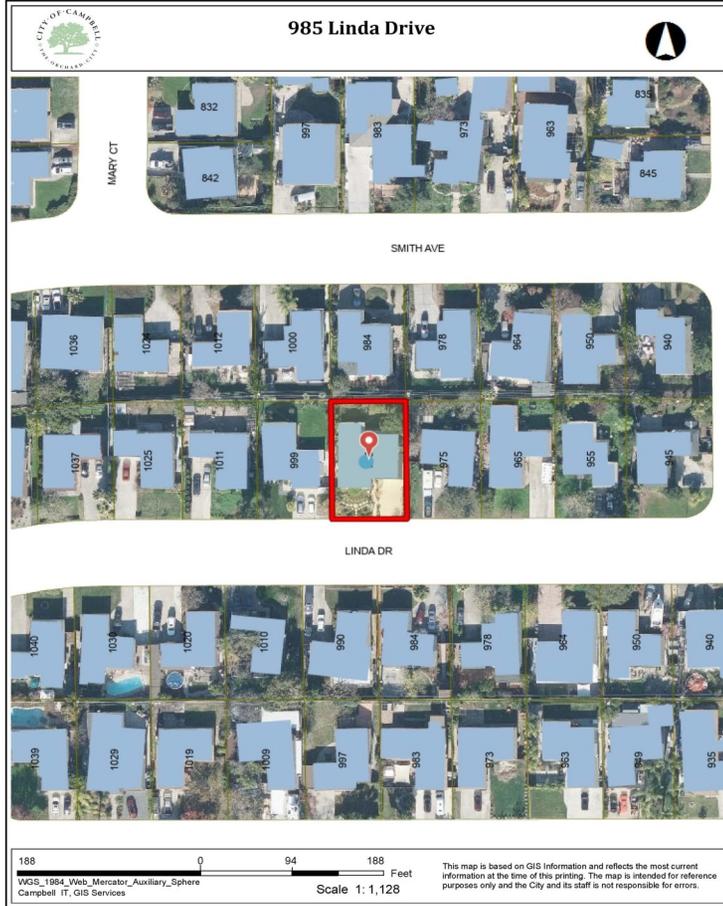
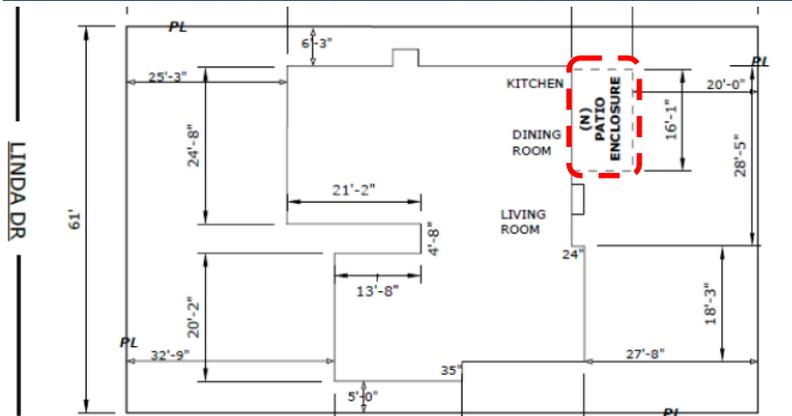


Location of Proposed Project




City of Campbell
70 North First Street
Campbell, CA 95008 –1423

Project Image



Courtesy Notice

Dear Campbell Resident,

November 5, 2024

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 985 Linda Dr

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): N/A

Council District: 5

File No.: PLN-2024-153

APN: 406-05-020

Applicant: Vincent Muccilli, GDM CONSTRUCTION + DESIGN INC.

Property Owner: ShinKai Chen

Application Type: Administrative Site and Architectural Review

Project Planner: Ishwarya, Planning Technician

Email Contact: ishwarya@campbellca.gov

Phone Contact: (408) 866-2163

Project Description:

To allow the addition of a 155 square feet patio enclosure to the rear of an existing single-story, single-family dwelling.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

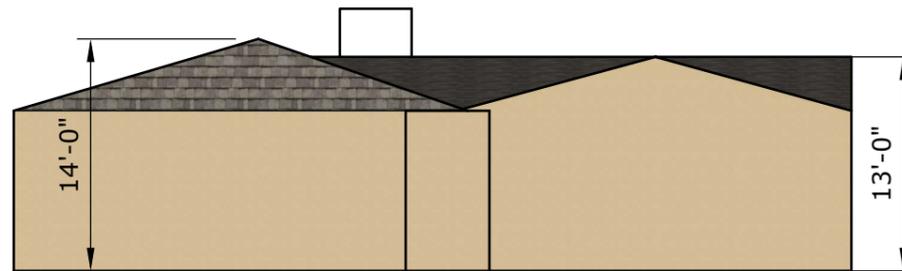
Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español

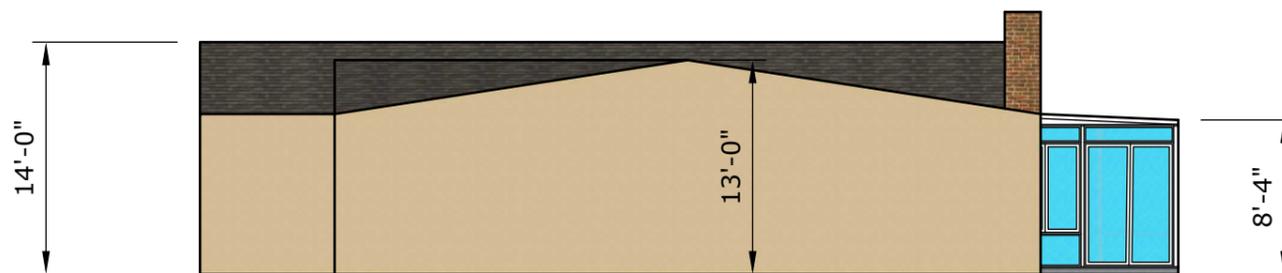




NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"

NOTE:
NO EGRESS WINDOW WILL BE WITHIN THE PROJECT AREA OF THE PROPOSED PATIO ENCLOSURE.



GDM CONSTRUCTION + DESIGN INC.
5893 WINFIELD BLVD
SAN JOSE, CA. 95123
408.656.0551
CA.LIC # 1027191
EXP: 04/30/25

SHINKAI CHEN
985 LINDA DR,
CAMPBELL, CA 95008

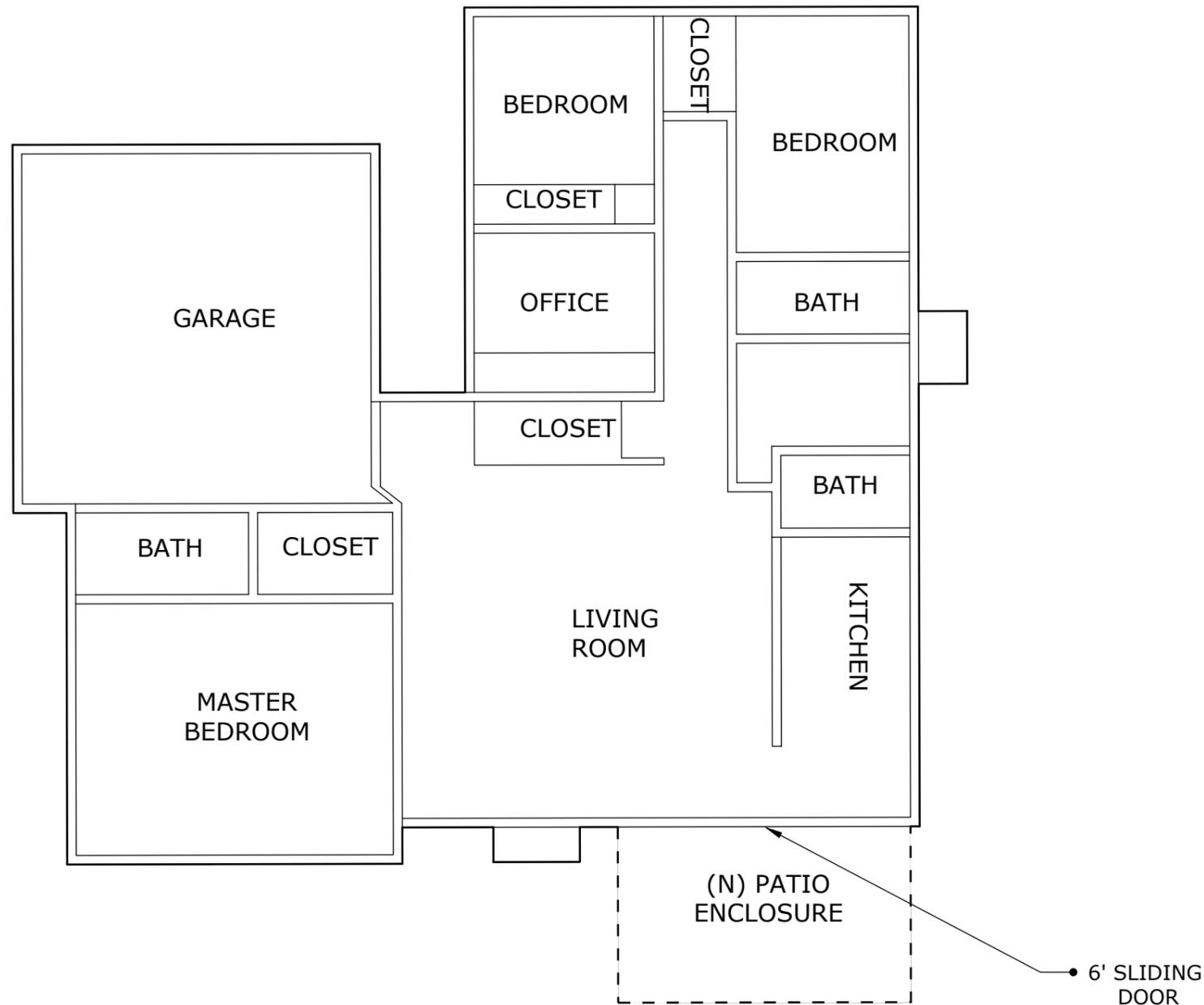
SCOPE OF WORK:

DEMO (E) PATIO COVER 155 SF.
INSTALL NEW SLAB. INSTALL NEW PATIO ENCLOSURE (155 SF). INSTALL ELECTRICAL OUTLETS, SWITCHES AND LIGHTS. (N) PATIO ENCLOSURE TO BE UNCONDITIONED/NON-HABITABLE.

DATA TABLE:

LOT: 6,100 SF
EXISTING SF: 1,987 SF, 32.57%
NEW SF: 155 SF, 2.54%
PROPOSED SF:
2,142 SF, 35.11%





GDM CONSTRUCTION + DESIGN INC.
 5893 WINFIELD BLVD
 SAN JOSE, CA. 95123
 408.656.0551
 CA.LIC # 1027191
 EXP: 04/30/25

SHINKAI CHEN RESIDENCE
 985 LINDA DR,
 CAMPBELL, CA 95008

SCOPE OF WORK:

DEMO (E) PATIO COVER 155 SF.
 INSTALL NEW SLAB. INSTALL NEW
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DATA TABLE:

LOT: 6,100 SF
 EXISTING SF: 1,987 SF, 32.57%
 NEW SF: 155 SF, 2.54%
 PROPOSED SF:
 2,142 SF, 35.11%

FLOOR PLAN

SCALE: 1/8" = 1'-0"

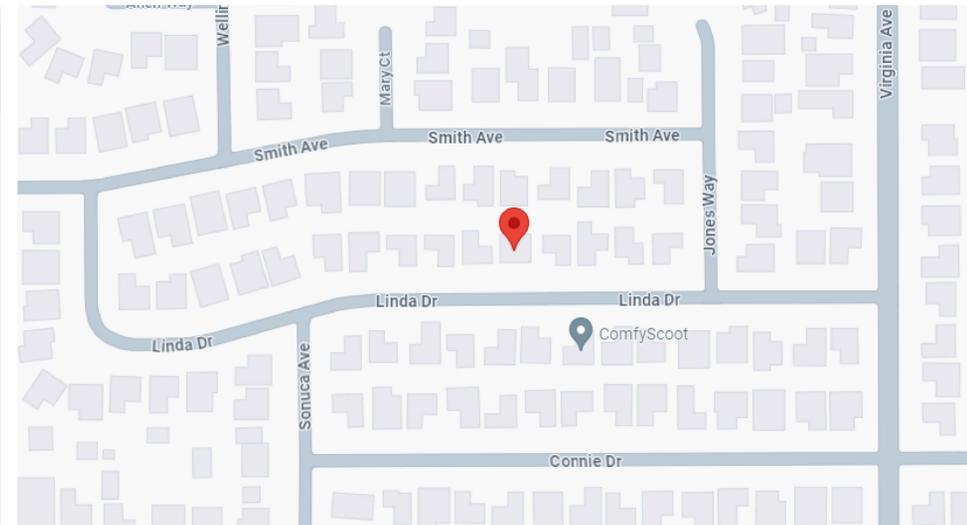
NOTE:
 NO EGRESS WINDOW WILL
 BE WITHIN THE PROJECT AREA OF
 THE PROPOSED PATIO ENCLOSURE.



GENERAL NOTES

- A. WOOD:**
 ALL LUMBER ON OR BELOW GRADE, WITHIN 18" OF FINISHED GRADE SHALL OR DIRECTLY BEARING ON CONCRETE OR MASONRY SHALL BE ACQ PRESSURE TREATED DOUGLAS FIR #2 GRADE PER SECTION R323
 ALL LUMBER ABOVE GRADE (NON-DECKING) SHALL BE DOUGLAS FIR #2 GRADE
 ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 GRADE OR EQUIVALENT
 WOOD STRUCTURAL PANELS SHALL BE 1/2" MIN. THICKNESS, EXPOSURE 1 STRUCTURAL SHEATHING
 ROOF SHEATHING SHALL BE A MINIMUM OF 1/2" EXTERIOR PLYWOOD OR BETTER
 PROVIDE DIELECTRIC SEPARATION FOR ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH PRESSURE TREATED WOOD
 SOIL BEARING PRESSURE SHALL BE ASSUMED TO BE A MINIMUM OF 1500 PSF
- WARNING:** DRILLING, SAWING, SANDING OR MACHINING WOOD PRODUCTS GENERATES WOOD DUST, A SUBSTANCE KNOWN TO CAUSE CANCER. AVOID INHALING WOOD DUST, OR USE A DUST MASK OR OTHER SAFEGUARDS FOR PERSONAL PROTECTION.
- B. CONCRETE:**
 ALL CONCRETE GRADE BEAMS AND FOOTING SHALL BE 2500 PSI MIN, 12"x12" DIMENSIONS
 ALL CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MIN., 4" MIN. THICKNESS
 ALL SLABS ON GRADE SHALL BE 4" THICK WITH 6 MIL VAPOR BARRIER
 REBAR MAT TO BE #3 AT 18" O.C. EACH WAY AND SHALL BE 2" BELOW SLAB GRADE SURFACE
 ALL REINFORCING SHALL BE GRADE 50 (50 KSI MIN.) DEFORMED BARS, #3 BARS MAY BE GRADE 40
 ALL OVER POUR CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MIN., 2" MIN. THICKNESS
 SOIL BEARING PRESSURE SHALL BE ASSUMED TO BE A MINIMUM OF 1500 PSF
- C. ALUMINUM**
 ALL STRUCTURAL ALUMINUM CONFORMS TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY AND TEMPER
 EXCEPT AS NOTED BELOW:
 ALL CLIPS ARE 6063-T5
 12 RIDGE BEAM IS 6063-T6
 CORNER COLUMN IS 6063-T6
 H-COLUMN IS 6105-T5
 ALL STRUCTURAL ALUMINUM WORK CONFORMS TO "PART I-A - SPECIFICATIONS FOR ALUMINUM STRUCTURES - ALLOWABLE STRESS DESIGN" OF THE ALUMINUM ASSOCIATION, INC. SEVENTH EDITION, EFFECTIVE JANUARY 2000
 IN ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH STEEL, OR PRESSURE TREATED LUMBER PROVIDE DIELECTRIC SEPARATION
 ALL ALUMINUM MUST NOT HAVE DIRECT CONTACT WITH CONCRETE.
 ALL FLASHING SHALL BE CORROSIVE RESISTANT IN ALL AREAS IN ACCORDANCE WITH SECTION R905.2.8
- D. GLASS**
 GLASS UNITS CONSISTS OF TWO PANES OF 1/8" THICK TEMPERED GLASS WITH A 5/8" STAINLESS STEEL SPACER BETWEEN PANES WITH AN ARGON FILL PER SECTION 308
 GLASS CONFORMS TO ASTM E1300.
 ALL CLEAR ARGON ROOF GLASS HAS THE FOLLOWING MINIMUM PROPERTIES: *
 ASHRAE WINTER U VALUE = .25
 ASHRAE WINTER R VALUE = 4.0
 *AS PER FOUR SEASONS SUNROOMS GLASS SPECIFICATIONS
- E. ROOF AND SOLID WALL PANELS**
 ALUMINUM PANEL SKIN IS ALLOY 3105-H14/H25 AND IS 0.024" THICK MIN.
 OSB PANEL SKIN IS 7/16" THICK MIN.
 PANEL CORE FOAM IS PREFORMED EXPANDED POLYSTYRENE BOARD (EPS), WITH A NOMINAL DENSITY OF 1.0 POUNDS PER CUBIC FOOT UNLESS OTHERWISE NOTED
 PANEL COMPONENTS ARE BONDED TOGETHER BY MORAD M-640 SERIES
 THE 4" THICK, 0.024" ALUMINUM SKIN, 1.5PCF FOAM DENSITY PANELS MEET THE CONDITIONS OF ACCEPTANCE COMPLYING WITH UL1715.
 PANELS HAVE THE FOLLOWING MINIMUM PROPERTIES:
 3" ALUMINUM SKIN (1.0 PCF FOAM DENSITY): U-VALUE = 0.080; R-VALUE = 12.51
 4" ALUMINUM SKIN (1.5 PCF FOAM DENSITY): U-VALUE = 0.05; R-VALUE = 19.1
- F. SEALANT**
 ALL SEALANT CONFORMS TO TT-S-001543-A, TT-S-002306, ASTM C-920 TYPE S, GRADE NS, CLASS 25.
- G. GASKETS**
 ALL GASKETS ARE CO-EXTRUDED AND ARE NON-MIGRATORY.
- H. FASTENERS**
 LAG BOLTS SHALL CONFORM TO STAINLESS STEEL TYPE 300 18-8, WITH STANDARD FLAT WASHER UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFICS FOR USE WITH ACQ PRESSURE TREATED WOOD
 LAG BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 6x BOLT DIAMETER INTO STRUCTURAL FRAMING (G= .42 MIN.)
 LAG BOLTS AND SCREWS INTO WOOD FRAMING SHALL BE PROVIDED WITH PILOT HOLES HAVING A DIAMETER NOT GREATER THAN 70 PERCENT OF THE THREAD DIAMETER OF THE BOLT OR SCREW.
 LAG BOLTS AND SCREWS SHALL BE INSERTED IN PILOT HOLES BY TURNING AND UNDER NO CIRCUMSTANCES BY DRIVING WITH A HAMMER.
 HEX BOLTS HAS BE ASTM A325, PLATED WITH STANDARD FLAT WASHERS AND NUTS
 METAL TIES AND ASSOCIATED ACCESSORIES SHALL BE HOT DIPPED GALVANIZED
 FASTENERS CONNECTING ALUMINUM COMPONENTS OR PRESSURE TREATED LUMBER ARE STAINLESS STEEL TYPE 300 18-8 UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFICS FOR USE WITH ACQ PRESSURE TREATED WOOD
 FASTENERS SHALL COMPLY WITH ASTM A153
 CONNECTORS SHALL COMPLY WITH ASTM A653 CLASS G-185
- I. SITE PREPARATION**
 ALL FOUNDATION SYSTEMS MUST BE IN PLACED ON CLEAN, COMPACTED, TERMITE-TREATED FILL/SOIL WITH VAPOR BARRIER IF EXISTING FOUNDATION IS TO REMAIN, FOOTING AND SLAB MUST BE VERIFIED AS ADEQUATE PER ENGINEERING DOCUMENTATION
 IF EXISTING FOUNDATION HAS ADEQUATE FOOTING AND SLAB, DRILL (12" O.C.) AND TRENCH WITHOUT UNDERCUTTING FOOTING TO PROVIDE TERMITE-TREATMENT AS REQUIRED. EPOXY PATCH ALL OPENINGS.
- J. REFERENCE STANDARDS:**
 ASTM E 119; ASTM E 1300; ASCE 7
- K. DESIGN LOADS**
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF THE 2022 C.R.C., 2022 C.P.C., 2022 C.E.C., 2022 C.M.C., 2022 C.F.C., 2022 CALIFORNIA ENERGY CODE, 2022 C.G.B.C., 2021 I.R.C., AND ASCE 7-16 ALONG WITH ANY OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS
- | | |
|---|---|
| DEAD LOAD:
NEW ENCLOSURE WALLS: 5 PSF
NEW ENCLOSURE ROOF: 5 PSF
FLOOR: 10 PSF | LIVE LOAD:
ROOF: 10 PSF
EXTERIOR DECK, LANDING, STAIRS: 60 PSF
FLOOR: 40 PSF |
| WIND LOAD:
BASIC WIND SPEED: 95 MPH
WIND EXPOSURE CATEGORY: B
VELOCITY PRESSURE EXPOSURE COEFFICIENT: 0.7
DESIGN WIND PRESSURE:
WALL: 16 PSF (MIN.)
ROOF (UPLIFT): 16 PSF (MIN.) | SEISMIC LOAD:
SEISMIC RESPONSE SPECTRAL ACC. S1 = 0.741g; Ss=2.071g
SITE CLASS: D
DESIGN SPECTRAL ACCELERATION PARAMETERS, SDS = 1.657
LATERAL RESISTING SYSTEM: UNIDENTIFIED SPACE FRAME
RESPONSE MODIFICATION COEFFICIENT, R = 2.0 (WORST CASE)
SEISMIC RESPONSE COEFFICIENT, Cs = 0.829 |
- L. RESPONSIBILITY**
 ALUMINUM ENCLOSURES ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME, TRAILER HOME, OR PRE-FAB HOME. IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPARATE SUPPORT SYSTEM MUST BE ENGINEERED SO THAT NO ADDITIONAL LOADING IS PLACED ON THE STRUCTURE.
 ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDINANCES, ETC.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS, NOTIFYING ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS, FABRICATED ITEMS, OR ACTUAL FIELD CONDITIONS
 THESE DRAWINGS REPRESENT THE ACCEPTABILITY OF THE ENCLOSURE ELEMENTS AS PROVIDED BY THE CONTRACTOR
 ALL DETAILS ON THESE DRAWINGS ARE ENGINEERED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR
 ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY. THESE PLANS REPRESENT THE DESIGN INTENT FOR ITEM LOCATIONS.
 ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR
 ANY DETAILS NOT SHOWN ARE TO BE ENGINEERED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES
 REFER TO FOUR SEASONS SHOP DRAWINGS FOR FURTHER DETAILS

NEW FOUR SEASONS CATEGORY III UNCONDITIONED, NON-HABITABLE PATIO ENCLOSURE 230 SERIES LEAN-TO UNIT CONSTRUCTION TYPE: VB; OCCUPANCY GROUP: R-3/U NO FIRE SPRINKLERS EXISTING; 1-STORY PATIO ENCLOSURE, 2-STORY EXISTING HOUSE		
SCOPE OF WORK: DEMO EXISTING PATIO COVER (155 SQFT) INSTALL NEW SLAB INSTALL NEW PATIO ENCLOSURE (155 SQFT) INSTALL ELECTRICAL OUTLETS, SWITCHES, LIGHTS		
PROJECT SUMMARY TABLE:		
NET LOT AREA:	6100 SQFT	
	EXISTING	PROPOSED
GARAGE		
FIRST FLOOR	1987 SQFT	1987 SQFT
SECOND FLOOR		
PATIO ENCLOSURE		155 SQFT (NEW)
LOT COVERAGE:	1987 SQFT	2142 SQFT
LOT COVERAGE (%):	32.57%	35.11%
SETBACKS:		
FRONT 1ST STORY	25 FT 3 IN	25 FT 3 IN
REAR 1ST STORY	27 FT 8 IN	20 FT 0 IN
RIGHT SIDE 1ST STORY	5 FT 0 IN	5 FT 0 IN
LEFT SIDE 1ST STORY	6 FT 3 IN	6 FT 3 IN
SPECIFIC EXTERIOR MATERIALS (COLORS):	EXISTING	PROPOSED
SIDING:	STUCCO (WHITE)	ALUMINUM (WHITE), GLASS
TRIM:	WOOD (BROWN)	ALUMINUM (WHITE)
ROOF:	COMP SHINGLES (BROWN)	ALUMINUM (WHITE), GLASS



VICINITY MAP

APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE AN APPROVAL TO VIOLATE ANY BUILDING CODES, CITY ORDINANCES OR OTHER PERTINENT LAWS. THESE APPROVED PLANS MUST BE MADE AVAILABLE TO THE CHIEF BUILDING OFFICIAL OR ANY OF HIS AUTHORIZED REPRESENTATIVES DURING THE WORK APPROVED BY HIS APPROVAL.

UPON ISSUANCE OF A PERMIT THE PERMITEE AGREES THAT ALL WORK SHALL COMPLY WITH THE LATEST EDITIONS OF THE CALIFORNIA CODES AS AMENDED AND ADOPTED BY THE CITY.

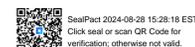
IT IS THE APPLICANT'S RESPONSIBILITY TO REPLACE ALL NON-CONFORMING PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES. COMPLIANT PLUMBING IS: ANY TOILET NO MORE THAN 1.2GAL PER FLUSH AND SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATER SENSE SPECIFICATION FOR TANK TYPE TOILETS.
 ANY SHOWER WITH A FLOW RATE NO MORE THAN 1.8GAL PER MINUTE AT 80 PSI AND SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS.
 ANY LAVATORY FAUCETS WITH A FLOW RATE NO MORE THAN 1.2GAL PER MINUTE AT 60 PSI AND NO LESS THAN 0.8 GAL PER MINUTE AT 20 PSI.

FIRE: NO FIRE SPRINKLERS. ANY CHANGES OR ADDITIONS OF A FIRE SPRINKLER WOULD REQUIRE A SEPARATE FIRE SPRINKLER PERMIT.
 SMOKE DETECTOR AND CARBON MONOXIDE ALARMS ARE REQUIRED PER CRC 314, CRC 315.
 FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION
 THE APPLICANT MUST IMMEDIATELY NOTIFY THE HERCULES FIRE DEPARTMENT/CONTRA COSTA FIRE, HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIATED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT

- A) CALL BEFORE YOU DIG! CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
 B) FINISHED GROUND SURFACES SHALL BE GRADED TO DRAIN THE FINISHED SITE PROPERLY. FINISHED GROUND SLOPE WITHIN FIVE FEET OF THE BUILDING OR STRUCTURE SHALL SLOPE AWAY AT A 5%. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5% MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%)
 C) LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY
 D) NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPED AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING. "THRU-CUB" DRAINS ARE NOT ALLOWED.
 E) A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY PROPOSED CONSTRUCTION WORK WITHIN THE CITY OF HERCULES RIGHT-OF-WAY (STREET, SIDEWALK, DRIVEWAY, ETC). THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING ANY WORK WITHIN THE CITY OF HERCULES RIGHT-OF-WAY. ALL CONSTRUCTION WITHIN THE CITY OF HERCULES/ COUNTY RIGHT-OF-WAY SHALL CONFORM TO CURRENT CITY STANDARDS AND SPECIFICATIONS.
 F) UTILITY WORK WITHIN THE CITY OF HERCULES/COUNTY RIGHT-OF-WAY WHICH IS NOT INSTALLED BY THE CONTRACTOR WILL REQUIRE A SEPARATE ENCROACHMENT PERMIT ISSUED TO THE UTILITY AGENCY PERFORMING THE WORK.
 G) ALL CONTRACTORS AND SUBCONTRACTORS SHALL IMPLEMENT CONSTRUCTION BEST MANAGEMENT PRACTICES TO PROTECT STORM WATER QUALITY AND PREVENT POLLUTANTS FROM ENTERING THE STORM DRAIN SYSTEM. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.

DRAWING INDEX:

- PAGE 1: GENERAL NOTES, JOB SUMMARY, VICINITY MAP
 PAGE 1A: SITE PLAN
 PAGE 2: FOUNDATION PLAN, FOUNDATION DETAILS, FLOOR PLAN, ELECTRICAL LAYOUT
 PAGE 3: ROOF PLAN, ELEVATIONS
 PAGE 4: ENCLOSURE DETAILS



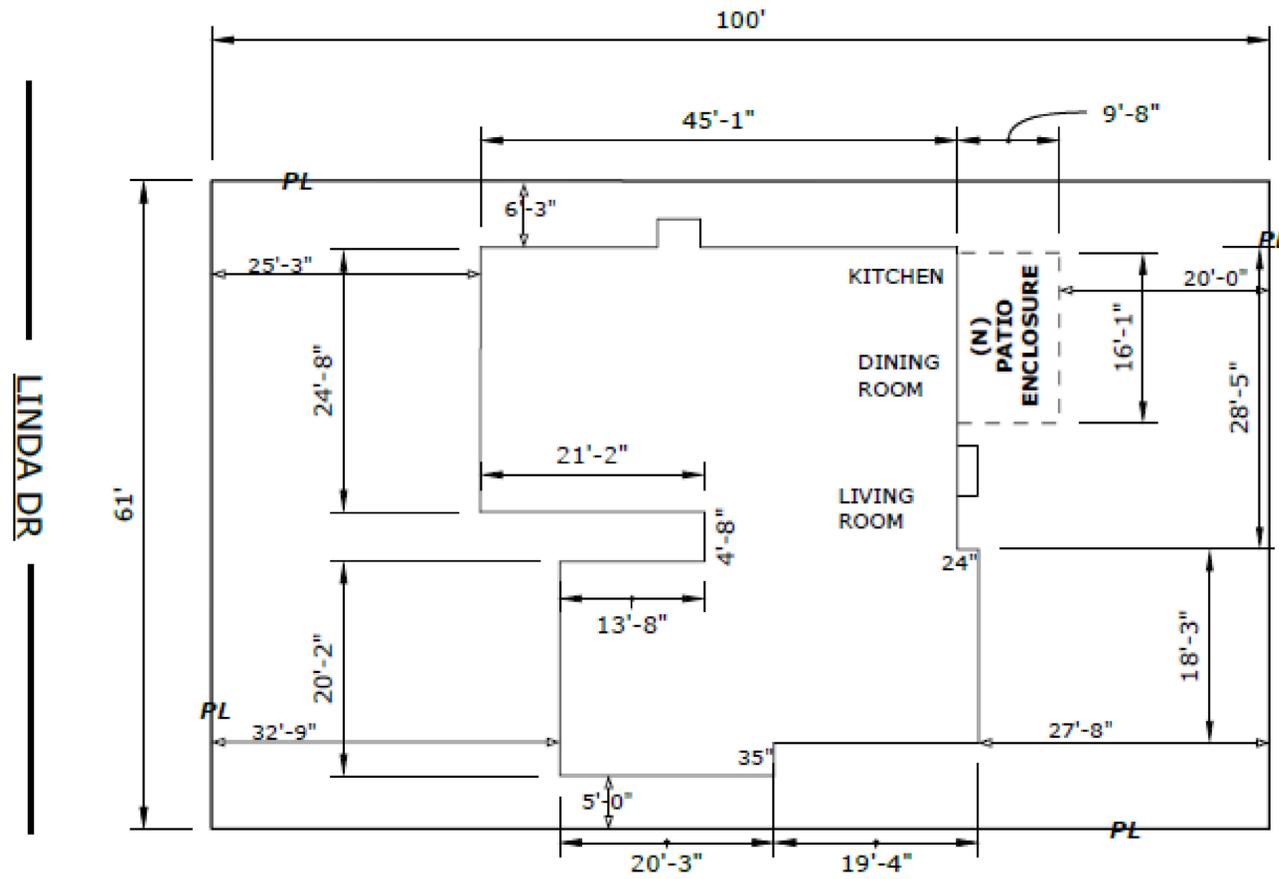
PROJECT NAME:	PROJECT ADDRESS:	HOMEOWNER:	CONTRACTOR:	DESIGN FIRM	PROFESSIONAL ENGINEER
CHEN RESIDENCE	985 LINDA DR. CAMPBELL, CA. 95008 APN NO.: 406-05-020	SHINKAI CHEN	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	EMC2 STRUCTURAL DESIGN LAWRENCE DUFFY 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	EMC2 ENGINEERING MANAGEMENT CONSULTANTS LLC LAWRENCE DUFFY CA LICENSE NO. C 96847

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REV.	DATE:
.	.
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NEW FOUR SEASONS CATEGORY III
 UNCONDITIONED, NON-HABITABLE PATIO ENCLOSURE
 230 SERIES LEAN-TO UNIT
 CONSTRUCTION TYPE: VB; OCCUPANCY GROUP: R-3/U
 NO FIRE SPRINKLERS EXISTING;
 1-STORY PATIO ENCLOSURE, 2-STORY EXISTING HOUSE

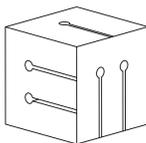
EMC2 STRUCTURAL DESIGN INC.
 EMC2 ENGINEERING MANAGEMENT CONSULTANTS L.L.C.



NOTE:
 NO EGRESS WINDOW WILL
 BE WITHIN THE PROJECT AREA OF
 THE PROPOSED PATIO ENCLOSURE.

PROPOSED PLOT PLAN

SCALE: 1/8" = 1'



PROJECT NAME:	PROJECT ADDRESS:	HOMEOWNER:	CONTRACTOR:	DESIGN FIRM	PROFESSIONAL ENGINEER
CHEN RESIDENCE	985 LINDA DR. CAMPBELL, CA. 95008 APN NO.: 406-05-020	SHINKAI CHEN	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	EMC2 STRUCTURAL DESIGN LAWRENCE DUFFY 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	EMC2 ENGINEERING MANAGEMENT CONSULTANTS LLC LAWRENCE DUFFY CA LICENSE NO. C 96847



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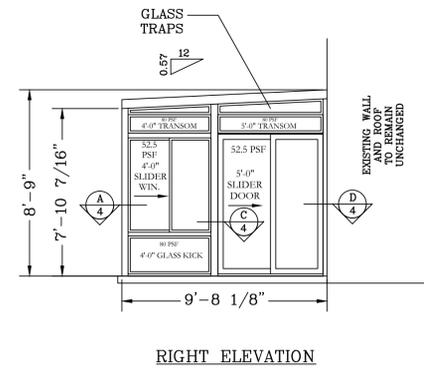
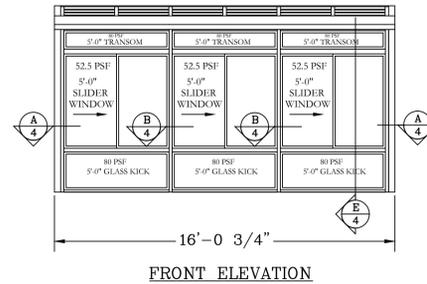
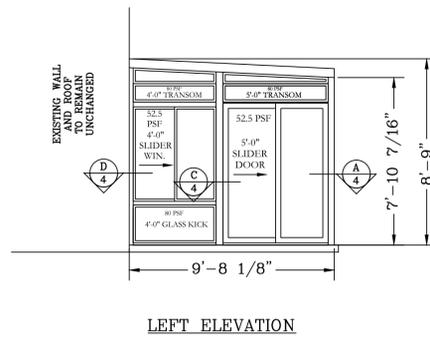
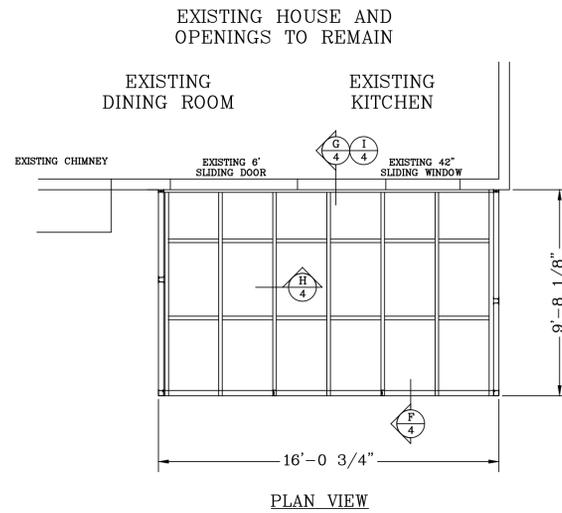


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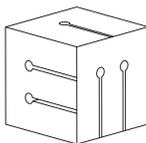
NOTES:

- 1.- ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD.
- 2.- ACTUAL FILL MAY DIFFER FROM AMOUNT SHOWN.
- 3.- ALL NEW GLAZING TO BE TEMPERED AS NOTED IN THE GENERAL NOTES SECTION D ON PAGE 1

SCALE:
1/4" = 1'

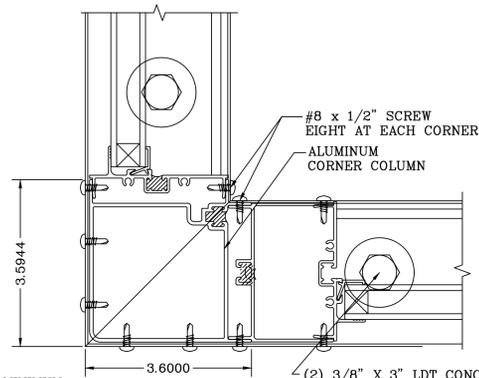


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PROJECT NAME:	PROJECT ADDRESS:	HOMEOWNER:	CONTRACTOR:	DESIGN FIRM	PROFESSIONAL ENGINEER
CHEN RESIDENCE	985 LINDA DR. CAMPBELL, CA. 95008 APN NO.: 406-05-020	SHINKAI CHEN	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	EMC2 STRUCTURAL DESIGN LAWRENCE DUFFY 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	EMC2 ENGINEERING MANAGEMENT CONSULTANTS LLC LAWRENCE DUFFY CA LICENSE NO. C 96847

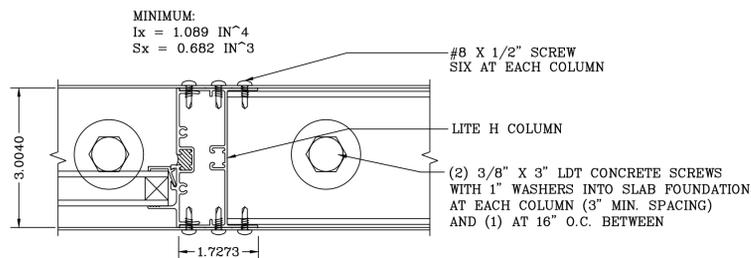
NEW FOUR SEASONS CATEGORY III
UNCONDITIONED, NON-HABITABLE PATIO ENCLOSURE
230 SERIES LEAN-TO UNIT
CONSTRUCTION TYPE: VB; OCCUPANCY GROUP: R-3/U
NO FIRE SPRINKLERS EXISTING;
1-STORY PATIO ENCLOSURE, 2-STORY EXISTING HOUSE



MINIMUM:
Ix = 3.072 IN⁴
Sx = 1.548 IN³

(2) 3/8" X 3" LDT CONCRETE SCREWS WITH 1" WASHERS INTO SLAB FOUNDATION AT EACH COLUMN (3" MIN. SPACING) AND (1) AT 16" O.C. BETWEEN

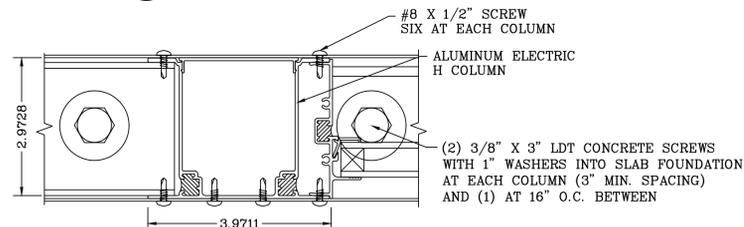
A
4
CORNER POST CONNECTION AT SILL
NOT TO SCALE



MINIMUM:
Ix = 1.089 IN⁴
Sx = 0.682 IN³

(2) 3/8" X 3" LDT CONCRETE SCREWS WITH 1" WASHERS INTO SLAB FOUNDATION AT EACH COLUMN (3" MIN. SPACING) AND (1) AT 16" O.C. BETWEEN

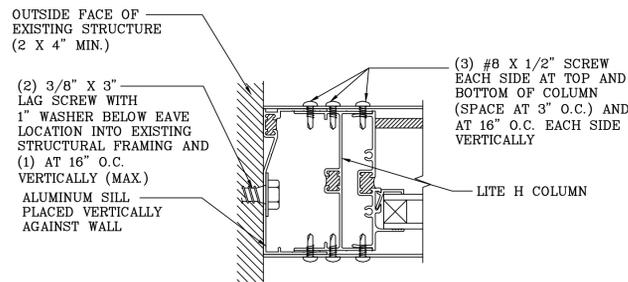
B
4
H COLUMN CONNECTION AT SILL
NOT TO SCALE



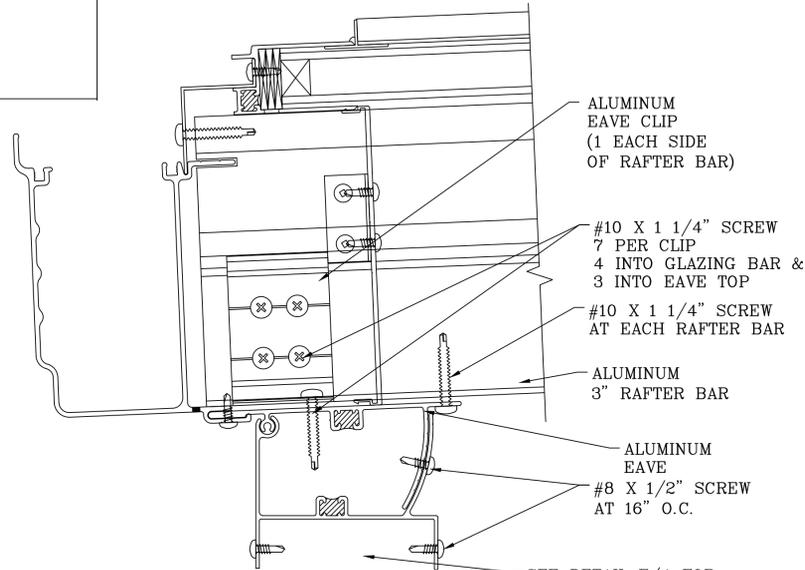
MINIMUM:
Ix = 1.747 IN⁴
Sx = 0.973 IN³

ALTERNATIVE TO DETAIL B/4 IF DESIRED

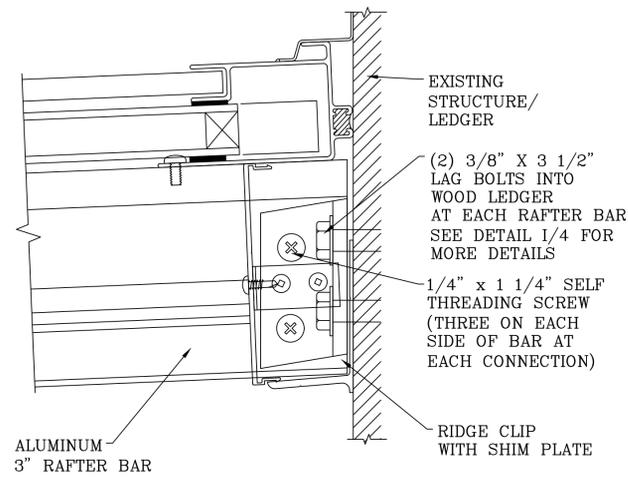
C
4
ELECTRIC/UTILITY H COLUMN CONNECTION AT SILL
NOT TO SCALE



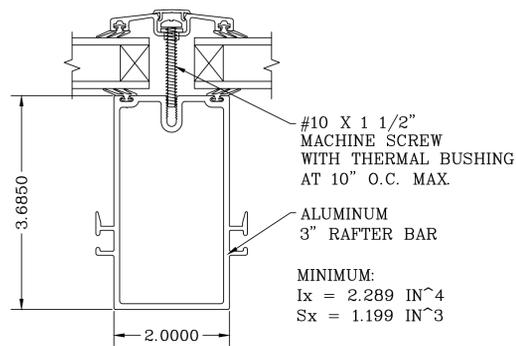
D
4
GABLE ATTACHMENT TO EXISTING STRUCTURE
NOT TO SCALE



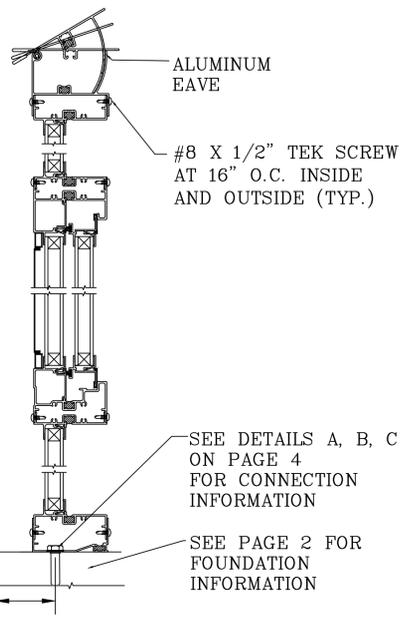
F
4
ADJUSTABLE EAVE SECTION
NOT TO SCALE



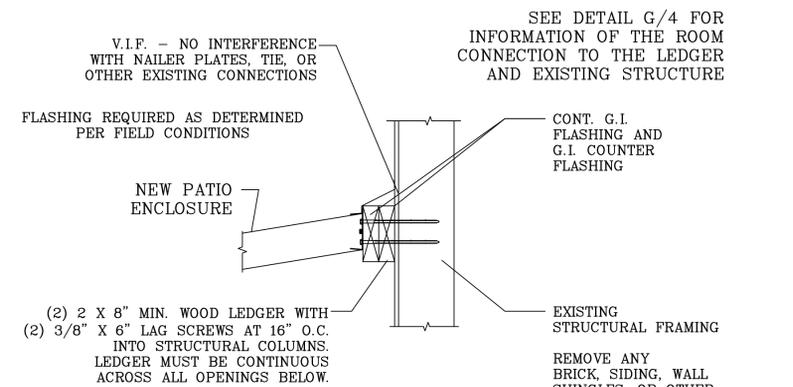
G
4
RIDGE SECTION
NOT TO SCALE



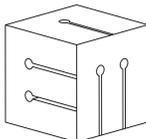
H
4
3" RAFTER BAR SECTION
NOT TO SCALE



E
4
GLASS KICKS - WINDOW SECTION - GLASS TRANSOMS
NOT TO SCALE



I
4
TYP STRAIGHT EAVE CONNECTION DETAIL AT EXIST STRUCTURE
NOT TO SCALE



PROJECT NAME:	PROJECT ADDRESS:	HOMEOWNER:	CONTRACTOR:	DESIGN FIRM	PROFESSIONAL ENGINEER
CHEN RESIDENCE	985 LINDA DR. CAMPBELL, CA. 95008 APN NO.: 406-05-020	SHINKAI CHEN	GDM CONSTRUCTION 5893 WINFIELD BLVD SAN JOSE, CA. 95123 831.334.2694 CONTRACTOR: 1027191	EMC2 STRUCTURAL DESIGN LAWRENCE DUFFY 315 HOMESTEAD DR. LEBANON, PA. 17042 717.889.3622	EMC2 ENGINEERING MANAGEMENT CONSULTANTS LLC LAWRENCE DUFFY CA LICENSE NO. C 96847



DESIGN DATE:		PAGE	
08-21-24		4	
REV.	DATE:	4	
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