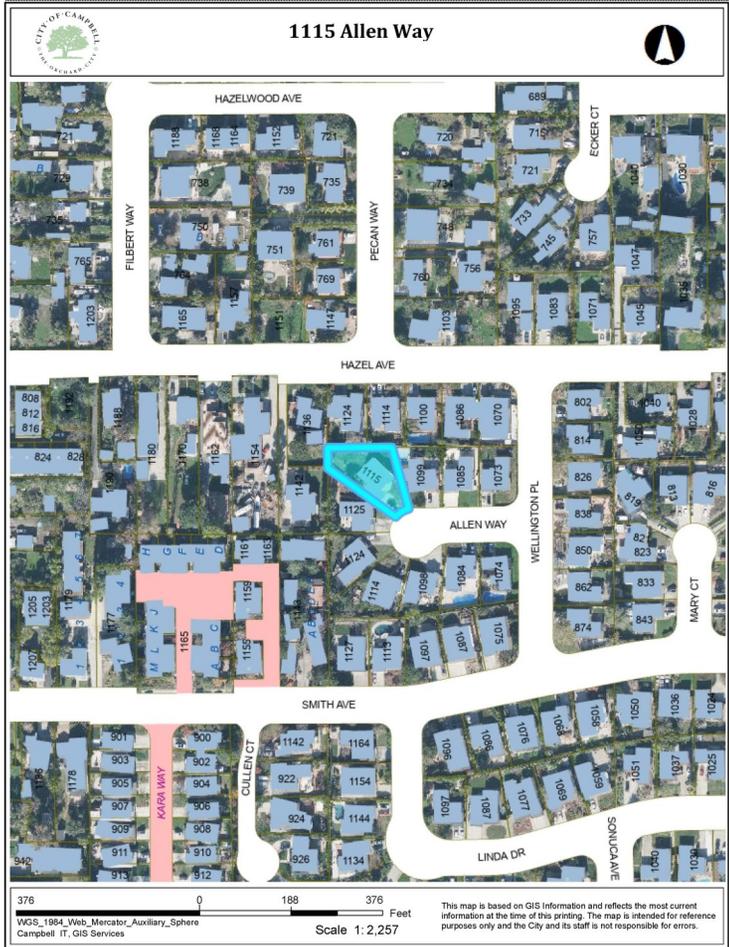


## Location of Proposed Project




City of Campbell  
 70 North First Street  
 Campbell, CA 95008 –1423

## Project Image



# Courtesy Notice

Dear Campbell Resident,

September 11, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

**Project Address:** 1115 Allen Way  
**Zoning | Area Plan:** R-1-6 | San Tomas Area Neighborhood Plan  
**Neighborhood Association(s):** N/A  
**Council District:** 5  
**File No.:** PLN-2024-125  
**APN:** 406-03-009  
**Applicant:** Marc Gourvenec  
**Property Owner:** Marc Gourvenec  
**Application Type:** Administrative Site and Architectural Review  
**Project Planner:** Larissa Lomen, Assistant Planner  
**Email Contact:** larissal@campbellca.gov  
**Phone Contact:** (408) 866-2144

**Project Description:**

To allow the addition of 852 square feet to an existing 1,273 square foot, single-story, single-family dwelling.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español







**PROJECT**

**ADDITION AND REMODELING**

**ADDRESS**

1115 ALLEN WAY  
CAMPBELL  
CA 95008

**CLIENT**

MARC GOURVENEK

**TITLE**

**EROSION CONTROL PLAN**

**DATE**

8/13/24

**SCALE**

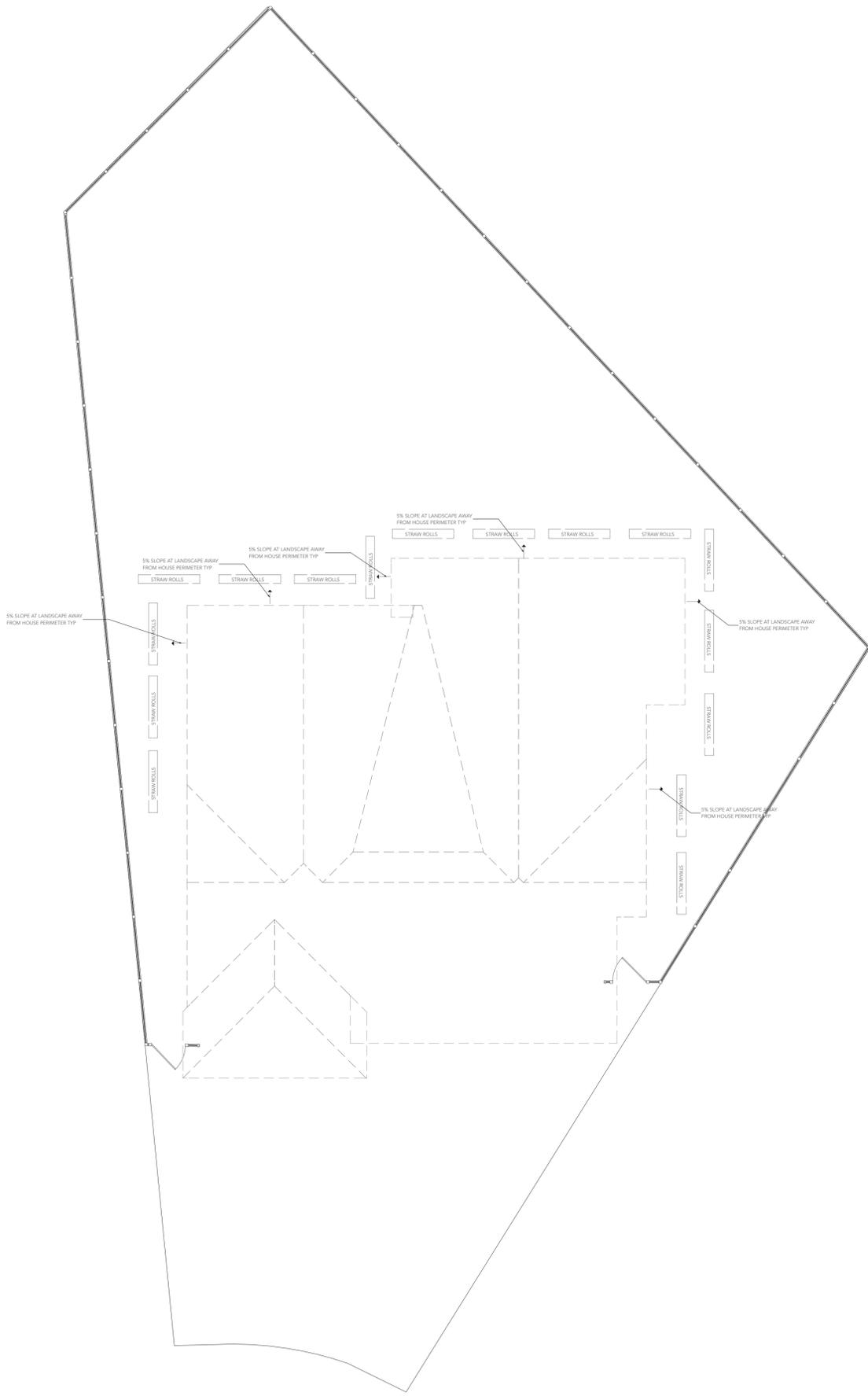
1/8" = 1'

**A102**

**BEST MANAGEMENT PRACTICE (BMP) NOTES:**  
PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.  
MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.  
STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.  
USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.  
LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.  
PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: (LIST LOCATIONS)  
THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."  
CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF SEASON."  
DUST CONTROL IS REQUIRED YEAR-ROUND. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.  
USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.  
TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

Erosion Control Point of Contact  
TITLE  
PHONE  
EMAIL

Marc Gourvenec  
PROPERTY OWNER  
(650) 906-3790  
marc.gourvenec@gmail.com



**Construction Best Management Practices (BMPs)**

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

**Materials & Waste Management**



- Non-Hazardous Materials**
- Store all cover stockpiles of sand, dirt or other construction material with top when rain is forecast or if activity being used within 14 days.
  - Use dirt covers/reinforced water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, solvents, adhesives, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - Store hazardous materials and wastes in secure tight containers, use in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - Arrange for appropriate disposal of all hazardous wastes.

**Equipment Management & Spill Control**



- Maintenance and Parking**
- Designate an area, lined with appropriate BMPs, for vehicle and equipment parking and storage.
  - Perform regular maintenance, repair jobs, and vehicle and equipment washing on site.
  - If refueling or vehicle maintenance must be done onsite, work in a bonded area away from storm drains and cover a drip pan or other device big enough to collect fuel.
  - Refuel or equipment cleaning must be done onsite, clean with water only in a bonded area that will not allow rain water to get into gutters, streets, storm drains, or surface waters.
  - Do not clean vehicle or equipment onsite using soap, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and oil filter) available at the construction site at all times.
  - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks and report any leaks.
  - Close up spills or leaks immediately and dispose of cleanup materials properly.
  - Do not hose down surfaces where fluids have spilled. Use oil absorbent materials (oil-soak, spill, and/or mats).
  - Store up spilled materials immediately. Do not try to wash them away with water, or bury them.
  - Close up spills on dirt areas by digging or and properly disposing of contaminated soil.
  - Remove spilled spills immediately. You are required by law to report all significant releases of hazardous materials, including oil, to report a spill: 1 (800) 911 or your local emergency response number. Call the Governor's Office of Emergency Services (916) 227-3333 (24 hours).

**Earthmoving**



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, roads and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matting) until vegetation is established.
- Remove exposed vegetation only when absolutely necessary, and seed or plant vegetation for erosion control as slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as filter strips, silt fences, sediment basins, grassed waterways, etc.
- Keep excavated soil on site and transfer it to other tasks on site, use in the storm.

**Paving/Asphalt Work**



- Avoid paving and seal coating in wet weather or when rain is forecast, or prevent materials that have not cured from contacting pavement runoff.
- Cover storm drain inlets and manholes when applying seal coat, seal coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess emulsion gravel or seal. Do NOT sweep or wash it into gutters. For concrete basins and dispose of as regular concrete.
- When handling spread aggregate, prevent washwater from entering storm drains. Break up spills that occur on drains, hose washwater into dirt areas, or drain into a bonded surface to be pumped and disposed of properly.

**Concrete, Grout & Mortar Application**



- Store concrete, grout, and mortar away from storm drains or waterways, and prevent materials that have not cured from contacting pavement runoff.
- Walk on concrete equipment/trucks when applying seal coat, seal coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess emulsion gravel or seal. Do NOT sweep or wash it into gutters. For concrete basins and dispose of as regular concrete.
- When handling spread aggregate, prevent washwater from entering storm drains. Break up spills that occur on drains, hose washwater into dirt areas, or drain into a bonded surface to be pumped and disposed of properly.

**Painting & Paint Removal**



- Store concrete, grout, and mortar away from storm drains or waterways, and prevent materials that have not cured from contacting pavement runoff.
- Walk on concrete equipment/trucks when applying seal coat, seal coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess emulsion gravel or seal. Do NOT sweep or wash it into gutters. For concrete basins and dispose of as regular concrete.
- When handling spread aggregate, prevent washwater from entering storm drains. Break up spills that occur on drains, hose washwater into dirt areas, or drain into a bonded surface to be pumped and disposed of properly.

- Painting Cleanup and Removal**
- Never clean brushes or reuse paint containers into a street, gutter, storm drain, or stream.
  - For water-based paints, paint out brushes to the extent possible, and store them in a drum that goes to the sanitary sewer. Never pour paint down a storm drain.
  - For oil-based paints, paint out brushes to the extent possible, clean with thinner or solvent in a proper container. Filter and reuse thinner and solvent. Dispose of excess liquids as hazardous waste.
  - Paint chips and dust from such hazardous dry sweeping and seal blasting may be swept up or collected by heavy duty clothes and disposed of as trash.
  - Chemical paint stripping solvents and chips and dust from routine paints or paints containing lead, mercury, or other metals must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

**De-watering**



- Discharge of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, use de-watering discharge to stormwater drains or nearby streets. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Direct run-on water from effluent away from all denuded areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a storm gutter or storm drain. Filter water through a basin, tank, or sediment trap that is required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Potential groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Landscaping**



- Protect stockpiled landscaping materials from wind and rain by storing them under tarp all year-round.
- Check bagged material on pallets and under cover.
- Reapply application of any available landscape material within 2 days before a stormwater event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

**PROJECT**

**ADDITION AND  
REMODELING**

**ADDRESS**

**1115 ALLEN WAY  
CAMPBELL  
CA 95008**

**CLIENT**

**MARC GOURVENEK**

**TITLE**

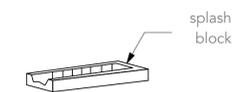
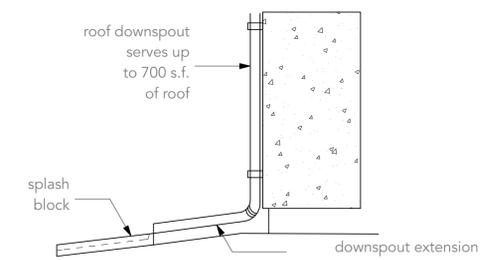
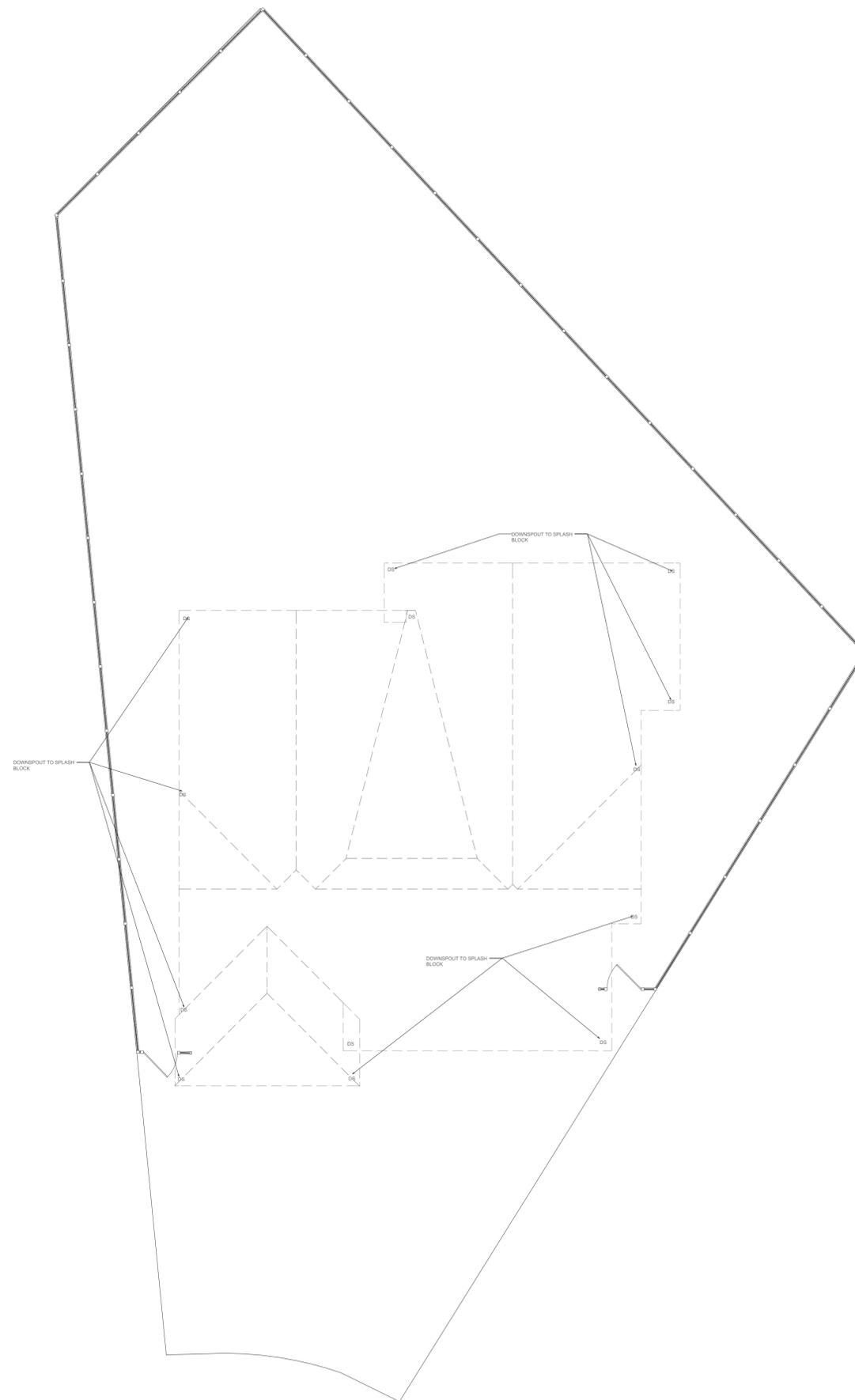
**DRAINAGE PLAN**

**DATE**

**8/13/24**

**SCALE**

**1/8" = 1'**



**D** TYP. DOWNSPOUT TO SPLASH BLOCK DETAIL  
NO SCALE

**PROJECT**

**ADDITION AND  
REMODELING**

**ADDRESS**

**1115 ALLEN WAY  
CAMPBELL  
CA 95008**

**CLIENT**

**MARC GOURVENEK**

**TITLE**

**EGRESS EXIT  
ANALYSIS**

**DATE**

**8/13/24**

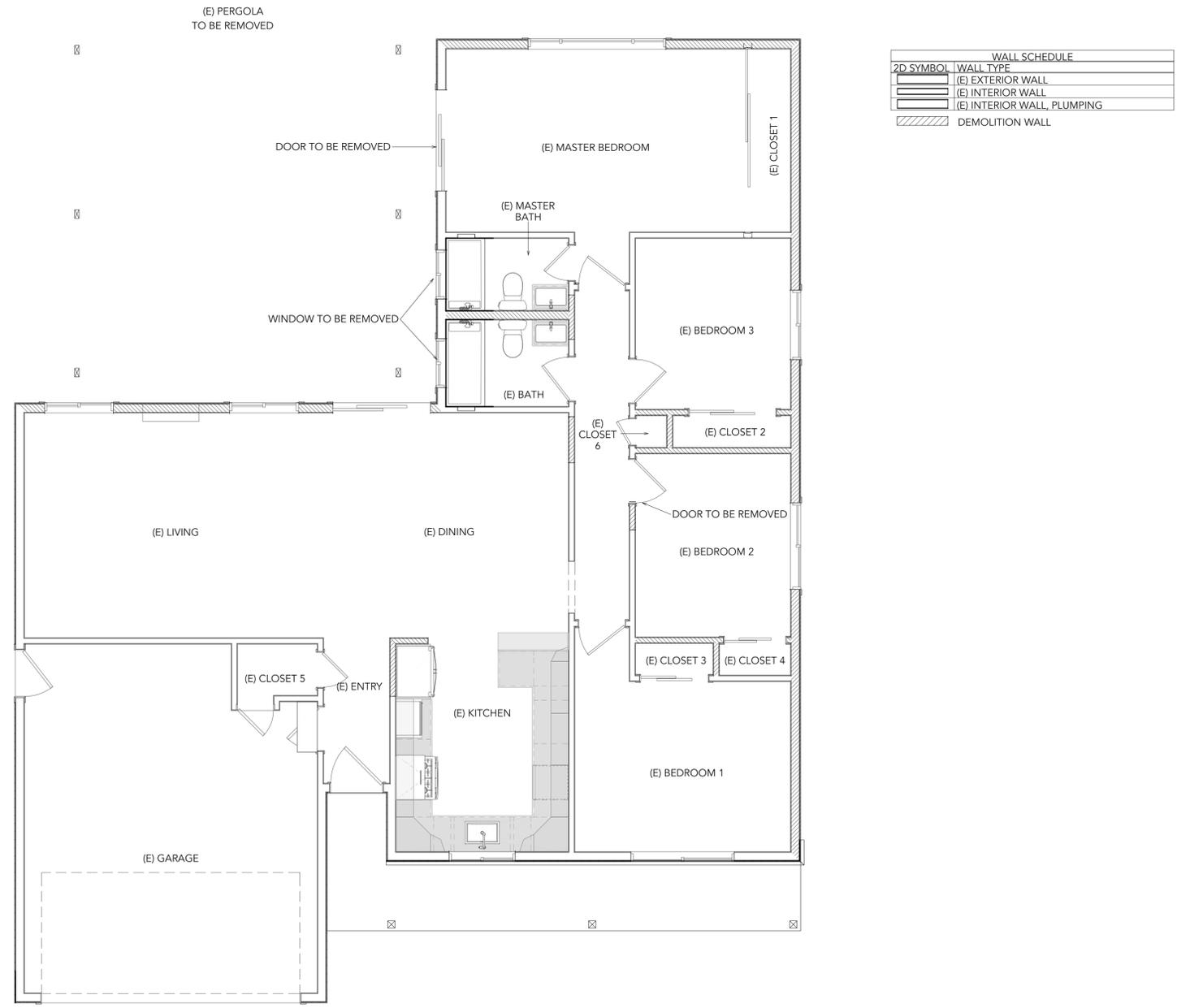
**SCALE**

**1/8" = 1'**

EGRESS PLAN NOTES:  
OCCUPANT LOAD 13 (200 SQ FT GROSS PER OCCUPANT)  
TOTAL 2 EGRESS EXITS, 2 EGRESS WINDOWS  
CEILING HEIGHT >100"  
MIN TRAVEL DISTANCE 98' (EXIT X TO PUBLIC WAY)  
MAX TRAVEL DISTANCE 109' (EXIT X TO PUBLIC WAY)  
LIMITS OF PROTRUDING OBJECTS:  
1. OBJECTS WITH LEADING EDGES WITHIN CANE SWEEP CAN PROTRUDE ANY AMOUNT  
2. OBJECTS ABOVE HEADROOM CLARENCE CAN PROTRUDE ANY AMOUNT  
3. PROTRUDING OBJECTS CANNOT REDUCE THE MINIMUM WIDTH OF ACCESSIBLE ROUTES







**PROJECT**

**ADDITION AND  
REMODELING**

**ADDRESS**

1115 ALLEN WAY  
CAMPBELL  
CA 95008

**CLIENT**

MARC GOURVENEK

**TITLE**

**DEMOLITION  
PLAN**

**DATE**

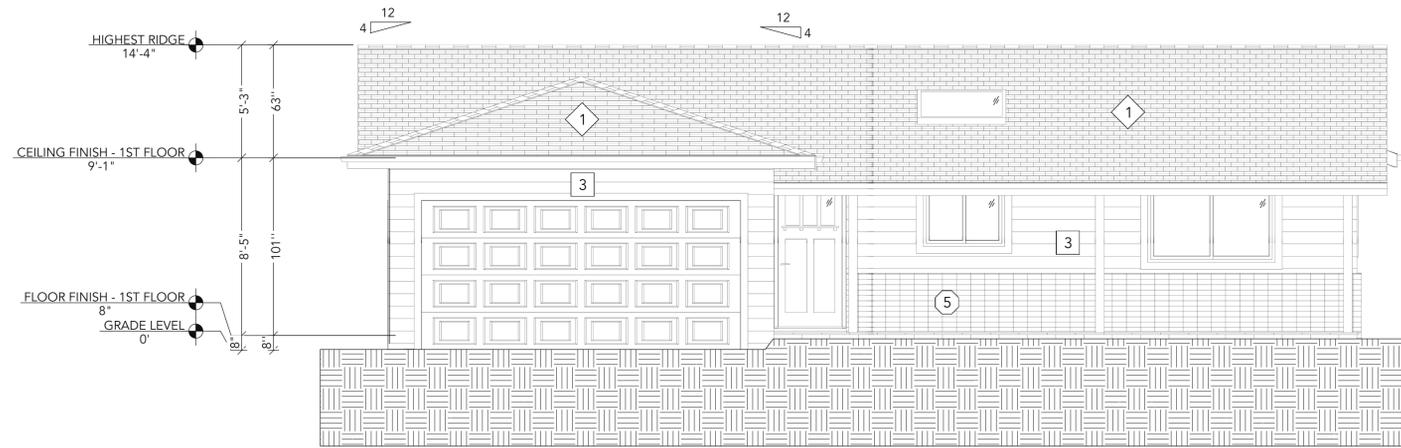
8/13/24

**SCALE**

1/4"=1'



-  (E) ROOFING SHINGLES - DUST
-  (E) STUCCO - WHITE
-  (E) SIDING - WHITE
-  (E) BRICK - RED
-  (E) AGED BRICK - RED



SE SOUTH ELEVATION, AS-BUILT/EXISTING  
1/4"=1'

PROJECT

ADDITION AND  
REMODELING

ADDRESS

1115 ALLEN WAY  
CAMPBELL  
CA 95008

CLIENT

MARC GOURVENEK

TITLE

ELEVATIONS

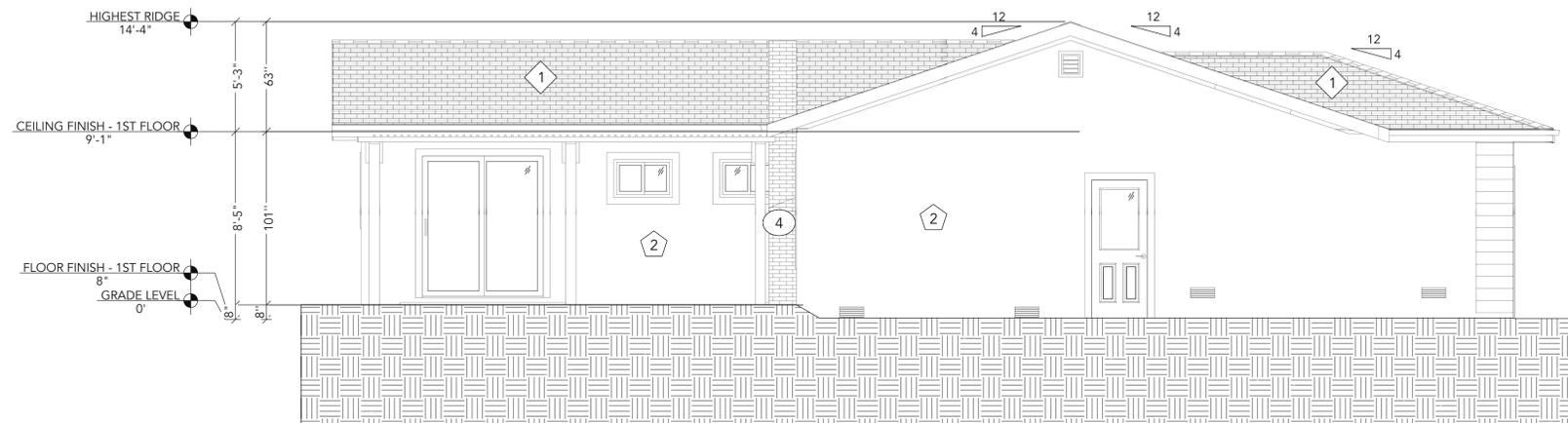
AS-BUILT/EXISTING

DATE

8/13/24

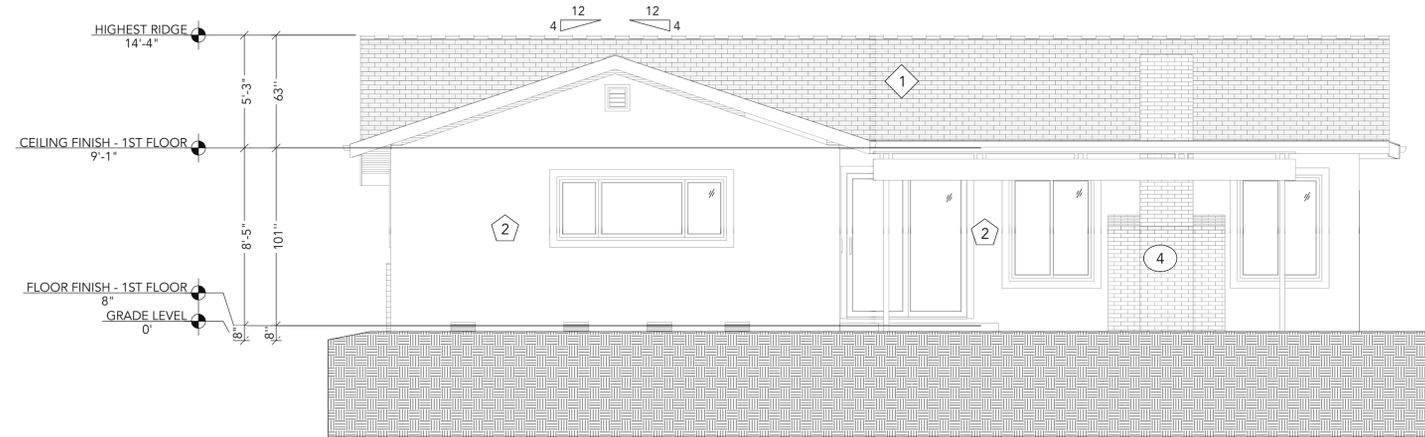
SCALE

1/4"=1'

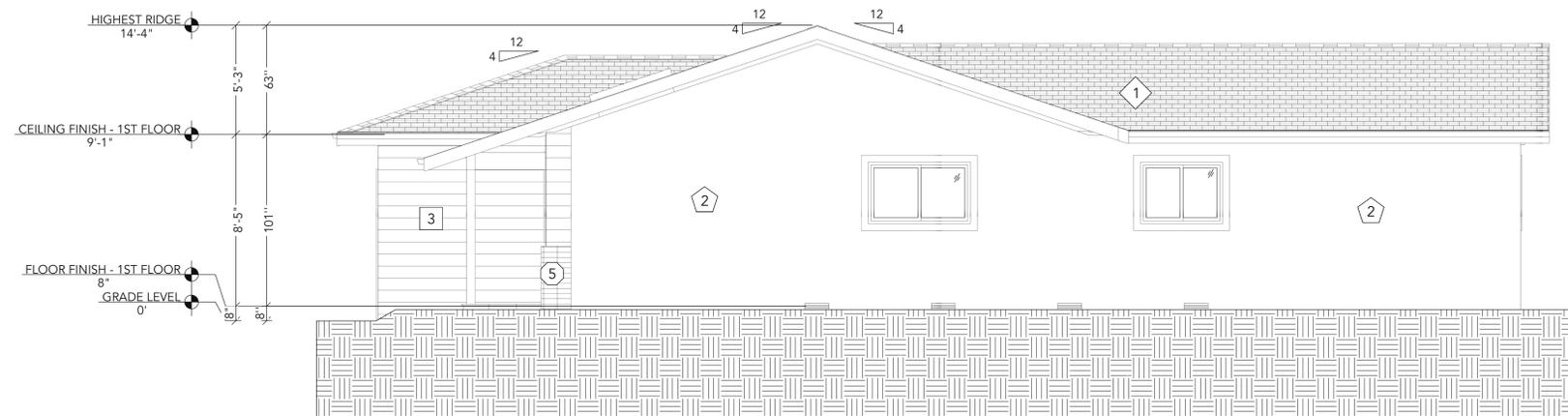


WE WEST ELEVATION, AS-BUILT/EXISTING  
1/4"=1'

-  (E) ROOFING SHINGLES - DUST
-  (E) STUCCO - WHITE
-  (E) SIDING - WHITE
-  (E) BRICK - RED
-  (E) AGED BRICK - RED



NE NORTH ELEVATION, AS-BUILT/EXISTING  
1/4"=1'



EE EAST ELEVATION, AS-BUILT/EXISTING  
1/4"=1'



PROJECT

ADDITION AND  
REMODELING

ADDRESS

1115 ALLEN WAY  
CAMPBELL  
CA 95008

CLIENT

MARC GOURVENEK

TITLE

ELEVATIONS

AS-BUILT/EXISTING

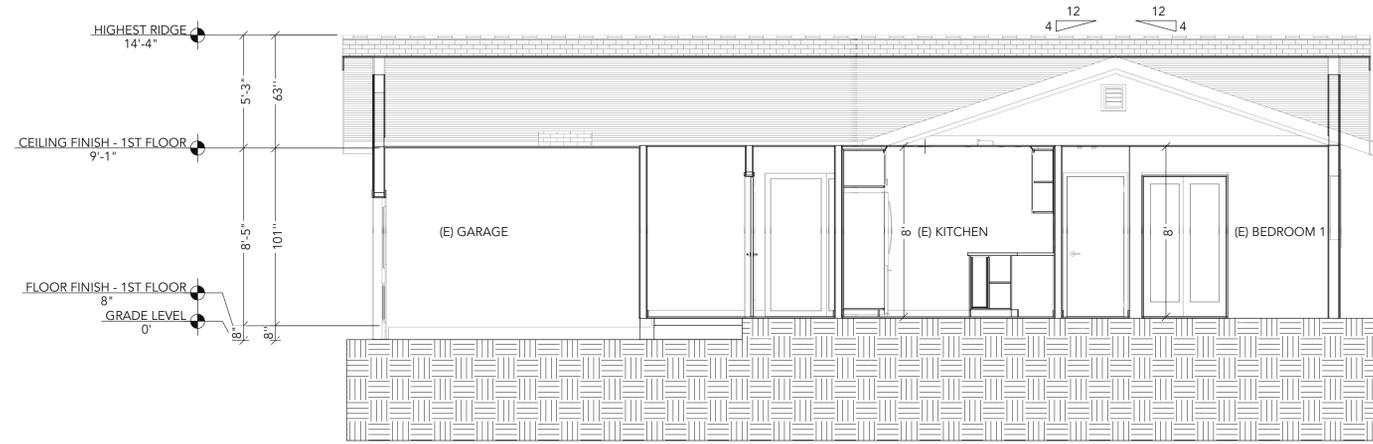
DATE

8/13/24

SCALE

1/4"=1'

**A108**



CS1 CROSS SECTION 1, AS-BUILT/EXISTING  
1/4"=1'



PROJECT

ADDITION AND  
REMODELING

ADDRESS

1115 ALLEN WAY  
CAMPBELL  
CA 95008

CLIENT

MARC GOURVENEK

TITLE

CROSS  
SECTIONS

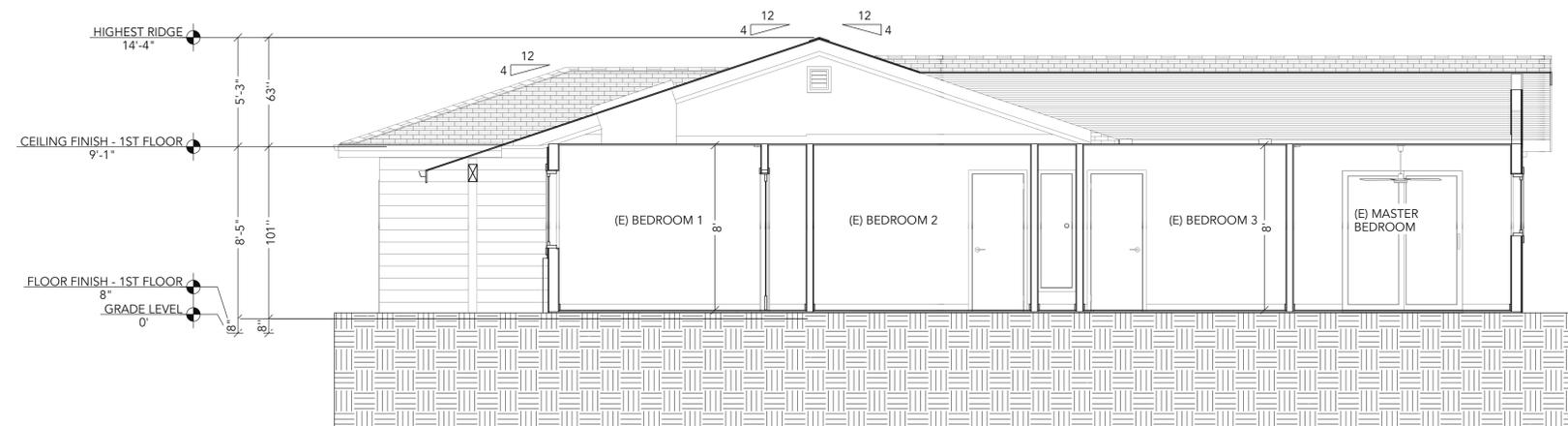
AS-BUILT/EXISTING

DATE

8/13/24

SCALE

1/4"=1'



CS2 CROSS SECTION 2, AS-BUILT/EXISTING  
1/4"=1'



PROJECT

ADDITION AND  
REMODELING

ADDRESS

1115 ALLEN WAY  
CAMPBELL  
CA 95008

CLIENT

MARC GOURVENEK

TITLE

ROOF PLAN

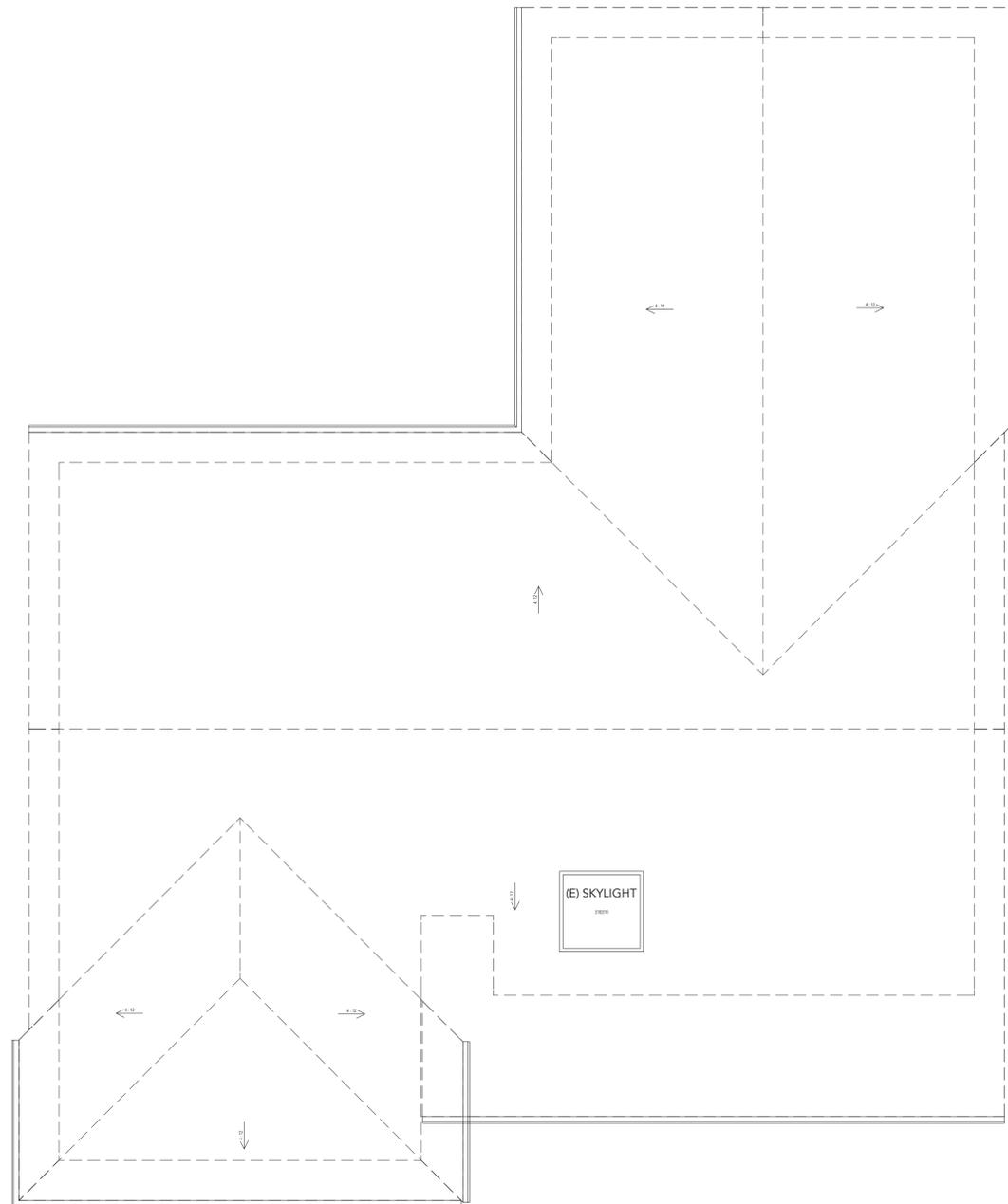
AS-BUILT/EXISTING

DATE

8/13/24

SCALE

1/4"=1'



**A110**

**PROJECT**

**ADDITION AND  
REMODELING**

**ADDRESS**

**1115 ALLEN WAY  
CAMPBELL  
CA 95008**

**CLIENT**

**MARC GOURVENEC**

**TITLE**

**FLOOR PLAN**

**PROPOSED**

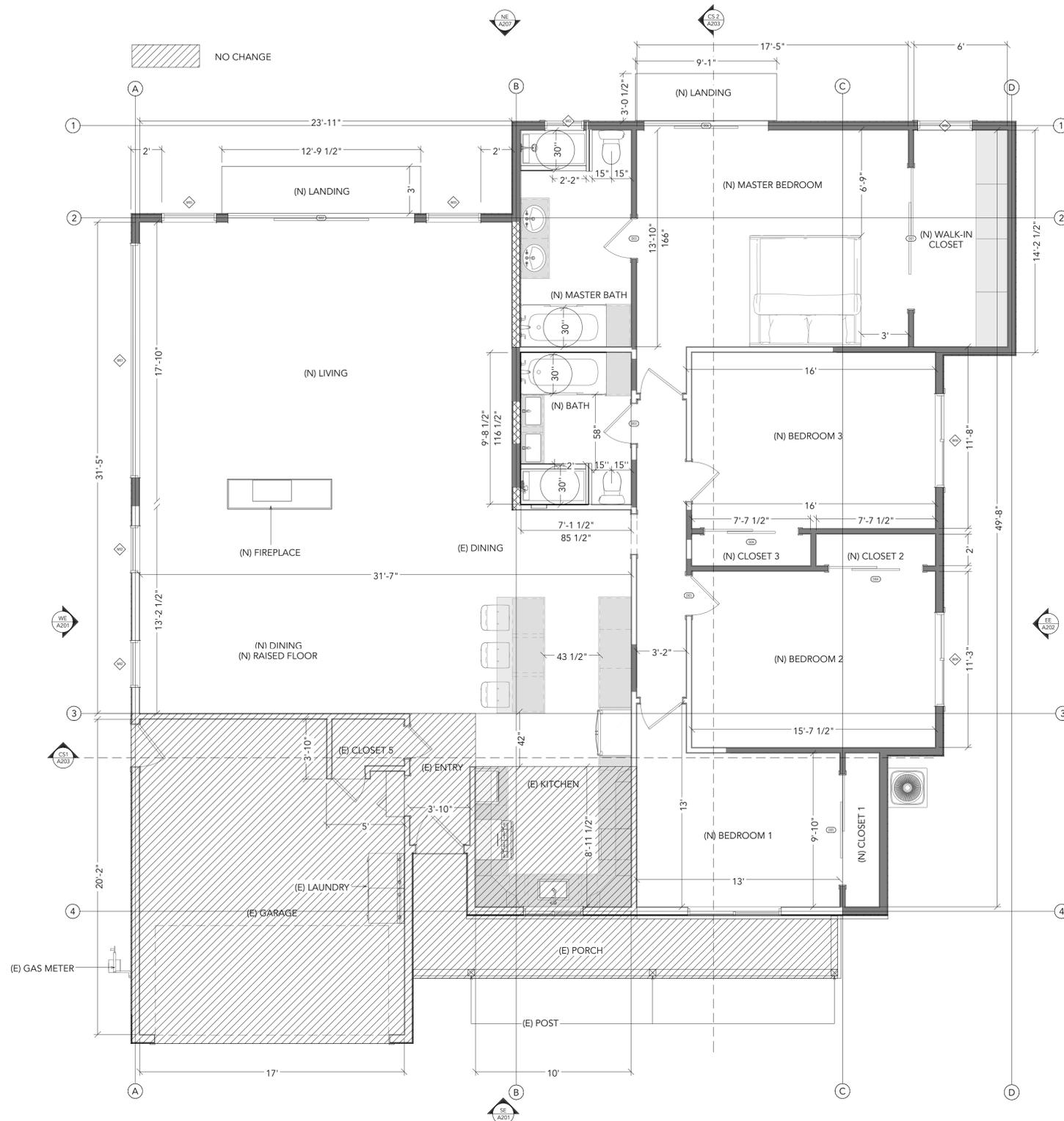
**DATE**

**8/13/24**

**SCALE**

**1/4"=1'**

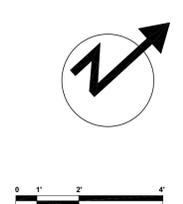
PLAN GENERAL NOTES:  
 1. NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT PER R311.2 R311.2.  
 2. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT), PER CRC R311.3.  
 3. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.  
 4. TEMPERED GLASS SHOULD BE USED IN HAZARDOUS LOCATIONS, INCLUDING BUT NOT LIMITED TO GLAZING IN DOORS, GLAZING WITHIN 24" FROM DOOR, GLAZING WITHIN 36" OF WALKING SURFACE, GLAZING LARGER THAN 9 SF WITH BOTTOM EDGE LESS THAN 18" AFF, GLAZING IN GUARDS AND RAILINGS, GLAZING IN WET SURFACE, GLAZING NEAR STAIRS OR RAMPS, SKYLIGHT, OR SLOPED GLAZING PER CRC R308.4.  
 5. HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.  
 6. SHOWER DOOR TO BE 22" MINIMUM. SHOWER DOOR SHALL OPEN SO AS TO MAINTAIN A 22" MINIMUM UNOBSTRUCTED OPENING FOR EGRESS PER CPC 408.5.  
 7. SHOWER CURB: SHOWERS ARE REQUIRED TO HAVE A MINIMUM 2" CURB PER CPC 408.5. DIMENSION THE CURB ON THE PLANS OR ELEVATION TO SHOW COMPLIANCE.  
 CALGREEN NOTES:  
 1. EXTERIOR DOOR TO BE CAULKED BETWEEN THE DOOR AND THE BUILDING AND BE WEATHER-STRIPPED PER CEC 110.6(B).  
 2. ALL INSTALLED LUMINAIRES TO BE HIGH-EFFICACY IN ACCORDANCE WITH CENERGYC TABLE 150.0-A. CENERGYC 150(K)(1)(A).  
 3. LUMINAIRES THAT ARE NOT CONTROLLED BY OCCUPANCY OR VACANCY SENSORS TO HAVE DIMMING CONTROLS. CENERGYC 150.0(K)(2)(J).



WALL SCHEDULE	
2D SYMBOL	WALL TYPE
[Symbol]	(E) EXTERIOR WALL
[Symbol]	(E) EXTERIOR WALL, CONVERT TO INTERIOR
[Symbol]	(N) EXTERIOR WALL
[Symbol]	(E) INTERIOR WALL
[Symbol]	(N) INTERIOR WALL

(N) DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
DD1	1	1	108"	80"	SLIDER-PANEL	
DD2	1	1	144"	96"	EXT. SLIDER-GLASS PANEL	YES
DD3	3	1	30"	80"	HINGED-DOOR P01	
DD4	2	1	72"	80"	SLIDER-PANEL	
DD5	1	1	84"	80"	SLIDER-PANEL	
DD6	1	1	96"	82"	EXT. SLIDER-GLASS PANEL	YES

(N) WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
WW1	1	1	180"	24"	FIXED GLASS	YES
WW2	2	1	36"	94"	SINGLE AWNING	YES
WW3	1	1	30"	24"	RIGHT SLIDING	
WW4	2	1	72"	60"	YES	RIGHT SLIDING
WW5	2	1	42"	92"	FIXED GLASS	YES
WW6	1	1	42"	24"	RIGHT SLIDING	



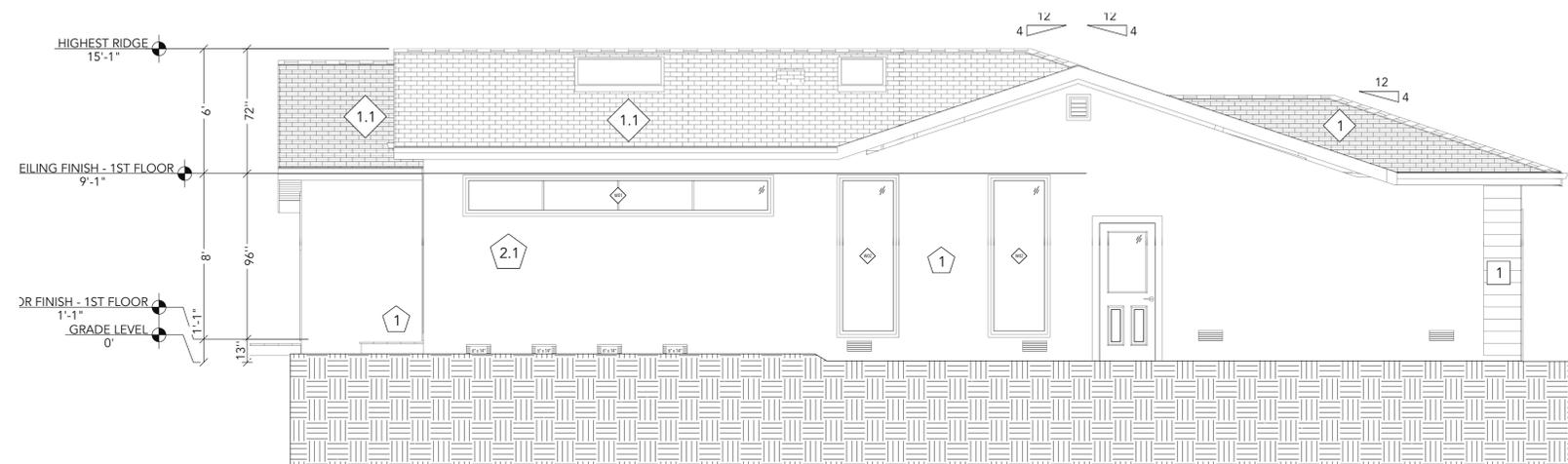
-  1 (E) ROOFING SHINGLES - DUST
-  1.1 (N) ROOFING SHINGLES - DUST TO MATCH
-  2 (E) STUCCO - WHITE
-  2.1 (N) STUCCO - WHITE TO MATCH
-  3 (E) SIDING - WHITE
-  3.1 (N) SIDING - WHITE TO MATCH
-  4 (E) AGED BRICK - RED
-  4.1 (N) AGED BRICK - RED TO MATCH

ELEVATION NOTES  
 1. EXTERIOR STUCCO TO HAVE TWO LAYERS OF GRADE 'D' BUILDING PAPER OVER WOOD BASE SHEETING WITH 3/2" WEEP SCREED MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS PER CRC 703.6.2.1.  
 2. STUCCO TO BE APPLIED WITH A 3 COAT APPLICATION OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.

UNDERLAYMENT:  
 - ROOFING FELT PAPER  
 - STANDARD BLACK SIDING/STUCCO PAPER



SE SOUTH ELEVATION, PROPOSED  
1/4"=1'



WE WEST ELEVATION, PROPOSED  
1/4"=1'

PROJECT

ADDITION AND  
REMODELING

ADDRESS

1115 ALLEN WAY  
CAMPBELL  
CA 95008

CLIENT

MARC GOURVENEK

TITLE

ELEVATIONS

PROPOSED

DATE

8/13/24

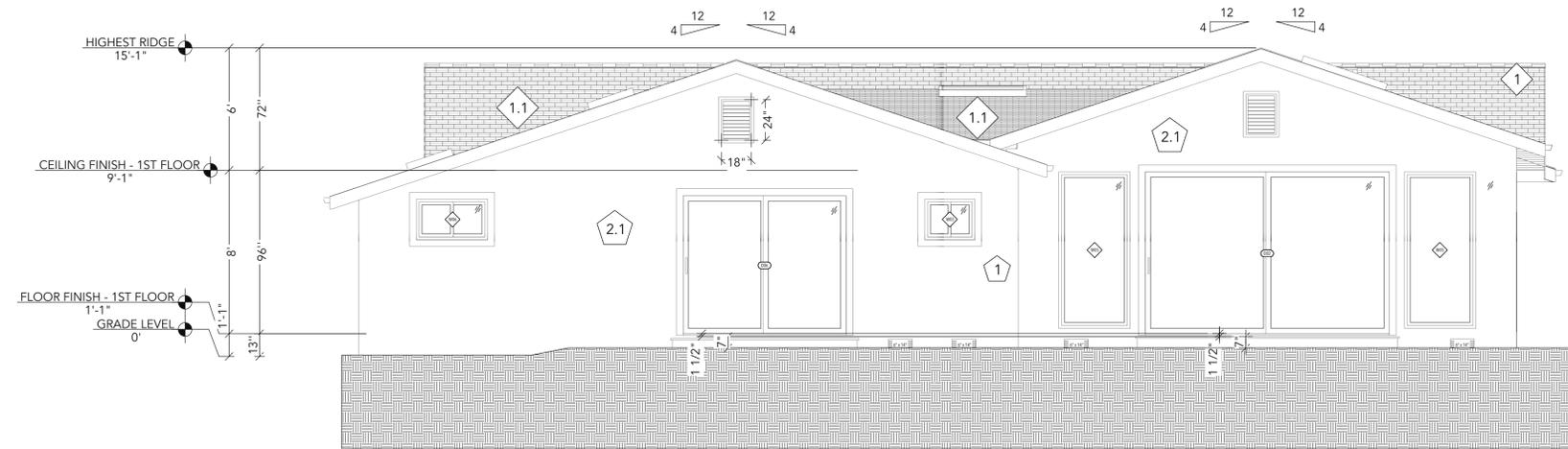
SCALE

1/4"=1'

-  1 (E) ROOFING SHINGLES - DUST
-  1.1 (N) ROOFING SHINGLES - DUST TO MATCH
-  2 (E) STUCCO - WHITE
-  2.1 (N) STUCCO - WHITE TO MATCH
-  3 (E) SIDING - WHITE
-  4 (E) AGED BRICK - RED
-  4.1 (N) AGED BRICK - RED TO MATCH

ELEVATION NOTES  
 1. EXTERIOR STUCCO TO HAVE TWO LAYERS OF GRADE 'D' BUILDING PAPER OVER WOOD BASE SHEETING WITH 3/2" WEEP SCREED MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS PER CRC 703.6.2.1.  
 2. STUCCO TO BE APPLIED WITH A 3 COAT APPLICATION OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.

UNDERLAYMENT:  
 - ROOFING FELT PAPER  
 - STANDARD BLACK SIDING PAPER



NE NORTH ELEVATION, PROPOSED  
1/4" = 1'

PROJECT

ADDITION AND REMODELING

ADDRESS

1115 ALLEN WAY  
 CAMPBELL  
 CA 95008

CLIENT

MARC GOURVENEK

TITLE

ELEVATIONS

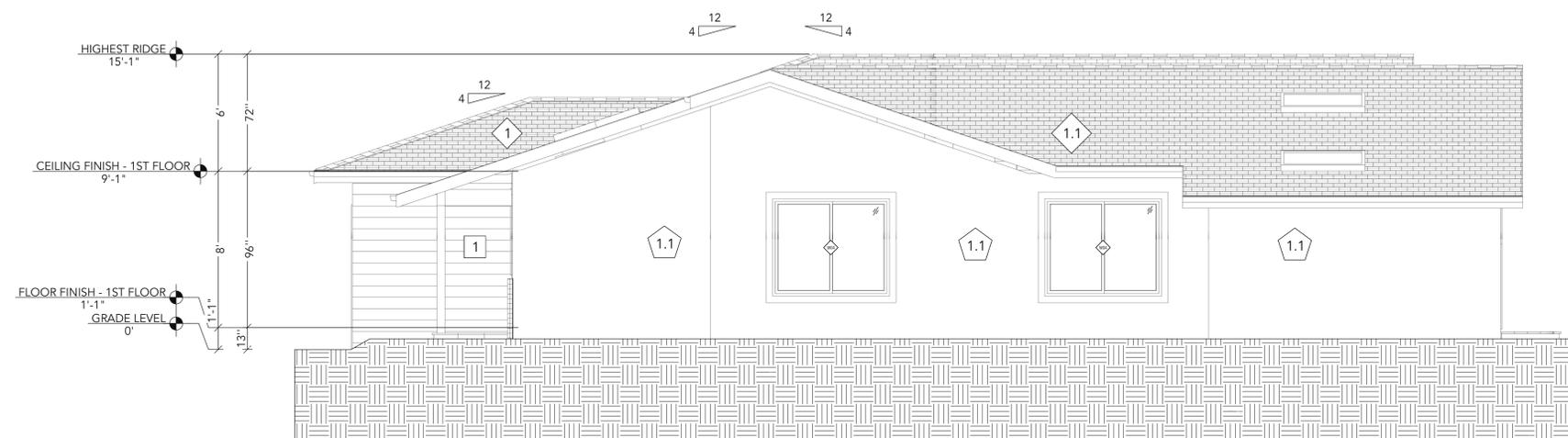
PROPOSED

DATE

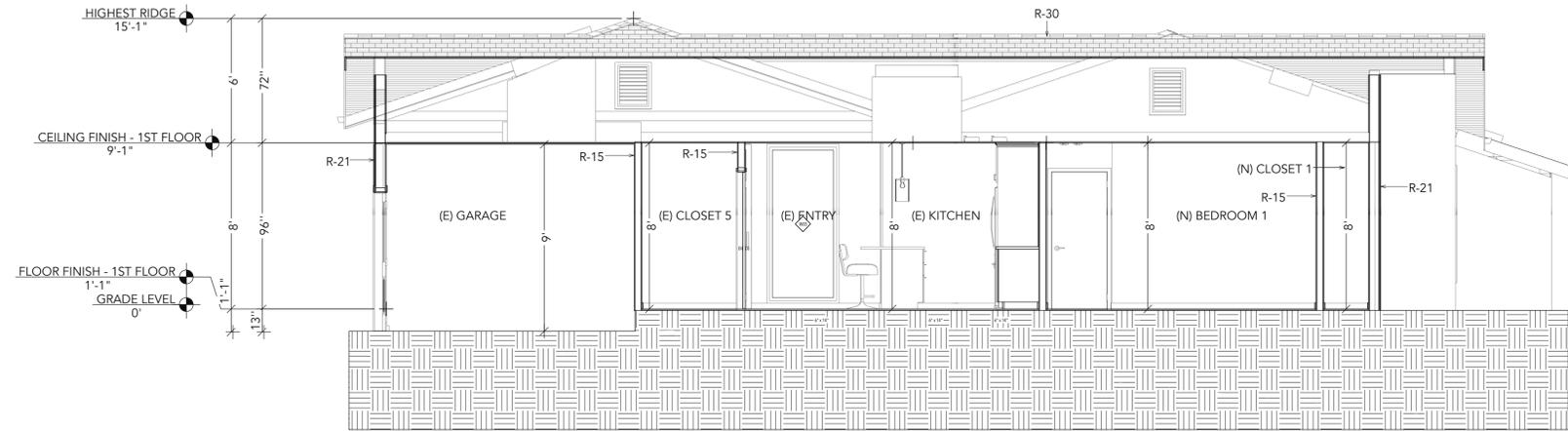
8/13/24

SCALE

1/4" = 1'



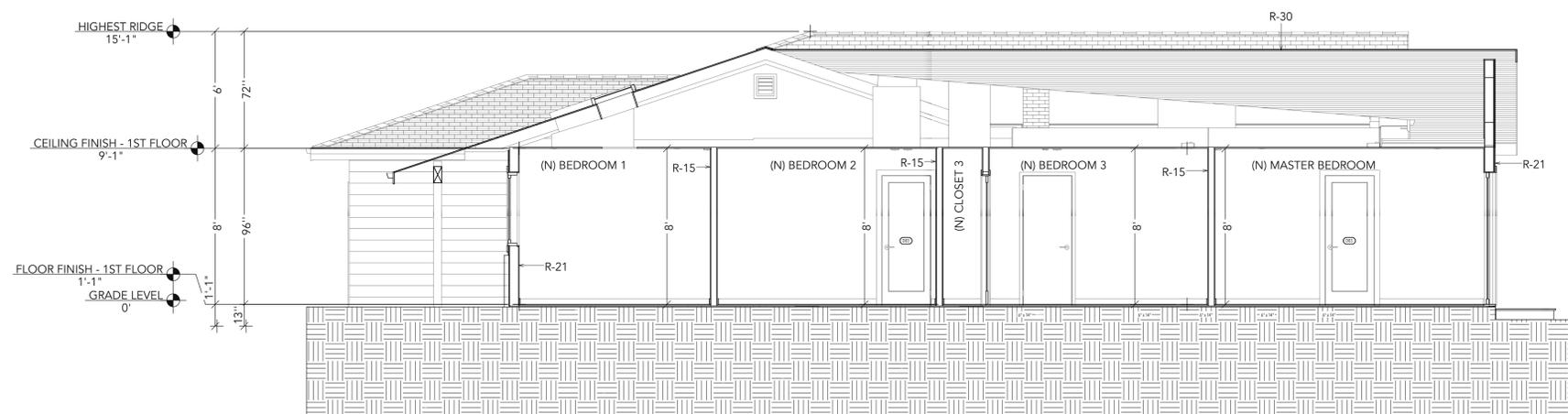
EE EAST ELEVATION, PROPOSED  
1/4" = 1'



FOUNDATION PER STRUCTURAL



CS1 CROSS SECTION 1, PROPOSED  
1/4"=1'



FOUNDATION PER STRUCTURAL



CS2 CROSS SECTION 2, PROPOSED  
1/4"=1'

**PROJECT**

**ADDITION AND  
REMODELING**

**ADDRESS**

1115 ALLEN WAY  
CAMPBELL  
CA 95008

**CLIENT**

MARC GOURVENEK

**TITLE**

**CROSS  
SECTIONS**

**PROPOSED**

**DATE**

8/13/24

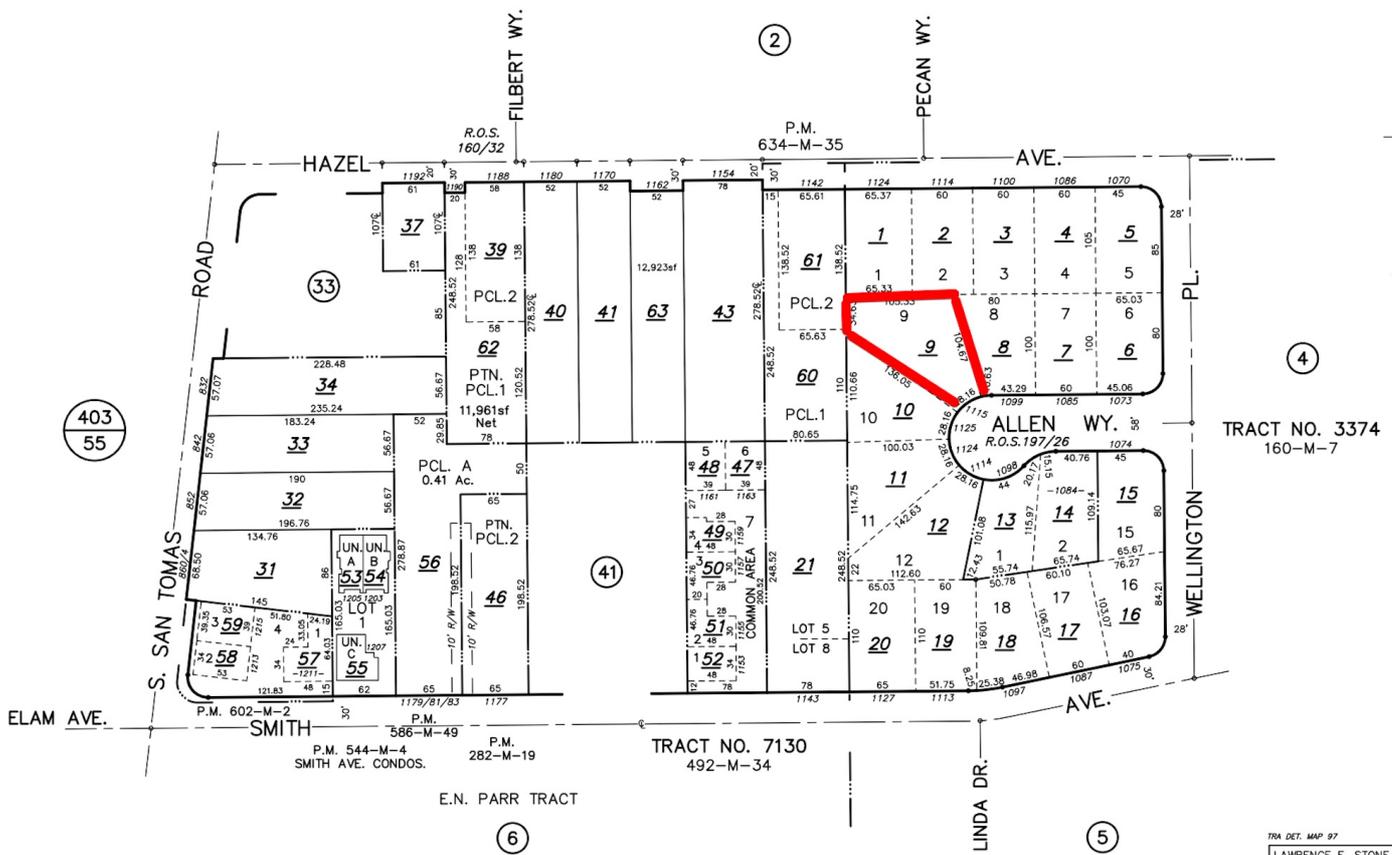
**SCALE**

1/4"=1'

# Area plan with lots

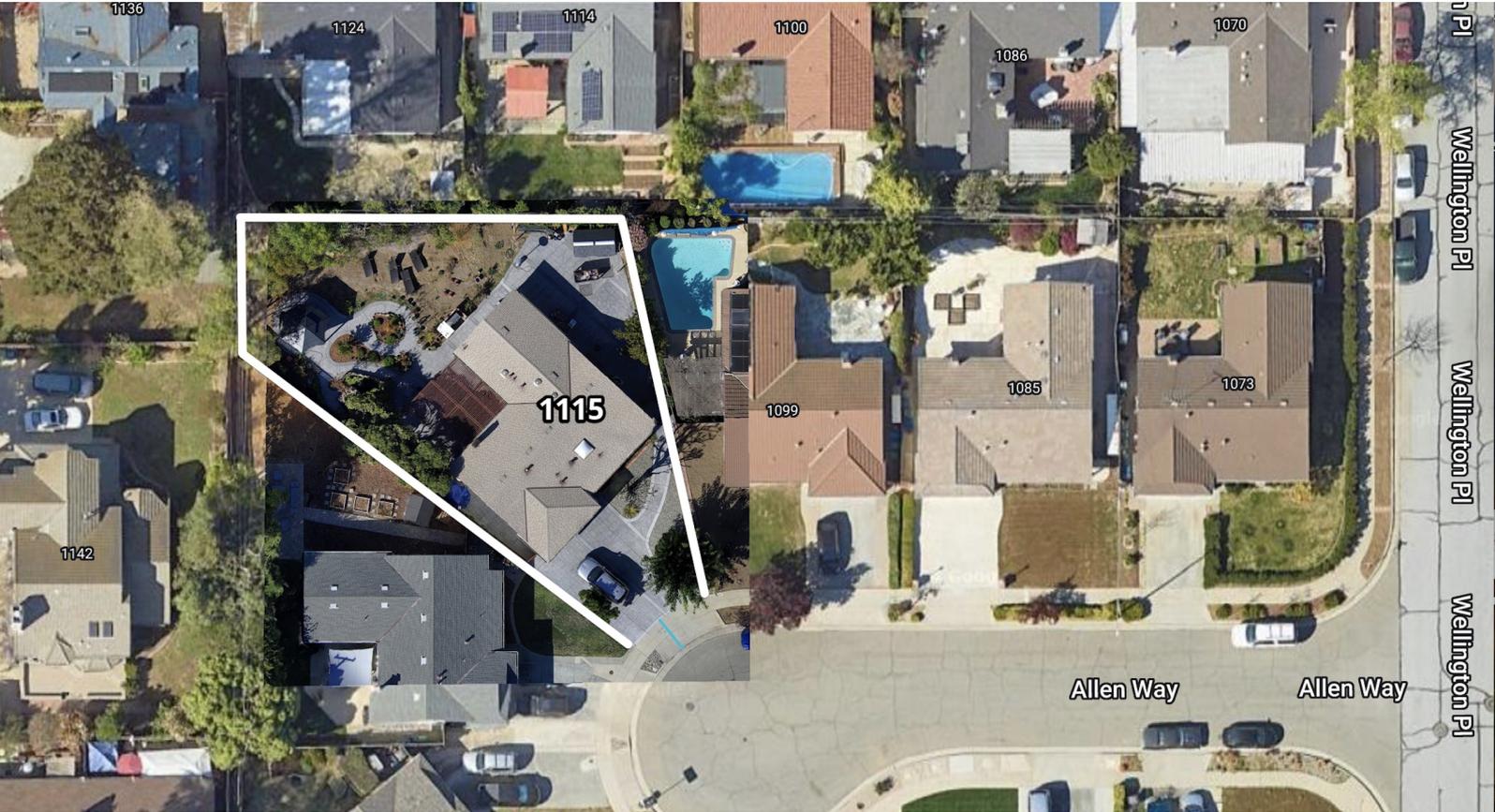
OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA

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TRA DET. MAP 97  
LAWRENCE E. STONE - ASSESSOR  
Cadastral map for assessment purposes only.  
Compiled under R. & T. Code, Sec. 327.  
Effective Roll Year 2023-2024

# Drone view of the house



# Front view of the house



## Front view of the house 2



## Backyard view of the house



## Backyard view of the house



## View from backyard - Left



# View from backyard - Right

Water heater



Gas meter



73.92 in

