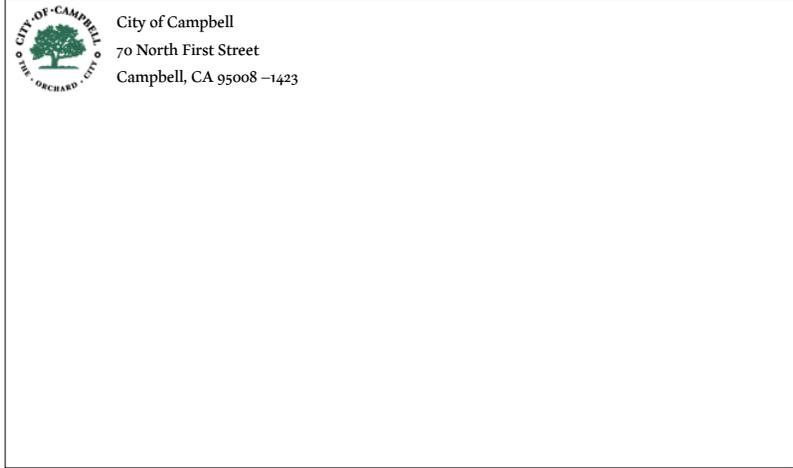
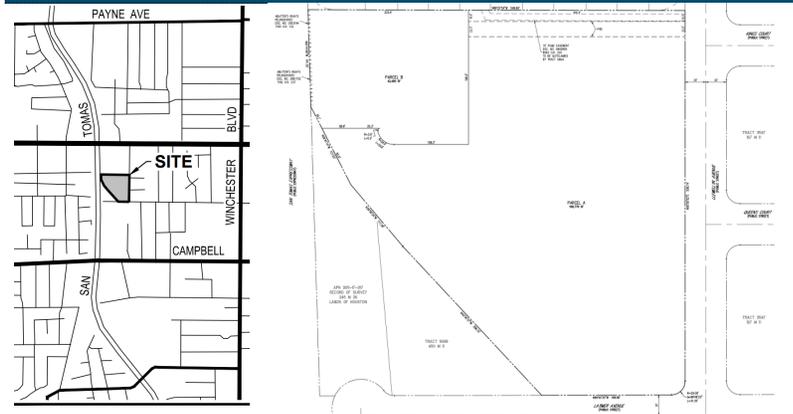


Location of Proposed Project



Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

August 27, 2024

The Community Development Director will be rendering a decision on the following project.

Project Address: 251 LLEWELLYN AVE

Zoning | Area Plan: Medium Density Residential (MDR) | N/A

Neighborhood Association(s): CCCNG

File No: PLN-2024-129

APN: 305-17-017

Applicant: Shane Adrian, Civil Engineering Associates

Property Owner: Pacific Clinics

Application Type: Tentative Parcel Map Permit

Project Planner: Daniel Fama, Senior Planner

Email Contact: daniel.fama@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

A Tentative Parcel Map to subdivide an approximately 5.5 acre property into two lots.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **August 30, 2024**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **September 9, 2024**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



ABUTTER'S RIGHTS
RELINQUISHED
DOC. NO. 2953194
7165 O.R. 132

ABUTTER'S RIGHTS
RELINQUISHED
DOC. NO. 2961750
7182 O.R. 237

SAN TOMAS EXPRESSWAY
(PUBLIC EXPRESSWAY)

APN 305-17-017
RECORD OF SURVEY
245 M 36
LANDS OF HOUSTON

PARCEL B
42,495 SF

PARCEL A
199,779 SF

TRACT 6698
450 M II

TRACT 3547
167 M II

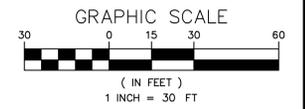
TRACT 3547
167 M II

TRACT 3547
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APN 305-56-023 LANDS OF CHEN & CHANG	APN 305-56-022 LANDS OF NOBRE	APN 305-56-021 LANDS OF KESAVAN & GOPAL	APN 305-56-020 LANDS OF REED	APN 305-56-019 LANDS OF YOUNG	APN 305-56-018 LANDS OF HAHN OF HAHN	APN 305-56-017 LANDS OF OF CHAN	APN 305-56-016 LANDS OF WULFF	APN 305-56-015 LANDS OF THI PHAN	APN 305-56-014 LANDS OF CHEN & CHAN	APN 305-56-045 LANDS OF POLIVKA & FLINN
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N89°22'54"W 548.69'

10' PG&E EASEMENT
DOC. NO. 4840909
B062 O.R. 220
TO BE QUITCLAIMED
BY TRACT 10644



ABBREVIATIONS

- DOC. DOCUMENT
- NO. NUMBER
- O.R. OFFICIAL RECORDS
- PIEE PRIVATE INGRESS AND EGRESS EASEMENT AND EMERGENCY VEHICLE ACCESS
- SF SQUARE FEET

LEGEND

- BOUNDARY LINE
- - - - RIGHT-OF-WAY
- EXISTING LOT LINE
- LOT LINE
- CENTER LINE
- - - - EXISTING EASEMENT LINE
- - - - EASEMENT LINE



NO.	DATE	BY	REVISIONS

28 Railway Avenue
Campbell, CA 95008
T: (408) 453-1066

Civil Engineering Associates
Civil Engineers • Planners • Surveyors

PREPARED FOR:

4514 WILLOW ROAD, SUITE 8488
REDAWOOD CITY, CA 95571
PHONE 925-248-3200 FAX 925-488-0281

PulteGroup

251 LLEWELLYN AVENUE	CAMPBELL	CALIFORNIA
TENTATIVE PARCEL MAP		
DATE	8/21/2024	
SCALE	SEE PLAN	
DESIGNED	ENG	
DRAWN	CAD	
JOB NO.	20-150	
SHEET	TPM1.1	
	2 OF 2 SHEETS	

ABUTTER'S RIGHTS
RELINQUISHED
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N89°22'54"W 548.69'

315.3'

233.4'

195.5'

N01°44'49"W 141.32'

35.1'

58.9'

25.3'

N82°11'14"W 127.02'

32.0'

N89°36'34"W 177.28'

177.28'

N42°30'37"W 286.10'

N89°40'35"W 188.86'

N00°30'02"E 558.74'

30'

16.0'

22.0'

16.0'

R=20.00'
Δ=89°49'23"
L=31.35'

10' PG&E EASEMENT
DOC. NO. 4840909
B062 O.R. 220
TO BE QUITCLAIMED
BY TRACT 10644

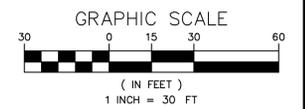
PIECE

KINGS COURT
(PUBLIC STREET)

LLEWELLYN AVENUE
(PUBLIC STREET)

QUEENS COURT
(PUBLIC STREET)

LATIMER AVENUE
(PUBLIC STREET)



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