0"



2 EAST ELEVATION  
1" = 10'-0"



1 NORTH ELEVATION  
1" = 10'-0"

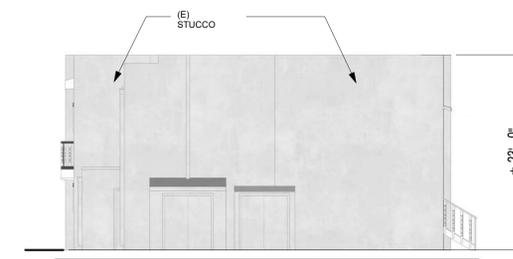


**MATERIAL LEGEND**

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
- 5 FLAT TERRA COTTA ROOF TILE
- 6 RESIDENTIAL WINDOW FRAME - MIKRON BLEND, ADOBE
- 7 AMENITY WINDOW FRAME - MIKRON, ARCHITECTURAL BRONZE
- 8 PAINTED STUCCO SHERWIN WILLIAMS "SPARE WHITE" SW 6203
- 9 PAINTED STUCCO SHERWIN WILLIAMS "AGREEABLE GRAY" SW 7029
- 10 METAL GUARDRAIL SHERWIN WILLIAMS "URBANE BRONZE" SW 7048
- 11 GARAGE ENTRY RAMP
- 12 METAL ROLL-UP DOOR AT TRASH ROOM



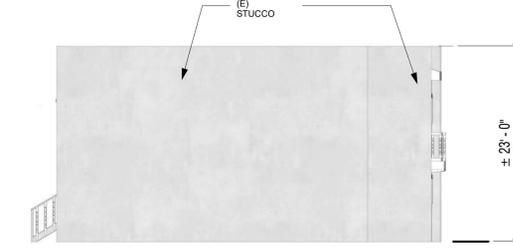
1 EXISTING BLDG TYPE A EAST ELEVATION  
1" = 10'-0"



3 EXISTING BLDG TYPE A NORTH ELEVATION  
1" = 10'-0"



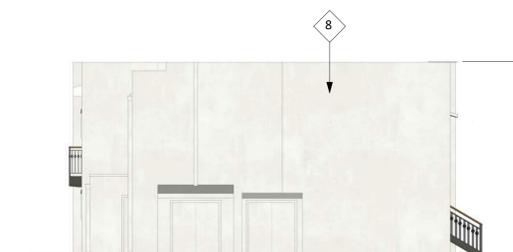
6 EXISTING BLDG TYPE A WEST ELEVATION  
1" = 10'-0"



4 EXISTING BLDG TYPE A SOUTH ELEVATION  
1" = 10'-0"



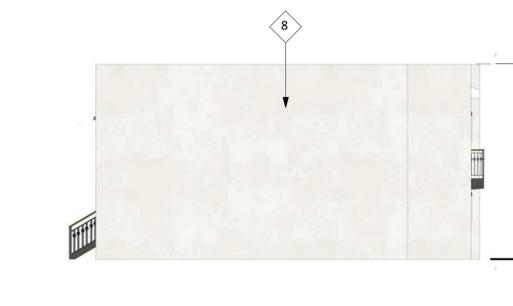
5 PROPOSED BLDG TYPE A EAST ELEVATION  
1" = 10'-0"



7 PROPOSED BLDG TYPE A NORTH  
1" = 10'-0"

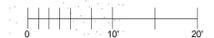


2 PROPOSED BLDG TYPE A WEST ELEVATION  
1" = 10'-0"



8 PROPOSED BLDG TYPE A SOUTH  
1" = 10'-0"

NOTE: NO ARCHITECTURAL ALTERATIONS ARE PROPOSED FOR THE NORTH AND SOUTH ELEVATIONS.

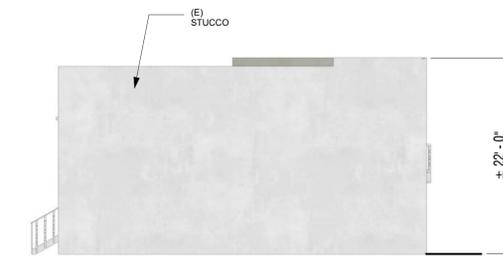


**MATERIAL LEGEND**

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
- 5 FLAT TERRA COTTA ROOF TILE
- 6 RESIDENTIAL WINDOW FRAME - MIKRON BLEND, ADOBE
- 7 AMENITY WINDOW FRAME - MIKRON, ARCHITECTURAL BRONZE
- 8 PAINTED STUCCO SHERWIN WILLIAMS "SPARE WHITE" SW 6203
- 9 PAINTED STUCCO SHERWIN WILLIAMS "AGREEABLE GRAY" SW 7029
- 10 METAL GUARDRAIL SHERWIN WILLIAMS "URBANE BRONZE" SW 7048
- 11 GARAGE ENTRY RAMP
- 12 METAL ROLL-UP DOOR AT TRASH ROOM



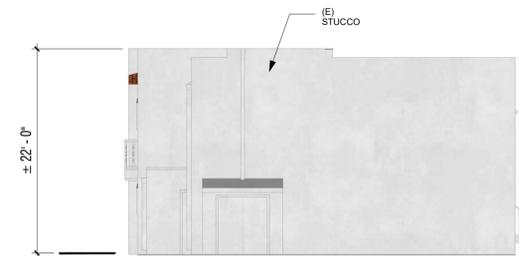
1 EXISTING BLDG TYPE B EAST ELEVATION  
1" = 10'-0"



4 EXISTING BLDG TYPE B SOUTH ELEVATION  
1" = 10'-0"



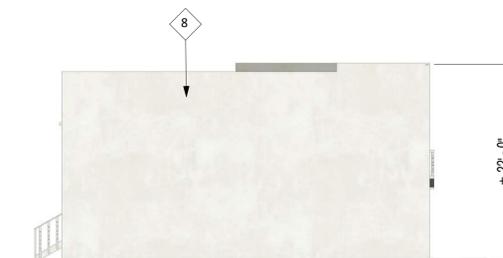
2 EXISTING BLDG TYPE B WEST ELEVATION  
1" = 10'-0"



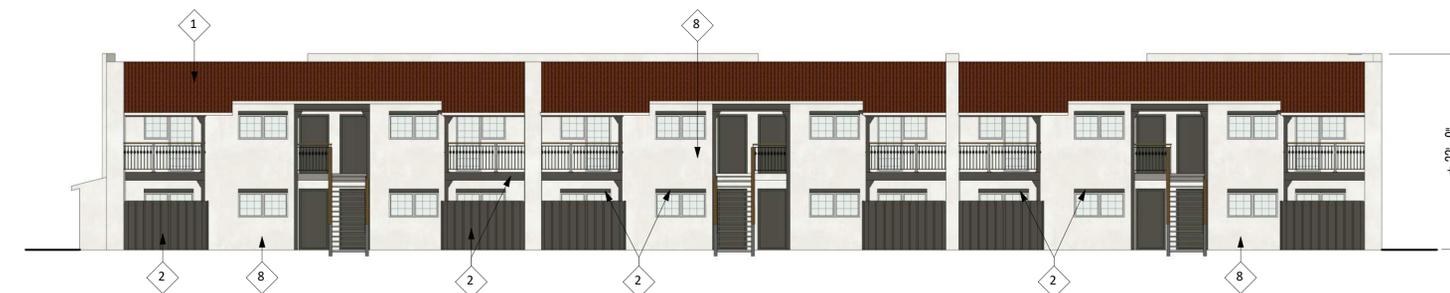
3 EXISTING BLDG TYPE B NORTH ELEVATION  
1" = 10'-0"



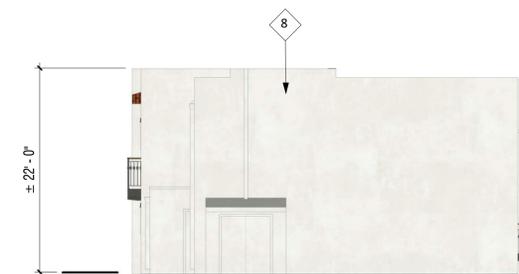
5 PROPOSED BLDG TYPE B EAST ELEVATION  
1" = 10'-0"



8 PROPOSED BLDG TYPE B SOUTH ELEVATION  
1" = 10'-0"



6 PROPOSED BLDG TYPE B WEST ELEVATION  
1" = 10'-0"



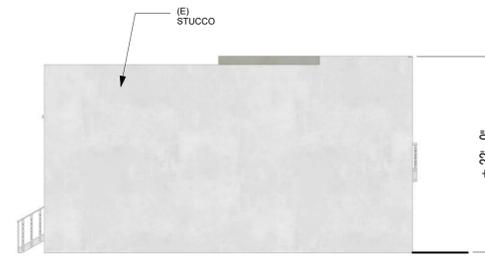
7 PROPOSED BLDG TYPE B NORTH ELEVATION  
1" = 10'-0"

NOTE: NO ARCHITECTURAL ALTERATIONS ARE PROPOSED FOR THE NORTH AND SOUTH ELEVATIONS





1 EXISTING BLDG TYPE C EAST ELEVATION  
1" = 10'-0"



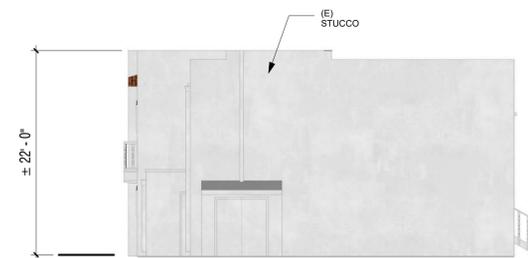
3 EXISTING BLDG TYPE C SOUTH ELEVATION  
1" = 10'-0"

### MATERIAL LEGEND

- 1 EXISTING BARREL CLAY TILE
- 2 SHERWIN WILLIAMS "URBANE BRONZE" SW7048
- 3 STAINED WOOD, BOARD AND BATTEN
- 4 TILE IN "REGENCY BLUE"
- 5 FLAT TERRA COTTA ROOF TILE
- 6 RESIDENTIAL WINDOW FRAME - MIKRON BLEND, ADOBE
- 7 AMENITY WINDOW FRAME - MIKRON, ARCHITECTURAL BRONZE
- 8 PAINTED STUCCO SHERWIN WILLIAMS "SPARE WHITE" SW 6203
- 9 PAINTED STUCCO SHERWIN WILLIAMS "AGREEABLE GRAY" SW 7029
- 10 METAL GUARDRAIL SHERWIN WILLIAMS "URBANE BRONZE" SW 7048
- 11 GARAGE ENTRY RAMP
- 12 METAL ROLL-UP DOOR AT TRASH ROOM



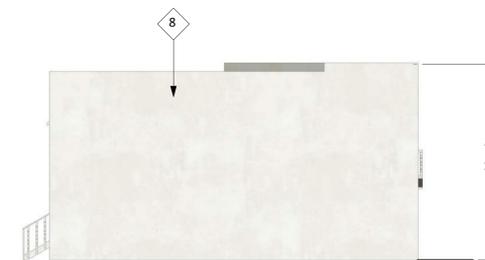
4 EXISTING BLDG TYPE C WEST ELEVATION  
1" = 10'-0"



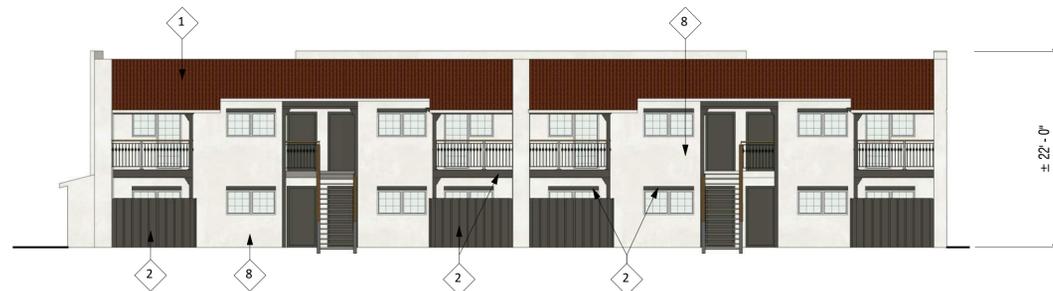
2 EXISTING BLDG TYPE C NORTH ELEVATION  
1" = 10'-0"



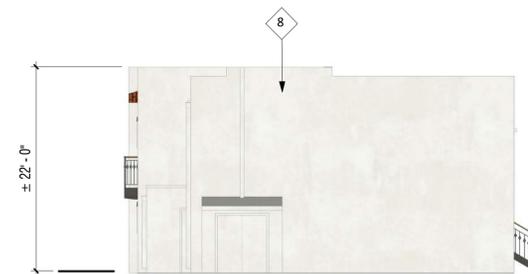
5 PROPOSED BLDG TYPE C EAST ELEVATION  
1" = 10'-0"



7 PROPOSED BLDG TYPE C SOUTH ELEVATION  
1" = 10'-0"



8 PROPOSED BLDG TYPE C WEST ELEVATION  
1" = 10'-0"



6 PROPOSED BLDG TYPE C NORTH ELEVATION  
1" = 10'-0"

NOTE: NO ARCHITECTURAL ALTERATIONS ARE PROPOSED FOR THE NORTH AND SOUTH ELEVATIONS





3 - Site Section  
1/16" = 1'-0"



2 - Site Section  
1/16" = 1'-0"



1 - Site Section  
1/16" = 1'-0"



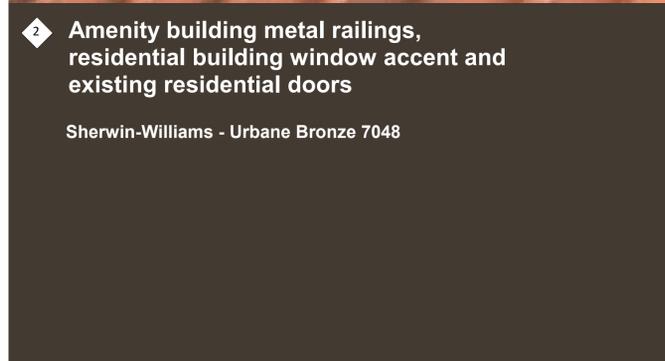


1 Existing Barrel Clay tile



3 Proposed Amenity Building and Existing building siding

Stained wood, Board and batten



2 Amenity building metal railings, residential building window accent and existing residential doors

Sherwin-Williams - Urbane Bronze 7048

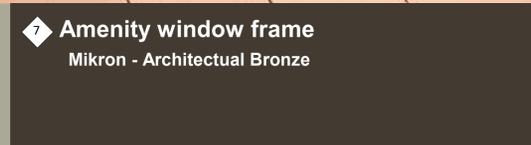


5 Proposed Flat Clay Tile



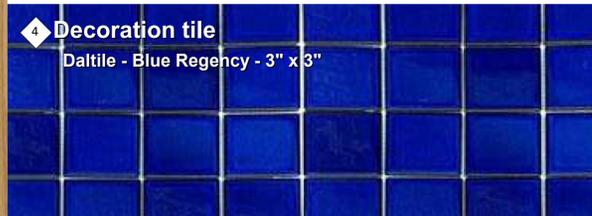
6 Residential window frame

Mikron Blend - Adobe



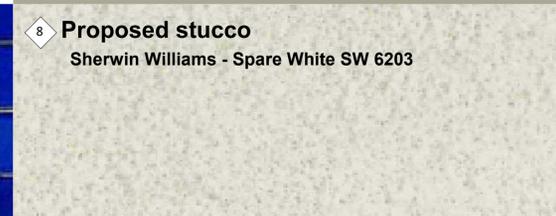
7 Amenity window frame

Mikron - Architectural Bronze



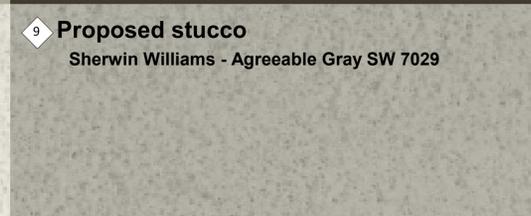
4 Decoration tile

Daltile - Blue Regency - 3" x 3"



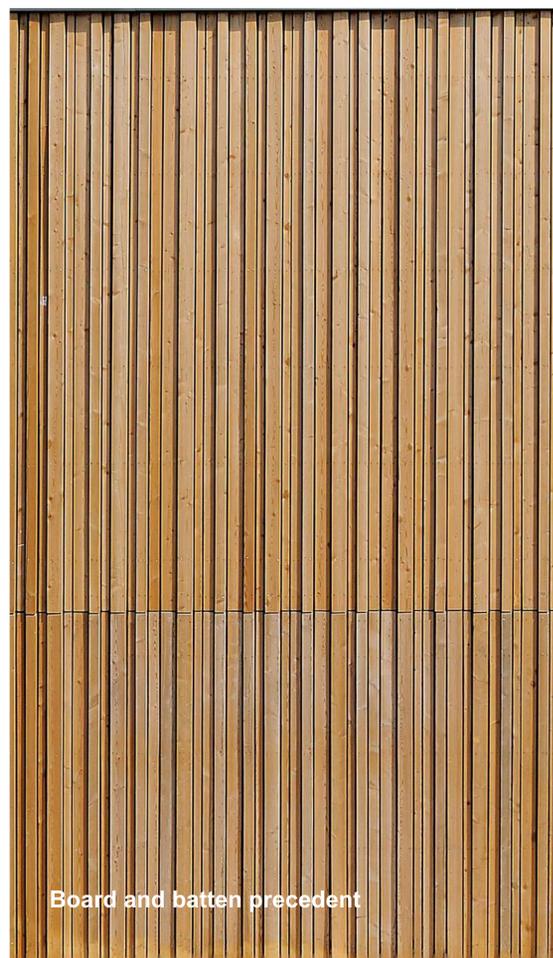
8 Proposed stucco

Sherwin Williams - Spare White SW 6203



9 Proposed stucco

Sherwin Williams - Agreeable Gray SW 7029

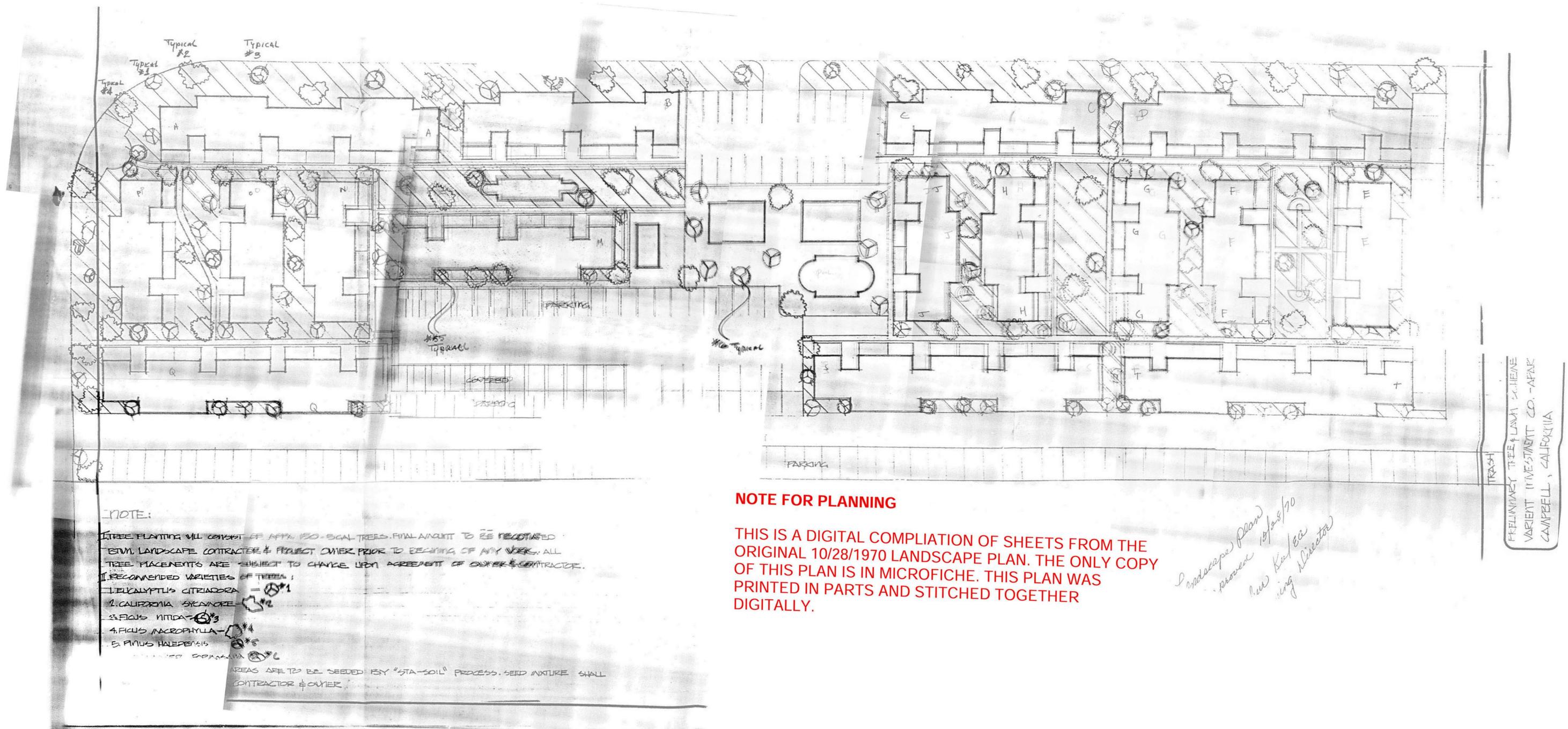


Board and batten precedent



- 5
- 2
- 6
- 8
- 9
- 6
- 8
- 3
- 4
- 2
- 7

- 5
- 6
- 9
- 8
- 2
- 3
- 1
- 8



NOTE:

TREE PLANTING WILL CONSIST OF APPROX 150-200 TREES. FINAL AMOUNT TO BE NEGOTIATED WITH LANDSCAPE CONTRACTOR & PROJECT OWNER PRIOR TO BEGINNING OF ANY WORK. ALL TREE PLACEMENTS ARE SUBJECT TO CHANGE UPON AGREEMENT OF OWNER & CONTRACTOR.

RECOMMENDED VARIETIES OF TREES:

- 1. EUCALYPTUS CITRIODORA - #1
- 2. CALIFORNIA SISKIYOU - #2
- 3. FIGUS NITIDA - #3
- 4. FIGUS MACROPHYLLA - #4
- 5. PINUS HALEPENSIS - #5

AREAS ARE TO BE SEEDED BY "STA-SOIL" PROCESS. SEED MIXTURE SHALL BE DETERMINED BY LANDSCAPE CONTRACTOR & OWNER.

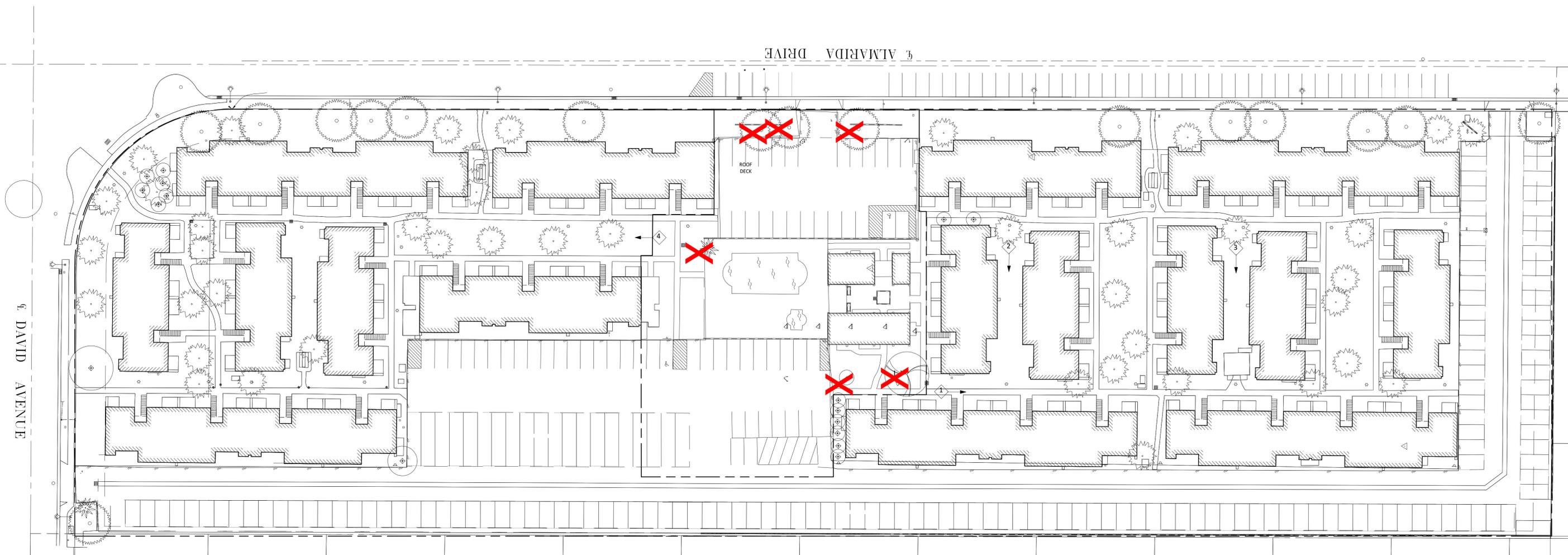
NOTE FOR PLANNING

THIS IS A DIGITAL COMPILED OF SHEETS FROM THE ORIGINAL 10/28/1970 LANDSCAPE PLAN. THE ONLY COPY OF THIS PLAN IS IN MICROFICHE. THIS PLAN WAS PRINTED IN PARTS AND STITCHED TOGETHER DIGITALLY.

*Landscape Plan - prepared 10/28/70 by Kalea King Director*

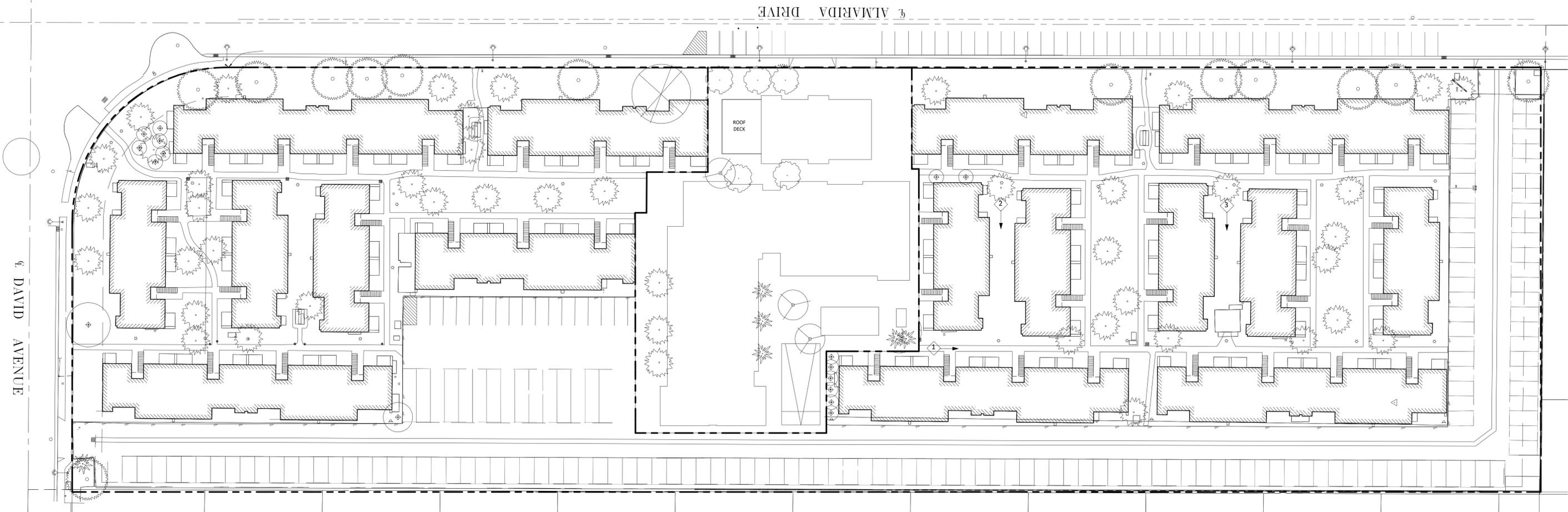
PRELIMINARY TREE & LANDSCAPE SCHEME  
VARIANT INVESTMENT CO. - APAR  
CAMPBELL, CALIFORNIA

| SYMBOL                 | DESCRIPTION                                   | COUNT |
|------------------------|---|-------|
|                        | TOTAL TREES FROM 1970 PLAN                    | 160   |
|                        | TOTAL TREES ON SITE IN 2020                   | 74    |
| X                      | TREES TO BE REMOVED FROM NEW PROJECT BOUNDARY | 6     |
| TOTAL TREES TO REPLACE |   | 92    |



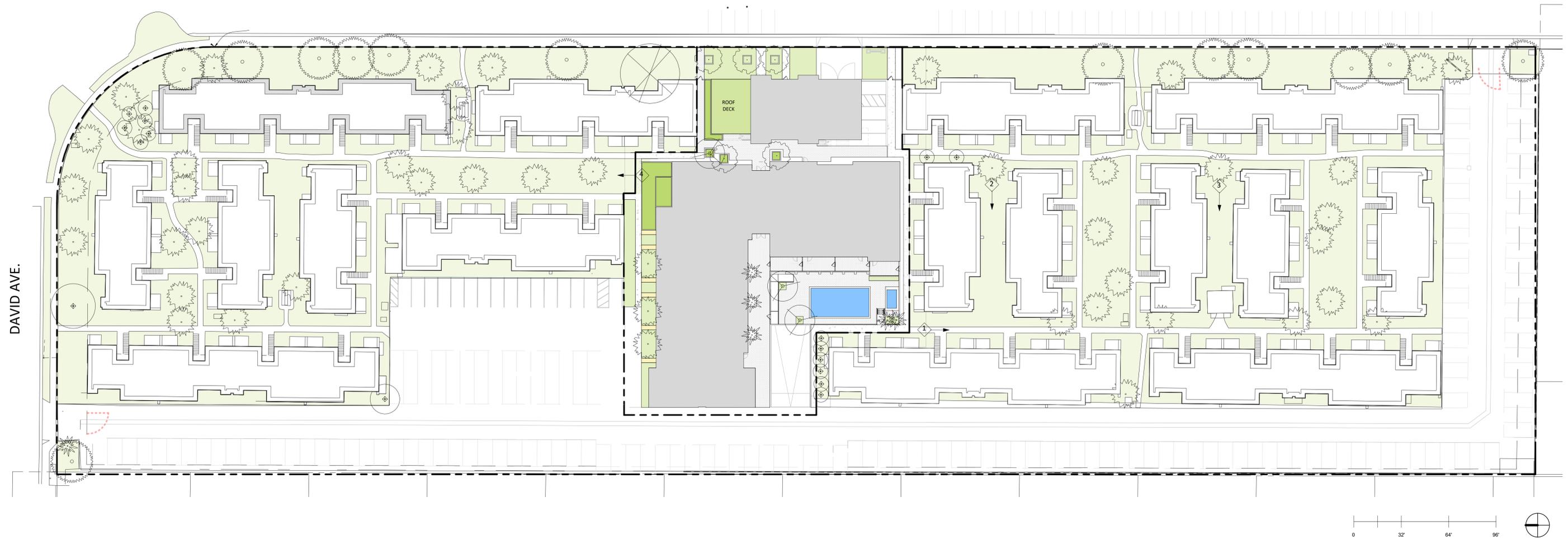
EXISTING TREES BASED ON GOOGLE EARTH IMAGES AND SITE PHOTOS, V.I.F.

| SYMBOL | DESCRIPTION  | COUNT |
|--------|--|-------|
|        | TOTAL TREES REQUIRED TO REPLACE                                  | 92    |
|        | TREE REPLACEMENT WITHIN PROJECT BOUNDARY                         | 17    |
|        | TOTAL TREES REPLACED THROUGHOUT SITE<br>(NOT SHOWN AT THIS TIME) | 75    |



EXISTING TREES BASED ON GOOGLE EARTH IMAGES  
AND SITE PHOTOS, V.I.F.

ALMARIDA DR.



1 OVERALL SITE PLAN LANDSCAPE  
1/32" = 1'-0"

EXISTING LANDSCAPE PHOTOS



1



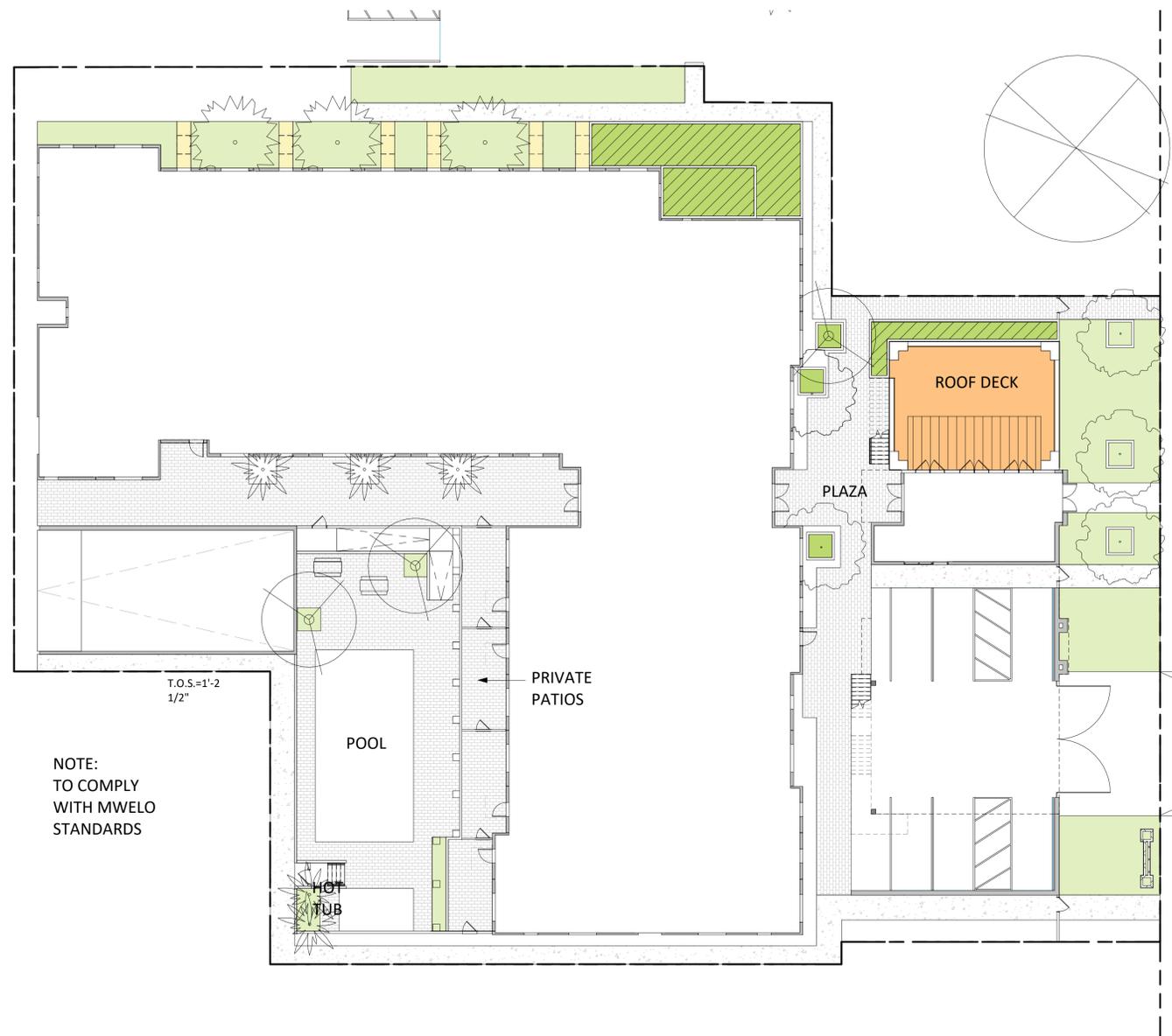
2



3



4



**IRRIGATION DESIGN INTENT**

IRRIGATION SYSTEM IS DESIGNED TO COMPLY WITH MWELo STANDARDS - TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH. ALL SELECTED COMPONENTS ARE COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT. THE SYSTEM IS A COMBINATION OF SUBSURFACE IRRIGATION AND TREE BUBBLERS AS APPROPRIATE TO PLANT TYPE, EXPOSURE, AND SLOPE CONDITIONS.

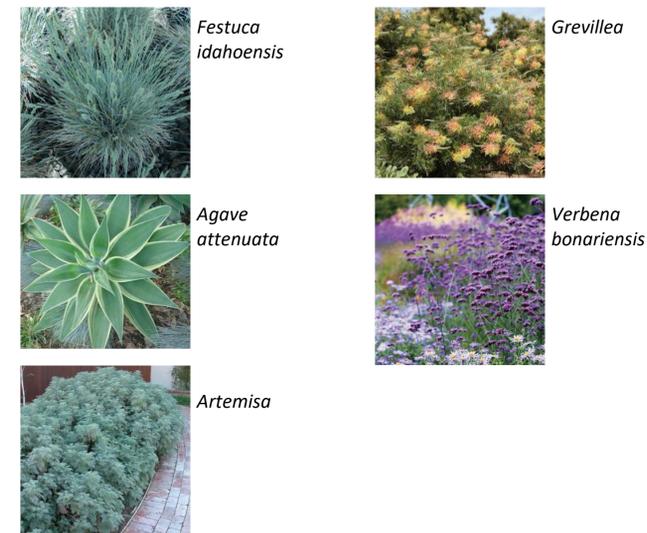
CONTROL OF THE SYSTEM IS VIA A WEATHER-ENABLED CONTROLLER CAPABLE OF DAILY SELF-ADJUSTMENT BASED ON REAL-TIME WEATHER CONDITIONS AS MEASURED BY AN ON-SITE WEATHER SENSOR.

THE SYSTEM INCLUDES A MASTER CONTROL VALVE AND FLOW SENSING CABABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.

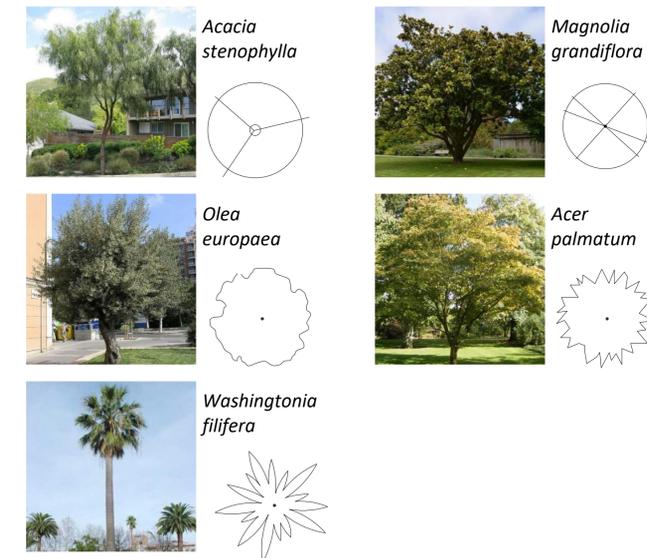
**LEGEND**

- Pavers 
- Concrete 
- Flow-through planters 
- Decomposed Granite 
- Drought tolerant planting area 
- Roof Deck 

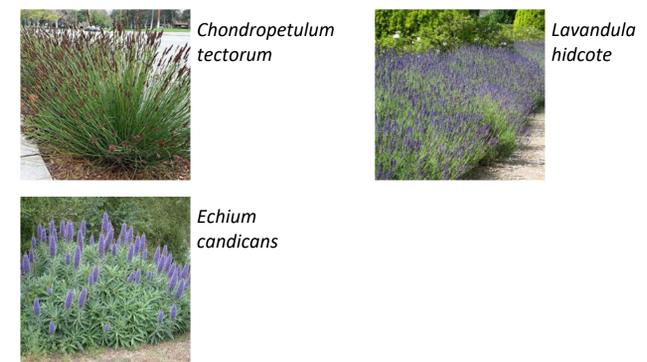
**DROUGHT TOLERANT PLANTING**



**TREES**



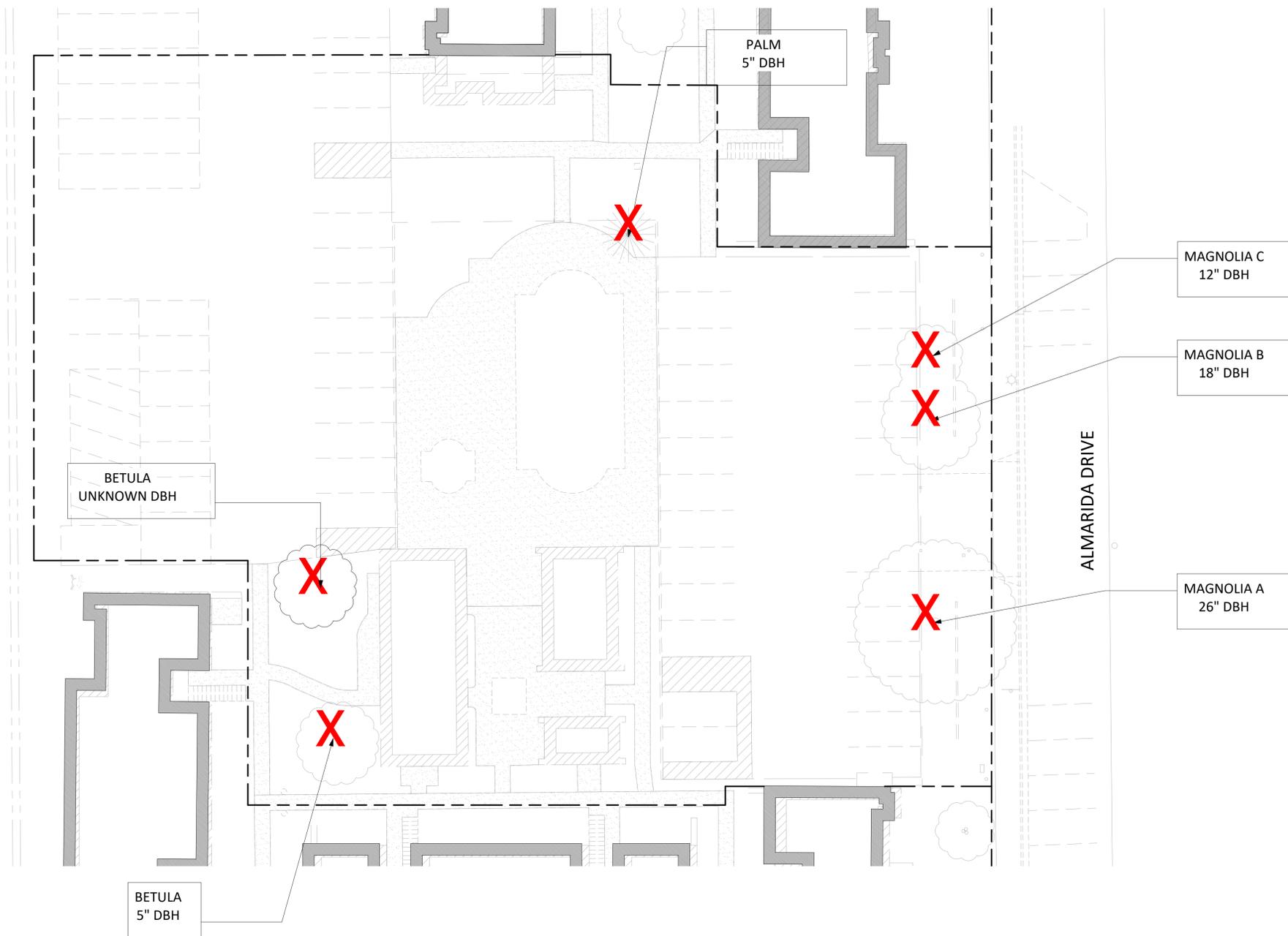
**FLOW-THROUGH PLANTERS**



ALMARIDA DRIVE

**KEY:**

**X** EXISTING TREES TO BE REMOVED (6)



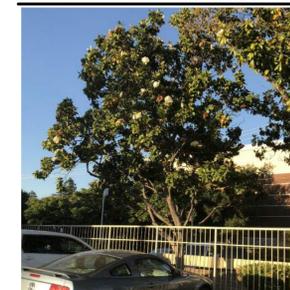
**MAGNOLIA A**



**MAGNOLIA B**



**MAGNOLIA C**

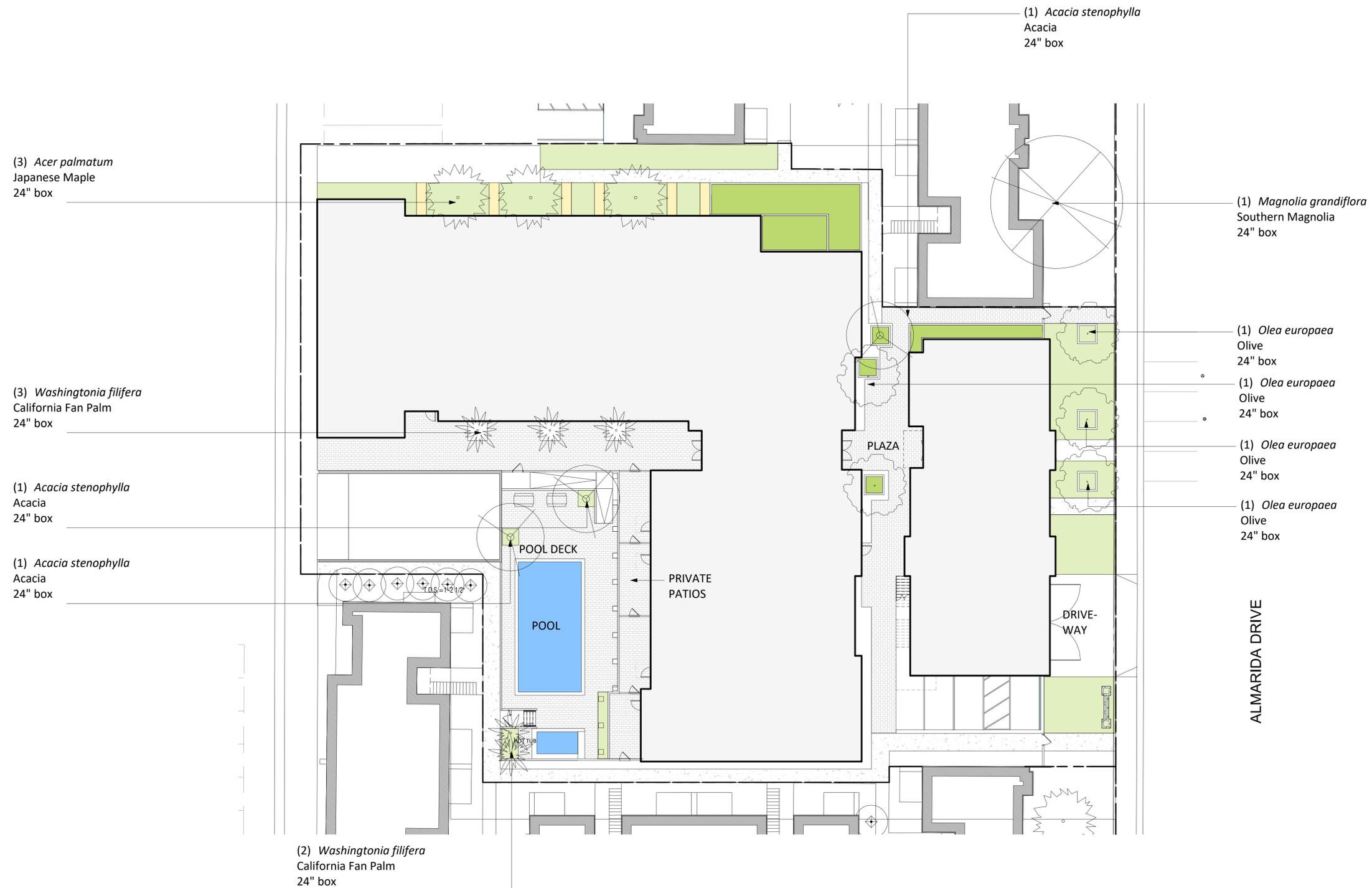


**PALM**

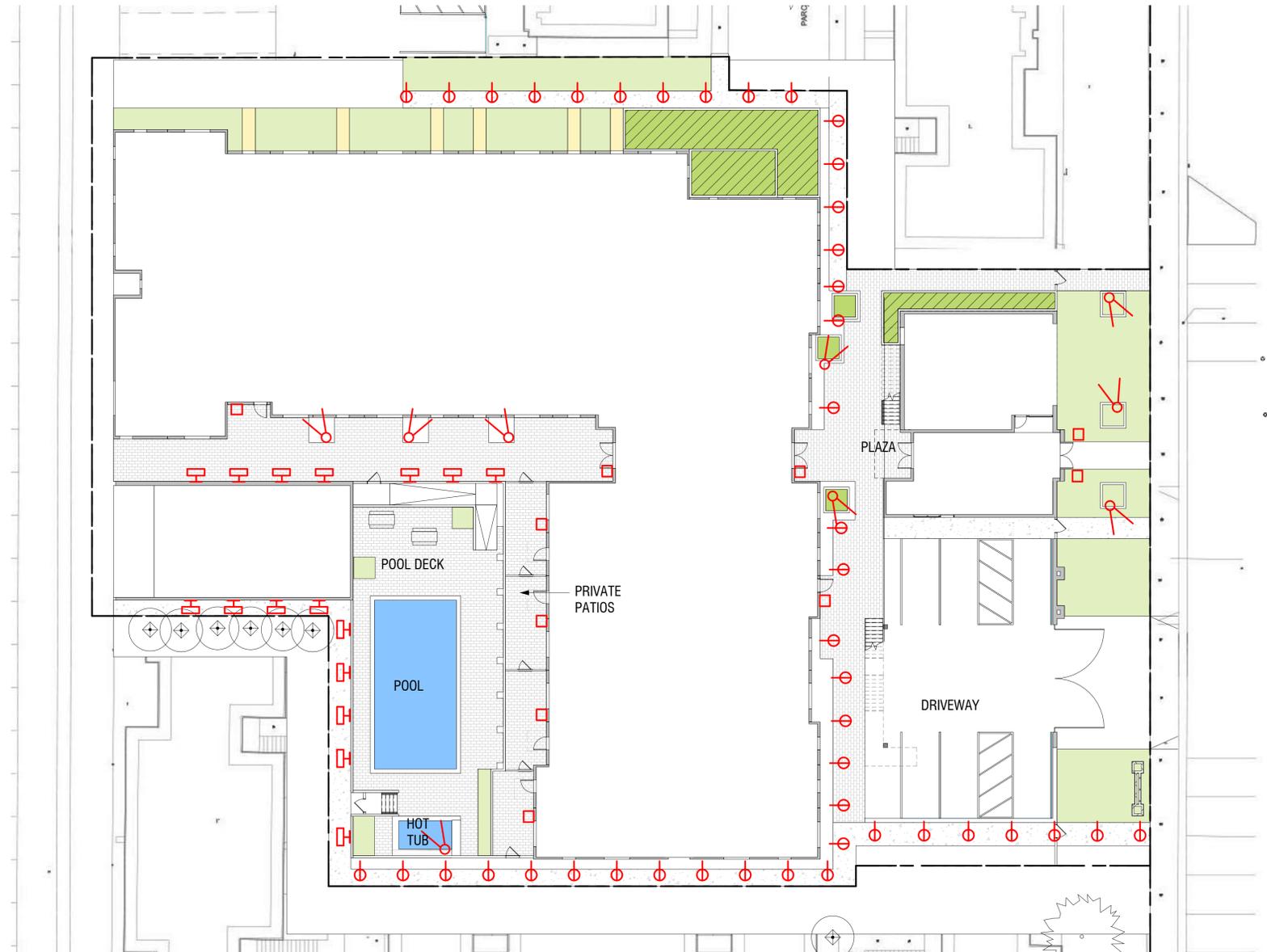


**BETULA**





TOTAL PROPOSED TREES WITHIN NEW PROJECT BOUNDARY : 17  
 TOTAL REMOVED TREES WITHIN NEW PROJECT BOUNDARY : (6)  
**TOTAL NUMBER OF TREES GAINED WITHIN NEW PROJECT BOUNDARY : 11**



**WALL MOUNT** SYMBOL:

RECESSED LED STEP LIGHT MOUNTED TO CMU WALL



LED me LED 100 STEP LIGHT  
By WAC Lighting

**WALL LIGHT** SYMBOL:

MOUNTED AT PRIVATE PATIOS AND EXITS



FRAMED OUTDOOR WALL LIGHT  
By Lightology

**LED DOWNLIGHT** SYMBOL:

MOUNTED ON TREE TRUNK



LED DOWNLIGHT  
By FXLuminaire

**PATH LIGHT** SYMBOL:

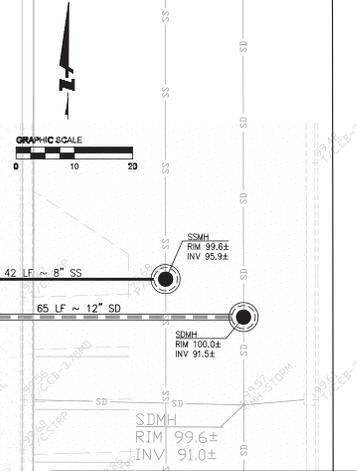
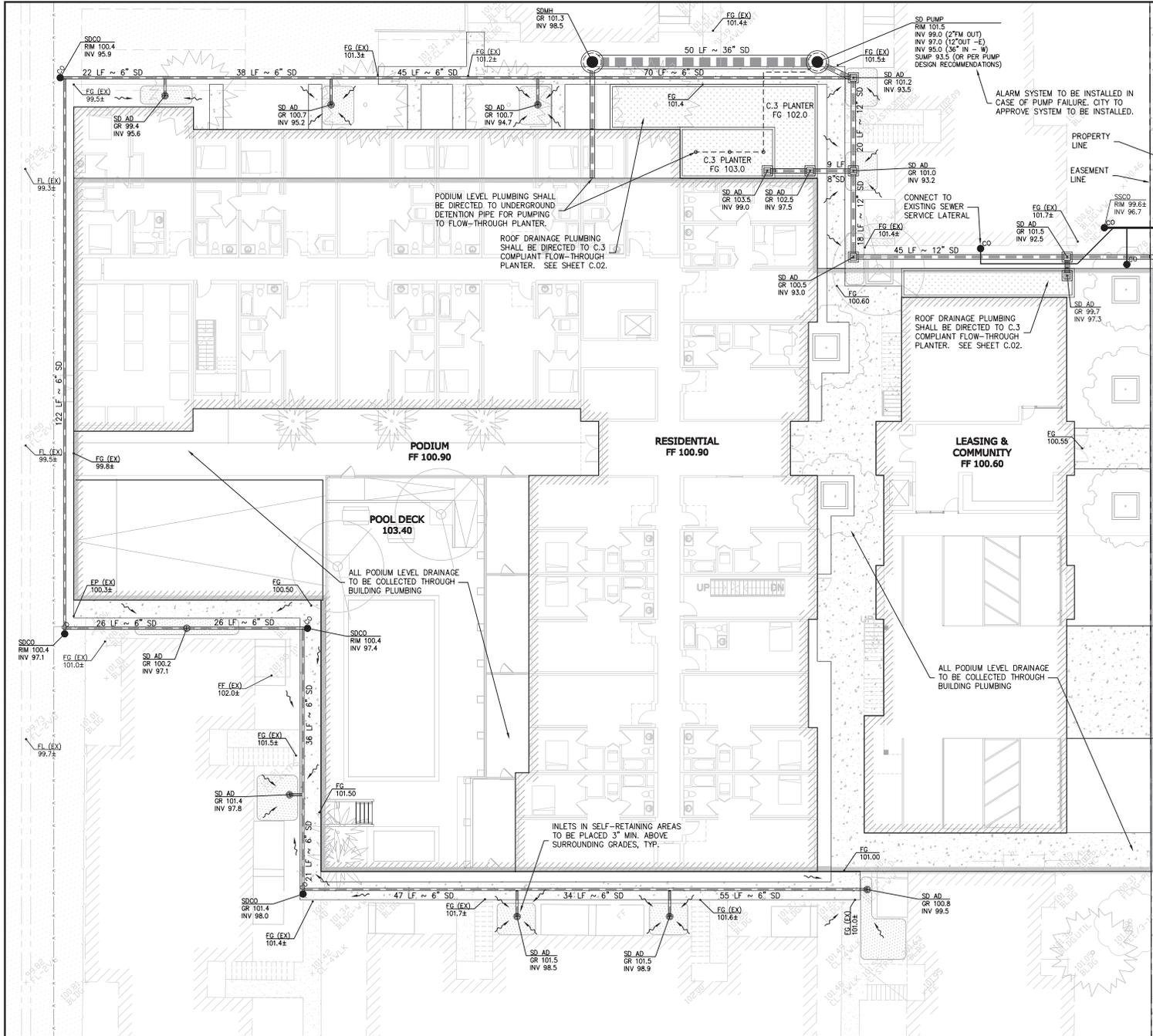
PATH LIGHT SET INTO PLANTING BEDS



MULTIPLICITY PATH LIGHT  
By Landscapeforms







**PROJECT SUMMARY**

|                               |   |
|-------------------------------|---|
| <b>PROPERTY ADDRESS:</b>      | THE FRANCISCAN<br>601 ALMARIDA DRIVE<br>CAMPBELL, CA 95008  |
| <b>DEVELOPER:</b>             | RAINTREE PARTNERS<br>28202 CABOT ROAD, SUITE 300<br>LAGUNA HILLS, CA 92677<br>(949) 365-5650  |
| <b>CIVIL ENGINEER:</b>        | TALLUS, INC.<br>811 SAN RAMON VALLEY BLVD.<br>DANVILLE, CALIFORNIA 94528<br>(925) 837-3780  |
| <b>ARCHITECT:</b>             | LOWNEY ARCHITECTURE<br>36017TH STREET, SUITE 200<br>PARKLAND, CA 94612<br>(510) 836-5400  |
| <b>SURVEYOR:</b>              | ANACAL ENGINEERING COMPANY<br>1900 EAST LA PALMA AVENUE<br>ANAHEIM, CA 92805<br>(714) 774-1763  |
| <b>ASSESSOR'S PARCEL NO.:</b> | APN: 279-30-043   |
| <b>TOTAL AREA:</b>            | 325,763 SF (GROSS)   283,946 SF (NET)   |
| <b>UTILITIES:</b>             | WATER SUPPLY: SAN JOSE WATER COMPANY<br>FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPT.<br>SEWAGE DISPOSAL: WEST VALLEY SANITATION DISTRICT<br>STORM DRAIN: CITY OF CAMPBELL<br>GAS & ELECTRIC: PACIFIC GAS & ELECTRIC<br>TELEPHONE: AT&T / COMCAST<br>CABLE TELEVISION: COMCAST |

**SURVEYOR NOTES:**

- THIS PLAN IS BASED ON AN ALTA SURVEY PROVIDED BY THE CLIENT AND PREPARED BY ANACAL ENGINEERING COMPANY DATED JUNE 9, 2017.
- SUPPLEMENTAL TOPOGRAPHIC DATA IN THE PROJECT AREA WAS COLLECTED BY DEBOLT CIVIL ENGINEERING IN A FIELD SURVEY DATED APRIL 16, 2018.
- PUBLIC UTILITY INFORMATION IN ALMARIDA DRIVE WAS OBTAINED FROM CITY OF CAMPBELL UTILITY RECORD DRAWINGS.

**FLOOD ZONE:**

ZONE 'X' PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.06085C 0237H EFFECTIVE DATE: MAY 13, 2009

**ENGINEER'S STATEMENT**

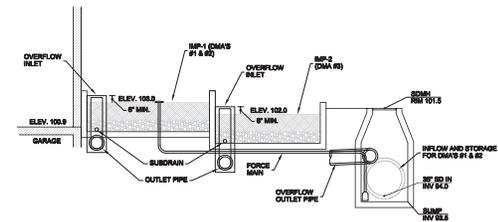
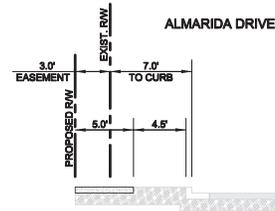
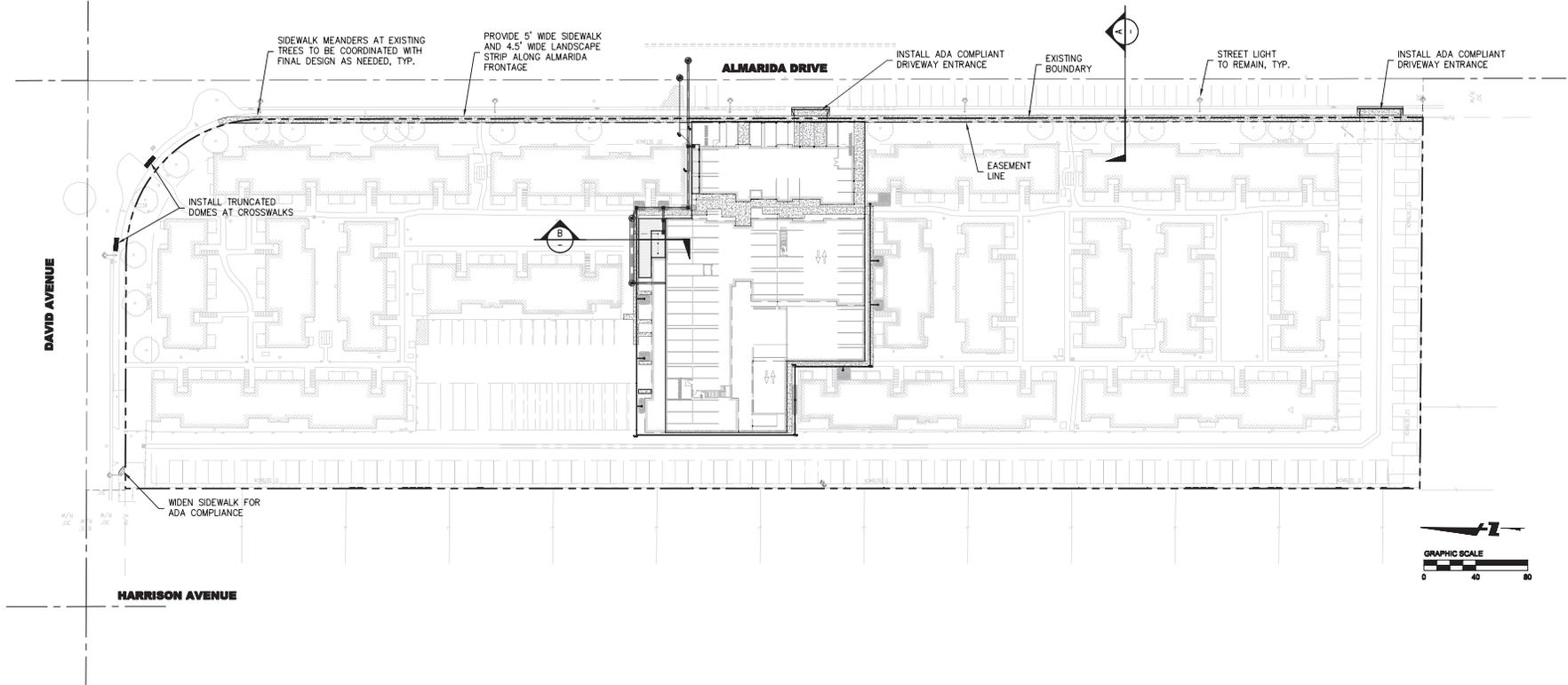
CIVIL ENGINEERING WORK ON THESE PLANS HAS BEEN PREPARED BY ME, OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD CIVIL ENGINEERING PRACTICE.

  
 EASTON C. MCALLISTER, PE  
 P.E. #61148 EXP 12/31/16

DATE: 07/31/2020  
 Scale: 1" = 10'  
 Job No.: 16180  
 Drawing Number: **C.01**  
 1 OF 4

DRAWING NAME: P:\16180\ANNING SET\16180\01\GRAD.DWG PLOTTED BY: Eamon



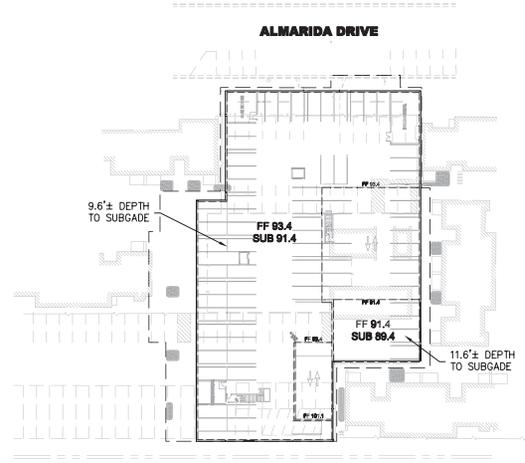
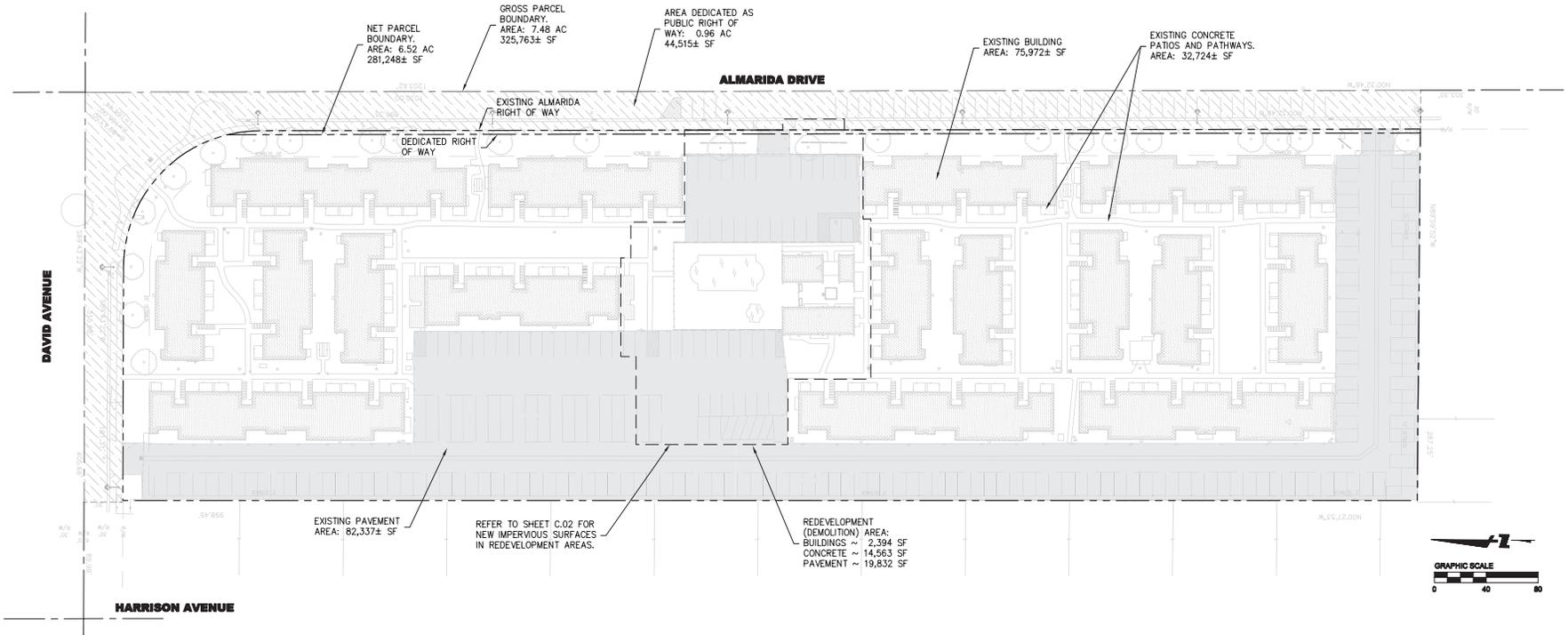


DRAWING NAME: P:\016026\ANNING SET\16026\_033 SITE.dwg  
PLOT DATE: 07-31-20 PLOTTED BY: Eamon

|           |     |       |
|-----------|-----|-------|
| Revisions | No. | Stamp |
|           |     |       |
|           |     |       |



Date: 07/31/20  
 Scale: 1" = 40'  
 Job No.: 16180  
 Drawing Number:  
**C.03**  
**3 OF 4**



**EARTHWORKS:**  
12,020 C.Y. CUT TO SUBGRADE  
1,435 C.Y. ENGINEERED FILL  
10,585 C.Y. (EXPORT)