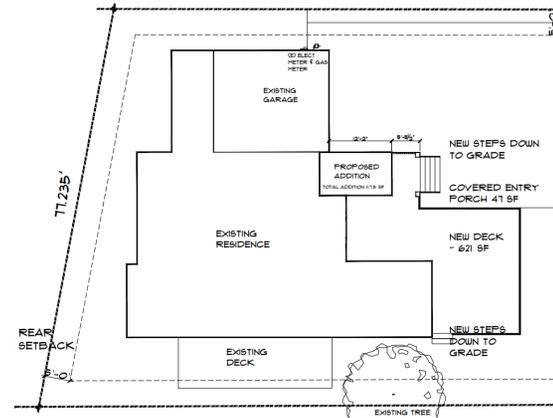


Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

September 12, 2024

The Community Development Director will be rendering a decision on the following project.

Project Address: 1273 Peggy Ave

Zoning | Area Plan: R-1-10 | STANP

Neighborhood Association(s): N/A

File No: PLN-2024-100

APN: 406-16-067

Applicant: Raj Nolambur

Property Owner: Raj Nolambur

Application Type: Administrative Site and Architectural Review

Project Planner: Ishwarya, Planning Technician

Email Contact: ishwarya@campbellca.gov

Phone Contact: (408) 866-2163

Project Description:

To allow an addition of approximately 100 square feet to an existing single-family dwelling.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **September 12, 2024**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **September 22, 2024**. The director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



GENERAL PROJECT NOTES

THIS WORK SHALL COMPLY WITH ALL 2022 CBC, CMC, CFC, CEC, CAL ENERGY CODE, AND CAL RESIDENTIAL CODE, CAL GREEN BLDG STDS CODE AND ALL OTHER REGULATIONS AS AMENDED TO DATES APPROVED BY THE CITY OF CAMPBELL.

- A. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO, AND DURING, ALL PHASES OF WORK.
- B. IF THE CONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF THE CONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. IF ANY SUBCONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF ANY SUBCONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THAT SUBCONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR, WHO SHALL THEN CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE DIRECTING THE SUBCONTRACTOR TO PROCEED WITH THAT PORTION OF THE WORK.
- C. NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE TO AND/OR FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT OR THE OWNER.
- D. ALL MATERIALS USED SHALL BE EQUAL TO, OR EXCEED, ALL APPLICABLE STATE AND LOCAL CODES AND REQUIREMENTS.
- E. THE CONTRACTOR SHALL PROMPTLY AND LEGALLY REMOVE ALL ACCUMULATED DEBRIS DAILY, SHALL PROTECT ALL EXPOSED PORTIONS OF THE WORK FROM WEATHER ELEMENTS, SHALL AVOID OVER-LOADING THE STRUCTURE WITH CONSTRUCTION MATERIALS, AND SHALL SECURELY STORE ALL ITEMS TO BE USED FOR AND IN THE CONSTRUCTION OF THE WORK.
- F. ALL GLASS IN HAZARDOUS AREAS (INCLUDING TUBS AND/OR SHOWERS), ALL GLASS WITHIN 18" OF THE FINISHED FLOOR, AND ALL GLASS WITHIN 24" OF AN OPERABLE DOOR SHALL BE SAFETY GLASS, AND SHALL BE PERMANENTLY LABELED AS SUCH. (CBC SECTION 2406.4)
- G. THE CONTRACTOR SHALL MAINTAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE, ALL EXISTING UTILITIES AND CITY SERVICES DURING CONSTRUCTION.
- H. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- I. ALL ELECTRICAL CALCULATIONS AND WIRE SIZES SHALL BE PROVIDED BY A CALIFORNIA-LICENSED ELECTRICAL CONTRACTOR. RECEPTACLE, SWITCH, FIXTURE, AND EQUIPMENT LOCATIONS SHALL BE FOUND ON THE SITE PLAN AND PROPOSED FLOOR PLANS WITHIN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, FIXTURE TYPES, AND EQUIPMENT WITH THE OWNER PRIOR TO PURCHASE AND INSTALLATION.
- J. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- K. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED AS REQUIRED BY CODE AND/OR SOUND CONSTRUCTION PRACTICES.
- L. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING- AND WALL-MOUNTED EQUIPMENT, HARDWARE, FIXTURES, AND ACCESSORIES.
- M. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC. SHALL BE RUN IN CONCEALED SPACES, AND ALL FRAMING SHALL BE ADEQUATELY SIZED TO ACCOMPLISH THIS RESULT WITHOUT CAUSING ANY DEFORMATION IN THE WALL PLANE.
- N. INTERIOR DIMENSIONS ARE SHOWN FROM CENTER OF WALL AND EXTERIOR DIMENSIONS ARE SHOWN FROM FACE OF STUD.
- O. EACH BEDROOM SHALL HAVE ONE EXTERIOR EGRESS-COMPLIANT WINDOW OR DOOR THAT IS OPENABLE FROM THE BEDROOM'S INTERIOR WITHOUT THE USE OF A KEY OR SPECIAL TOOLS, KNOWLEDGE, OR EFFORT.
- P. ALL PRODUCTS LISTED IN THESE DRAWINGS BY ICBO/NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICBO/NER-APPROVED WRITTEN EVALUATION REPORT AND BE APPROVED AND LISTED BY OTHER NATIONALLY-RECOGNIZED TESTING AGENCIES.
- Q. EXTERIOR OPENABLE WINDOWS AND DOOR SHALL BE WEATHERSTRIPPED. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, AND/OR WEATHERSTRIPPED TO LIMIT, OR ELIMINATE, AIR LEAKAGE.
- R. SEE STRUCTURAL SHEETS FOR PROJECT CONSTRUCTION NOTES AND DETAILS.
- S. SEE ATTACHED TITLE 24 FORMS AND/OR CALCULATIONS FOR PROJECT ENERGY EFFICIENCY REQUIREMENTS.

CODE ABBREVIATIONS:

"CBC" - CALIFORNIA BUILDING CODE 2022
 "CRC" - CALIFORNIA RESIDENTIAL CODE 2022
 "CEC" - CALIFORNIA ELECTRICAL CODE 2022
 "CPC" - CALIFORNIA PLUMBING CODE 2022
 "CMC" - CALIFORNIA MECHANICAL CODE 2022
 "CENC" - CALIFORNIA ENERGY CODE 2022
 "CALGREEN" - CALIFORNIA GREEN BUILDING STANDARDS CODE

SCOPE OF WORK

- ADDITION ON FIRST FLOOR CONSISTING OF AN ENLARGED ENTRY - 117.5 SF
- NEW COVERED ENTRY PORCH
- NEW ENTRY STAIRCASE
- NEW FRONT DECK - 621 SF
- RELOCATING THE KITCHEN WITH THE EXISTING WALLS OF RESIDENCE - TOTAL REMODELED AREA - 610 SF
- CREATION OF A GREAT ROOM

PROJECT CONSULTANTS

ENERGY COMPLIANCE **STRUCTURAL ENGINEERING**

NRG COMPLIANCE INC. AMS DESIGN LLP
 PO BOX 3111 ARMIN MASROOR S.E.
 SANTA ROSA, CA 95402 415 254 2634
 TEL 707-231-6951 ARMIN@AMSDESIGNLLP.COM

PROJECT INFORMATION

APN - 46-16-051
 OWNER: RAJ NOLAMBUR & USHA GULLAPALI
 1213 PEGGY AVE
 CAMPBELL, CA
 ZONING - R1-10
 USE - RESIDENTIAL
 SIZE OF LOT = .51 AC (APPROX 22216 SF)
 AVERAGE SITE SLOPE = 2%
 OCCUPANCY R3/U
 TYPE OF CONSTRUCTION V-B
 2 STORIES
 BUILDING HGT N/A

SHEET INDEX

SHEET NUMBER	TITLE	SHEET NUMBER	TITLE
A1	COVER SHEET	S1	GENERAL NOTES
BMP1	BEST MANAGEMENT PRACTICES	S2	FOUNDATION PLAN
A2	SITE PLAN	S3	CEILING PLAN
A3	EXISTING FLOOR PLANS	S4	ROOF PLAN
A4	DEMOLITION PLAN	SF1	FOUNDATION DETAILS
A5	PROPOSED FIRST FLOOR PLAN	SD1	STRUCTURAL DETAILS
A6	SECOND FLR PLAN & EXT ELEVATIONS	SD2	STRUCTURAL DETAILS
A7	ROOF PLAN		
A8	SECTIONS		
A9	DETAILS		
A10	DECK DETAILS		
E1	ELECTRICAL		
CG1	CALGREEN		
CG2	CALGREEN		
T241	ENERGY COMPLIANCE		
T242	ENERGY COMPLIANCE		

FIRE DEPT REQUIREMENTS

2. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION 91-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33

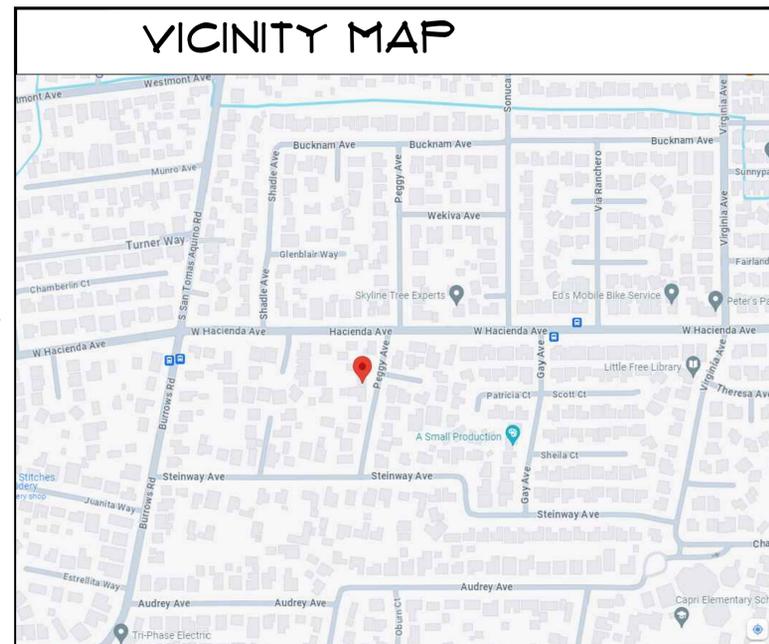
3. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.1

4. NEW ADDRESS IDENTIFICATION SHALL APPROVED ILLUMINATED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND & BE ILLUMINATED. THE NUMERALS AND A KIGHT SOURCE SHALL BE CONTAINED WITHIN A SINGLE WEATHER RESISTANT FIXTURE PROVIDING ILLUMINATION OF THE NUMERALS DURING ALL HOURS OF DARKNESS. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" (102MM) HIGH WITH A MINIMUM STROKE OF .5 INCH (12.7MM).

THE BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(B)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINARIES. DOCUMENTATION SHALL BE PROVIDED PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE TOWN.

ABBREVIATIONS AND INDICATIONS

A.B.	ANCHOR BOLT	NTS	NOT TO SCALE		CONCRETE
A/C	ASPHALTIC CONC	NOM	NOMINAL		GRAVEL
ACC.	ACCOUSTIC	O/C	ON CENTER		EARTH
ALUM	ALUMINUM	OPG.	OPENING		GYPSUM BOARD
BLK	BLOCK	LAM PLAS	LAMINATED PLASTIC		INSULATION
C.J.	COLD JOINT	PL GL	PLATE GLASS		METAL
CONC	CONCRETE	PLY	PLYWOOD		MASONRY
CONT	CONTINUOUS	RDWD	REDWOOD		MORTAR, GROUT CEMENT PLASTER
C.I.	CAST IRON	RWL	RAIN WATER LEADER		FINISH WOOD
DF	DOUGLAS FIR	SIM	SIMILAR		ROUGH WOOD
ELEV	ELEVATION	TEMP GL	TEMPERED GLASS		
(E)	EXISTING	T & G	TONGUE AND GROOVE		
EXIST	EXISTING	T.O.C.	TOP OF CURB		
EXT	EXTERIOR	T.O.P.	TOP OF PLATE		
F.E.	FIRE EXTINGUISHER	TYP	TYPICAL		
FIN	FINISH	UN	UNLESS OTHERWISE NOTED		
F.O.C.	FACE OF CONC	VGDF	VERTICAL GRAIN DOUGLAS FIR		
F.O.B.	FACE OF BLOCK				
F.O.S.	FACE OF STUD	W/	WITH		
FDN	FOUNDATION	WC	WATER CLOSET		
FTG	FOOTING	WWF	WELDED WIRE FABRIC		
GALV	GALVANIZED	TH	THRESHOLD		
G.I.	GALVANIZED IRON				
GYP. BD.	GYPSUM BOARD				
H.B.	HOSE BIBB				
INSUL	INSULATION				
INT	INTERIOR				
INV	INVERT				
M.B.	MACHINE BOLT				
M.C.	MEDICINE CHEST				
MIN.	MINIMUM				
MTL	METAL				
N.I.C.	NOT IN CONTRACT				



Steve Benzing Architect

C-17985

12403 FREDERICKSBURG SARATOGA CALIFORNIA

TEL 408 805 1328
 EMAIL STEVE@BENZARCH.COM
 WEBSITE: BENZARCH.COM

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COVER SHEET

ADDITION & ALTERATIONS TO RESIDENCE @ 1213 PEGGY AVE., CAMPBELL, CA FOR:

RAJ NOLAMBUR & USHA GULLAPALI
 1213 PEGGY AVE.
 CAMPBELL, CA
 REVISED:

DATE: 1/22/24
 SCALE: NOTED
 DRAWN BY: SMB
 JOB NO. 2417

SHEET

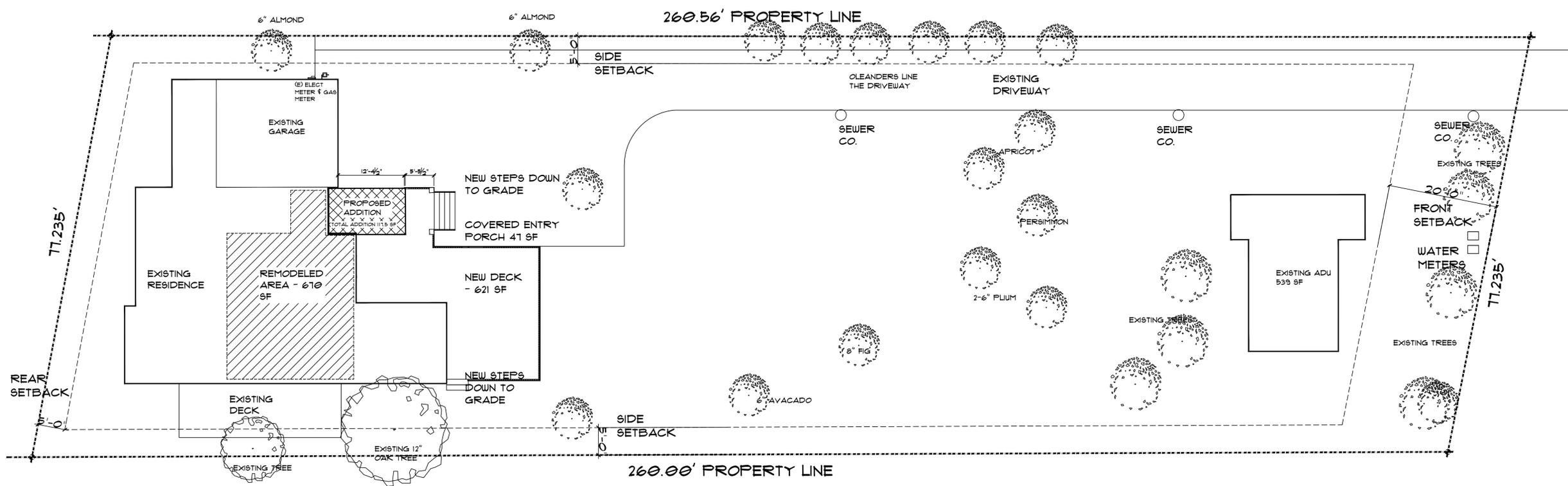
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OF 10 SHEETS

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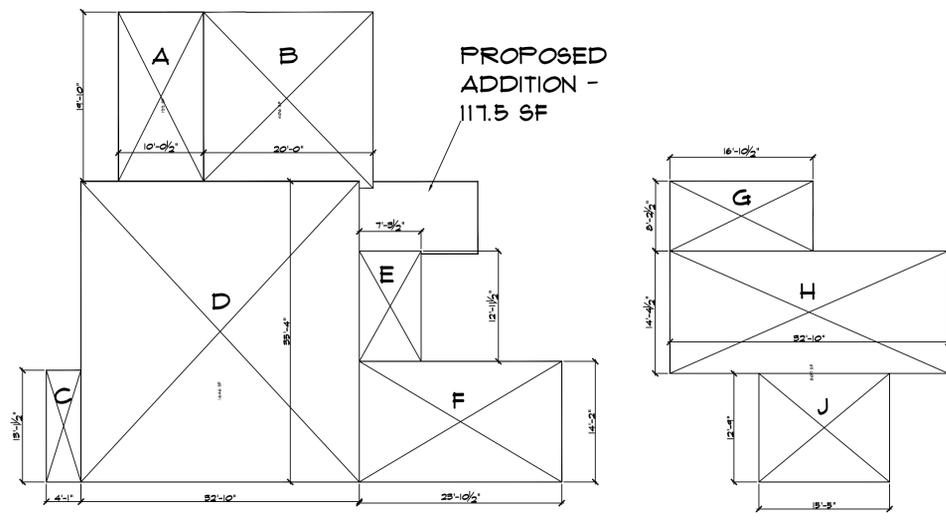
SITE PLAN



PEGGY AVENUE



STREET VIEWS OF PROPERTY- RESIDENCE IN PICTURE IS THE ADU



FLOOR AREA DIAGRAM
A - 10'-0" x 13'-10" = 139
B - 20'-0" x 13'-10" = 406
C - 4'-1" x 13'-1.5" = 53.6
D - 32'-10" x 35'-4" = 1150
E - 7'-3 1/2" x 13'-0" = 94.5
F - 23'-10 1/2" x 14'-2" = 338.2
G - 16'-10 1/2" x 8'-2 1/2" = 138.5
H - 32'-1" x 14'-4 1/2" = 472
J - 15'-5" x 12'-9" = 196.5
TOTAL BOTH FLOORS 3056.3
ADDITION 117.5
TOTAL 3173.8

SITE PLAN

SCALE 1" = 10'-0"
APN - 46-16-051
OWNER: RAJ NOLAMBUR & USHA GULLAPALI
1213 PEGGY AVE
CAMPBELL, CA
ZONING - R1-10
USE - RESIDENTIAL
SIZE OF LOT = .51 AC (APPROX 22216 SF)
AVERAGE SITE SLOPE = 2%
SIZE OF STRUCTURES
MAIN RESIDENCE
RESIDENCE
FIRST FLOOR CONDITIONED - 1646 1763.5
2ND FLOOR - 801 801
TOTAL CONDITIONED - 2453 2570.5
GARAGE & WORKSHOP - 605 605
TOTAL - 3056 3174
FOOTPRINT - 2251 2368.5
EXISTING ADU - 539 SF
TOTAL LOT COVERAGE 2368.5+539 = 2907.5 -13%
FLOOR AREA 3174 +539 = 3713 - 16.7%



ADDITION & ALTERATIONS TO RESIDENCE @ 1213 PEGGY AVE., CAMPBELL, CA FOR:

RAJ NOLAMBUR & USHA GULLAPALI
1213 PEGGY AVE.
CAMPBELL, CA
REVISED:

DATE: 7/22/24
SCALE: NOTED
DRAWN BY: SMB
JOB NO. 2417

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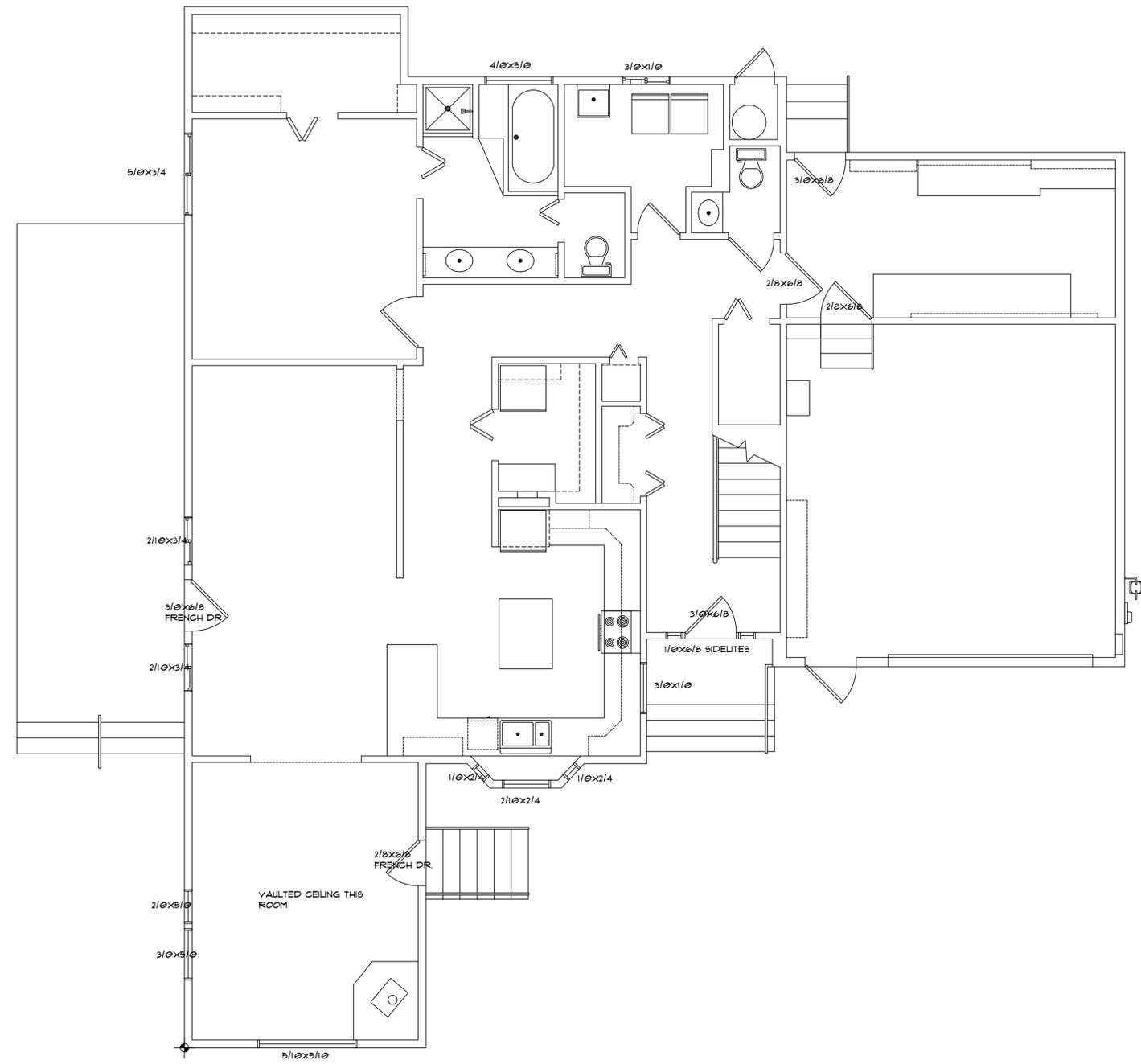
**EXISTING
FLR PLANS**

ADDITION &
ALTERATIONS TO
RESIDENCE @
1273 PEGGY AVE.,
CAMPBELL, CA
FOR:

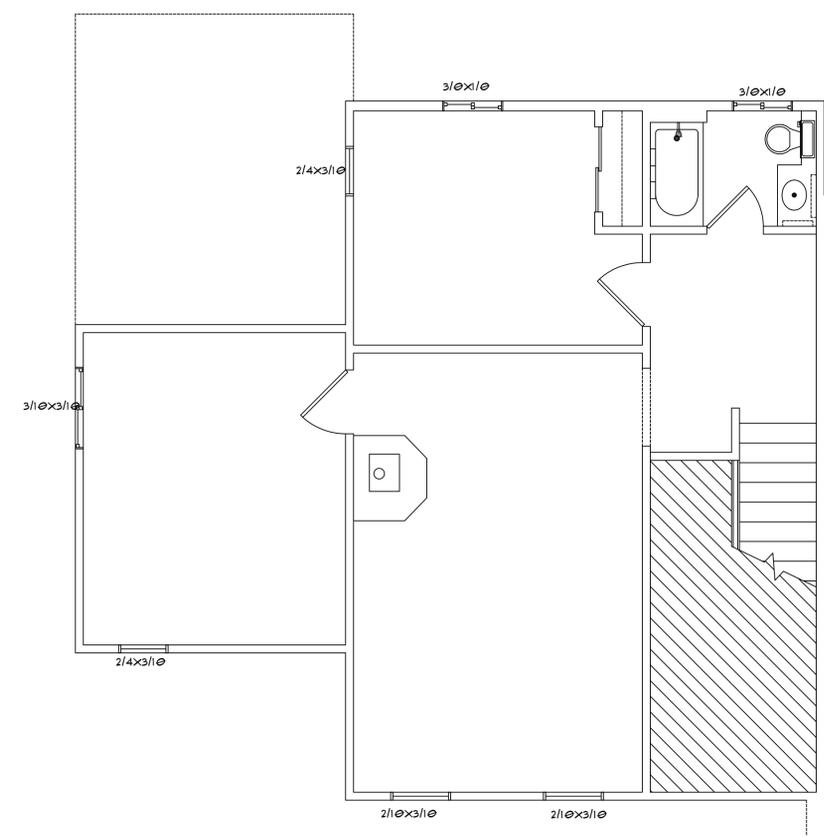
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OF 10 SHTS



EXISTING LOWER FLOOR PLAN



EXISTING UPPER FLOOR PLAN



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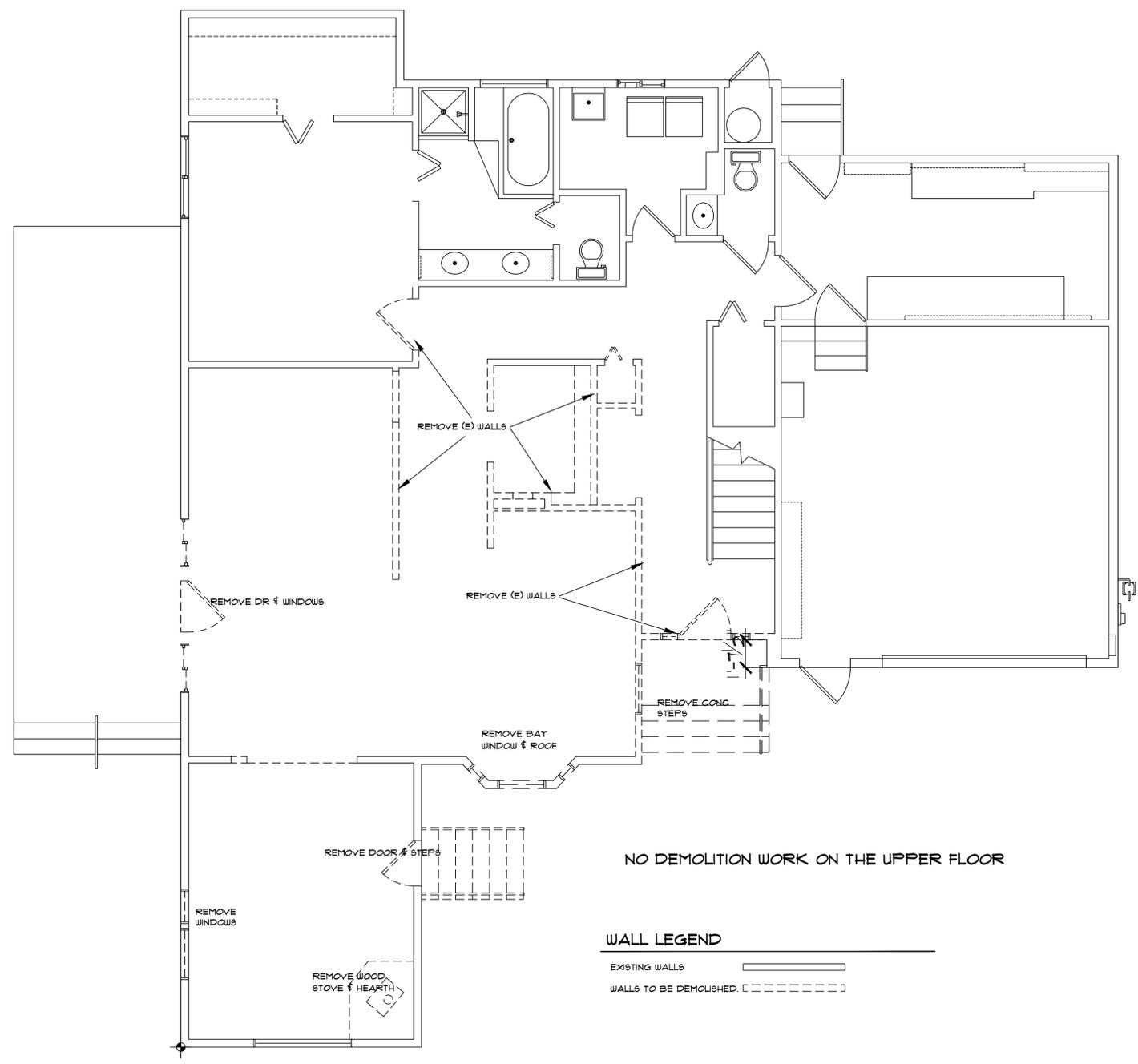
DEMOLITION PLAN

ADDITION &
ALTERATIONS TO
RESIDENCE @
1213 PEGGY AVE.,
CAMPBELL, CA
FOR:

RAJ NOLAMBUR &
USHA GULLAPALI
1213 PEGGY AVE.
CAMPBELL, CA
REVISED:

DATE: 1/22/24
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JOB NO. 2417

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OF 10 SHTS



DEMOLITION PLAN





SOLE BOTTOM PLATE NOTE:

ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN THE SOLE BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENING WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR ACCEPTABLE METHODS

EGRESS WINDOW NOTE:

BASEMENTS, HABITABLE ATTICS & EVERY SLEEPING ROOM BELOW THE FOURTH FLOOR SHALL HAVE A LEAST ONE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EXIT WHICH OPENS DIRECTLY ONTO A PUBLIC STREET, ALLEY, YARD OR EXTERIOR COURT. THE DISTANCE FROM THE FLOOR TO THE BOTTOM OF THE CLEAR OPENING SHALL NOT EXCEED 44", THE EGRESS OPENING SHALL HAVE A NET OPEN AREA OF 5.7 SF WITH A MIN 24" NET CLEAR OPENING HEIGHT AND A MIN 20" NET CLEAR OPENING WIDTH.

PLUMBING FIXTURE FLOW RATES:

ALL PLUMBING FIXTURE AND FITTING SHALL MEET THE STANDARDS REFERENCED IN TABLE 1711 OF THE 2022 CAL PLUMBING CODE
FLOW RATES FOR NEW FIXTURES ARE TO BE

- 2.0 GAL/FLUSH FOR TOILETS
- 1.8 GPM FOR SINGLE SHOWERHEAD INSTALLATIONS
- MULTIPLE SHOWERHEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS FOR OTHER SHOWER CONTROLLED BY A SINGLE VALVE - 1.8 GPM @ 80 PSI
- 1.2 GPM @ 60 PSI (MIN SHALL BE NOT LESS THAN 0.8 GPM @ 20 PSI) FOR LAVATORY FAUCETS
- 1.2 GPM @ 60 PSI FOR KITCHEN FAUCETS

DISHWASHER NOTE:

NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A S DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL, MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAIN BOARD WHICHEVER IS HIGHER.

FIREBLOCKING:

FIREBLOCKING SHALL CONSIST OF NOMINAL 2X LUMBER
FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS + PARTITION INCLUDING FURRED SPACES AND PARALLEL ROUS OF STUDS AS FOLLOWS

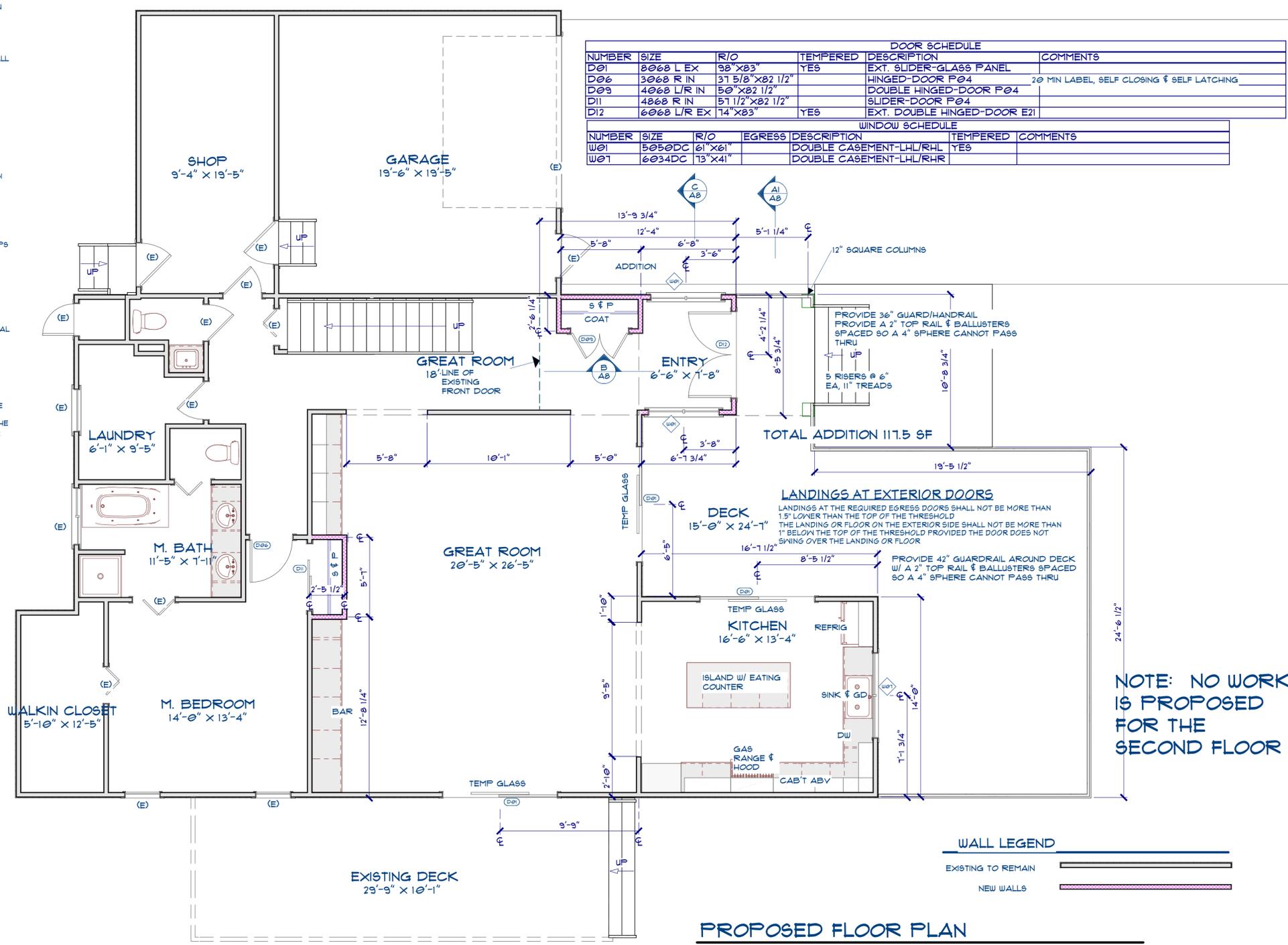
- VERTICAL AT THE CEILING AND FLOOR LEVELS
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.
- FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALLS OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOIST OR TRUSSES AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILING, COVE CEILING AND SIMILAR LOCATIONS

KITCHEN HOOD:

WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST)

DOOR SCHEDULE						
NUMBER	SIZE	R/O	TEMPERED	DESCRIPTION	COMMENTS	
D01	8068 L EX	38" X 83"	YES	EXT. SLIDER-GLASS PANEL		
D06	3068 R IN	31 5/8" X 82 1/2"		HINGED-DOOR F04	20 MIN LABEL, SELF CLOSING & SELF LATCHING	
D09	4068 L/R IN	50" X 82 1/2"		DOUBLE HINGED-DOOR F04		
D11	4868 R IN	51 1/2" X 82 1/2"		SLIDER-DOOR F04		
D12	6068 L/R EX	74" X 83"	YES	EXT. DOUBLE HINGED-DOOR E21		

WINDOW SCHEDULE						
NUMBER	SIZE	R/O	EGRESS	DESCRIPTION	TEMPERED	COMMENTS
W01	5050DC	61" X 61"		DOUBLE CASEMENT-LHL/RHL	YES	
W07	6034DC	73" X 41"		DOUBLE CASEMENT-LHL/RHR		



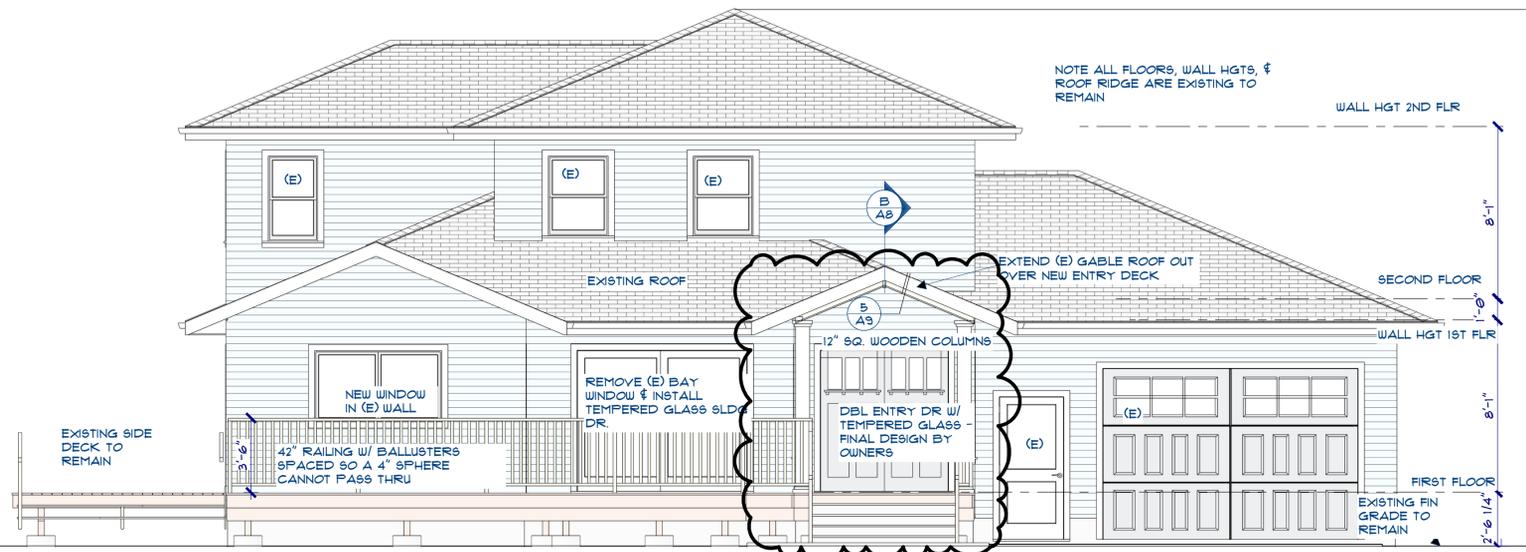
PROPOSED
FIRST FLOOR
PLAN

ADDITIONS & ALTERATIONS
TO RESIDENCE AT:
1213 PEGGY AVE.
CAMPBELL, CA

FOR:
RAJ & USHA
1213 PEGGY AVE.
CAMPBELL, CA

DATE: 7/22/24
SCALE: AS NOTED
DRAWN BY: SMB
JOB NO. 2411
SHEET

A5

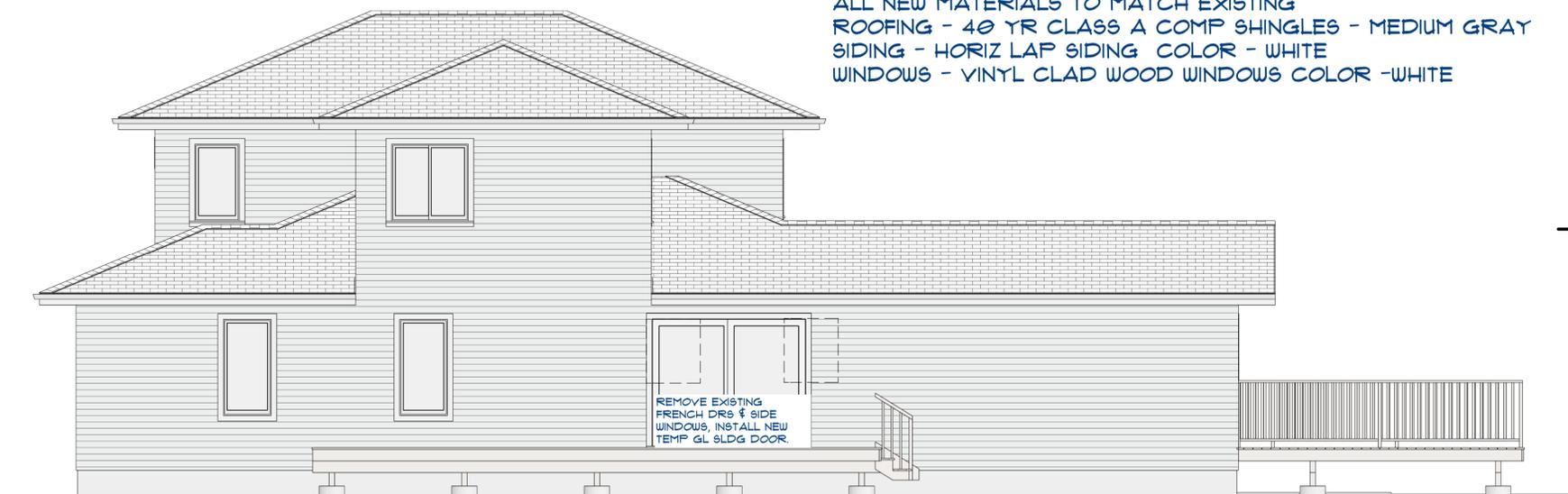


PROPOSED ADDITION IS THE FRONT ENTRY & THE DECK - ALL ELSE IS EXISTING TO REMAIN

FRONT (EAST) ELEVATION

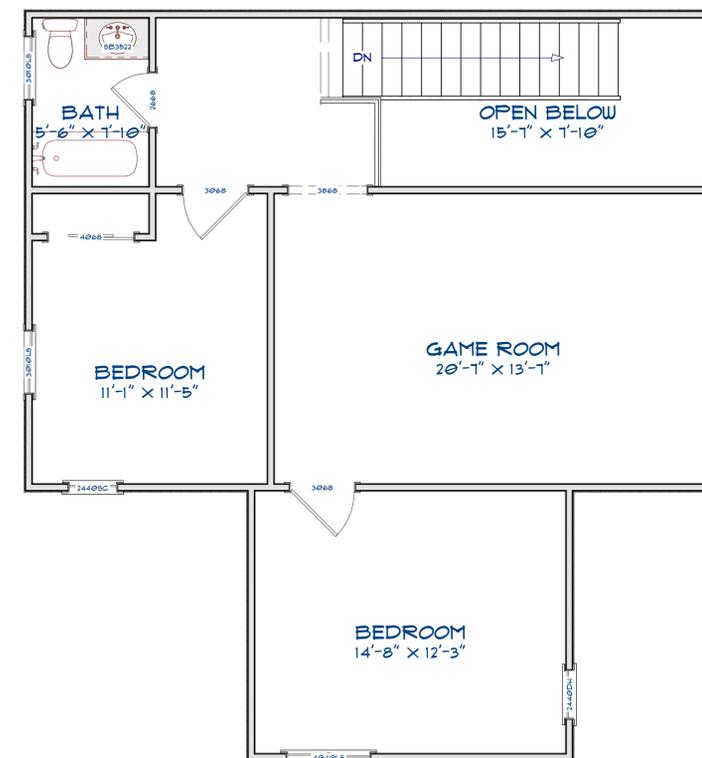
SCALE 1/4" = 1'-0"

EXTERIOR MATERIALS
ALL NEW MATERIALS TO MATCH EXISTING
ROOFING - 40 YR CLASS A COMP SHINGLES - MEDIUM GRAY
SIDING - HORIZ LAP SIDING COLOR - WHITE
WINDOWS - VINYL CLAD WOOD WINDOWS COLOR - WHITE



SOUTH SIDE ELEVATION

SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN - NO WORK PROPOSED FOR THIS FLOOR

SCALE 1/4" = 1'-0"

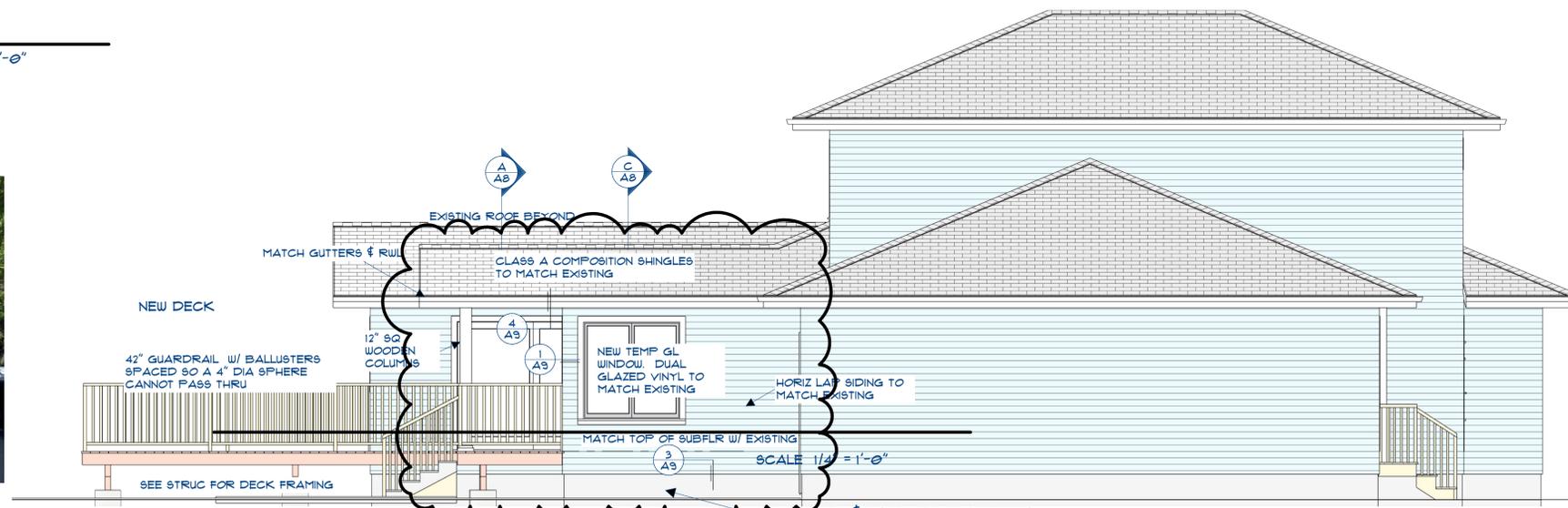
SECOND FLOOR PLAN & EXTERIOR ELEVATIONS

ADDITIONS & ALTERATIONS TO RESIDENCE AT:
1273 PEGGY AVE.
CAMPBELL, CA

FOR:
RAJ & USHA
1273 PEGGY AVE.
CAMPBELL, CA



FRONT OF EXISTING HOUSE SHOWING MATERIALS & COLORS

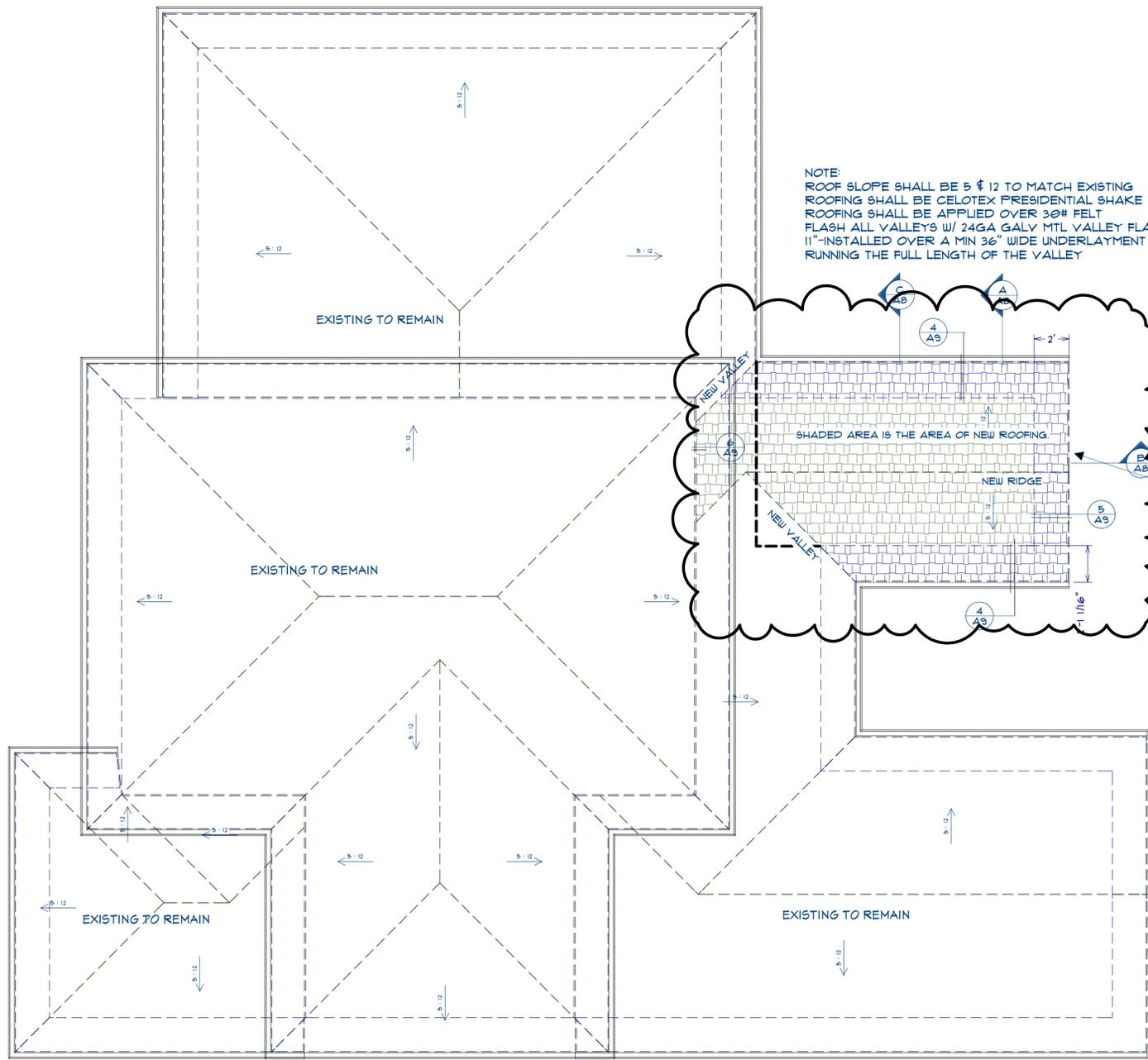


SIDE (NORTH) ELEVATION

SCALE 1/4" = 1'-0"

DATE: 7/22/24
SCALE: AS NOTED
DRAWN BY: SMB
JOB NO. 2411
SHEET

A6



NEW ROOF OVER ENTRY
ALL OTHER AREAS OF ROOF ARE EXISTING TO REMAIN

ROOF PLAN

SCALE 1/4" = 1'-0"

ROOF PLAN

ADDITIONS & ALTERATIONS TO RESIDENCE AT:
1273 PEGGY AVE.
CAMPBELL, CA

FOR:
RAJ & USHA
1273 PEGGY AVE.
CAMPBELL, CA

DATE: 7/22/24
SCALE: AS NOTED
DRAWN BY: SMB
JOB NO. 2411
SHEET

A7



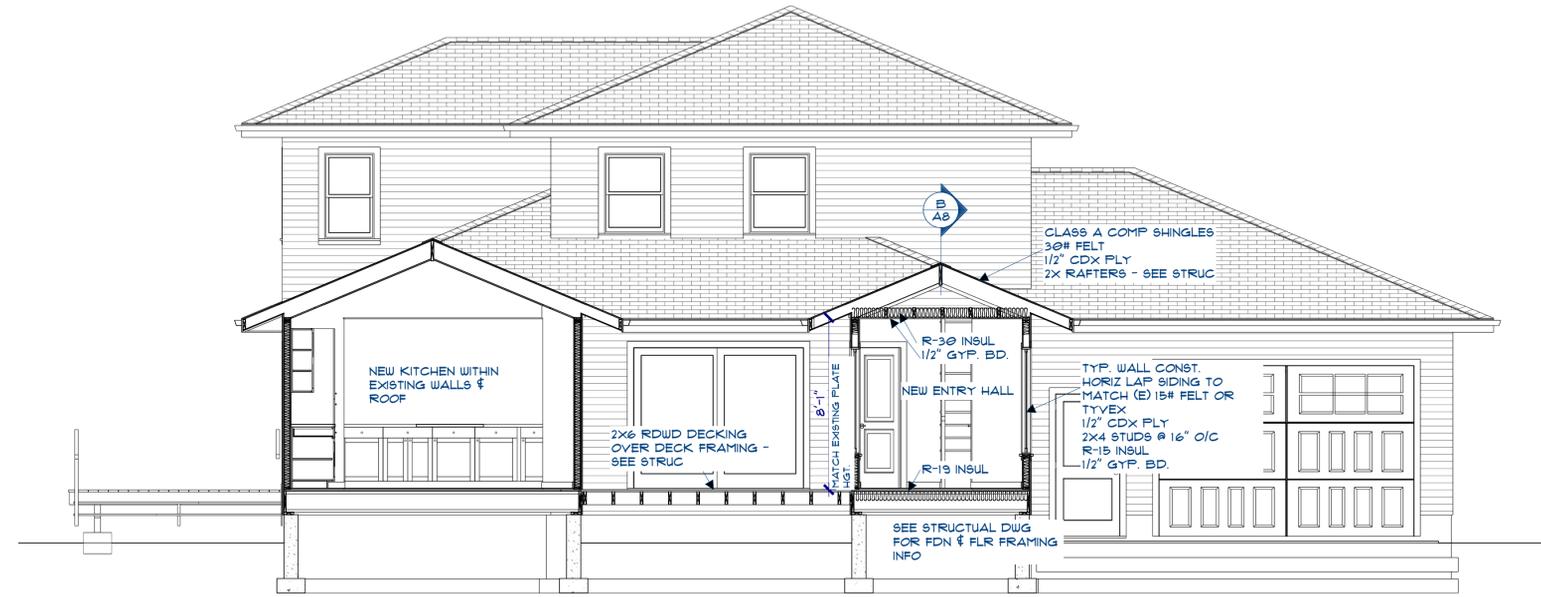
SECTIONS

ADDITIONS & ALTERATIONS
TO RESIDENCE AT:
1213 PEGGY AVE.
CAMPBELL, CA

FOR:
RAJ & USHA
1213 PEGGY AVE.
CAMPBELL, CA

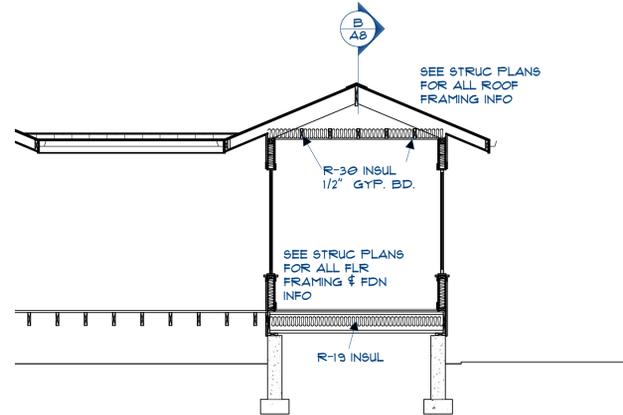
DATE: 7/22/24
SCALE: AS NOTED
DRAWN BY: SMB
JOB NO. 2411
SHEET

A8



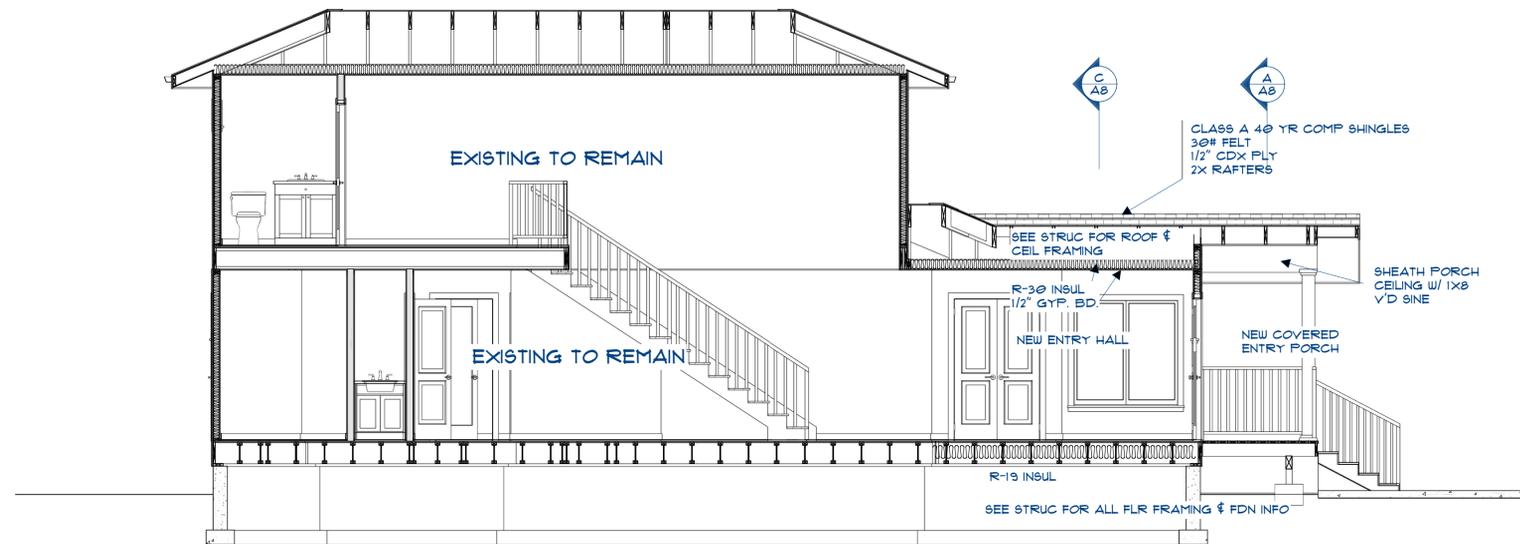
SECTION A

SCALE 1/4" = 1'-0"



SECTION C

SCALE 1/4" = 1'-0"



SECTION B

SCALE 1/4" = 1'-0"