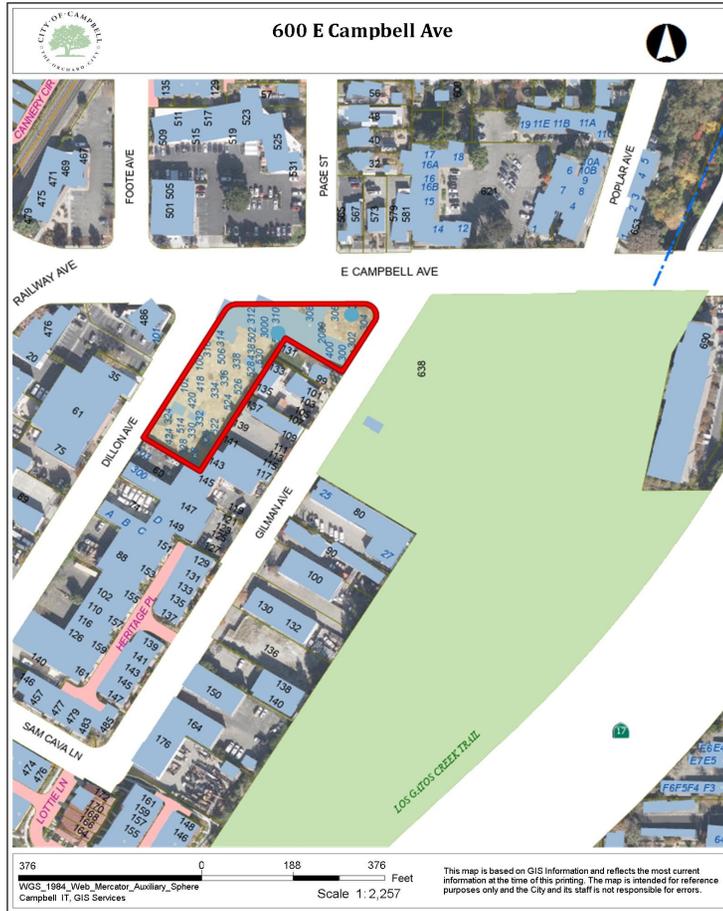


## Location of Proposed Project




City of Campbell  
70 North First Street  
Campbell, CA 95008 -1423

## Project Image



# Courtesy Notice

Dear Campbell Resident,

January 24, 2025

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

**Project Address:** 600 E Campbell Avenue  
**Zoning | Area Plan:** CB-MU | East Campbell Avenue Master Plan  
**Neighborhood Association(s):** Downtown Campbell Neighborhood Association  
**Council District:** 2  
**File No.:** PLN-2025-3  
**APN:** 412-09-031  
**Applicant:** Cresleigh Homes c/o Jeremy Lui  
**Property Owner:** Campbell Park Development LLC  
**Application Type:** Minor Housing Development Project Permit, Tentative Subdivision Map, and Density Bonus  
**Project Planner:** Daniel Fama, Senior Planner  
**Email Contact:** danielf@campbellca.gov  
**Phone Contact:** (408) 866-2193

## Project Description:

To allow the construction of a 90-unit housing development project, consisting of a 5- and 6-story mixed use building with approximately 5,000 square-feet of ground-floor retail space and 2-levels of podium parking providing 111 vehicular parking spaces and 112 bicycle parking spaces.

**Note:** Project may include an option to increase the unit count to 108 units—within the proposed building envelope—in accordance with Housing Element Program H-1M.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

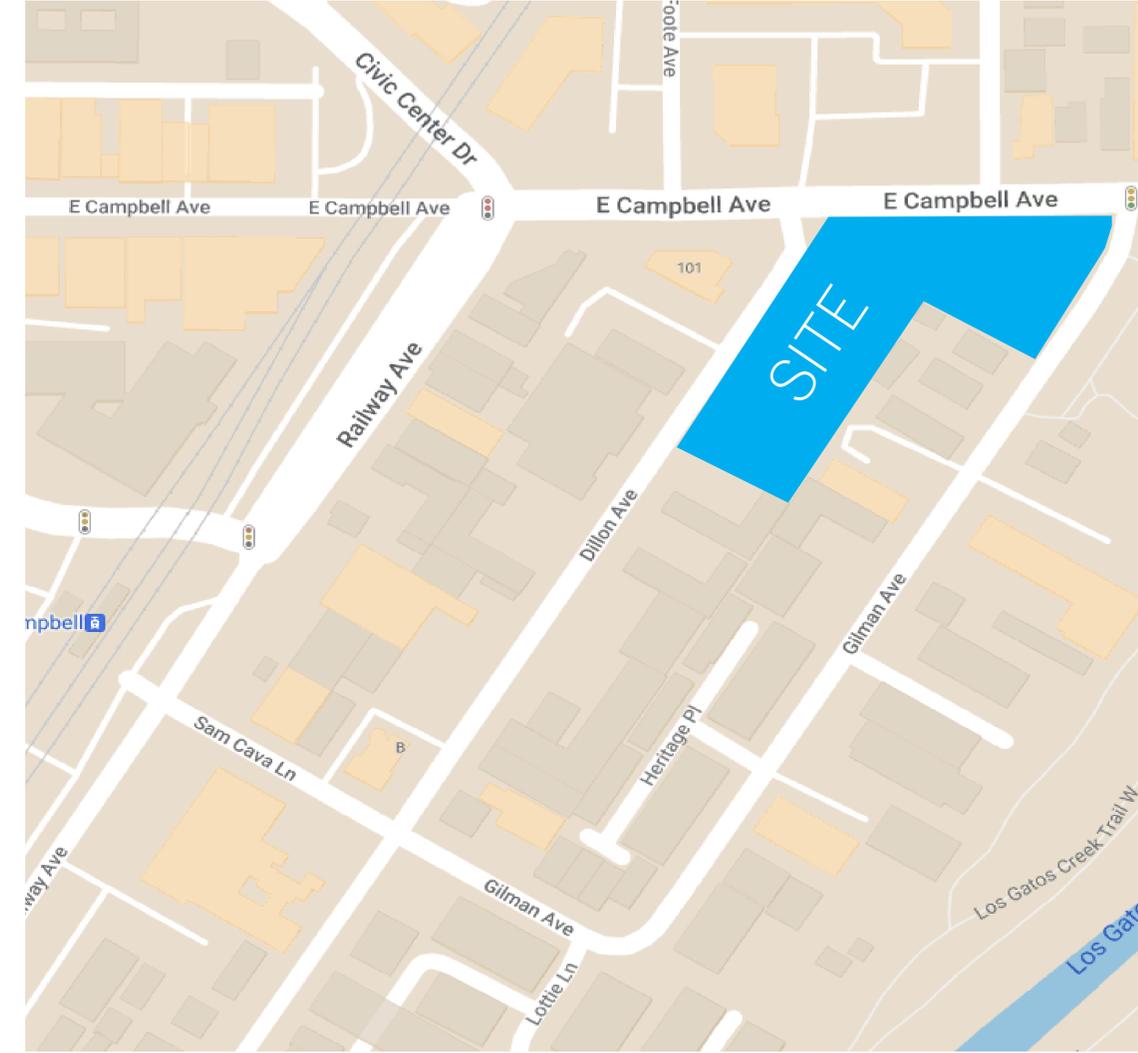


- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español





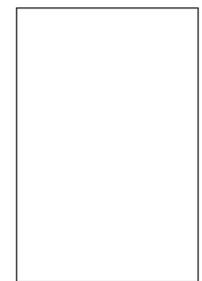
# EAST CAMPBELL APARTMENTS

Campbell, CA

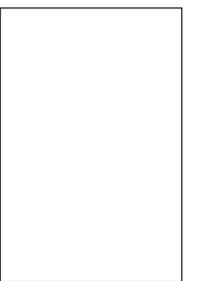
## ENTITLEMENT PACKAGE

PROJECT NO. 1193-0012

January 6, 2025



CITY APPROVALS



CITY APPROVALS

# PROJECT DESCRIPTION

## Project Narrative: Mixed-Use Multi-Family Development in Campbell, California

This project is a proposed mixed-use multi-family development located in the heart of Campbell, California, within the Central Business Mixed-Use General Plan. Set on a one-acre site bordered by East Campbell Avenue, Dillon Avenue, and Gilman Avenue, the development offers 90 residential units and retail space at the prominent corner of East Campbell and Gilman Avenues. The proposal leverages a new city ordinance to increase density, resulting in a proposed density of 90 dwelling units per acre.

The project is designed to support a vibrant, pedestrian-friendly urban environment. The ground floor is activated by double-height retail space and a main residential lobby with a striking double-height entrance located at the corner of East Campbell Avenue and Dillon Avenue. The building amenities include a fitness center, mail room, leasing office, roof terrace, and clubhouse to serve the resident's needs.

Parking is provided through a two-level garage accessible from Dillon and Gilman Avenues, with 111 car parking spaces and 112 bike parking spaces, supporting sustainable transportation options. To maintain the building's aesthetic continuity, garage openings on Dillon Avenue are designed to echo the residential windows above, blending the parking structure seamlessly into the building's overall design.

### Architectural Character and Materiality

The building's architectural style harmonizes with the existing character of Campbell, showcasing a blend of Spanish Colonial Revival and contemporary design elements. To respect the surrounding architecture and enhance the pedestrian experience, the building massing follows a base-middle-top hierarchy, with textured and colorful base materials that add depth and visual interest at street level.

The north-east portion of the building draws inspiration from the Spanish Colonial Revival style seen in Campbell's Heritage Theatre, with a warmer material palette and one-story reduction in height. This section includes light-colored, cream thin brick, wood-look beams, and light bronze metal accents, creating a traditional yet inviting aesthetic.

The southwest portion of the project takes on a contemporary character, with a cooler material palette and rectilinear design. This part of the structure incorporates painted plaster, tile, and light bronze metal awnings to create a cohesive, yet distinct, architectural language. Both sections maintain a rhythmic massing that integrates seamlessly across the project.

### Neighborhood Context and Compatibility

The surrounding area primarily consists of 1-2 story commercial uses, with two adjacent parcels currently occupied by single-family homes slated for redevelopment into townhomes by a separate developer. This development respects the context by thoughtfully scaling its height and massing, transitioning from the Spanish-inspired design to a contemporary form, ensuring compatibility with both the existing and future neighborhood fabric.

### Construction and Zoning

The building is designed as four levels of Type VA construction over two levels of Type IA, consistent with the C-PD (Condominium Planned Development) zoning requirements. This construction approach allows for the efficient use of space, ensuring durability and quality while supporting the high-density residential model encouraged within the Central Business Mixed-Use General Plan.

In summary, this mixed-use development reflects the values of Campbell's urban vision, offering quality housing, dynamic retail space, and architectural design that respects and enhances the local character.

# PROJECT TEAM

## Owner:

Cresleigh Homes  
3001 Douglas Blvd., Suite 110  
Roseville, CA 95661

Attn: Kevin Meier  
Tel: (916) 781-6020  
Cell: (916) 755-2589  
Email: kmeier@cresleigh.com

## Architect:

LPAS, Inc.  
723 S Street  
Sacramento, CA 95811

Attn: Chris Kelly  
Tel: (916) 443-0335  
Email: ckelly@lpas.com

## Landscape Architect:

The Guzzardo Partnership Inc.  
Pier 9, Suite 115  
San Francisco, CA 94111

Attn: Kurt Culver  
Tel: (415) 433-4672  
Email: kculver@tgp-inc.com

## Civil Engineer:

Kier+Wright  
3350 Scott Boulevard, Bldg 22  
Santa Clara, CA 95054

Attn: Mark Knudsen  
Tel: (408) 727-6665  
Cell: (408) 591-8801  
Email: mknudsen@kierwright.com

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TRANSECT ZONE REQUIREMENTS:	T4 MAIN STREET (T4MS)	PROPOSED PROJECT	COMPLIANCE NOTES
<b>1. INTENT</b>	Allowable Frontage Types Dooryard (Side Street Only) Forecourt Common Entry Shopfront Gallery	Common Entry	
<b>2. SUB-ZONES</b>	Not Used		
<b>3. BUILDING SIZE AND DESIGN SITE SIZE</b>	<b>BUILDING FOOTPRINT STANDARDS:</b> Width max per building: No Max Depth max per building: No Max On-Site private or common open space: 50 SF per unit min. Lot coverage: 95 %	Varies 101'-8" 305 SF per unit min. 87% Lot Net Area: 43,492 SF Lot Coverage Area: 37,722 SF	Complies Complies Complies
<b>DESIGN SITE SIZE STANDARDS:</b>	Width: 25 Ft. (Min) Depth: No Min.	Varies Varies	Complies Complies
<b>4. BUILDING FORM</b>	<b>BUILDING HEIGHT:</b> Primary Building Stories: 4 Stories (Max) Height to Top Plate: 47 Ft. (Max) Height Overall: 57 Ft. (Max) Ground Floor Finish Level: Residential: 6 in. (Min) Non-Residential: 6 in. (Max) Floor to floor (Ground Floor): Residential: 12 Feet (Min) Non-Residential: 12 Feet (Min)	6 Stories 70'-0" 75'-0" Common entries can be at grade 6 in. 0 in. 12' 20'-0"	Complies Complies Complies Complies Complies Complies
<b>5. BUILDING PLACEMENT</b>	<b>SETBACKS:</b> Primary Building Front (Façade Zone): 2 Ft. (Min) Interior Design Site: 2 Ft. (Min) Corner Design Site: 2 Ft. (Min) Side Street (Façade Zone): 2 Ft. (Min) Side: 0 Ft. (Min) Rear: 10 Ft. 0 Ft. Min. where abutting T4MS	2'-0" 2'-0" 2'-0" 2'-0" 5'-0" 10'-2 1/2" or 10'-0"	Complies Complies Complies Complies Complies Complies
<b>BUILDING FAÇADE:</b>	<b>Façade Zone:</b> Front Street: 80% Min Side Street: 70% Min	92 % 95 %	Complies Complies
<b>GROUND FLOOR:</b>	Depth of ground-floor habitable space: 30 Ft. (Min) 85% of façade length	<62%	Complies Complies
<b>6. ENCROACHMENTS</b>	<b>ENCROACHMENTS INTO MINIMUM SETBACKS</b> Encroachment Type: Not Allowed Private Frontages: 3' Max (Front & Side Streets), 5' (Rear) Architectural Features: 5' (Rear) Patio Covers: 3' Max (Front & Side Streets), 5' (Rear). No allowed in Side Setbacks. Stairs / Ramps: 5' Max (Side & Side Streets), 20' (Rear) Decks: 5' Max (Side & Side Streets), 20' (Rear)	Entry and Parking Canopy Rear Setback 0 Ft. 3 Ft. 0 Ft. 3 Ft. 0 Ft.	Complies Complies Complies Complies Complies Complies
<b>7. PARKING</b>	<b>RESIDENTIAL USES:</b> (State Density Bonus) Studio or 1 Bedroom: 0 2 or More Bedrooms: 0	<b>VEHICLE (Spaces/Unit):</b> 1 1	<b>BICYCLE (Spaces/Unit):</b> 1 1
<b>NON-RESIDENTIAL USES:</b>	Retail: 1 Per 200 SF	0 Parking	Complies
Restaurants: 1 Per 3 seats plus 1 space per 200 SF of non-dining area	N/A		Complies
<b>PARKING SETBACK:</b> Front: 30 Ft. (Min) Side Street: 30 Ft. (Min)	2 Ft. 2 Ft.		Complies Complies
Side: 10 Ft. (Min) where 60 Ft from front of design site Rear: 0 Ft. (Min)	N/A	10'-2 1/2" 5'-0"	Complies Complies
<b>VEHICLE ACCESS:</b> Curb Cut Width: 26 Ft. (Max)		26 Ft.	Complies
<b>OFF-STREET LOADING (ZONING CODE):</b> Number of Spaces: 1 Space		1 Space	Complies
<b>TIER 3 FRONTAGE REQUIREMENTS</b>	<b>GROUND FLOOR NON-RESIDENTIAL REQUIREMENTS:</b> Lobbies, leasing, resident only amenities: 50% Max Frontage One or more of the following tenant spaces shall be required:  Downtown Development Area: Leasing offices and amenities available only for residents are not allowed. Lobby shall be no wider than 16.5 ft.	Retail Linear feet Amenities linear feet 173'-2" 165'-11" <50%	Complies Complies Complies
One or more tenant spaces meeting the following requirements shall be provided within ground-floor habitable space:  Publicly accessible spaces: Total depth of space: 50 Ft. (Min) Total width of space: 16.5 Ft. (Min) Clear height of space: 12 Ft. (Min) Structural beams below clear height: 30 Ft. OC. Venting designed into the vertical building Access to a grease trap  Breeway location: Clear height of breezeway: 10 Ft. (Min) Clear width of breezeway: 8 Ft. (Min)	One retail space accessible and serve non-residents and residents Varies 40 Ft. < X < 74 Ft. >16.5 Ft. 24 Ft. N/A Noted Noted	N/A N/A N/A	Complies Complies Complies Complies Complies Complies

GENERAL DESIGN SITE STANDARDS	PROPOSED PROJECT	COMPLIANCE NOTES
<b>SCREENING</b>		
<b>Fences:</b> Front and Side Streets: Not Allowed	No Fence	Complies
Side and Rear Yards: 10 Ft. (Max)	6 Ft.	Complies
<b>Free Standing Walls:</b> Front and Side Streets: Not Allowed	No free standing walls No free standing walls	Complies Complies
Side and Rear Yards: 10 Ft. (Max)		Complies
<b>Landscape:</b> Front and Side Streets: 3 Ft. (Max)	Front Yard: No Landscape screening	Complies
Side and Rear Yards: No Max	Rear Yard: No Landscape screening	Complies
<b>Screening on Retaining Walls:</b> 6 Ft. (Max)		
<b>Mechanical Equipment Screening:</b> New Buildings: Parapet higher than any equipment	Parapet higher than any equipment	Complies
<b>Wall and Ground-Mounted Equipment:</b> Not allowed in front or side street setbacks	No Wall or Ground-Mounted Equipment	Complies
<b>LANDSCAPING AND LIGHTING:</b> Miscellaneous Guidelines		
<b>PARKING AND LOADING:</b> See Parking Requirements Above		
<b>SERVICE AND UTILITY STANDARDS:</b> Miscellaneous Guidelines		

CITY OF CAMPBELL FORM-BASED CODE REQUIREMENTS	PROPOSED PROJECT	COMPLIANCE NOTES
<b>SUMMARY:</b> TRANSECT: T4 MAIN STREET (T4MS) BUILDING TYPE: NOT APPLICABLE IN THE T4MS ZONE FRONTAGE TYPE: SHOPFRONT NON-RESIDENTIAL REQUIREMENTS: TIER 1	APN: 412 09 066 566 E CAMPBELL AVE	Complies with Waivers

LAND USE AND DEVELOPMENT STANDARDS	PROPOSED PROJECT DATA SUMMARY
<b>EXISTING LAND USE:</b> General Plan: CB-MU - CENTRAL BUSINESS MIXED-USE (26-33 Units/Gr Acre) Zoning: C-CU - COMMERCIAL CORRIDOR MIXED-USE C-PD - CONDOMINIUM PLANNED DEVELOPMENT	CENTRAL BUSINESS MIXED-USE (26-33 Units/Gr Acre) CC-MU - COMMERCIAL CORRIDOR MIXED-USE C-PD CONDOMINIUM PLANNED DEVELOPMENT
<b>LAND USE:</b> Allowed Uses: Mixed-Use	<b>LAND USE:</b> Proposed Use: Mixed-Use
<b>SITE AREA:</b> Min. Site Area: No minimum lot size.	<b>SITE AREA:</b> Site Area: 43,492 SF <b>NET AREA:</b> 1.00 Acres <b>GROSS AREA:</b> 70,922 SF 1.63 Acre
<b>DENSITY AND NUMBER OF UNITS</b>	<b>DENSITY AND NUMBER OF UNITS</b> Number Units: 90 Units 100.0% Net Rentable Small 1 Bedroom: 7 Units 7.8% 621 Ave SF 1 Bedroom: 13 Units 14.4% 706 Ave SF 2 Bedroom: 52 Units 57.8% 1,023 Ave SF 3 Bedroom: 18 Units 20.0% 1,287 Ave SF
Min Dens: 23 Max Dens: 33	Total Number of Units: 90 Units Density: 90 DU/Acre 998 Ave SF
<b>BUILDING AREA:</b>	<b>BUILDING AREA</b>
	Net Rentable Area: 69,854 SF Gross Rentable Area: 95,725 SF Level Gross Building Area 1st Floor: 37,694 SF 2nd Floor: 29,223 SF 3rd Floor: 30,013 SF 4th Floor: 30,013 SF Gross Residential Building Area: 126,034 SF Retail Building Area: 5,026 SF Parking Area: 41,488 SF 5th Floor: 30,013 SF 6th Floor: 17,592 SF Gross Building Area: 174,548 SF Gross Building Area (WO Parking): 133,060 SF Efficiency: 76%

VEHICULAR PARKING SUMMARY:	PARKING PROVIDED:
<b>RESIDENTIAL VEHICLE PARKING REQUIRED (State Density Bonus):</b> 1 BDR: - SPACES / UNIT 2 BDR: - SPACES / UNIT 3BDR: - SPACES / UNIT TOTAL: - SPACES / UNIT	<b>TOTAL PARKING PROVIDED:</b> <b>RESIDENTIAL PARKING:</b> 111 SPACES (On-Site) <b>RETAIL PARKING:</b> - SPACES (On-Site)
<b>RETAIL (Form-Based Code):</b> 1.00 SPACE PER 200SF	<b>RETAIL PARKING DETAIL:</b> STANDARD SPACES: 50 SPACES ACCESSIBLE SPACES: 4 SPACES EV SPACES: 12 SPACES 10% CHARGERS 40% READY (OUTLETS) 45 SPACES
<b>TOTAL PARKING REQUIRED:</b> 25 SPACES	<b>ACCESSIBLE, EVCS, EV READY AND STANDARD PARKING DETAIL:</b>
	RESIDENTIAL RETAIL TOTAL
	STANDARD 50 - 50 SPACES
	ACCESSIBLE - STANDARD 2 - 2 SPACES
	ACCESSIBLE - VAN 2 - 2 SPACES
	STANDARD EVCS 10 - 10 SPACES
	ACCESSIBLE VAN - EVCS 1 - 1 SPACES
	ACCESSIBLE - EVCS 1 - 1 SPACES
	AMBULATORY - EVCS - SPACES
	STANDARD EV READY 42 - 42 SPACES
	ACCESSIBLE VAN - EV READY 1 - 1 SPACES
	ACCESSIBLE - EV READY 1 - 1 SPACES
	AMBULATORY - EV READY 1 - 1 SPACES
	TOTAL 111 - 111 SPACES

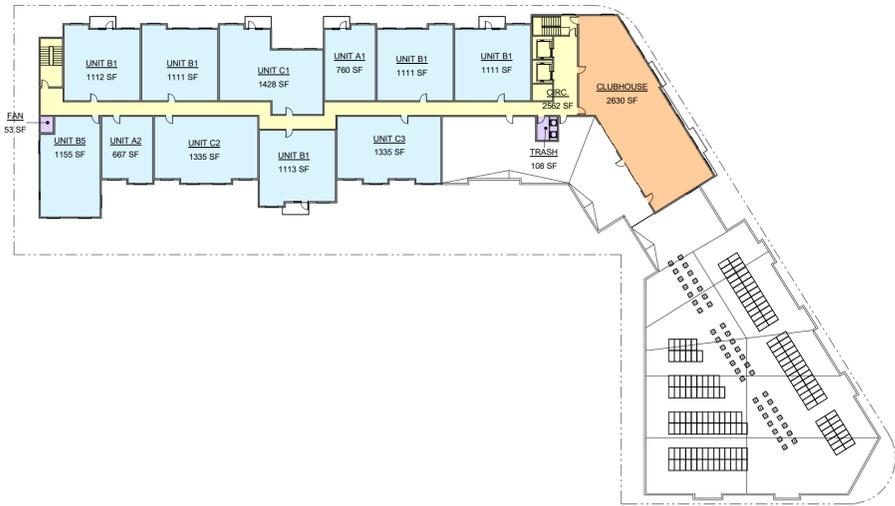
BICYCLE PARKING SUMMARY:	RESIDENTIAL BICYCLE PARKING PROVIDED
<b>RESIDENTIAL BICYCLE PARKING REQUIRED (Form-Based Code):</b> 1 BDR: 0.25 SPACES / UNIT 2 BDR: 0.25 SPACES / UNIT	14 SPACES 13 SPACES
<b>TOTAL RESIDENTIAL BICYCLE PARKING REQUIRED:</b> 27 SPACES	<b>TOTAL RESIDENTIAL BICYCLE PARKING PROVIDED:</b> 112 SPACES

BUILDING VOLUME AND FAÇADE COMPOSITION STANDARDS		
<b>Frontage Types:</b> Each module shall include at least one frontage type, as allowed by the zone	Waiver	The modules with building access have frontage permitted by the zoning, whereas Modules B and D do not include building access.
<b>Building Types and Massing:</b> Not Applicable in the TAMIS Zone		
<b>Base, Middle, Top:</b> Each module shall be composed of a base, middle, and top in compliance with Subsection 7.040.3 C-E.		
A. Boundaries between base, middle, and top shall be articulated by a cornice, projecting profile/string course, or other horizontal articulation. B. Elements defining the base, middle and top shall be consistent across the module. C. Base: The base shall be defined through one of the following two options: 1. Watertable 2. Base story D. Middle: 1. Middle shall incorporate primary wall color and finish material. 2. The middle shall include at least half of the number of stories. E. Top: 1. The top shall include a parapet, pitched roof, or cornice. 2. The top may include the uppermost story, but cannot exceed the height of the base.	Complies Complies Complies Complies Complies	
<b>Ground Floor Tenant Spaces:</b> A. Boundaries between ground floor tenant spaces shall coincide with boundaries between adjacent modules B. Ground floor tenant spaces shall not exceed 50 feet in width.	N/A Waiver	The retail space is 88'-11" wide, but it could be divided into two spaces, each smaller than 50 feet.
C. A single module may contain multiple tenant spaces. D. A single tenant may occupy multiple tenant spaces. E. Each ground floor tenant space shall include a frontage type.	N/A N/A Complies	
<b>Bay Composition:</b> Each façade shall be arranged according to a pattern of bays. A. Each bay shall be at least 4 ft. wide and no wider than 16 ft. Bays in the base may be up to 25 ft. wide. B. Each module shall include at least two bays and not more than nine bays. C. Bay composition can vary between the base, middle, and top. D. All bays within a module shall be the same height. (Entry bays, corners, and secondary wings are exempt).	Complies Complies Complies Complies	
<b>Windows:</b> A. All windows or window groupings shall be recessed at least 2 inches. B. All windows or window groupings shall include a sill: 1. The sill shall extend beyond the wall surface by at least 1.5 inches min. 2. The sill shall extend past the sides of the opening by at least 1/2 of the sill height. 3. The sill shall be sloped toward the exterior. C. At least 75% of individual modules shall be oriented vertically. D. Ganged windows shall be separated by visible mullions or jumbs. E. Windows surrounded with masonry shall comply with Section 7.060.2 F. Windows on upper floors shall be smaller in size than ground-floor storefront. G. Security grills or bars are prohibited.	Complies Waiver Complies Complies Complies Complies	We have used other elements in the composition, such as recessed windows, Juliet balconies, window trim, and canopies.
<b>Balcony Standards:</b> A. Balconies shall meet one of the following types: 1. Juliett Balcony a. Placed in front of in-swinging doors with full glazing. b. Shall include a 3" high base (min) extending 4" beyond the wall finish. c. Shall include a guardrail. 2. Occupiable Balcony a. Balcony size shall be no less than 6 ft depth and 48 Sq. Ft. b. Occupied area may be recessed into building façade up to 54 inches. c. Shall include a guardrail. B. Balcony brackets (where used) shall comply with the following: 1. Bracket depth shall be no less than 80% of projection depth at bracket. 2. Bracket height shall be no less than 50% of bracket depth. 3. Bracket spacing shall be no greater than 6 feet on center.	Complies Complies Complies Complies Complies N/A	Recessed into building 24 inches.
<b>Corner Panels:</b> A. Buildings located at the intersection of at least two public rights-of-way shall incorporate at least 2 of the following features at the corner: 1. A corner element (see Subsection 7.050.1). 2. An entryway that is oriented toward the corner (not perpendicular to the street). 3. Commercial storefront that is 2 feet taller than ceiling height of other tenant spaces. 4. A projecting cornice or eave that is at least 50% deeper than other cornices or eaves used on the building. 5. An arcade, gallery, or canopy/walls that is oriented toward the corner (not perpendicular to the street). 6. A balcony (see Subsection 7.040.7). 7. An art sculpture and/or fountain, and/or 8. A public or semi-public outdoor seating area (e.g., outdoor seating area for a restaurant) that is at least 1,000 of in area.	Dillon/Campbell Gilman/Campbell Complies Complies Complies Complies Complies Complies	
<b>Habitable Outdoor Space:</b> A. Any habitable outdoor space supported by the building structure, including occupiable balconies (see Subsection 7.040.7.A.2), shall either be uncovered or sheltered according to one of the following patterns: 1. Pergola. (a) Posts shall be no narrower in any dimension than 3.5 inches or 1/20 of the unbraced post length, whichever is greater. 2. Post and Beam with Full Floor/Roof Structure. (a) Posts shall be no narrower in any dimension than 3.5 inches or 1/20 of the unbraced post length, whichever is greater. (b) The distance between posts shall be no wider than the total post height. 3. Arched Openings with Full Floor/Roof Structure. (a) Arched openings shall be bounded by columns, piers, or sections of solid wall. (b) The ratio of column diameter at lowest part of shaft to column height shall be no less than 1:10 and no greater than 1:7. (c) Width of wall sections or piers at outside corners shall be no less than 1/3 of the opening width. Piers between multiple arched openings may be narrower. 4. Rectilinear. (a) Bounded by square/rectangular piers framing rectilinear wall opening. (b) If insets are expressed on the façade, they shall extend over the piers by half the lintel height at each end. (c) Piers shall be no narrower in any dimension than 15.5 inches or 1/6 of the opening width, whichever is greater. (d) Piers at corners shall be wider than piers between openings. 5. Textile Shading. (a) Shaded by fabric elements, such as awnings or stretched canvas, secured to the building structure. 6. Sheltered by Main Roof Form. (a) Roof covering habitable space is supported by other building volumes.	Complies Complies N/A N/A Complies Complies N/A N/A	The balconies on the upper levels and the podium deck are uncovered outdoor spaces.
<b>Firewalls and Visible Party Walls.</b> At least one of the following techniques must be applied on firewalls. A. Incorporation of windows where building code allows and adequate fire protection can be provided. B. Gable and hip roofs to vary the height and appearance of party walls. C. Inset panels. D. Stepped-back front façade of upper floor(s) to vary the partywall profile.	Complies	Windows have been incorporated.
<b>MASSING FEATURES</b>		
<b>Corner Elements:</b> A. Corner elements are allowed at the intersection of two or more of the following: 1. Public right(s) of way; 2. Thoroughfare(s) as defined in Section 8.040 (Thoroughfares); or 3. Open space as defined by Section 8.030 (Large Site Open Space). B. A corner element shall be in compliance with the following standards: 1. Corner element shall incorporate at least one full story. 2. Corner element shall coincide with the building/module's middle and/or top; 3. If corner element extends through the building/module's top, it may exceed the main building façade height by at least 4 feet and up to 10 feet above the maximum height allowed by the zone, for a horizontal area up to 20 feet by 20 feet. No corner element shall exceed 75 feet in height above grade. 4. If corner element extends through the building/module's base, it shall contain a ground-floor entrance. 5. A corner element may project from the main façade by up to 4 feet. Projections over the right-of-way are not allowed. 6. Corner element shall use one of the following profiles (see Figure 7.050.1): (a) Square (b) Octagonal (c) Chamfer	N/A	
<b>Entry Bays:</b> A. An entry bay shall be in compliance with the following standards: 1. Entry bay shall contain a ground-floor entrance. 2. Entry bay shall project from the main building façade by at least 2 feet. 3. Entry bay may exceed the height of the main building façade by up to 10 feet, not to exceed 75 feet above grade.	N/A	
<b>Projecting Volumes:</b> A. Where included, a projecting volume shall project from the adjacent façade by at least 2 feet. B. A projecting volume shall be at least 2 bays wide and no more than 5 bays wide. C. A projecting volume shall extend vertically throughout the building or module's middle and may also extend through the same top and/or base. D. The roof form of a projecting volume shall correspond to that of the volume from which it projects and shall maintain eave height. Gable or hipped forms shall include a roof ridge running perpendicular to the projecting volume's façade.	N/A	
<b>Wall Inserts:</b> A. Where included, a wall inset shall recede from the adjacent façade by at least 2 feet. B. A wall inset shall be at least 2 bays wide and no more than 5 bays wide. C. A wall inset shall extend vertically throughout the building or module's middle and top and may also extend through the base. D. Gable or hipped roof forms shall break at a wall inset by maintaining the same eave height on all sides of the wall inset where eaves occur. E. When extending to the ground plane, wall inset shall incorporate landscaping and/or outdoor seating.	N/A	
<b>Secondary Wings:</b> A. Secondary wings are allowed on buildings up to 4 stories. B. Overall height of each secondary wing shall be 1 story lower than that of the main body to which it attaches. C. For buildings up to two stories in height, secondary wing(s) shall be offset from the main body façade by at least 3 feet unless otherwise indicated by building type or massing type standards.	N/A	

PRIVATE FRONTAGE TYPES:	PROPOSED PROJECT	COMPLIANCE NOTES
<b>DOOR YARD (Site Street Only)</b> Not Applicable		
<b>COMMON ENTRY</b> Not Applicable		
<b>SHOPFRONT</b>		
<b>SIZE</b> Distance between glazing: Glazing between sidewalk and finished ceiling: Depth of recessed entries Shopfront base	2 Ft. Max 75% min. 5 Ft. Max 6" Min; 24" Max	1'-10" >75% 2 Ft. 24"
<b>AWNING</b> Depth: Setback from Curb: Height, Clear	5 Ft. Min 2 Ft. Min 8 Ft. Min	5 Ft. 20'-10" 9 Ft.
<b>MISCELLANEOUS</b> Miscellaneous Guidelines		
<b>SPECIFIC TO COMMERCIAL BUILDING ENTRIES</b> Building entrances shall incorporate one of the following treatments: A. Projecting awning or canopy B. An 18" min. increase in height of the moulding line above the entrance C. An 18" deep break in the wall for a recessed entry D. Shaped and colored door frame... E. Clerestory or transom windows above and matching the width of the entry	Projecting awning or canopy	Complies
<b>AWNING</b> Depth: Height, Clear Material: fabric, glass, wood, metal or such combination	6 Ft. Min 8 Ft. Min	10 Ft. 16 Ft.
<b>TINTING AND APPLIED FILMS</b> Clear Glass (88% light transmission) shall be required.	Noted	Complies

ARCHITECTURAL STANDARDS:	PROPOSED PROJECT	COMPLIANCE NOTES
<b>ARCHITECTURAL VARIETY STANDARDS</b> Standards apply to the first 25 ft. of building depth	Complies	
<b>ARCHITECTURAL STANDARDS FOR DIFFERENT BUILDING WIDTHS</b> Building modules up to 80 Ft. wide: (Comply with Section 7.040) Building modules over 80 Ft. wide and up to 120 Ft. wide: (Comply with Section 7.040 and Include at least one massing feature from Section 7.050 on each elevation over 80 Ft. wide Building modules over 120 Ft. wide: Modules shall be at least 40 Ft. wide and no wider than 120 Ft. wide. Modules shall comply with standards applicable to buildings of equivalent width Buildings wider than 120 feet in all zones except TSN and TSM:		
1) Modules shall be at least 40 feet wide.	Waiver	Modules B and E are under 40 feet, yet the design maintains the intent of the code by reducing the scale of different building sections. This is achieved by interrupting the massing with strategically placed setbacks on the upper levels.
2) In the TSN and TSM zones, modules shall be no wider than 160 feet. In all other zones, modules shall be no wider than 120 feet. 3) Modules shall comply with the standards applicable to buildings of equivalent width, in accordance with Subsections 7.030.3.A-C. <b>Building/Module Character:</b> Each of the following features may be repeated identically on no more than two buildings or modules along the same block face. The primary wall color and at least two of the following: A. Typical windows and doors, including curbs and sills B. Balcony assembly (if present), including guards/railings C. Profile and/or assembly of eave, cornice, or parapet as applicable D. Shape or profile of architectural detailing as applied to frontage type E. Primary wall feature	Complies Complies Complies	
<b>Building/Module Differentiation:</b> Modules shall differ from adjacent module(s) through at least 6 of the following features: A. Eave/parapet height (8 inches min. difference) B. Setback or projection of module's primary façade (2 feet min.) C. Facade width/total number of bays D. Presence or absence of bay windows E. Width of typical bays (8 inches min. difference) F. Total upper-story fenestration percentage (min. 12% difference) G. Frontage type (incorporating one or more types not included in adjacent module) H. Elements used to define base/middle/top as described in Section 7.040.3 (including cornice treatments) I. Roof slope (4 degree min. difference) J. Primary wall finish material	Complies	MODULES A / B    MODULES A / C    MODULE C / D    MODULE D / E X                    X                    X                    X X                    X                    X                    X X                    X                    X                    X X (Balconies)    X (Balconies)    X                    X X                    X                    X                    X
<b>Coherence at Corners.</b> Modules that incorporate any outside corner of a building shall include the same treatment regarding the features listed in this Section on all façades that meet at the corner.	Complies	

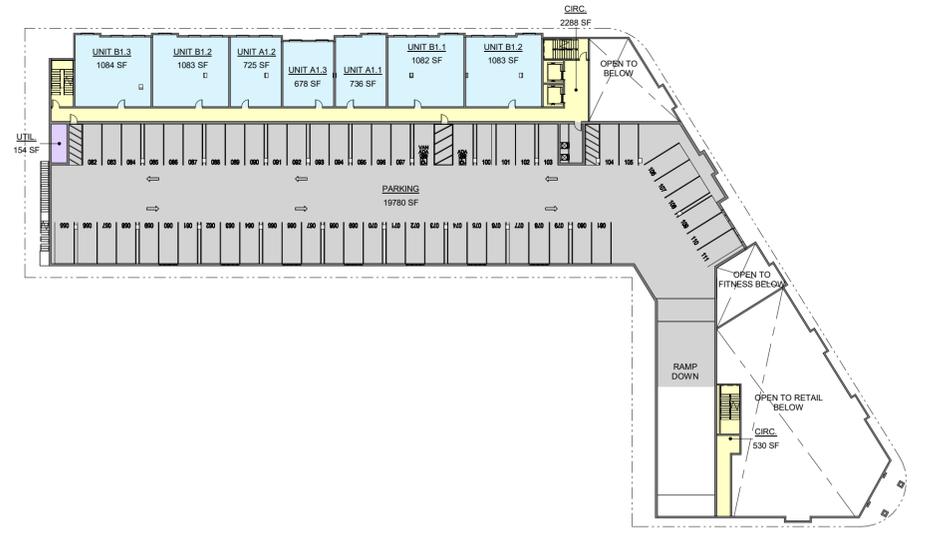
STANDARDS FOR EXTERIOR MATERIALS		
<p><b>Durability:</b></p> <p>A. Exterior timber shall be protected from decay by at least one of the following:</p> <ol style="list-style-type: none"> <li>1. Staining and sealing;</li> <li>2. Painting; and/or</li> <li>3. Material properties. Pressure treated lumber is not allowed as a façade finish material.</li> </ol> <p>The following types of unpainted wood are allowed:</p> <ol style="list-style-type: none"> <li>(a) Teak, (b) Cedar, (c) Redwood, (d) Mahogany, (e) White Oak, (f) Ipe/Brazilian Walnut, (g) Bald Cypress, (h) Black Locust</li> </ol> <p>B. Exterior ferrous metals shall be protected from corrosion by at least one of the following:</p> <ol style="list-style-type: none"> <li>1. Painting or other impermeable coating; and/or</li> <li>2. Metallurgical properties. The following types of metal are allowed:</li> </ol> <ol style="list-style-type: none"> <li>(a) Galvanized steel, (b) Stainless steel, (c) Weathering steel (e.g., COR-TEN)</li> </ol> <p><b>Masonry Openings:</b></p> <p>A. Wall openings surrounded by masonry finish materials (e.g., stone, brick, CMU) shall be spanned by one of the following:</p> <ol style="list-style-type: none"> <li>1. Arch <ol style="list-style-type: none"> <li>(a) All joints within the arch shall align with a commonpoint on the opening's center line.</li> <li>(b) The arch shall not include a joint on the opening's center line.</li> <li>(c) If a keystone is expressed, it shall be centered on the opening's center line.</li> </ol> </li> <li>2. Lintel <ol style="list-style-type: none"> <li>(a) Height of lintel shall be no less than 1/8 of the opening width.</li> <li>(b) Lintel shall extend beyond the opening by at least half its height on both sides of the opening.</li> <li>(c) Lintel shall be taller than the sill/apron.</li> </ol> </li> </ol>	<p>N/A</p> <p>Complies</p> <p>N/A</p> <p>Complies</p>	
	Waiver	Masonry is used only at the corner of East Campbell and Gilman Ave. The design does not accommodate the extension of the lintels.
<p><b>Timber Joints:</b></p> <p>Exterior timber posts and beams meeting at right angles shall be joined by diagonal bracing or by wooden or metal brackets.</p> <p><b>Material and Color Changes:</b></p> <p>Changes in wall finish material or color shall only occur at inside corners.</p> <p><b>Materials Defining Building Elements:</b></p> <p>A. Base</p> <ol style="list-style-type: none"> <li>1. For multi-story buildings, the base of the building shall be defined by a distinct finish material selected from among the following: Stone, brick, concrete, concrete masonry units (CMU), tile, or stucco ("base material").</li> </ol> <p>B. Middle</p> <ol style="list-style-type: none"> <li>1. Where brick appears as a finish material on the building/module's middle, it must extend vertically to the upper boundary of the building/module's base.</li> <li>2. Where stone appears as a finish material on the building/module's middle, it must extend vertically to grade.</li> </ol> <p>C. Parapet. Parapets shall terminate in a parapet cap of stone, brick, concrete, tile, metal, or molded stucco.</p> <p>D. Bays. Changes in wall finish material shall occur at the boundaries between bays rather than within a bay.</p> <p>E. Arcades and Galleries. Arcades shall be supported by columns or piers in concrete/cast stone, fiberglass, or stucco. Archedivolts andimposts shall be expressed using similar material/appearance.</p> <p>F. Pavement. Onsite pavement shall be distinct from the public sidewalk in color, material, or pattern.</p> <p>G. Firewalls and Visible Party Walls</p> <ol style="list-style-type: none"> <li>1. Exposed surfaces shall be finished in the same palette of materials as the equivalent portions of the building or module's other façades.</li> <li>2. Front façade finish materials, cornices, wall top projections, and moldings shall be continued across all visible portions of the party wall.</li> </ol> <p>H. Materials Allowed for Building Details/Ornament: Wood, Metal, Glass, Terra Cotta, Tile, Plaster.</p> <p><b>Colors:</b></p> <p>A. A maximum of 4 colors shall be applied to each building or module:</p> <ol style="list-style-type: none"> <li>1. primary color comprising 50% or more of the façade.</li> <li>2. secondary color comprising no more than 45% of the façade.</li> <li>3. tertiary color comprising no more than 20% of the façade.</li> <li>4. accent color for use on trim and architectural details.</li> </ol> <p>B. Materials with intrinsic, naturally-occurring coloration shall not count towards this maximum. Such materials include metal, unpainted wood, tile, stone, brick, and glass. Materials with pre-finished color (stucco, cement fiberboard, colorized metal) shall count towards the maximum.</p> <p>C. Changes in color may occur:</p> <ol style="list-style-type: none"> <li>1. to articulate boundaries between base, middle, and top divisions of a building or module.</li> <li>2. to articulate a portion of the building as a separate module.</li> <li>3. to articulate projecting elements, such as bay windows and balconies.</li> <li>4. to articulate a massing feature identified in Section 7.050 (Massing Features).</li> </ol>	<p>N/A</p> <p>Complies</p> <p>Complies: Stucco, Thin Brick, and Tile</p> <p>N/A</p> <p>Complies</p> <p>Complies: Thin Bricks</p> <p>Complies</p> <p>Noted</p> <p>Complies</p> <p>Complies: Glass (railings), tile, and plaster.</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p>	
<b>PRIVACY STANDARDS</b>		
<p><b>Intent:</b></p> <p>These standards are designed to provide privacy between primary living spaces of buildings on each side of a lot line where side setbacks are required or provided where not required. Windows and balconies along the side of a building within 20 feet of an interior side lot line in all zones are subject to these standards.</p> <p><b>Standards:</b></p> <p>A. Primary living spaces adjoining an interior side setback shall either:</p> <ol style="list-style-type: none"> <li>1. Orient principal/main window/glazed openings toward the front and rear of the building, away from interior side lot lines; or</li> <li>2. Set the window/glazing openings: <ol style="list-style-type: none"> <li>(a) Perpendicular to interior side lot lines; or</li> <li>(b) More than six feet from interior side lot lines</li> </ol> </li> </ol> <p>B. Windows within 6 feet of an interior side lot line shall either:</p> <ol style="list-style-type: none"> <li>1. Have a minimum sill height of 44 inches; or</li> <li>2. Place the window at an angle of at least 30 degrees, measured perpendicular to the adjacent side lot line.</li> </ol> <p>C. Balconies are prohibited within 6 feet of an interior side lot line.</p>	<p>Complies</p> <p>Complies</p>	<p>Windows are at least 10 feet from property line.</p>
<b>BIRD SAFETY</b>		
<p>1. Bird safety treatment is required:</p> <p>A. On glazed areas within 10 feet of a building corner for non-residential uses;</p> <p>B. On glazed areas within 15 vertical feet and 20 horizontal feet of any landscaped area, including green roofs and vegetated courtyards;</p> <p>C. On parallel panels of glass separated by 30 feet or less, with no intervening walls;</p> <p>D. On any transparent atrium, free-standing glass feature, or architectural glass element that projects from the building mass;</p> <p>E. On glazed areas within 60 feet of grade in a façade with more than 20 percent glazing located within 300 feet of any water body, or within 100 feet of a landscaped area or open space larger than one acre.</p> <p>2. Mirrored glass and glazing with a reflective index greater than 20 percent are prohibited on building facades.</p>	<p>Complies</p> <p>Noted</p>	



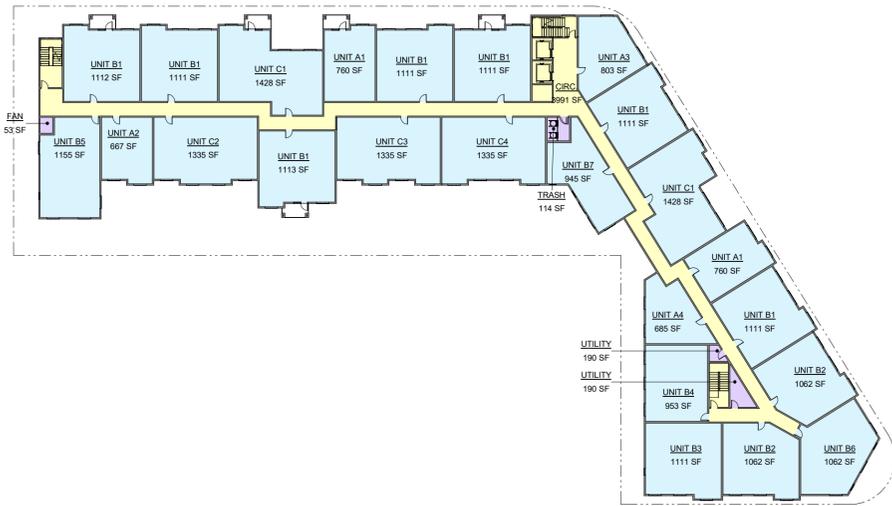
6TH FLOOR - AREA DIAGRAM | 6  
1" = 40'-0"



4TH FLOOR - AREA DIAGRAM | 4  
1" = 40'-0"



2ND FLOOR - AREA DIAGRAM | 2  
1" = 40'-0"



5TH FLOOR - AREA DIAGRAM | 5  
1" = 40'-0"



3RD FLOOR - AREA DIAGRAM | 3  
1" = 40'-0"



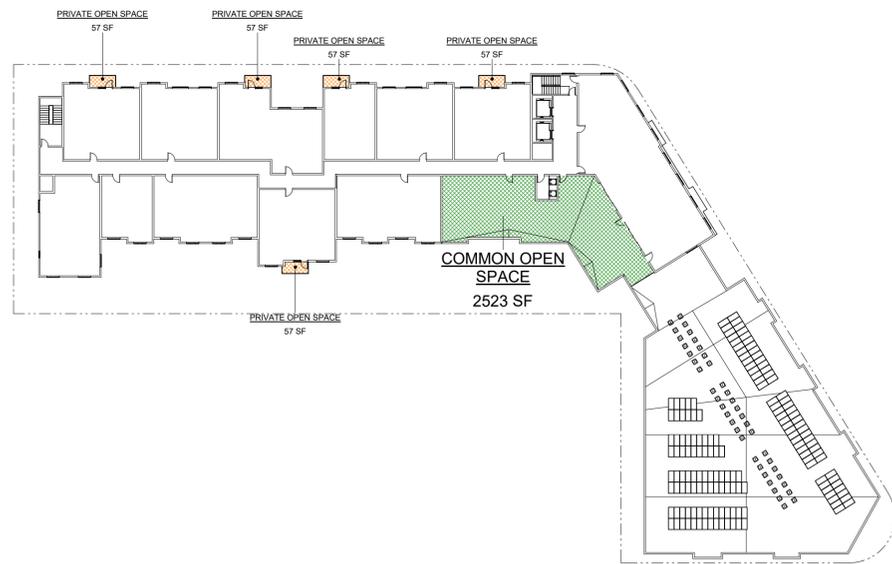
1ST FLOOR - AREA DIAGRAM | 1  
1" = 40'-0"

**GROSS BUILDING AREA:**

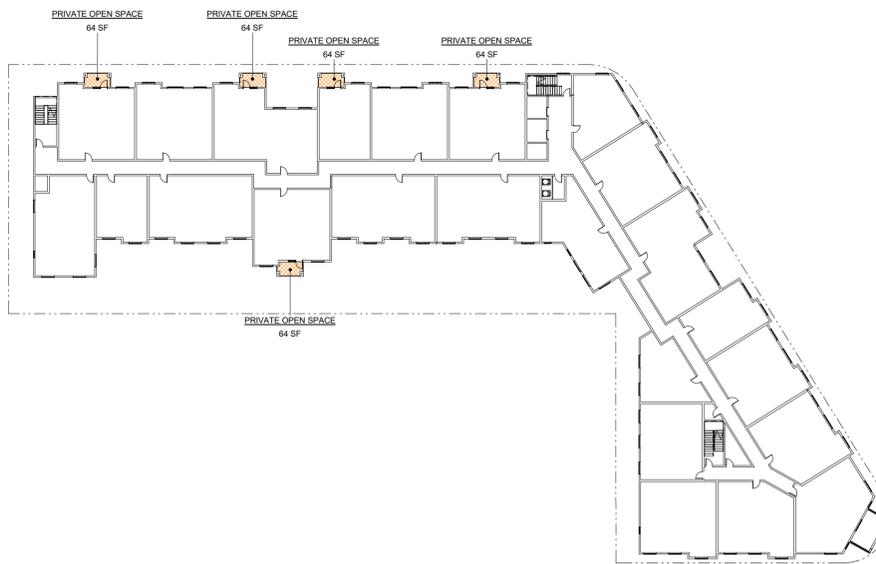
AMENITIES:	8,542 SF
CIRCULATION:	18,779 SF
LEASING:	353 SF
PARKING:	41,488 SF
RESIDENTIAL:	95,725 SF
RETAIL:	5,026 SF
UTILITY:	4,635 SF
<b>TOTAL</b>	<b>174,548 SF</b>

**FLOOR AREA DIAGRAM LEGEND**

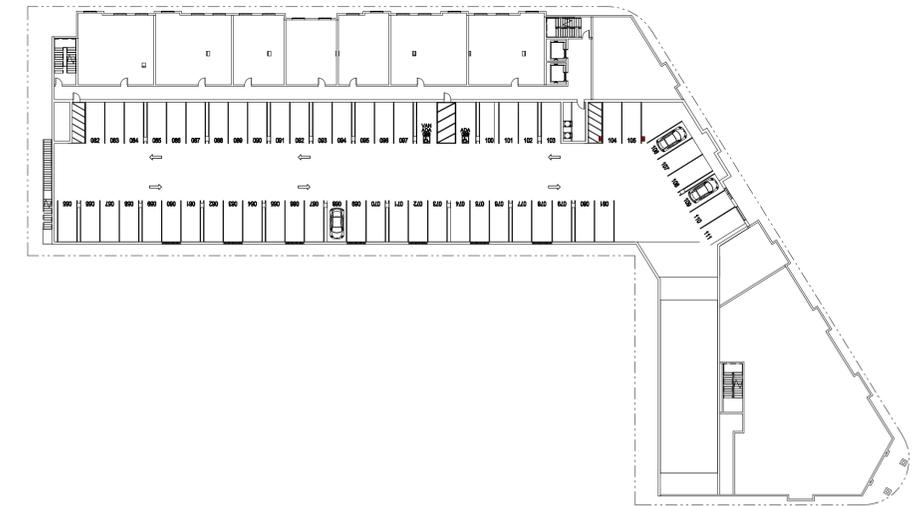
- AMENITY
- CIRCULATION
- LEASING
- PARKING
- RESIDENTIAL
- RETAIL
- UTILITY



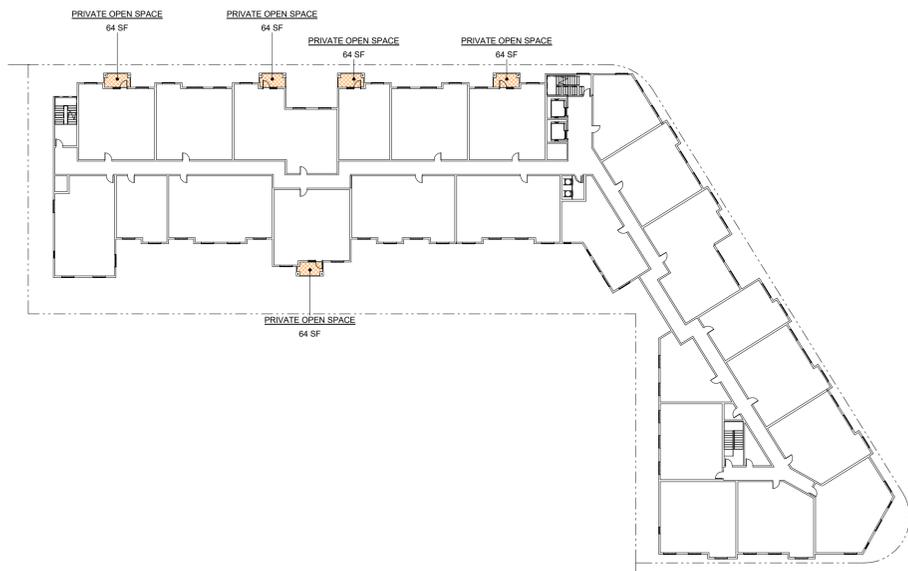
6TH FLOOR - OPEN SPACE DIAGRAM | 6  
1" = 40'-0"



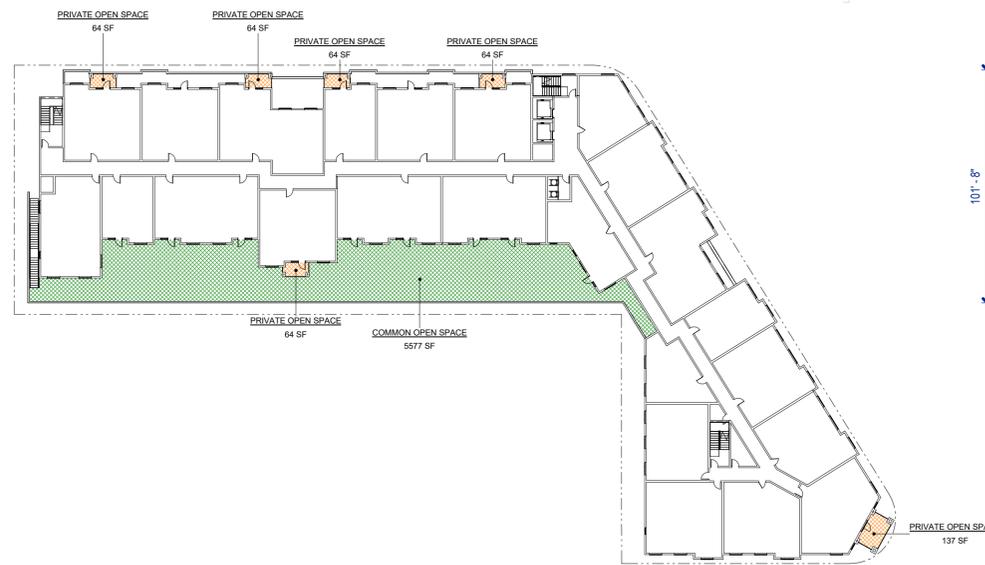
4TH FLOOR - OPEN SPACE DIAGRAM | 4  
1" = 40'-0"



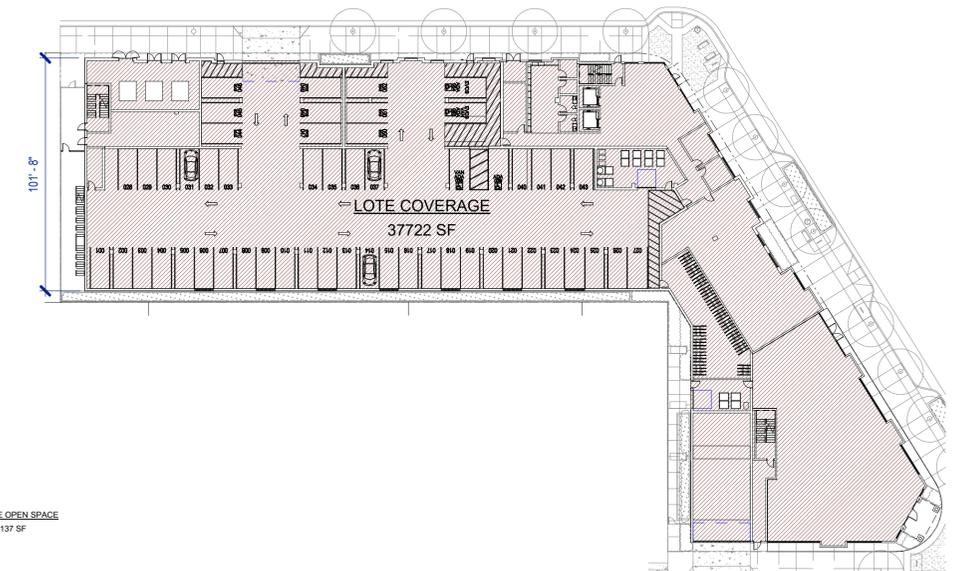
2ND FLOOR - OPEN SPACE DIAGRAM | 2  
1" = 40'-0"



5TH FLOOR - OPEN SPACE DIAGRAM | 5  
1" = 40'-0"



3RD FLOOR - OPEN SPACE DIAGRAM | 3  
1" = 40'-0"



1ST FLOOR - OPEN SPACE DIAGRAM | 1  
1" = 40'-0"

### OPEN SPACE DATA

#### TOTAL PRIVATE OR COMMON OPEN SPACE REQUIREMENTS:

OPEN SPACE PER UNIT:	50 SF/UNIT
TOTAL UNITS:	108 UNITS
OPEN SPACE REQUIRED:	5,400 SF

#### COMMON OPEN SPACE PROVIDED:

CLUBHOUSE ROOF DECK:	2,523 SF
PODIUM 3RD LEVEL:	5,577 SF
COMMON OPEN SPACE PROVIDED:	8,100 SF

#### PRIVATE OPEN SPACE PROVIDED:

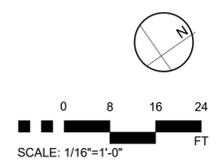
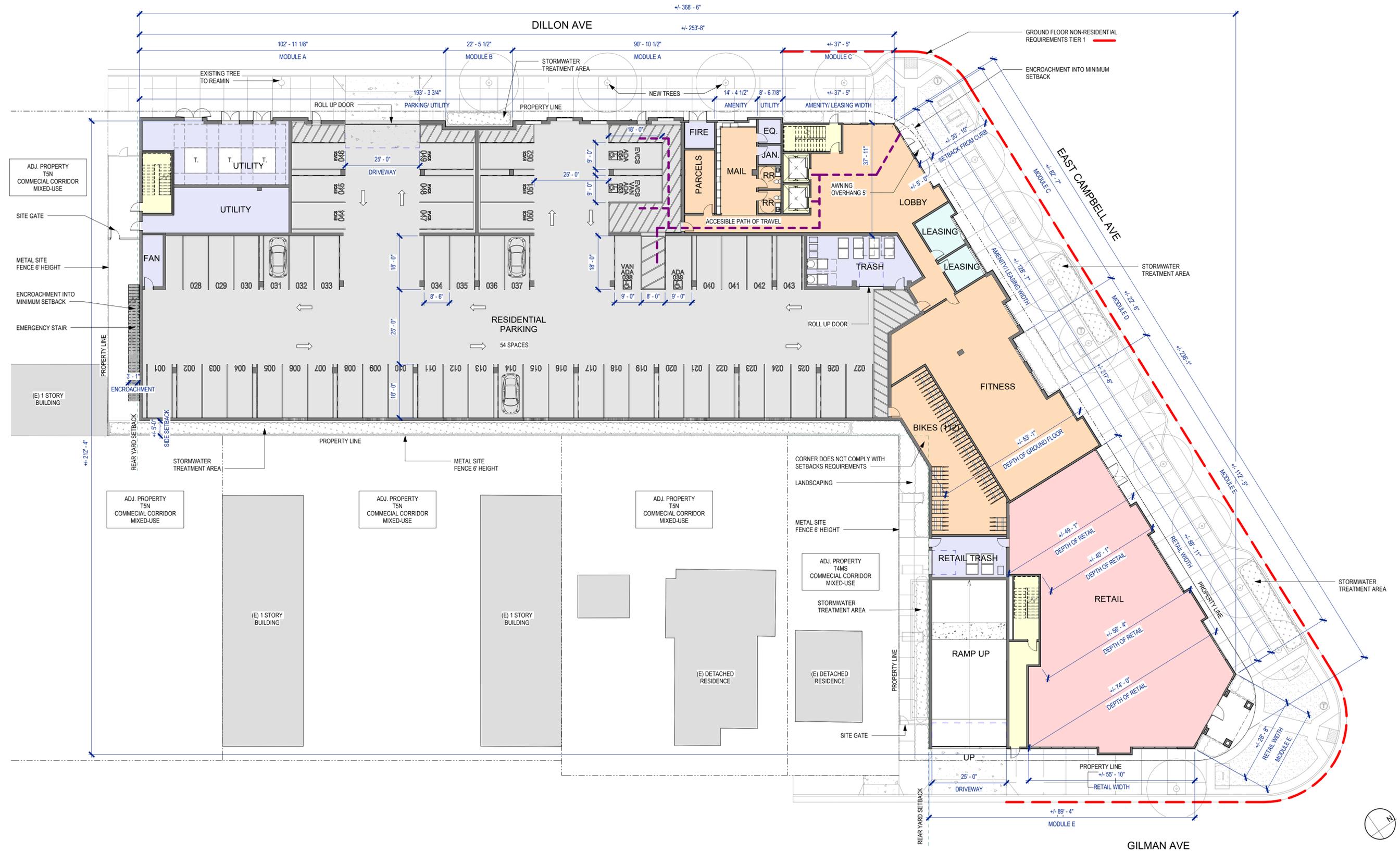
FIRST FLOOR:	0 SF
SECOND FLOOR:	0 SF
THIRD FLOOR:	457 SF
FOURTH FLOOR:	320 SF
FIFTH FLOOR:	320 SF
SIXTH FLOOR:	285 SF
PRIVATE OPEN SPACE PROVIDED:	1,382 SF

#### TOTAL OPEN SPACE: 9,482 SF

105 SF/UNIT PROVIDED  
50 SF/UNIT REQUIRED

#### OPEN SPACE LEGEND

- COMMON OPEN SPACE
- PRIVATE OPEN SPACE





4



5



6



7



3



8



2



9



1



12



11



10



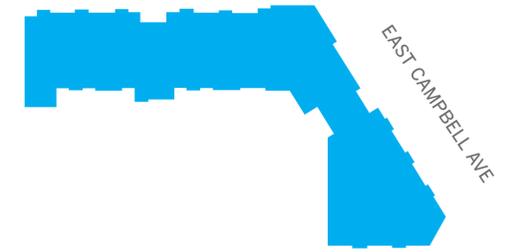








DILLON AVE



GILMAN AVE



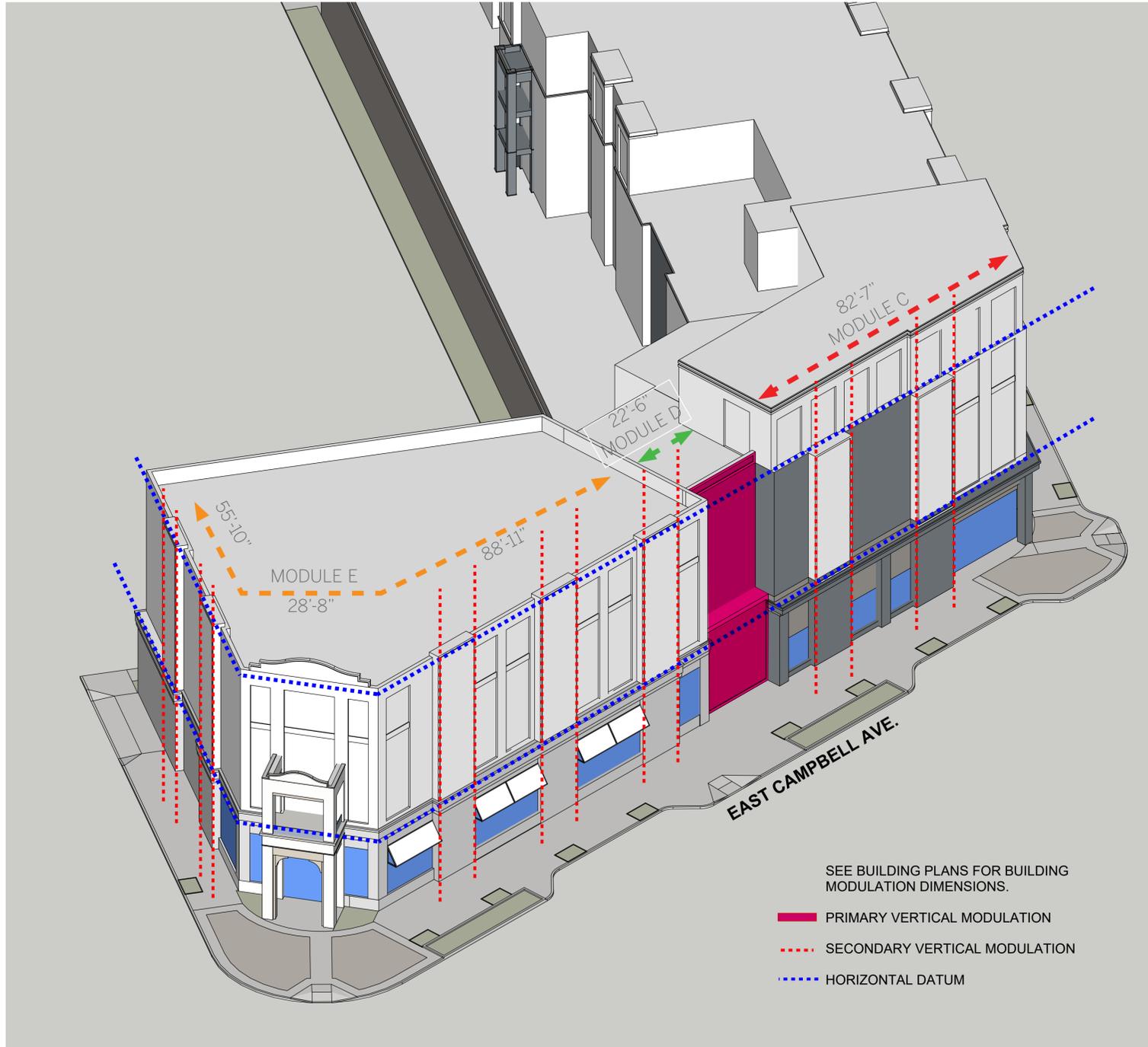
3. EAST CAMPBELL AVE



2. GILMAN AVE

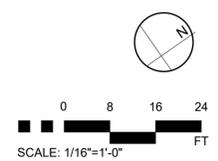


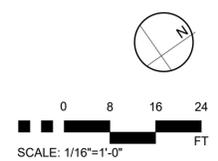
1. DILLON AVE

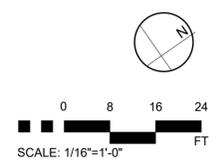


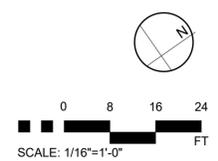
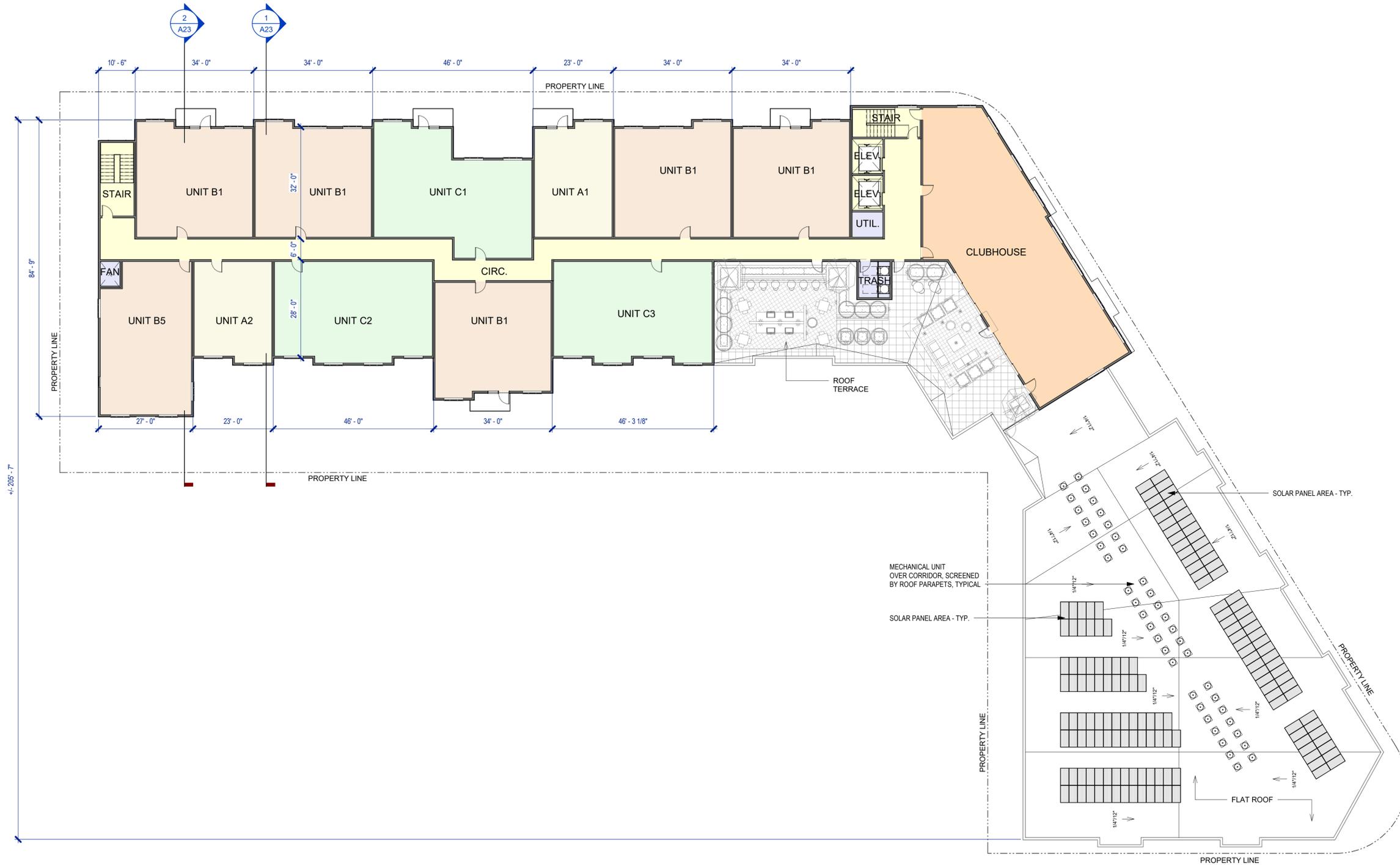


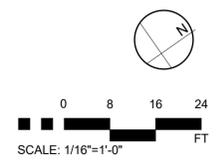
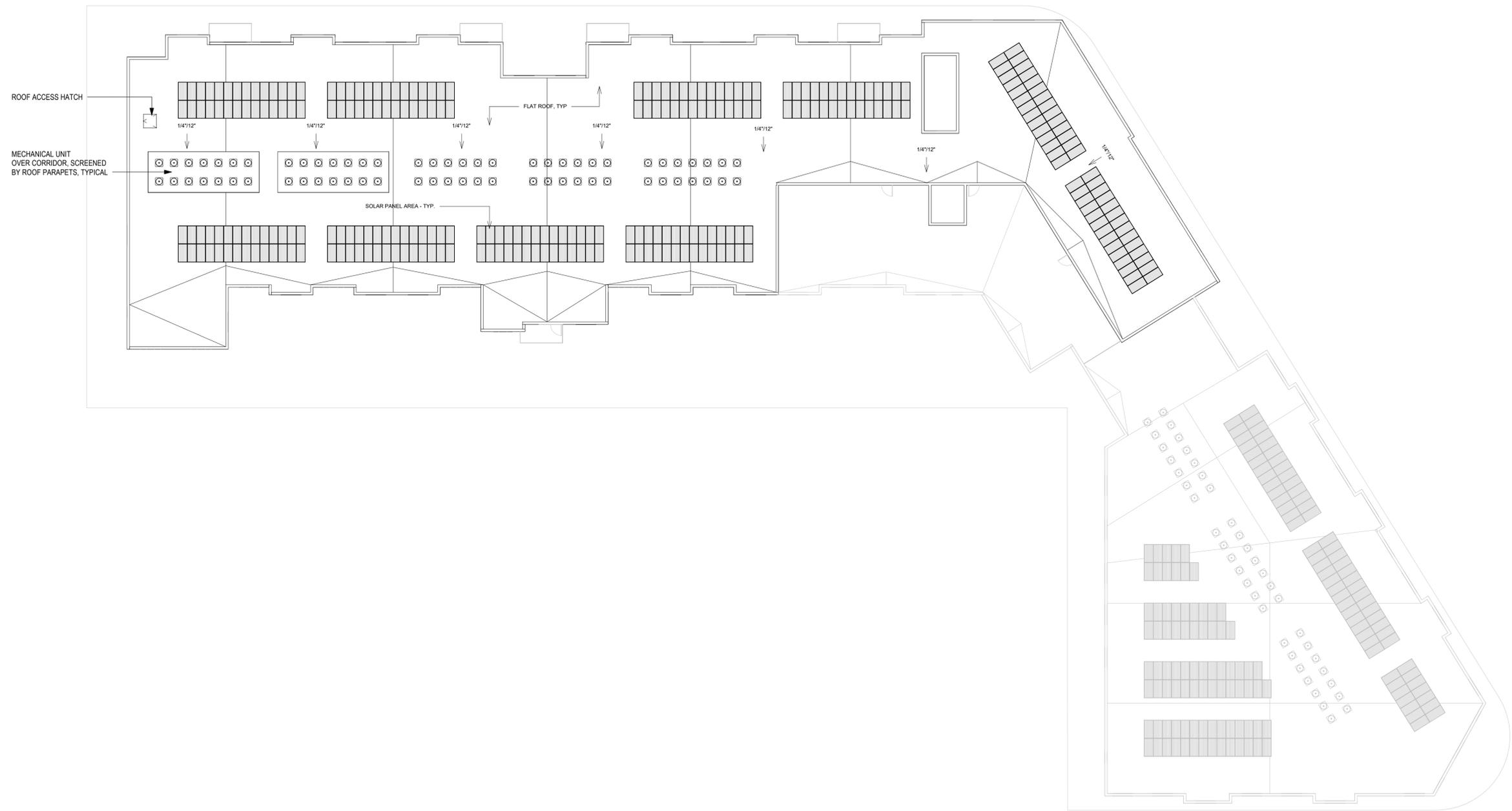


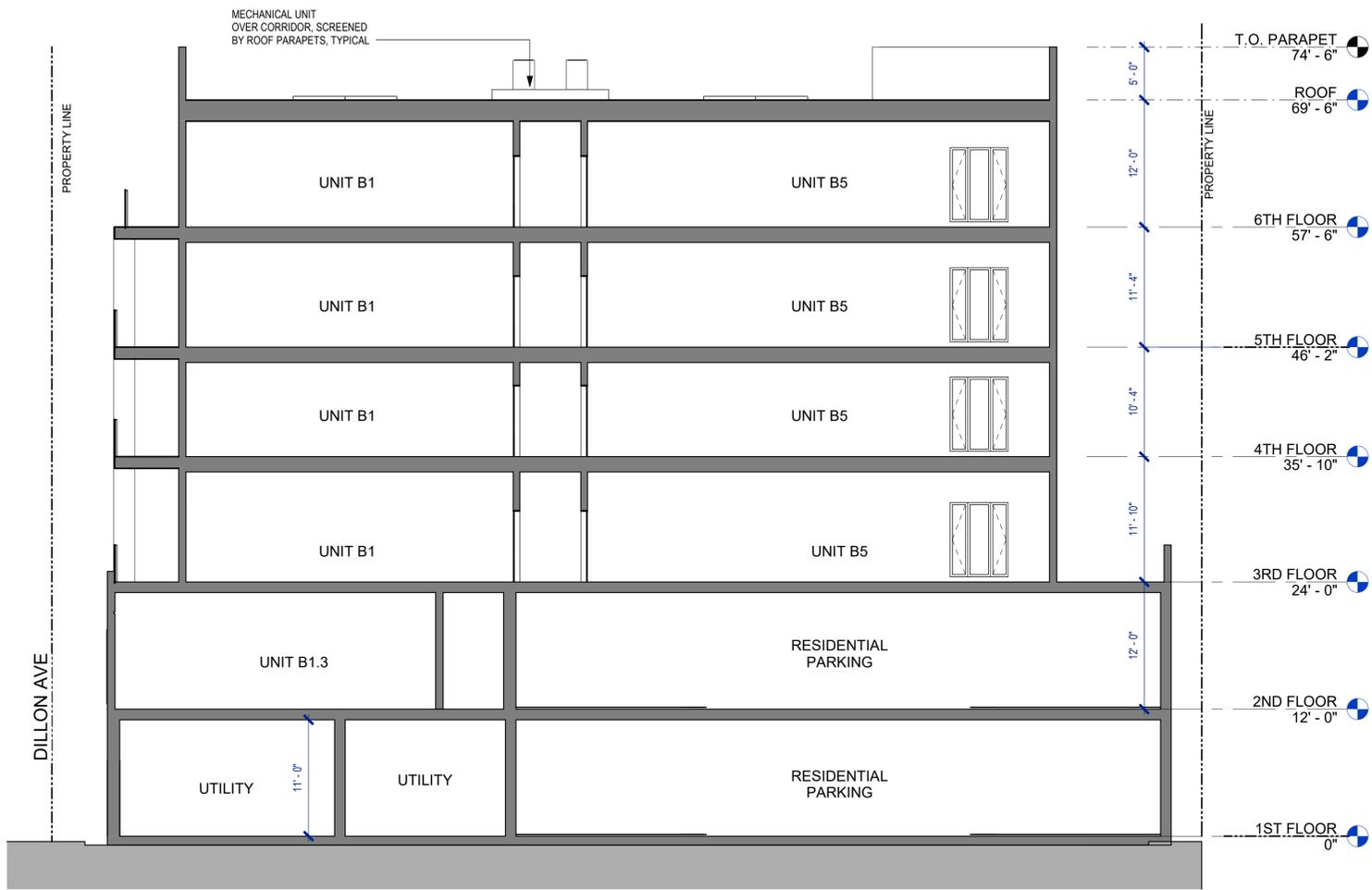




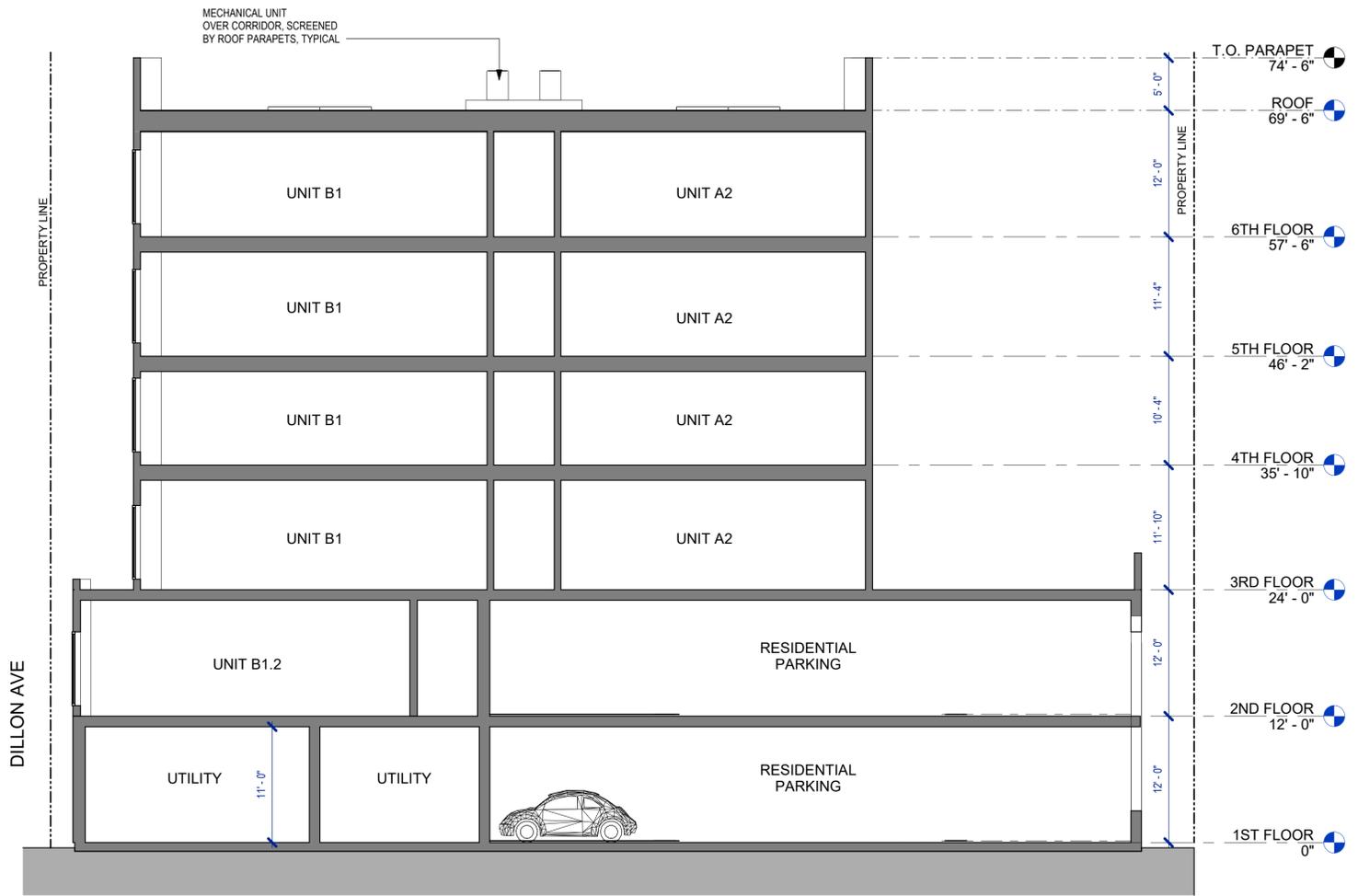




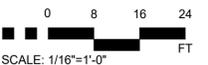


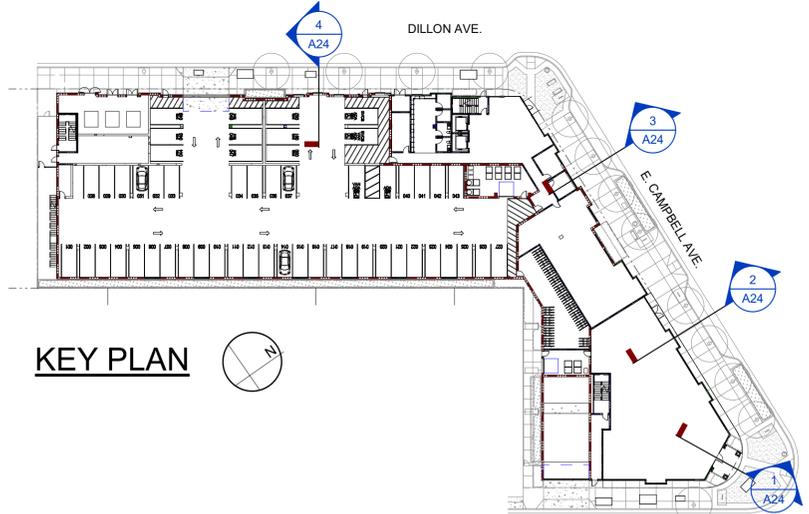
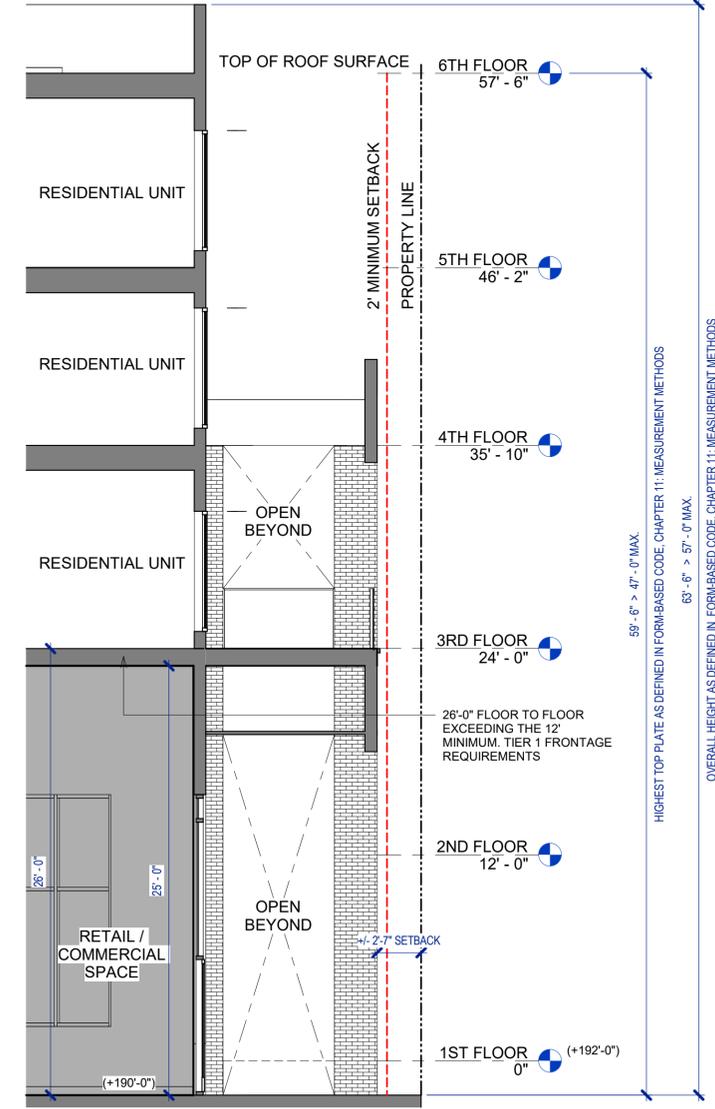
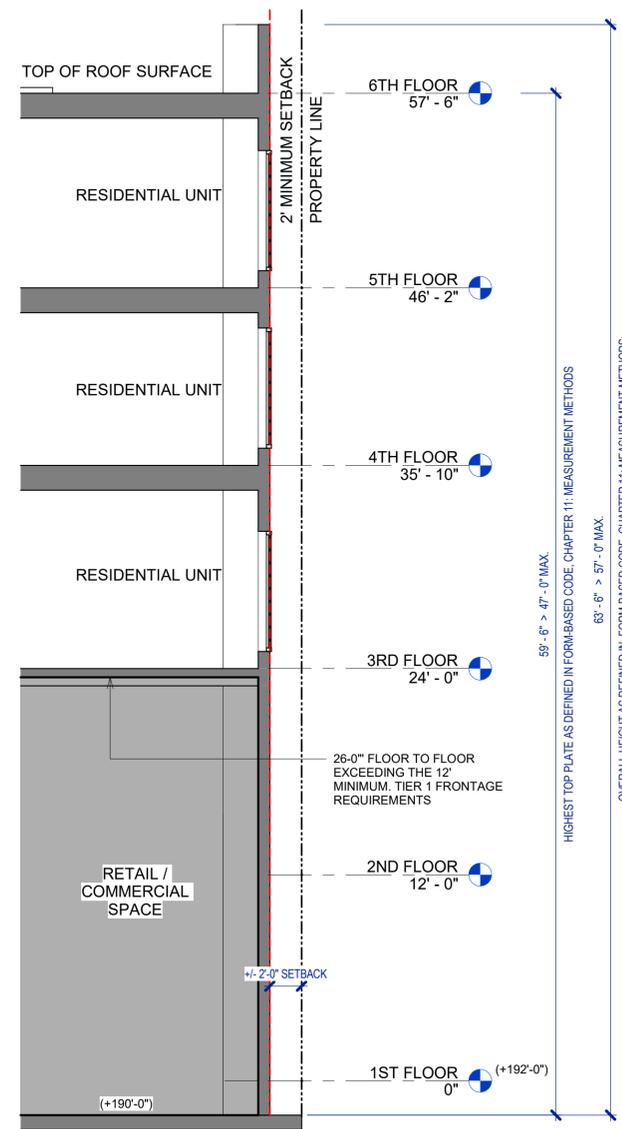
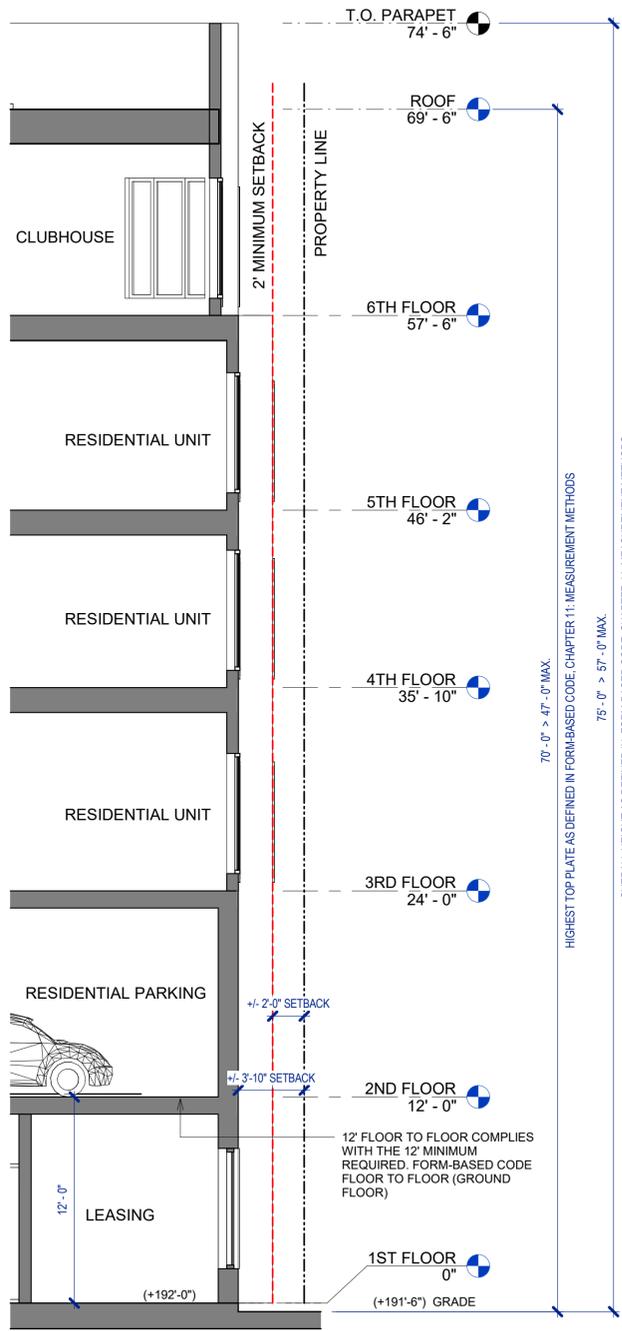
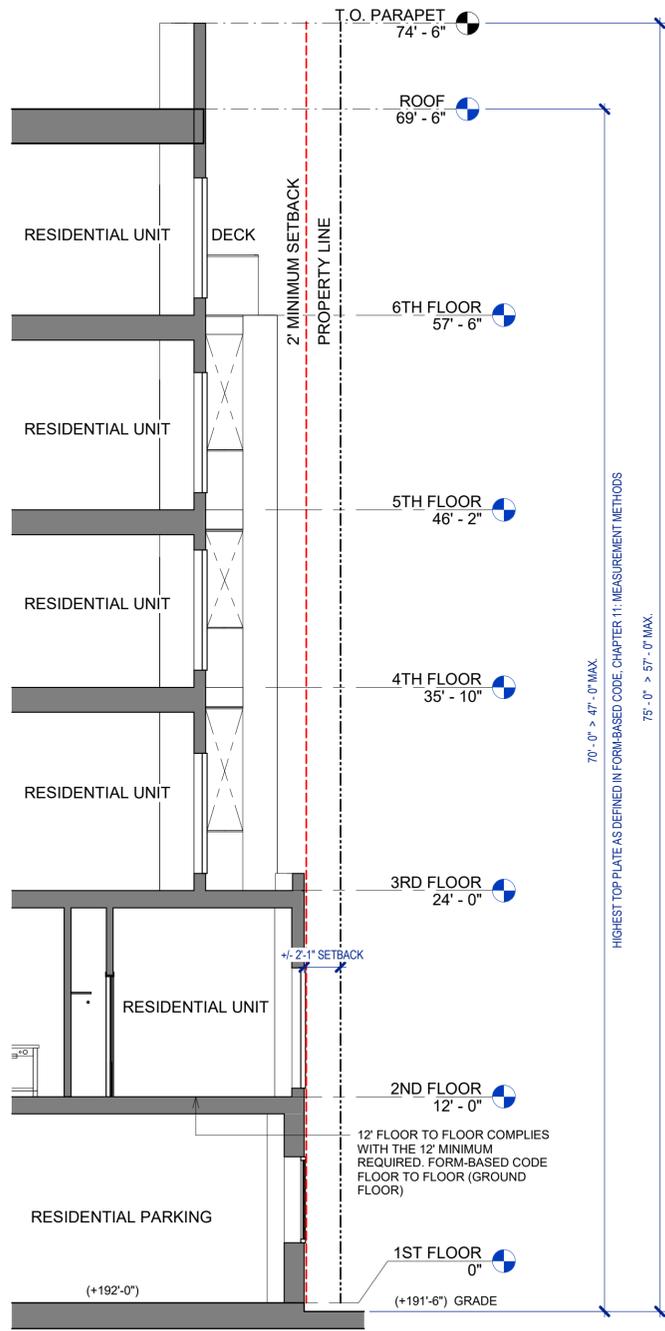


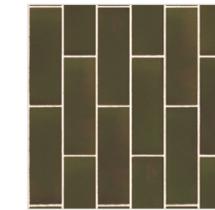
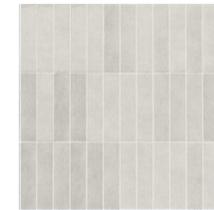
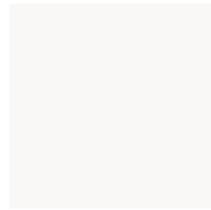
BUILDING SECTION 2 | 2  
1/8" = 1'-0"



BUILDING SECTION 1 | 1  
1/8" = 1'-0"







1. CEMENT PLASTER  
PEARLY WHITE  
SW 7009  
FINE SAND 20/30

2. CEMENT PLASTER  
SENSIBLE HUE  
SW 6198  
FINE SAND 20/30

3. CEMENT PLASTER  
CORNWALL SLATE  
SW 9131  
FINE SAND 20/30

4. CEMENT PLASTER  
WATERLOO  
SW 9141  
FINE SAND 20/30

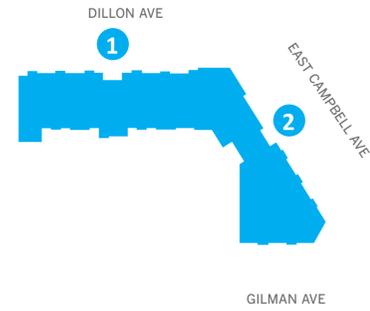
5. TILE ICEBERG WHITE  
3X12 BRUSHED MARBLE  
MFR: BEDROSIANS OR  
EQUIV.

6. TILE  
TEAGAN 3X12 GLOSSY  
CERAMIC MFR:  
EDWARD MARTIN OR  
EQUIV.

7. BRICK VENEER  
MFR: CREATIVE MINES  
GHOSTED OR  
EQUIVALENT

8. TRIMS & DETAILS  
TYP.  
WOOD-LOOK

9. METAL SIDING & STOREFRONT  
LIGHT BRONZE ANODIZED  
MRF: ALUCUBOND OR  
EQUIVALENT

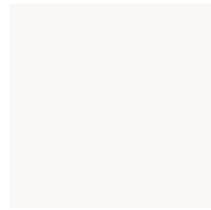


1. DILLON AVE ELEVATION



2. EAST CAMPBELL AVE ELEVATION

Scale: 1/16" = 1'-0"



1. CEMENT PLASTER  
PEARLY WHITE  
SW 7009  
FINE SAND 20/30



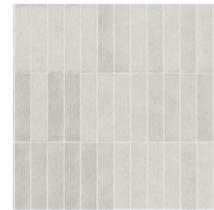
2. CEMENT PLASTER  
SENSIBLE HUE  
SW 6198  
FINE SAND 20/30



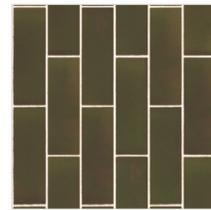
3. CEMENT PLASTER  
CORNWALL SLATE  
SW 9131  
FINE SAND 20/30



4. CEMENT PLASTER  
WATERLOO  
SW 9141  
FINE SAND 20/30



5. TILE ICEBERG WHITE  
3X12 BRUSHED MARBLE  
MFR: BEDROSIANS OR  
EQUIV.



6. TILE  
TEAGAN 3X12 GLOSSY  
CERAMIC MFR:  
EDWARD MARTIN OR  
EQUIV.



7. BRICK VENEER  
MFR: CREATIVE MINES  
GHOSTED OR  
EQUIVALENT



8. TRIMS & DETAILS  
TYP.  
WOOD-LOOK



9. METAL SIDING & STOREFRONT  
LIGHT BRONZE ANODIZED  
MRF: ALUCUBOND OR  
EQUIVALENT

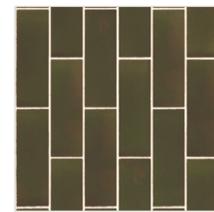
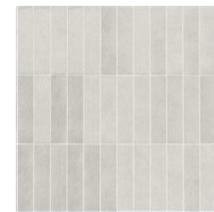
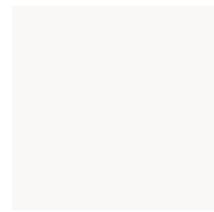


1. CORNER EAST CAMPBELL AND GILMAN AVE ELEVATION



2. GILMAN AVE ELEVATION

Scale: 1/16" = 1'-0"



1. CEMENT PLASTER  
PEARLY WHITE  
SW 7009  
FINE SAND 20/30

2. CEMENT PLASTER  
SENSIBLE HUE  
SW 6198  
FINE SAND 20/30

3. CEMENT PLASTER  
CORNWALL SLATE  
SW 9131  
FINE SAND 20/30

4. CEMENT PLASTER  
WATERLOO  
SW 9141  
FINE SAND 20/30

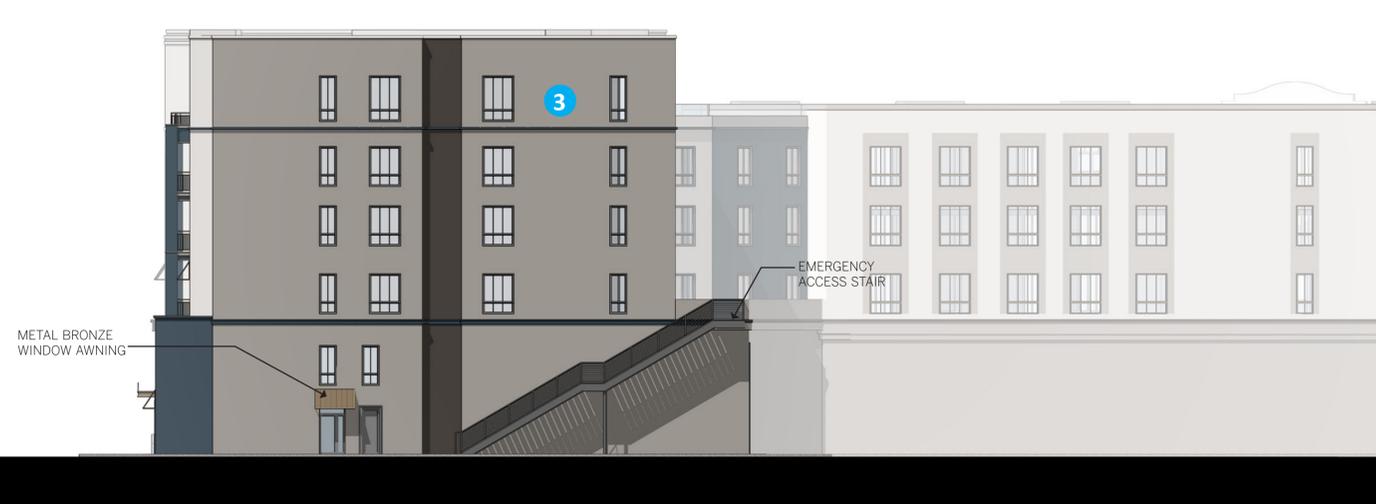
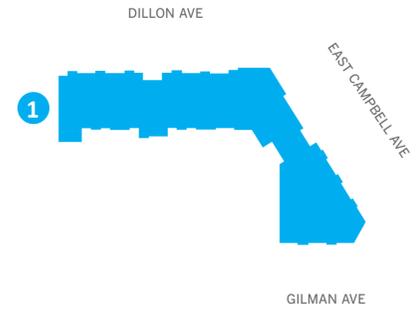
5. TILE ICEBERG WHITE  
3X12 BRUSHED MARBLE  
MFR: BEDROSIANS OR  
EQUIV.

6. TILE  
TEAGAN 3X12 GLOSSY  
CERAMIC MFR:  
EDWARD MARTIN OR  
EQUIV.

7. BRICK VENEER  
MFR: CREATIVE MINES  
GHOSTED OR  
EQUIVALENT

8. TRIMS & DETAILS  
TYP.  
WOOD-LOOK

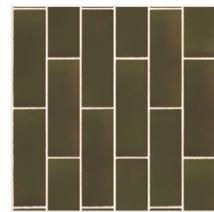
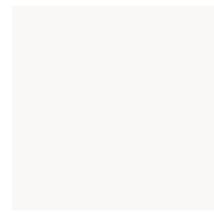
9. METAL SIDING & STOREFRONT  
LIGHT BRONZE ANODIZED  
MRF: ALUCUBOND OR  
EQUIVALENT



TOP OF PARAPET	74'-6"
6TH FLOOR	57'-6"
5TH FLOOR	46'-2"
4TH FLOOR	35'-10"
3RD FLOOR	24'-0"
2ND LEVEL	12'-0"
1ST FLOOR	0'-0"

1. PROPERTY LINE ELEVATION

Scale: 1/16" = 1'-0"



1. CEMENT PLASTER  
PEARLY WHITE  
SW 7009  
FINE SAND 20/30

2. CEMENT PLASTER  
SENSIBLE HUE  
SW 6198  
FINE SAND 20/30

3. CEMENT PLASTER  
CORNWALL SLATE  
SW 9131  
FINE SAND 20/30

4. CEMENT PLASTER  
WATERLOO  
SW 9141  
FINE SAND 20/30

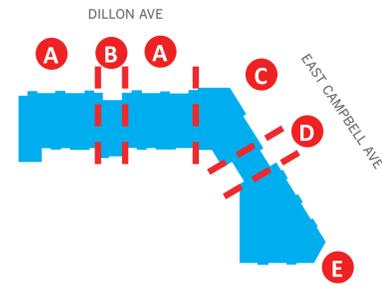
5. TILE  
ICEBERG WHITE 3X12  
BRUSHED MARBLE  
MFR: BEDROSIANS OR  
EQUIV.

6. TILE  
TEAGAN 3X12 GLOSSY  
CERAMIC MFR:  
EDWARD MARTIN OR  
EQUIV.

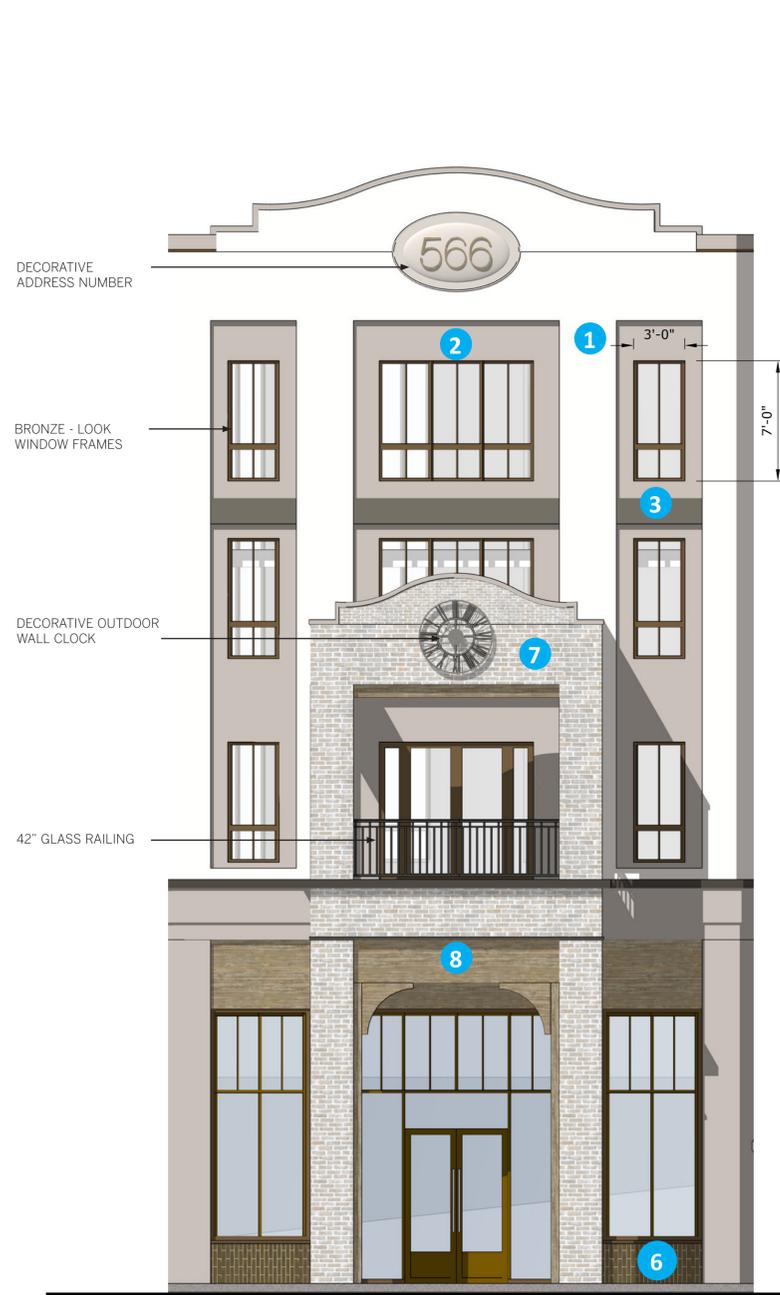
7. BRICK VENEER  
MFR: CREATIVE MINES  
GHOSTED OR  
EQUIVALENT

8. TRIMS & DETAILS TYP.  
WOOD-LOOK

9. METAL SIDING & STOREFRONT  
LIGHT BRONZE ANODIZED  
MRF: ALUCUBOND OR  
EQUIVALENT



GILMAN AVE  
MODULES KEY PLAN



3. MODULE E - EAST CAMPBELL AVE & GILMAN AVE



2. MODULE C - DILLON AVE & EAST CAMPBELL AVE



1. MODULE A - DILLON AVE

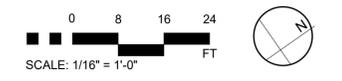
- LEGEND**
- PEDESTRIAN CIRCULATION
  - BICYCLE CIRCULATION
  - AUTO CIRCULATION
  - ACCESSIBLE PATH
  - PUBLIC ENTRANCE
  - ▲ RESIDENT ENTRANCE
  - LOCKED - MAINTENANCE AND FD ONLY



PARKING: 54 RESIDENTIAL SPACES (1 ACCESSIBLE & 1 VAN ACCESSIBLE), 25' DRIVE AISLES WITH 8'-6" x 18'-0" SPACES

PARKING LEVEL - ACCESSIBLE PATH PLAN | 2  
1/16" = 1'-0"

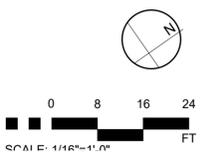
GROUND FLOOR - CIRCULATION MAP | 1  
1/16" = 1'-0"



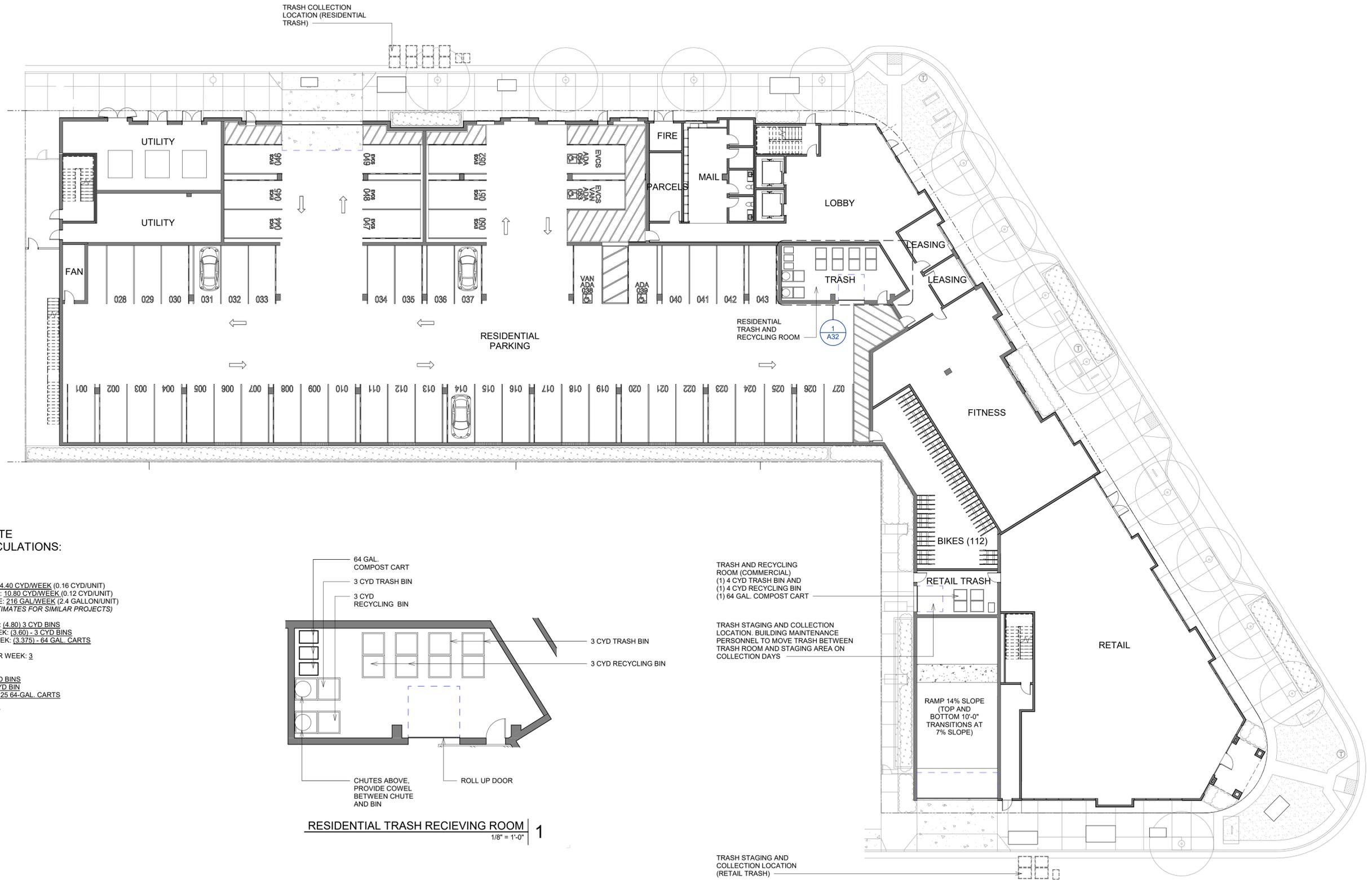
DILLON AVE



GILMAN AVE







**RESIDENTIAL WASTE GENERATION CALCULATIONS:**

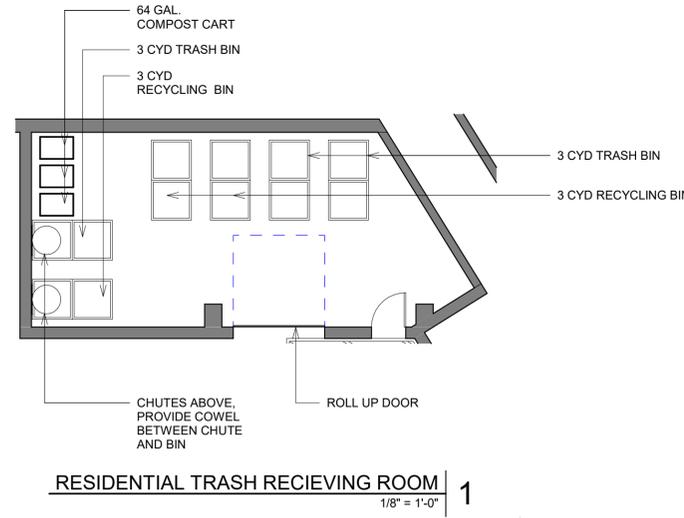
RESIDENTIAL UNIT COUNT: 90  
 PROJECTED WASTE VOLUME: 14.40 CYD/WEEK (0.16 CYD/UNIT)  
 PROJECTED RECYCLE VOLUME: 10.80 CYD/WEEK (0.12 CYD/UNIT)  
 PROJECTED COMPOST VOLUME: 216 GALLON/WEEK (2.4 GALLON/UNIT)  
 (CALCULATIONS BASED ON ESTIMATES FOR SIMILAR PROJECTS)

WASTE COLLECTED PER WEEK: (4.80) 3 CYD BINS  
 RECYCLE COLLECTED PER WEEK: (3.60) 3 CYD BINS  
 COMPOST COLLECTED PER WEEK: (3.375) 64 GAL. CARTS

# OF PICK-UPS SCHEDULED PER WEEK: 3

CONTAINERS REQUIRED:  
 WASTE: 4.80 BINS / 3 = 1.60 3CYD BINS  
 RECYCLE: 3.60 BINS / 3 = 1.2 3CYD BINS  
 COMPOST: 3.375 CARTS / 3 = 1.125 64-GAL. CARTS

CONTAINERS TO BE PROVIDED:  
 RUBBISH: 2 - 3CYD BINS  
 RECYCLE: 2 - 3CYD BIN  
 COMPOST: 2 - 64-GAL. CARTS

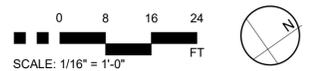


RESIDENTIAL TRASH RECEIVING ROOM | 1  
 1/8" = 1'-0"

TRASH AND RECYCLING ROOM (COMMERCIAL)  
 (1) 4 CYD TRASH BIN AND  
 (1) 4 CYD RECYCLING BIN  
 (1) 64 GAL. COMPOST CART

TRASH STAGING AND COLLECTION LOCATION. BUILDING MAINTENANCE PERSONNEL TO MOVE TRASH BETWEEN TRASH ROOM AND STAGING AREA ON COLLECTION DAYS

TRASH STAGING AND COLLECTION LOCATION (RETAIL TRASH)



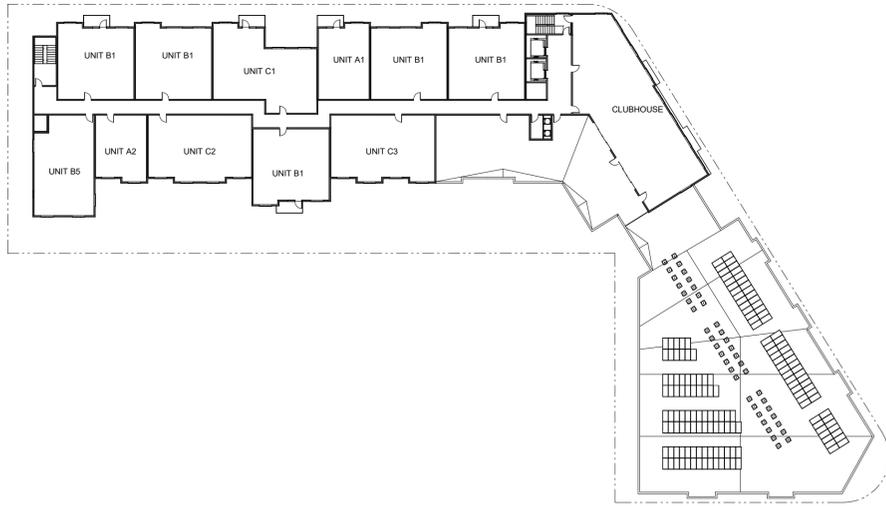


- SITE PERIMETER FENCE
- ▨ CONCRETE PUMP AND MATERIAL DELIVERY STAGING
- DEBRIS BOX WITHIN SITE PERIMETER FENCE
- TOWER CRANE SWING AREA
- ▨ CONSTRUCTION OFFICE TRAILER MONTHS 1 - 9
- ▨ CONSTRUCTION OFFICE IN BUILDING MONTH 9 - COMPLETION
- ▨ MATERIAL STAGING AREA

CONSTRUCTION PARKING WILL BE LIMITED TO OFF SITE DURING STRUCTURAL CONCRETE. AS SOON AS WE MAY UTILIZE THE GARAGE, CONSTRUCTION TRAFFIC WILL PARK IN THE GARAGE SPACES.

FRONT OF PROPERTY (EAST CAMPBELL AVE. ADDRESS)

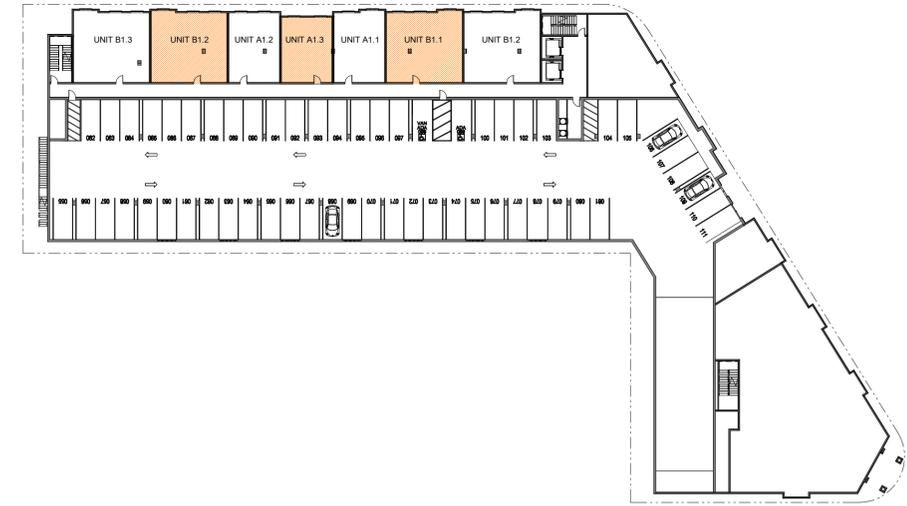




6TH FLOOR - AFFORDABLE UNITS | 6  
1" = 40'-0"



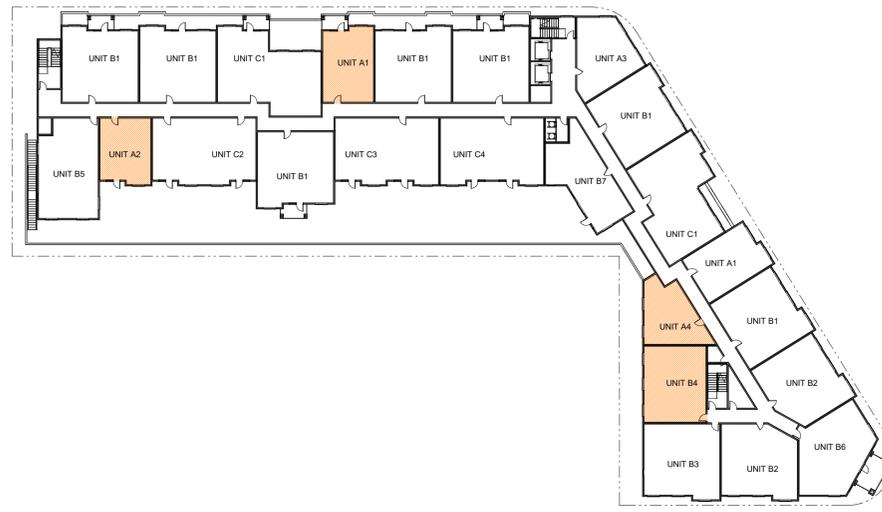
4TH FLOOR - AFFORDABLE UNITS | 4  
1" = 40'-0"



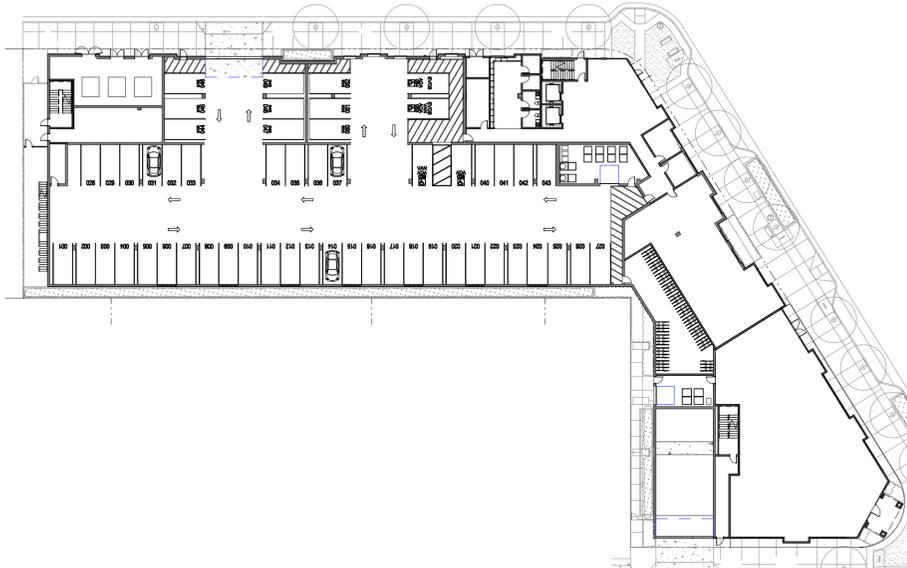
2ND FLOOR AFFORDABLE UNITS | 2  
1" = 40'-0"



5TH FLOOR - AFFORDABLE UNITS | 5  
1" = 40'-0"



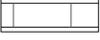
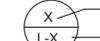
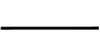
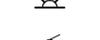
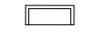
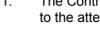
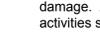
3RD FLOOR - AFFORDABLE UNITS | 3  
1" = 40'-0"



1ST FLOOR - AFFORDABLE UNITS | 1  
1" = 40'-0"

UNIT AND AREA CALCULATOR	GROSS RENTABLE		NET RENTABLE		%	NO. OF UNITS	LOW INCOME
1 BRD A1	760 SF	5,320 SF	707 SF	4,949 SF	7.8%	7 UNITS	2 UNITS
1 BRD A1.1P	736 SF	736 SF	683 SF	683 SF	1.1%	1 UNITS	0 UNITS
1 BRD A1.2P	725 SF	725 SF	671 SF	671 SF	1.1%	1 UNITS	0 UNITS
1 BRD A1.3P	678 SF	678 SF	627 SF	627 SF	1.1%	1 UNITS	1 UNITS
1 BRD A3	803 SF	2,409 SF	749 SF	2,247 SF	3.3%	3 UNITS	0 UNITS
<b>1 BRD TOTAL</b>	<b>759 AVG. SF.</b>	<b>9,868 SF</b>	<b>706 AVG. SF.</b>	<b>9,177 SF</b>		<b>14.4%</b>	<b>13 UNITS</b>
1 BRD A2	668 SF	2,672 SF	620 SF	2,480 SF	4.4%	4 UNITS	3 UNITS < 625 SF
1 BRD A4	685 SF	2,055 SF	622 SF	1,866 SF	3.3%	3 UNITS	1 UNITS < 625 SF
<b>SMALL 1 BRD TOTAL</b>	<b>675 AVG. SF.</b>	<b>4,727 SF</b>	<b>621 AVG. SF.</b>	<b>4,346 SF</b>		<b>7.8%</b>	<b>7 UNITS</b>
2 BRD B1	1,112 SF	28,912 SF	1,048 SF	27,248 SF	28.9%	26 UNITS	0 UNITS
2 BRD B1.1P	1,083 SF	1,083 SF	1,015 SF	1,015 SF	1.1%	1 UNITS	1 UNITS
2 BRD B1.2P	1,083 SF	2,166 SF	1,015 SF	2,030 SF	2.2%	2 UNITS	1 UNITS
2 BRD B1.3P	1,083 SF	1,083 SF	1,015 SF	1,015 SF	1.1%	1 UNITS	0 UNITS
2 BRD B2	1,062 SF	6,372 SF	1,001 SF	6,006 SF	6.7%	6 UNITS	0 UNITS
2 BRD B3	1,111 SF	3,333 SF	1,048 SF	3,144 SF	3.3%	3 UNITS	0 UNITS
2 BRD B4	953 SF	2,859 SF	897 SF	2,691 SF	3.3%	3 UNITS	2 UNITS
2 BRD B5	1,155 SF	4,620 SF	1,086 SF	4,344 SF	4.4%	4 UNITS	0 UNITS
2 BRD B6	1,062 SF	3,186 SF	1,002 SF	3,006 SF	3.3%	3 UNITS	0 UNITS
2 BRD B7	945 SF	2,835 SF	891 SF	2,673 SF	3.3%	3 UNITS	2 UNITS
<b>2 BRD TOTAL</b>	<b>1,086 AVG. SF.</b>	<b>56,449 SF</b>	<b>1,023 AVG. SF.</b>	<b>53,172 SF</b>		<b>57.8%</b>	<b>52 UNITS</b>
3 BRD C1	1,428 SF	9,996 SF	1,341 SF	9,387 SF	7.8%	7 UNITS	0 UNITS
3 BRD C2	1,335 SF	5,340 SF	1,252 SF	5,008 SF	4.4%	4 UNITS	0 UNITS
3 BRD C3	1,335 SF	5,340 SF	1,252 SF	5,008 SF	4.4%	4 UNITS	0 UNITS
3 BRD C4	1,335 SF	4,005 SF	1,252 SF	3,756 SF	3.3%	3 UNITS	0 UNITS
<b>3 BRD TOTAL</b>	<b>1,371 AVG. SF.</b>	<b>24,681 SF</b>	<b>1,287 AVG. SF.</b>	<b>23,159 SF</b>		<b>20.0%</b>	<b>18 UNITS</b>
<b>TOTAL</b>	<b>1,064 AVG. SF.</b>	<b>95,725 SF</b>	<b>998 AVG. SF.</b>	<b>89,854 SF</b>	<b>100%</b>	<b>90 UNITS</b>	<b>13 UNITS</b>

## LAYOUT LEGEND

	Ground Cover		Pedestrian Permeable Paving on Grade
	Pedestrian Concrete Paving		Pedestrian Unit Paving On Structure, Type 1
	Detail Number		Pedestrian Unit Paving On Structure, Type 2
	Sheet Number		Pedestrian Unit Paving On Pedestal, Type 1
	Property Line		Pedestrian Unit Paving On Pedestal, Type 2
	Center Line		
	Align	E.J.	Expansion Joint
	Street Light. S.E.D. and S.C.D.	S.A.D.	See Architect's Drawings
	Pedestrian Scale Pole Light. S.E.D. See Color and Finish Schedule	S.C.D.	See Civil Engineer's Drawings
	Down Light. S.E.D. See Color and Finish Schedule	S.E.D.	See Electrical Engineer's Dwg's
	Wall Light. S.E.D. See Color and Finish Schedule	S.C.F.S.	See Color and Finish Schedule
	Fire Hydrant. S.C.D.		
	Utility Boxes. S.C.D.		
	Below grade utilities as noted. S.C.D.		
	Trash Receptacle. See Color and Finish Schedule		
	Planter Pots. See Color and Finish Schedule		
	Bench. See Color and Finish Schedule		

## LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects.
- All building information is based on drawings prepared by:  
LPAS  
10 Clay Street, Suite 250  
Oakland, CA 94607  
415.213.0335
- All site civil information is based on drawings prepared by  
Kier + Wright  
3350 Scott Blvd, Bldg 22  
Santa Clara, CA 95054  
408.727.6665
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- All uplights are to be directed upward into the trees or objects they are intended to illuminate. Uplight positioning is subject to field modification by the Landscape Architect.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

## TREE PROTECTION/PRUNING NOTES

- All trees designated to be preserved shall be verified by the Project Superintendent. This shall occur prior to the removal of any trees on-site.
- Neighboring trees overhanging the site should be protected from site construction impacts in the same manner as existing on-site trees to be preserved.
- Tree drip zone areas shall be protected with a 5' high chain link fence enclosure mounted on 2 inch diameter galvanized iron posts driven into the ground to a depth of at least 2 feet at no more than 10 foot spacing. The fence shall enclose the entire area under the dripline. Spray paint the top of the fence with bright orange paint before unrolling the fabric to ensure visibility of the barrier. In no case shall any vehicles or equipment be permitted to be stored within this enclosed area. Fence shall be erected before construction begins and remain in place until time for relocation.
- No materials or topsoil shall be stored within the tree enclosure area.
- No trenching within enclosure shall be permitted. Any tree roots encountered outside of the enclosure smaller than 2" shall be cut clean with the approved tree pruning tools and sealed with an approved fungicidal tree sealant. Tree roots 2" or larger shall not be cut. Route pipes into alternate location to avoid conflict. Any damaged or torn roots are to be root pruned and sealed with orange shellac.
- No grading or trenching shall be permitted within the fenced zone or under the dripline except as specifically noted on the plans.
- No soil sterilants shall be applied under pavement near existing trees.
- Fertilizer and water soil injections must be done during April-May of the year of construction as well as the year after. These shall consist of Miller Nutrileaf 20-20-20 or equal at 5.5 pounds per 100 gallons of water or equivalent, or as recommended by the Arborist. This shall be applied to a depth of at least 18" and at a 20 degree angle toward the tree trunk at a rate of 10 gallons per inch of tree caliper.
- Above ground surface runoff shall not be directed into the tree canopy area from adjacent areas.
- A supplemental irrigation program is recommended at regular intervals (every three to four weeks) during the period in May 1 through Oct. 31. Irrigation is to be applied at or above the 'dripline' in an amount sufficient to supply approximately fifteen gallons of water for each inch in trunk diameter.
- Irrigation can be provide by means of a soil needle, 'soaker' or permeable hose. When using 'soaker' or permeable hose, water is to be run at low pressure, avoiding runoff/pudding, allowing the needed moisture to penetrate the soil to feeder root depths.
- Periodic inspections by a qualified Arborist are recommended during construction activities, particularly as trees are impacted by trenching/grading operations. Any recommendations by the Arborist for maintaining the health of trees are to be implemented.
- Tree Pruning Notes. All trees shall be pruned in compliance with the following industry standards:
  - All specifications for working on protected trees shall be written and administered by a qualified arborist.
  - All work on protected trees shall be in accordance with the industry Standard Practices for Tree Care Operations outlined in the ANSI A300-1995 and ANSI33-1994.
  - All Specified tree work shall be designed to promote practices which encourage the preservation of tree structure and health, in accordance with the current Tree Pruning Guidelines (International Society of Arboriculture). An I.S.A. Certified Arborist or Tree Worker must be present at all times during pruning operations.

## SHEET INDEX

L-1.1	Notes and Legends
L-1.2	Planting Notes and Legends
L-2.1	Schematic Landscape Plan - Site
L-2.2	Schematic Landscape Plan - Podium and Roof
L-3.1	Schematic Planting Plan - Site
L-3.2	Schematic Planting Plan - Podium and Roof
L-4.1	Irrigation Zoning Diagram - Site
L-4.2	Irrigation Zoning Diagram - Podium and Roof
L-4.3	Irrigation Details
L-4.4	Irrigation Details
L-5.1	Schematic Landscape Details
L-5.2	Schematic Landscape Details

## COLOR AND FINISH SCHEDULE

PEDESTRIAN CONCRETE PAVING  
All colors by Davis Colors, 800.356.4848

Type 1 Natural Grey Concrete with light broom finish. Sweep perpendicular to path of travel.

Type 2 Integral Color Concrete. Color and Finish per City standards

PEDESTRIAN UNIT PAVERS  
Precast Concrete Pavers by Acker-Stone, 800.258.2353  
Type 1 12x24 Palazzo, Modified Herringbone Pattern, Color: Natural Pewter Monaco with Onyx Monaco 8x8.

Type 2 24x24 Palazzo, Stacked Bond Pattern, Color: Bentley White Monaco

Porcelain Tile Pavers by Acker-Stone, 800.258.2353  
Type 3 24"x24" Porcelain Tile. Color: Torre Quarzite Grigia

PRE-CAST PLANTERS  
Custom Planters by Deco Planters, available thru Spruce and Gander (760) 690-4083. Planter Types 1-4 by Tournesol Site Works (800) 542-2282. All planters w/ drain holes.

Type 1 36"x36"x30" Wilshire by Tournesol. Color: Sapphire, Smooth

Type 2 48"x48"x30" Wilshire by Tournesol. Color: Sapphire, Smooth

Type 3 60"x60"x36" Wilshire by Tournesol. Color: Sapphire, Smooth

Type 4 96"x48"x30" Wilshire by Tournesol. Color: Sapphire, Smooth

Type 5 Custom 4'x10' Color: Blue

Type 6 Custom 42"x12'. Color: Blue

Type 7 Custom 42"x14'. Color: Blue

Type 8 Custom 42"x16'. Color: Blue

Contractor to submit sample to Landscape Architect for approval prior to acquisition or installation. Contractor to provide unit price.

## LIGHTING FIXTURES

Recessed Wall Light: 24 210 by Bega Lighting, bega-us.com, 805.684.0533. S.E.D. for more information. To be recessed into precast planters and cmu planter walls.

Trellis Down Light: BK-Lighting LED Nite Star II, Finish Color: Dark Bronze. S.E.D. for more information.

Work Light at BBQ Countertop: B-K LED Twin Staff Star, Finish Color: Machined Stainless Steel. S.E.D. for more information.

BENCH - City Standard  
By: Dumor, Inc.  
Model: 58, See Offsite Plans for more information.

BIKE RACK - City Standard  
By: Dumor, Inc.  
Model: 290, See Offsite plans for more information.

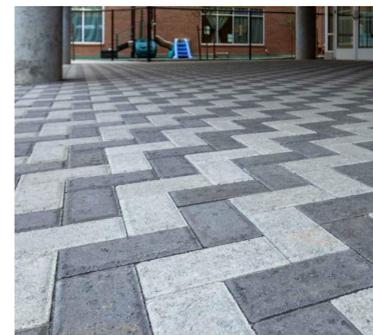
TREE GRATE - City Standard  
By: Urban Accessories  
Model: 4'x6' Coho, See Offsite Plans for more information.

TRASH RECEPTACLE - City Standard  
By: Dumor, Inc.  
Model: 84-32-FTO, See Offsite Plans for more information

OUTDOOR TV  
By: Sunbrite TV, 866.357.8688  
Model: 65" Signature 2 Outdoor Partial Sun TV SB-52-65-4K

TRASH / RECYCLING  
082 Element by IAP, Size: 31x17x34, Color: Matte Grey.

Contractor to submit sample to Landscape Architect approval prior to fabrication. Contractor to provide unit price. Quantity to be determined by Landscape Architect and Owner.



Unit Pavers on Structure



Recessed Wall Light



Trellis Down Light



Work Light - Grill



Trash Receptacle



City Standard Bike Rack



City Standard Trash Receptacle



City Standard Bench



Roof Deck Trellis



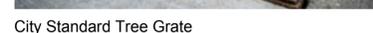
BBQ Grill



Double Sided Fireplace



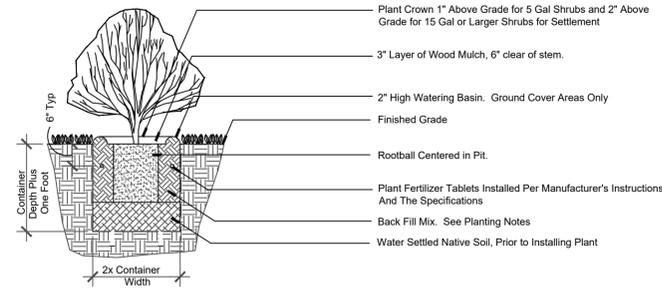
Precast and Custom Planters



City Standard Tree Grate

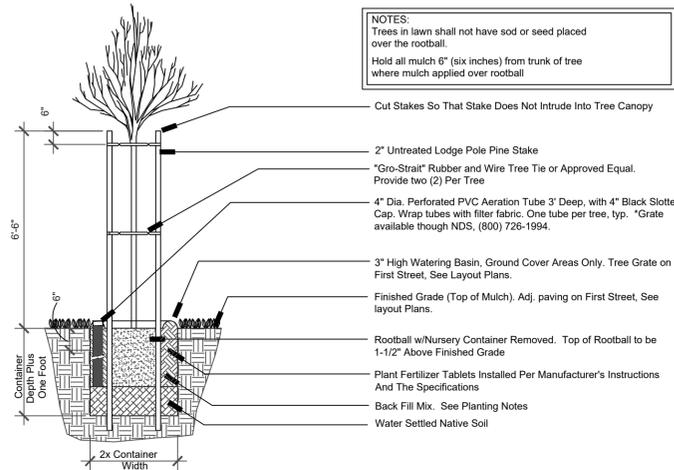
## PLANTING NOTES

- All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- All planting areas, except storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Colored Wood Chip" by Vision Recycling (510.429.1300; www.visionrecycling.com) or approved equal. Planter pots shall be top-dressed with "Colored Lumber Fines" mulch by Vision Recycling. Mulch shall be Dark Brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Campbell. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- Versacell drainage board or approved equal is to be installed in all on-structure planters and all pre-cast planters/pots as shown in the drawings.
- All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.
- The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$5,000,000 (Five Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.
- For trees and shrubs that overhang circulation route, maintain 80" clear above walking surface.



## Shrub Planting Detail

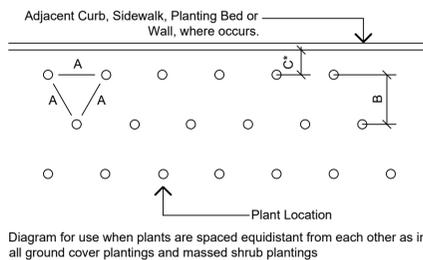
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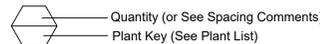
## Street Tree Planting Diagram

Scale: 3/8" = 1'-0"

## PLANT SPACING DIAGRAM



## PLANT CALLOUT SYMBOL



## PLANT PALETTE

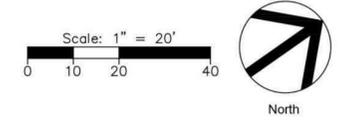
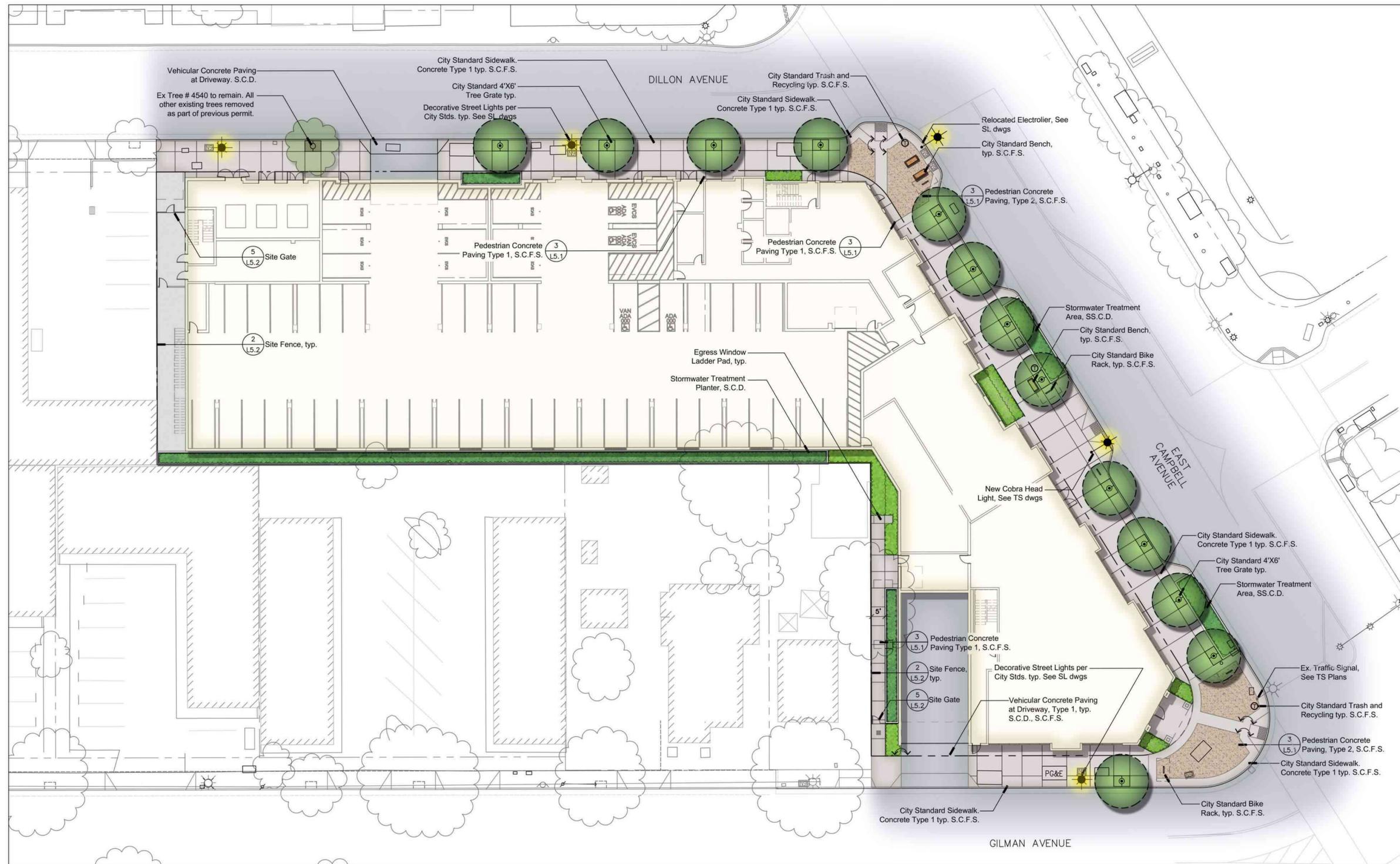
TREES * 24" Box Standards Unless Noted Otherwise on Plans					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS
CER CAN	*	<i>Cercis canadensis</i> 'Alba'	White Eastern Redbud	multi	
KOE BIP	*	<i>Koelreuteria bipinnata</i>	Chinese Flame Tree		
LAU SAR	*	<i>Laurus</i> 'Saratoga'	Sweet Bay		
MAG GRA	*	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	multi	
MAG SOU	*	<i>Magnolia soulangiana</i> 'Liliputian'	Saucer Magnolia	multi	
PLA ACE	*	<i>Platanus a.</i> 'Columbia'	London Plane Tree		
SHRUBS					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS
20	5 gal	<i>Leucadendron</i> 'Red Gem'	Yellow Conebush	36" o.c.	
27	15 gal	<i>Podocarpus e.</i> 'Monnal'	Ice Blue Fern Pine	column	
29	5 gal	<i>Rhaphiolepis i.</i> 'Georgia Petite'	Dwarf Indian Hawthorn	24" o.c.	
32	15 gal	<i>Tibouchina urvilleana</i>	Princess Flower		
41	5 gal	<i>Asparagus d.</i> 'Myers'	Myers Asparagus	24" o.c.	
43	5 gal	<i>Chondropetalum tectorum</i>	Cape Rush	30" o.c.	
45	5 gal	<i>Correa pulchella</i> 'Ray's Tangerine'	Australian Fuchsia	36" o.c.	
48	1 gal	<i>Cuphea llavea</i>	Bat-faced Cuphea	24" o.c.	
49	5 gal	<i>Dianella tasmanica</i> 'Variegata'	Flax Lily	24" o.c.	
54	5 gal	<i>Lomandra</i> 'Lime Tuff'	Dwarf Mat Rush	15" o.c.	
57	5 gal	<i>Nandina d.</i> 'Lemon Lime'	Heavenly Bamboo	36" o.c.	
61	5 gal	<i>Phormium</i> 'Golden Ray'	New Zealand Flax cvs	42" o.c.	
63	5 gal	<i>Pittosporum t.</i> 'Wheeler's Dwarf'	Pittosporum	24" o.c.	
64	1 gal	<i>Polystichum munitum</i>	Western Sword Fern	30" o.c.	
66	5 gal	<i>Salvia m.</i> 'Hot Lips'	Garden Sage	30" o.c.	
70	5 gal	<i>Stipa Arundinacea</i>	Pheasant's Tail Grass	36" o.c.	
GROUNDCOVERS					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
NH	1 gal	<i>Nandina</i> 'Flirt'	Dwarf Heavenly Bamboo	24" o.c.	
TL	1 gal	<i>Teucrium x lucidrys</i>	Germander	18" O.C.	
TJ	1 gal	<i>Trachelospermum jasminoides</i>	Star Jasmine	18" o.c.	

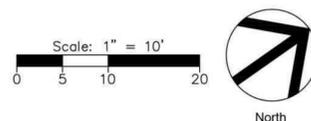
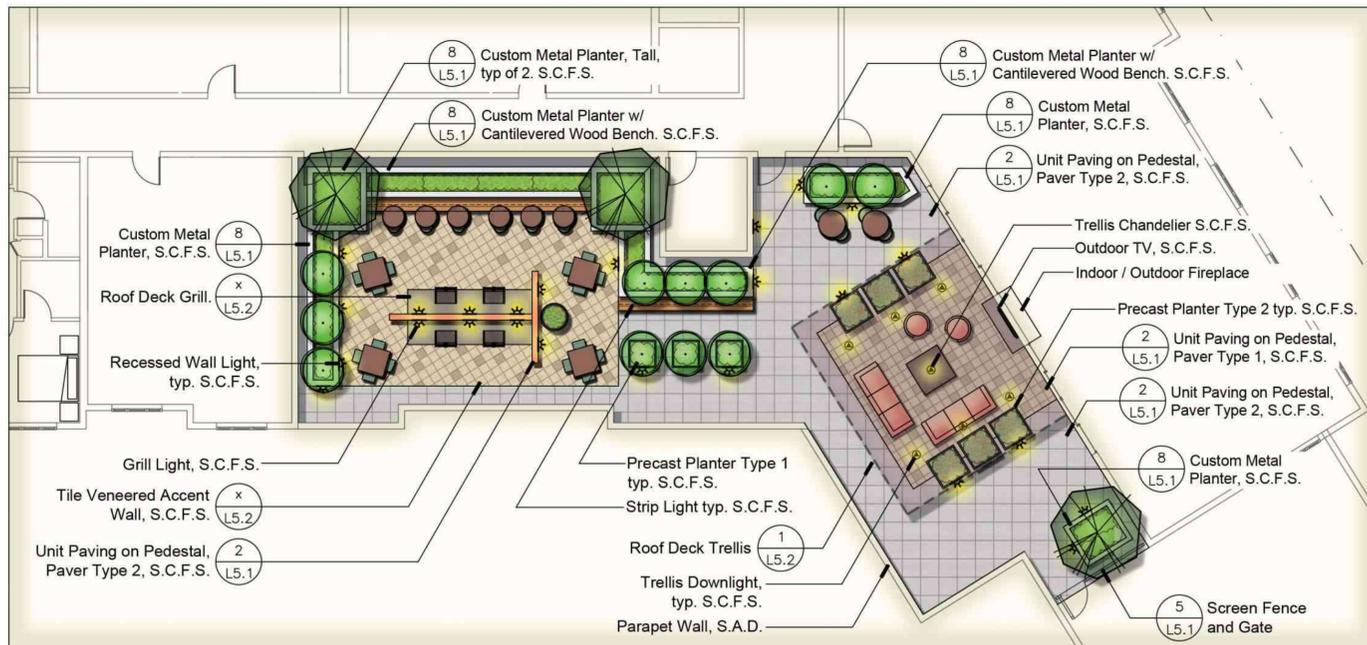
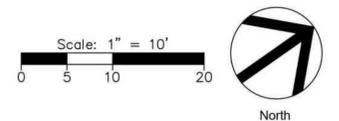
## PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

\* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.







66-Salvia



54-Lomandra



PLA ACE-Plantanus



64-Polystichum



27-Podocarpus



20-Leucadendron



70-Stipa arundinacea



29-Raphiolepis



54-Nandina



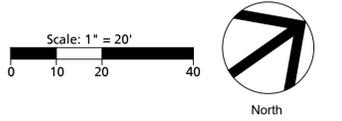
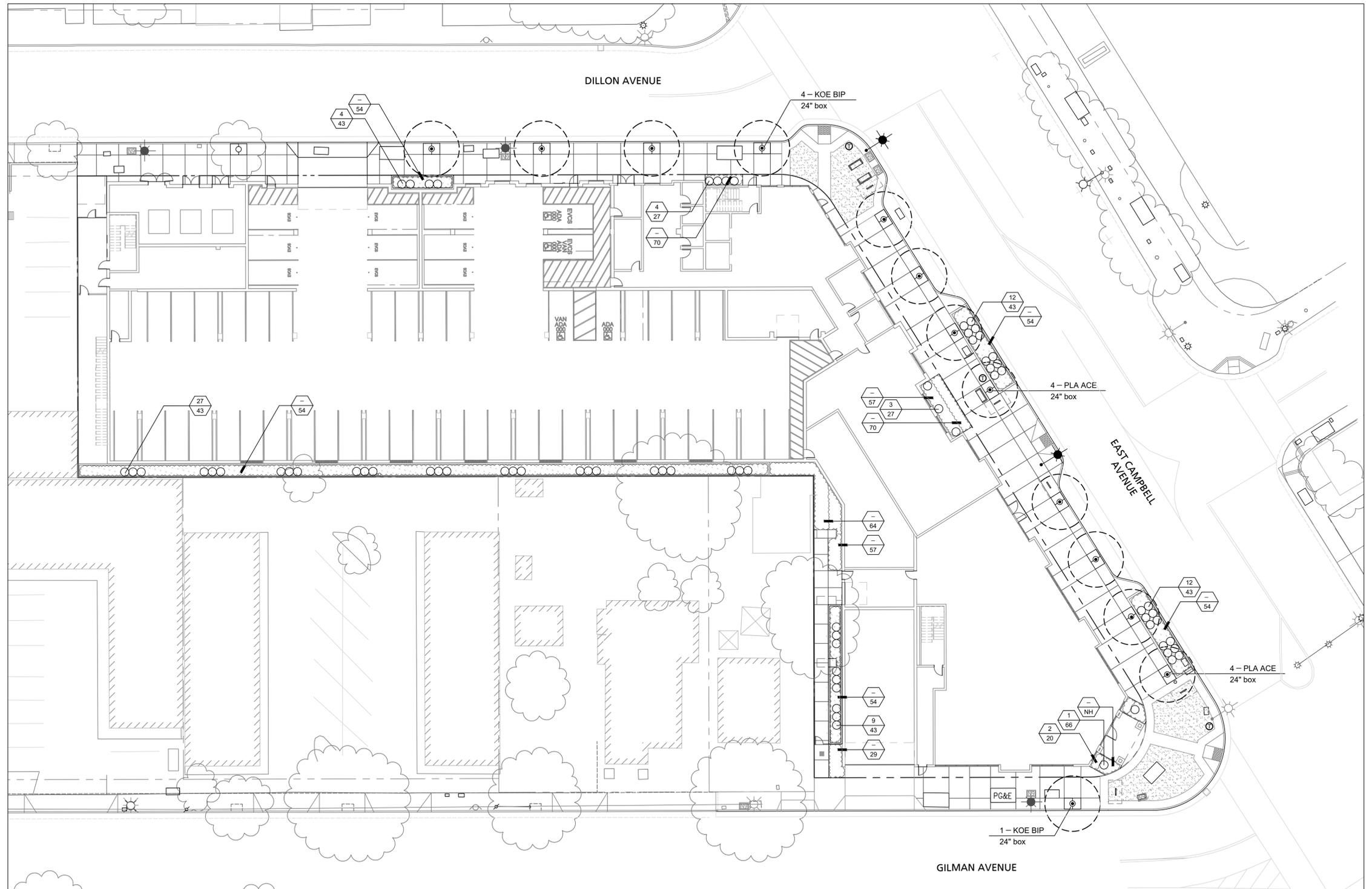
NH-Nandina

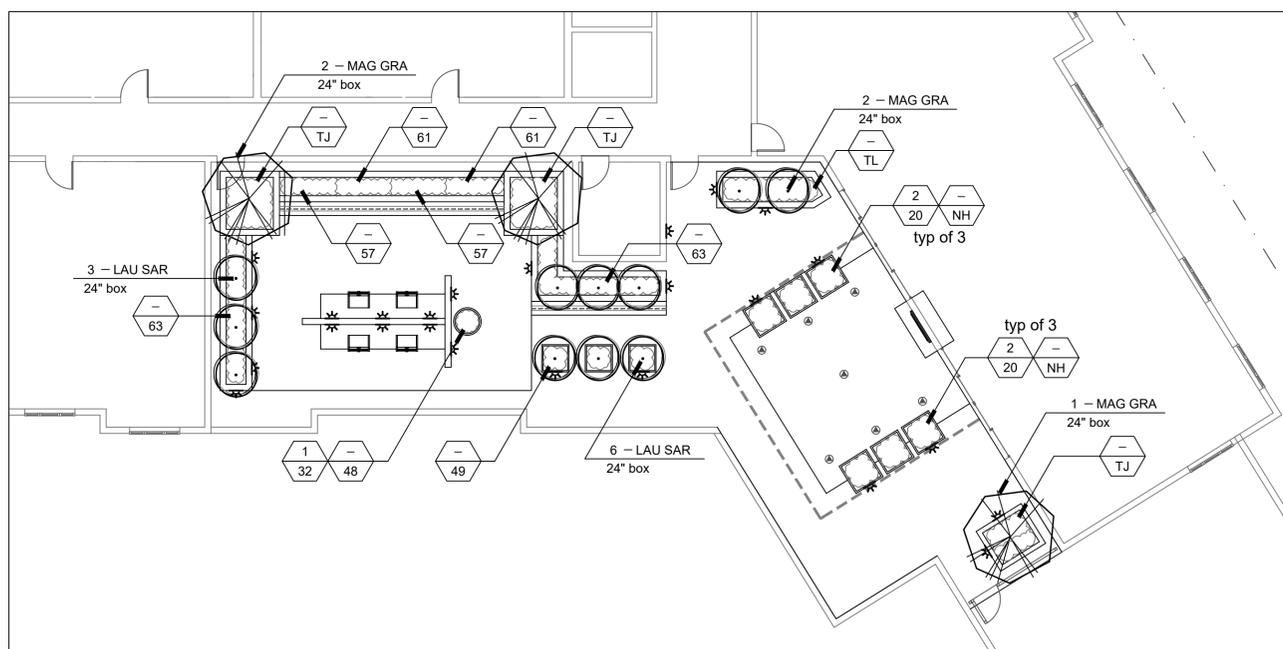
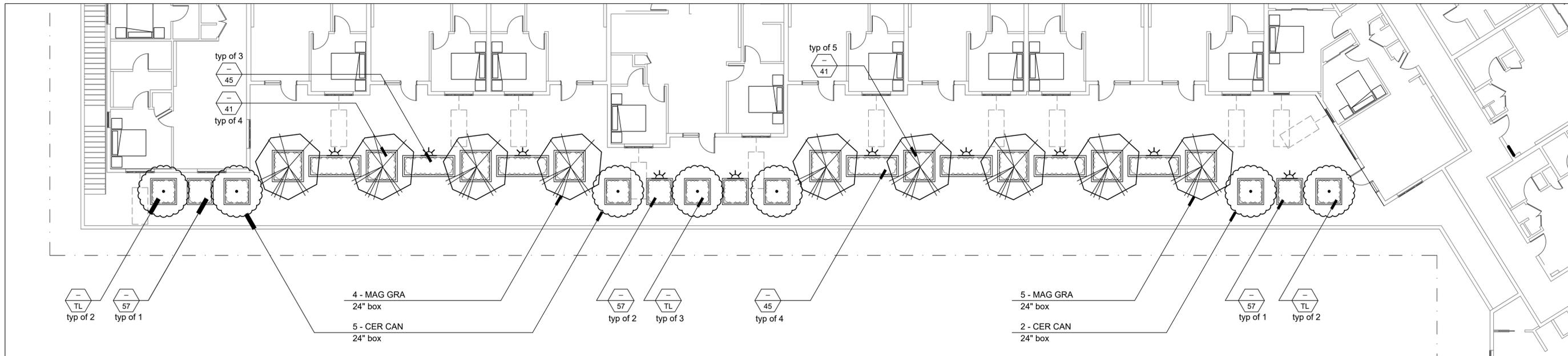


KOE BIP-Koelreuteria

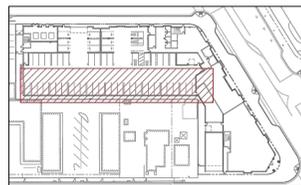


43-Chondropetalum





Scale: 1" = 10'



Scale: 1" = 10'



CER CAN-Cercis



LAU SAR-Laurus



MAG GRA-Magnolia



63-Pittosporum



57-Nandina



32-Tibouchina



NH-Nandina



TJ-Trachelospermum



20-Leucadendron



45-Correa pulchella



61-Phormium



41-Asparagus



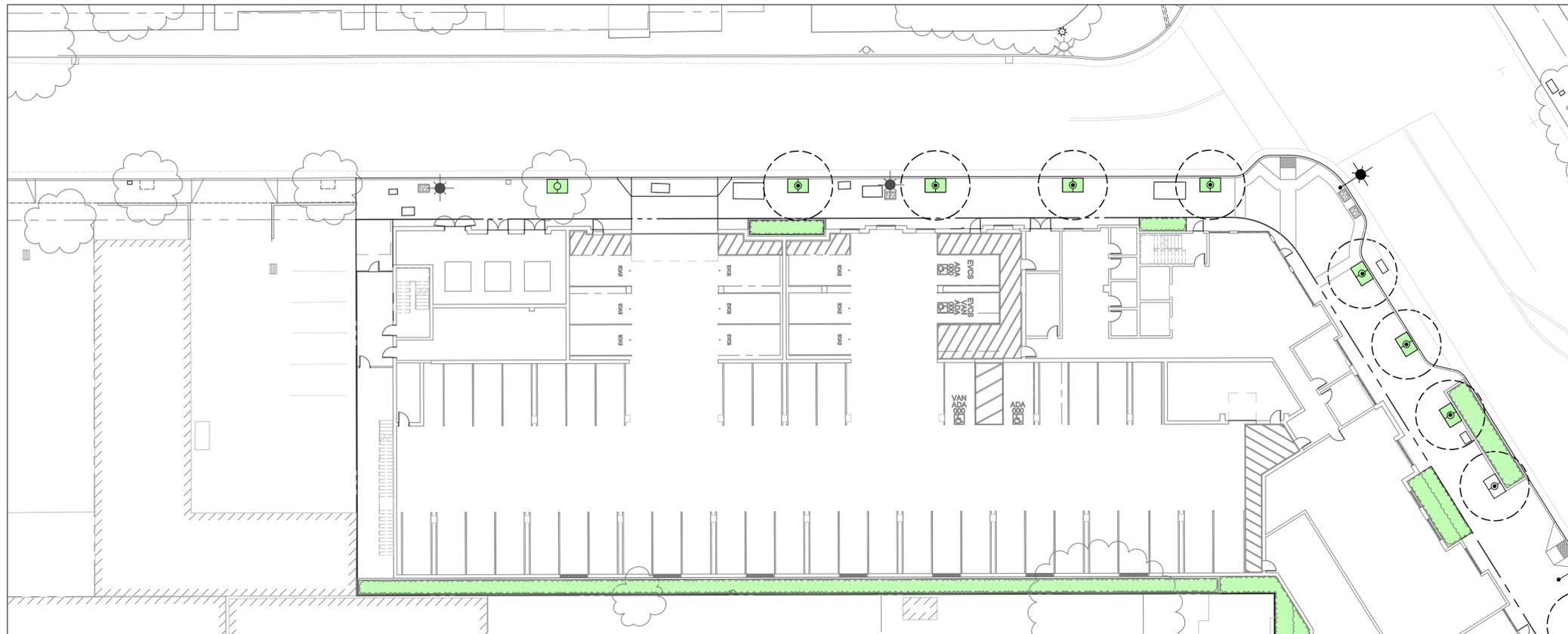
48-Cuphea



TL-Teucrium



49-Dianella



PROPOSED EQUIPMENT LIST		
DOMESTIC WATER METER-2"	-BY OTHER SECTION OF CONTRACT	
IRRIGATION BACKFLOW PREVENTION DEVICE	-WILKINS-975-XLU-2"	
MASTER CONTROL VALVE	-TORO-220-27-09 -2"	
FLOW SENSOR	-DATA INDUSTRIAL-P220-1"	
FERTIGATION SYSTEM (20 GALLON)	-EZ-FLO-EZ20	
ELECTRIC CONTROLLER ASSEMBLIES	-BASELINE 3200 X-CABINET	
REMOTE CONTROL VALVES	-TORO-P220 SERIES	
DRIP REMOTE CONTROL VALVES	-TORO-P220 SERIES WITH DRIP CONTROL ASSEMBLY	
QUICK COUPLING VALVES	-RAINBIRD-33DRC	
GATE VALVES -LINE SIZE	-SEE DETAIL	
DIGITAL SOIL MOISTURE SENSOR	-BASELINE-BL BISENSOR	
RAIN SENSOR	-TORO-TRS	
FLUSH VALVE	-SEE DETAIL	
PLANTER POT IRRIGATION	-SEE DETAIL	
TREE BUBBLERS	-TORO-FB-100-PC	
IRRIGATION SUPPLYLINE -DOMESTIC SYSTEM	-1120/SCHEDULE 40 PVC PIPE	-24" COVER
IRRIGATION SPRINKLERLINE	-1120/SCHEDULE 40 PVC PIPE	-12" COVER
ELECTRICAL CONDUIT-SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE	-24" COVER
SLEEVING-SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE	-24" COVER
IRRIGATION SUBSURFACE EMITTERLINE	-NETAFIM-TLCV4-12	-4" COVER

- NOTES OF DESIGN INTENT**
- IRRIGATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE.
  - IRRIGATION CONTROLLER SHALL BE "SMART" SELF ADJUSTING BASED ON DAILY ET REQUIREMENTS OF THE PLANT MATERIAL.
  - DEDICATED IRRIGATION SYSTEM WATER METER SHALL CONNECT TO A LOOPED IRRIGATION SYSTEM SUPPLYLINE.
  - LOW PRECIPITATION RATE IRRIGATION SPRAY HEADS SHALL BE USED WHEREVER PLANTING MATERIAL AND WATER EFFICIENT LANDSCAPE ORDINANCE WILL ALLOW.
  - HIGH EFFICIENCY DRIP IRRIGATION SHALL BE USED WHEREVER PRACTICE WITHIN GROUND COVER AND SHRUB AREAS.
  - DEDICATED IRRIGATION ZONES FOR TREES SHALL BE DESIGNED WITH BUBBLER IRRIGATION.
  - VALVE BOX LOCATIONS SHALL BE IN GROUND COVER AREAS WHEREVER POSSIBLE.

**WATER USE LEGEND**

Key	WUCOLS Category	Area
Light Green	Low Water Use	2,701 sq ft
Orange	Medium Water Use	1,191 sq ft
Red	High Water Use	0 sq ft

**NOTES:**  
Based upon total landscape area of 3,892 SF

Include 3 inches of composted, non-floatable mulch in areas between stormwater treatment plantings and side slopes.

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) **45.3**

Hydrozone # /Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>							
Low Water-Use Plants	0.30	Drip	0.81	0.37	2,701	999	28,068
Moderate Water-Use Plants	0.50	Drip	0.81	0.62	1,191	738	20,739
High Water-Use Plants	0.80	Drip	0.81	0.99	0	0	0
Moderate Water-Use Turf EVA	0.50	Spray	0.75	0.67	0	0	0
					(A)	(B)	
				Totals	3,892	1,738	48,808
<b>Special Landscape Areas</b>							
					(C)	(D)	
				Totals	0	0	0
							ETWU Total 48,808
							Maximum Allowed Water Allowance (MAWA) <sup>e</sup> 49,190

<sup>a</sup>Hydrozone #/Planting Description  
E.g  
1.) front lawn  
2.) low water use plantings  
3.) medium water use planting

<sup>b</sup>Irrigation Method  
overhead spray  
or drip

<sup>c</sup>Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

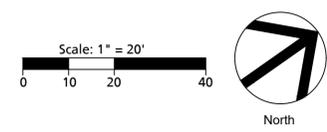
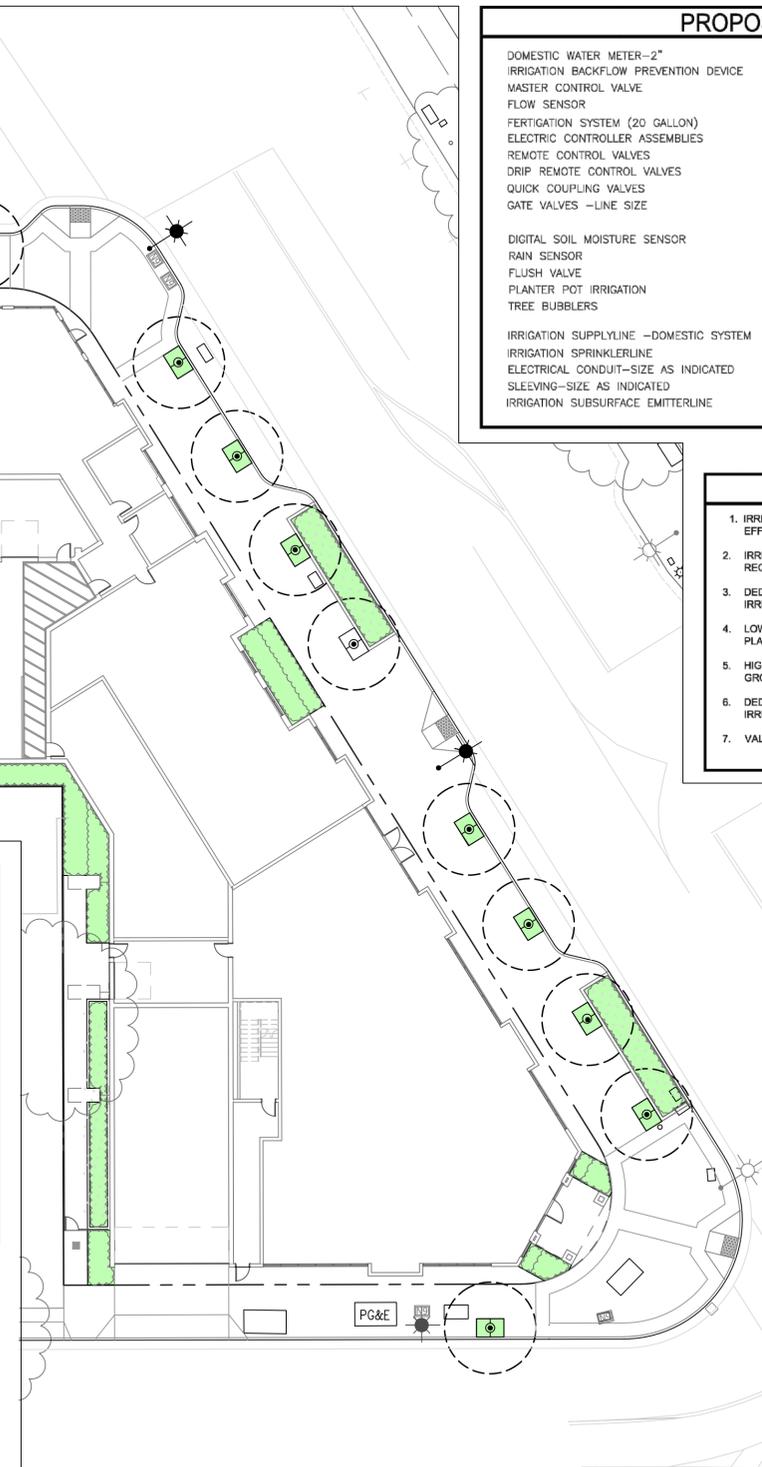
<sup>d</sup>ETWU (Annual Gallons Required) =  $Eto \times 0.62 \times ETAF \times Area$   
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

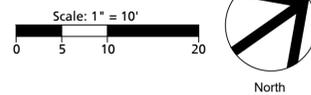
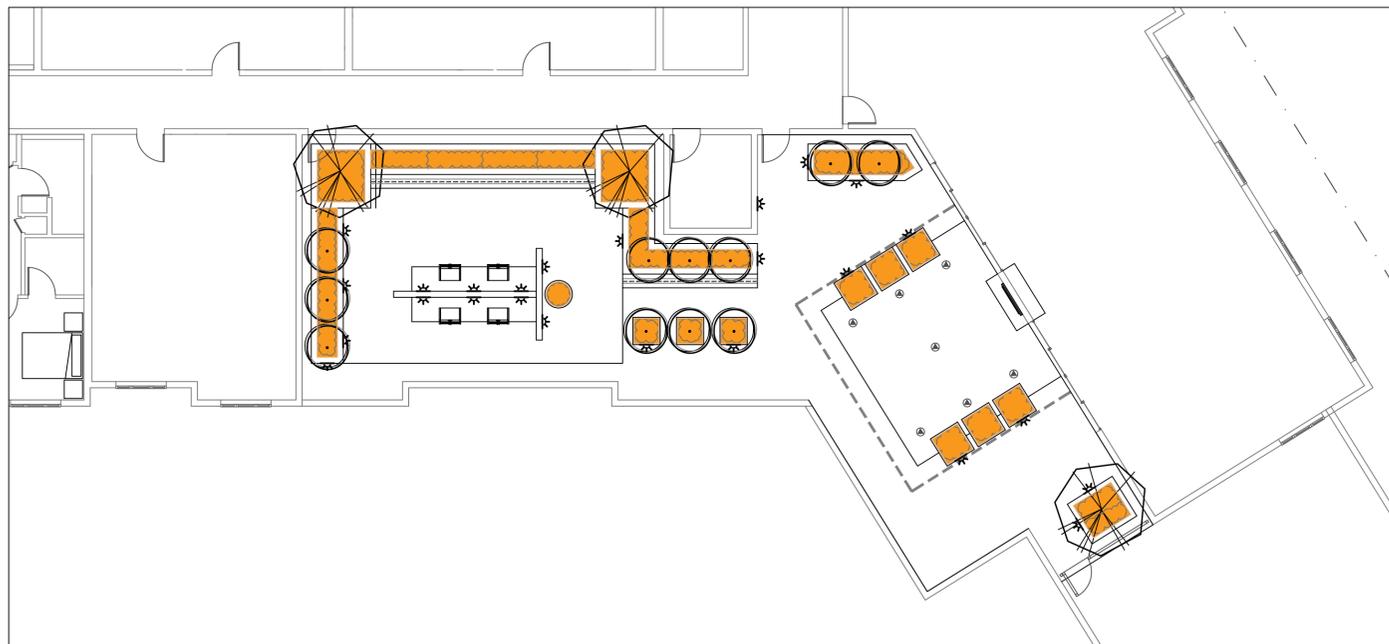
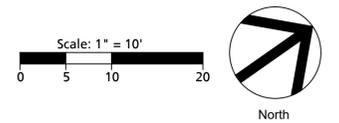
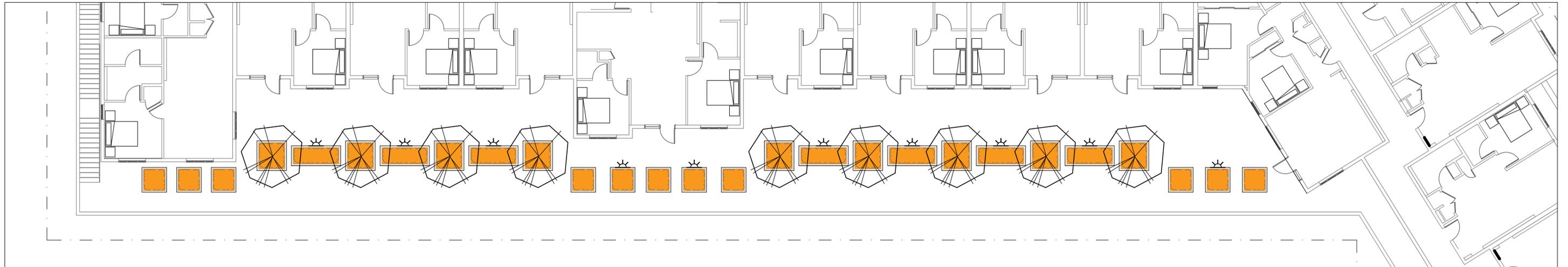
<sup>e</sup>MAWA (Annual Gallons Allowed) =  $(Eto) (0.62) [(ETAF \times LA) + ((1-ETAF) \times SLA)]$   
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas	
Total ETAF x Area (B)	1,738
Total Area (A)	3,892
<b>Average ETAF</b>	<b>0.446503083247688</b>
All Landscape Areas	
Total ETAF x Area (B+D)	1,738
Total Area (A+C)	3,892
<b>Sitewide ETAF (B+D) + (A+C)</b>	<b>0.446503083247688</b>





### WATER USE LEGEND

Key	WUCOLS Category	Area
<span style="background-color: #90EE90; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Low Water Use	2,701 sq ft
<span style="background-color: #FFA500; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Medium Water Use	1,191 sq ft
<span style="background-color: #FF0000; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	High Water Use	0 sq ft

**NOTES:**  
Based upon total landscape area of 3,892 SF

Include 3 inches of composted, non-floatable mulch in areas between stormwater treatment plantings and side slopes.

### WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET <sub>o</sub> )	45.3						
Hydrozone # /Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>e</sup>
<b>Regular Landscape Areas</b>							
Low Water-Use Plants	0.30	Drip	0.81	0.37	2,701	999	28,068
Moderate Water-Use Plants	0.50	Drip	0.81	0.62	1,191	738	20,739
High Water-Use Plants	0.80	Drip	0.81	0.99	0	0	0
Moderate Water-Use Turf EVA	0.50	Spray	0.75	0.67	0	0	0
					(A)	(B)	
				Totals	3,892	1,738	48,808
<b>Special Landscape Areas</b>							
					(C)	(D)	
				Totals	0	0	
							ETWU Total
							48,808
							<b>Maximum Allowed Water Allowance (MAWA)<sup>f</sup></b>
							49,190

<sup>a</sup>Hydrozone #/Planting Description  
E.g.  
1.) front lawn  
2.) low water use plantings  
3.) medium water use planting

<sup>b</sup>Irrigation Method  
overhead spray  
or drip

<sup>c</sup>Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

<sup>e</sup>ETWU (Annual Gallons Required) =  $ET_o \times 0.62 \times ETAF \times Area$   
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

<sup>f</sup>MAWA (Annual Gallons Allowed) =  $(ET_o) (0.62) [(ETAF \times LA) + ((1-ETAF) \times SLA)]$   
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

Regular Landscape Areas		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.	
Total ETAF x Area (B)	1,738		
Total Area (A)	3,892		
<b>Average ETAF</b>	<b>0.446503083247688</b>		

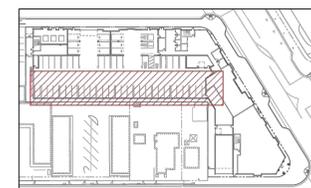
All Landscape Areas

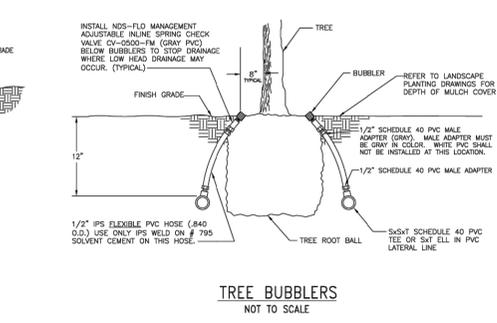
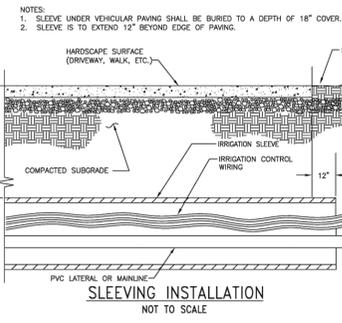
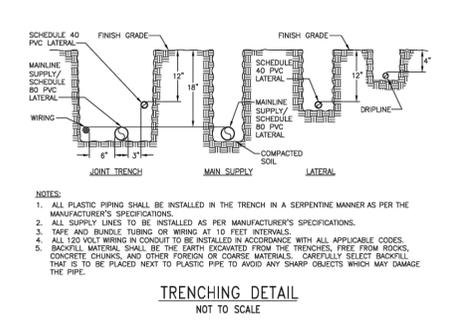
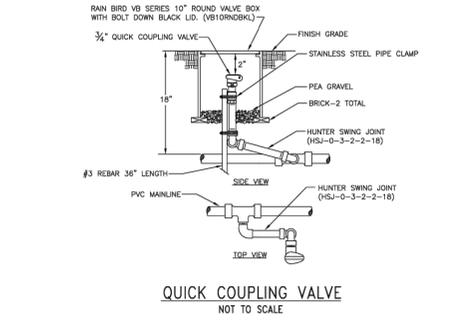
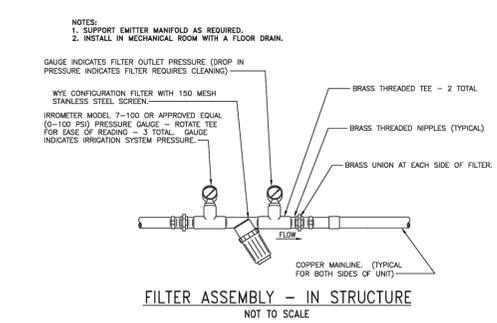
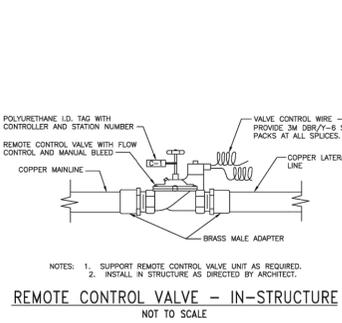
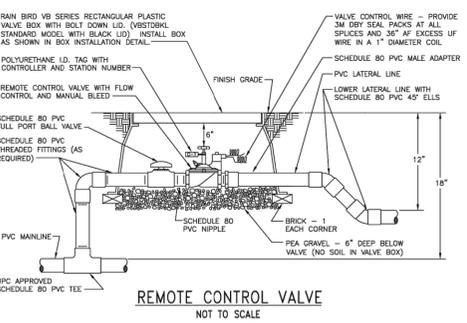
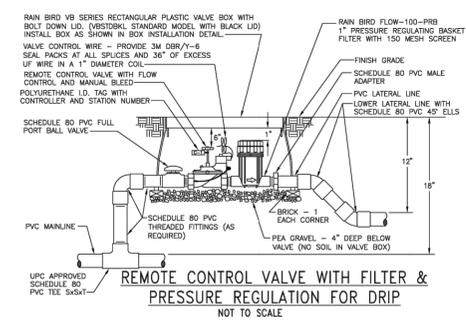
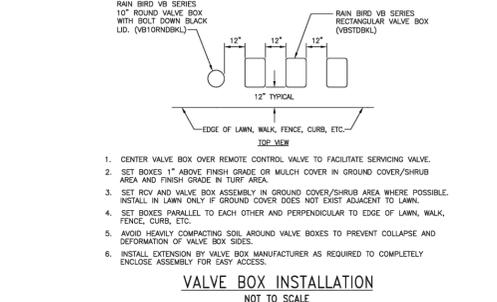
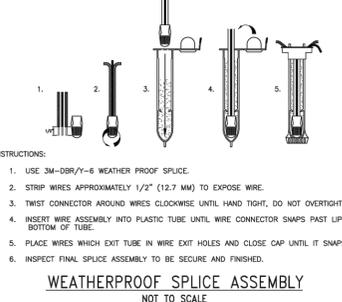
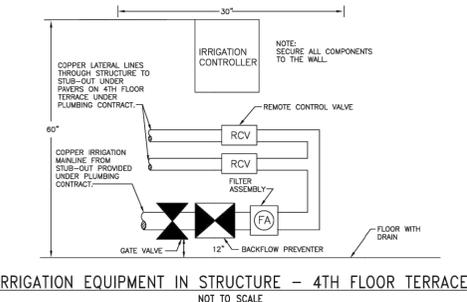
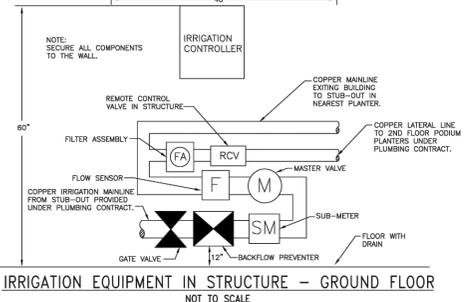
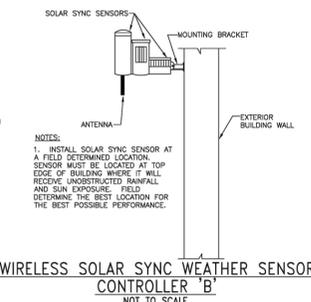
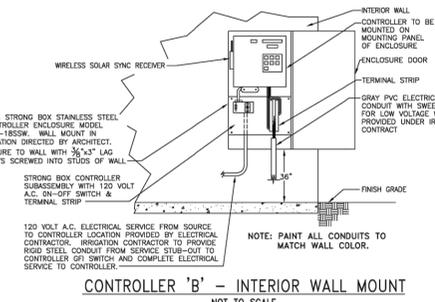
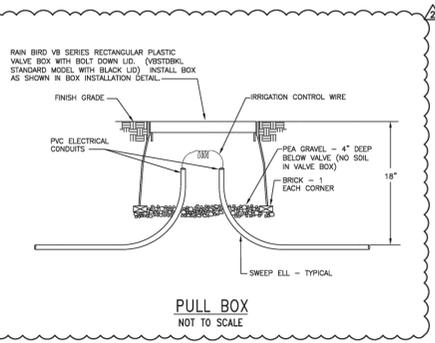
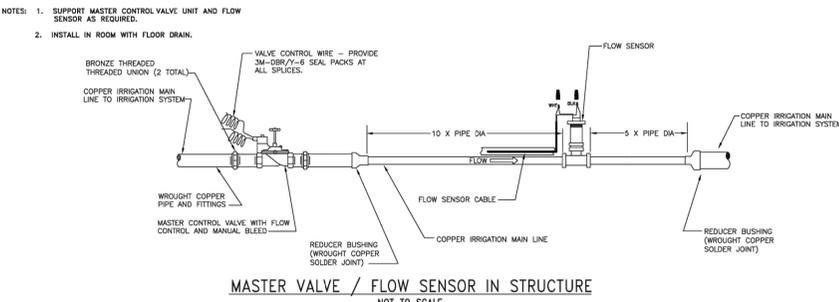
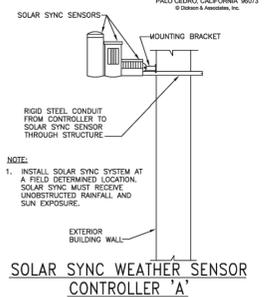
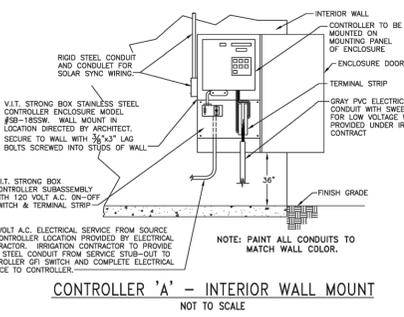
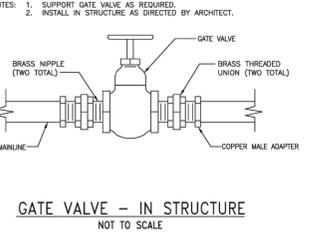
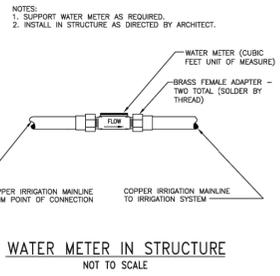
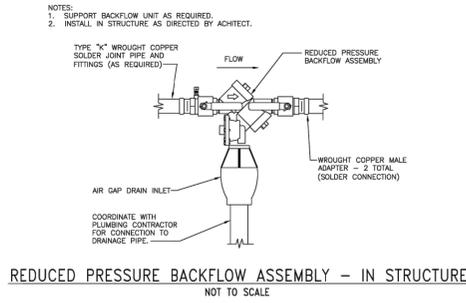
Total ETAF x Area (B+D)	1,738
Total Area (A+C)	3,892
<b>Sitewide ETAF (B+D) ÷ (A+C)</b>	<b>0.446503083247688</b>

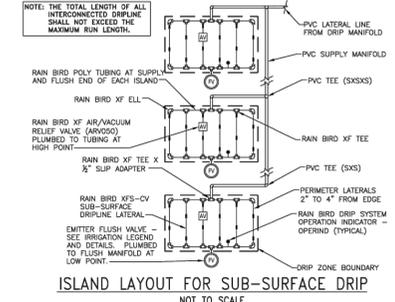
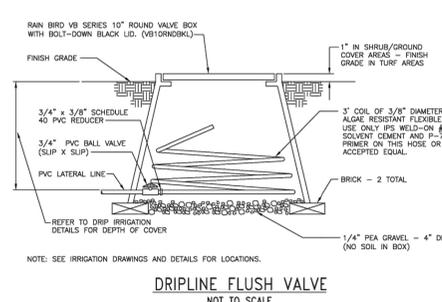
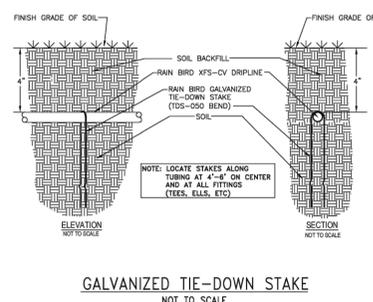
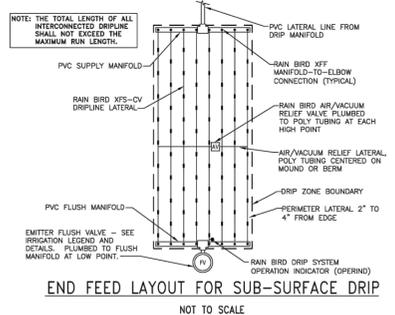
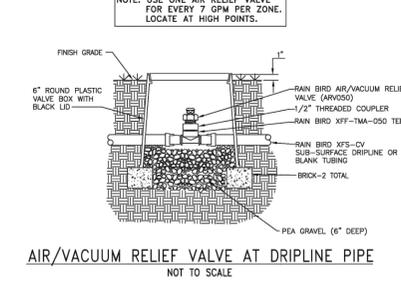
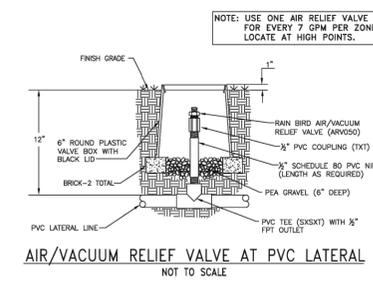
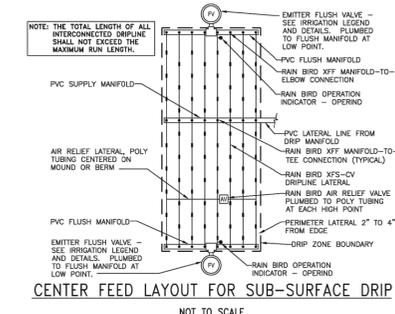
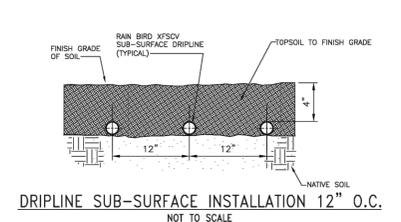
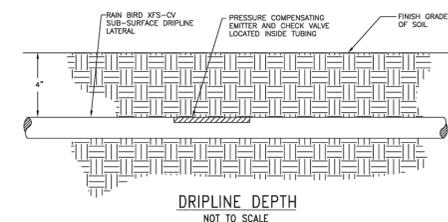
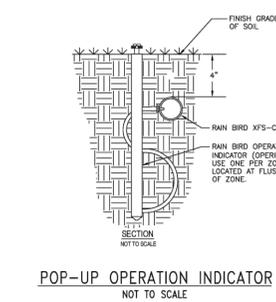
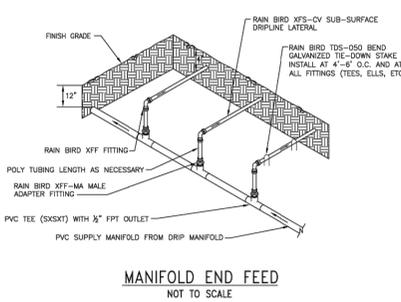
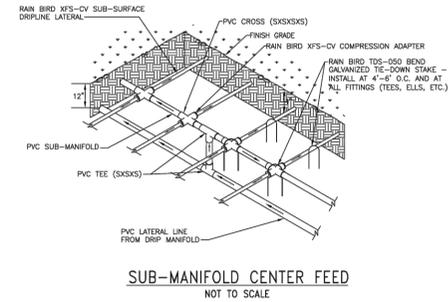
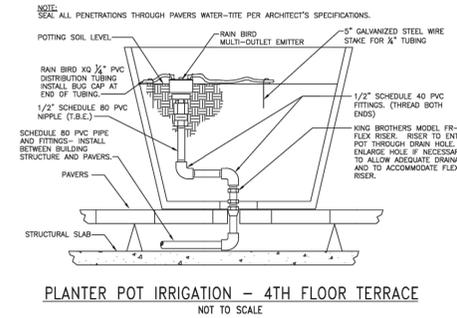
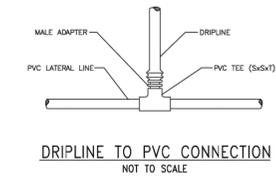
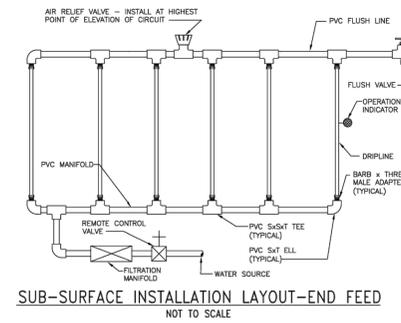
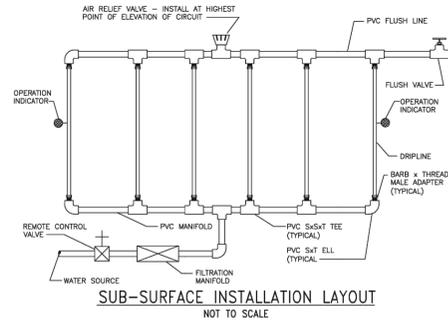
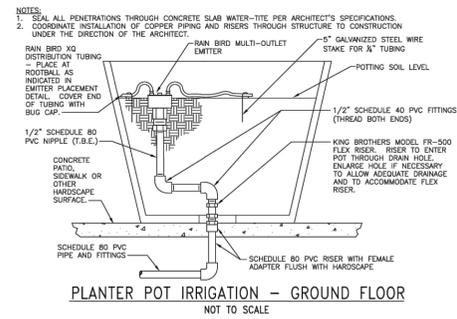
### PROPOSED EQUIPMENT LIST

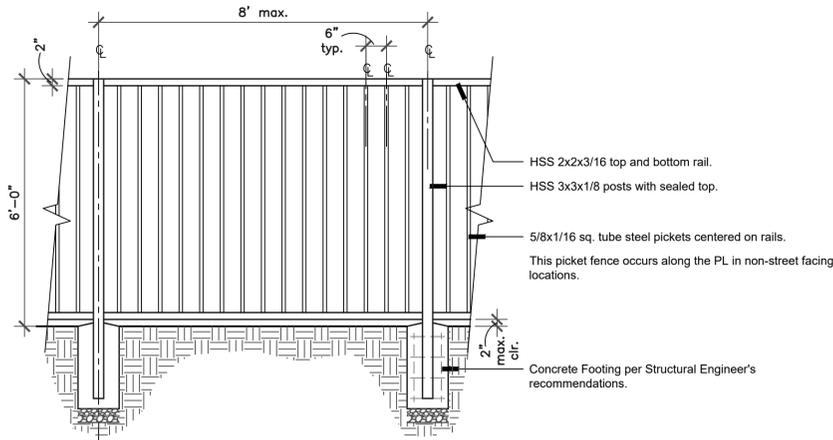
DOMESTIC WATER METER-2"	-BY OTHER SECTION OF CONTRACT
IRRIGATION BACKFLOW PREVENTION DEVICE	-WILKINS-975-XLU-2"
MASTER CONTROL VALVE	-TORO-220-27-09 -2"
FLOW SENSOR	-DATA INDUSTRIAL-P220-1"
FERTIGATION SYSTEM (20 GALLON)	-EZ-FLO-EZ20
ELECTRIC CONTROLLER ASSEMBLIES	-BASELINE 3200 X-CABINET
REMOTE CONTROL VALVES	-TORO-P220 SERIES
DRIP REMOTE CONTROL VALVES	-TORO-P220 SERIES WITH DRIP CONTROL ASSEMBLY
QUICK COUPLING VALVES	-RAINBIRD-33DRC
GATE VALVES -LINE SIZE	-SEE DETAIL
DIGITAL SOIL MOISTURE SENSOR	-BASELINE-BL BISENSOR
RAIN SENSOR	-TORO-TRS
FLUSH VALVE	-SEE DETAIL
PLANTER POT IRRIGATION	-SEE DETAIL
TREE BUBBLERS	-TORO-FB-100-PC
IRRIGATION SUPPLYLINE -DOMESTIC SYSTEM	-1120/SCHEDULE 40 PVC PIPE -24" COVER
IRRIGATION SPRINKLERLINE	-1120/SCHEDULE 40 PVC PIPE -12" COVER
ELECTRICAL CONDUIT-SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE -24" COVER
SLEEVING-SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE -24" COVER
IRRIGATION SUBSURFACE EMITTERLINE	-NETAFIM-TLCV4-12 -4" COVER

- ### NOTES OF DESIGN INTENT
- IRRIGATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE.
  - IRRIGATION CONTROLLER SHALL BE "SMART" SELF ADJUSTING BASED ON DAILY ET REQUIREMENTS OF THE PLANT MATERIAL.
  - DEDICATED IRRIGATION SYSTEM WATER METER SHALL CONNECT TO A LOOPED IRRIGATION SYSTEM SUPPLYLINE.
  - LOW PRECIPITATION RATE IRRIGATION SPRAY HEADS SHALL BE USED WHEREVER PLANTING MATERIAL AND WATER EFFICIENT LANDSCAPE ORDINANCE WILL ALLOW.
  - HIGH EFFICIENCY DRIP IRRIGATION SHALL BE USED WHEREVER PRACTICABLE WITHIN GROUNDCOVER AND SHRUB AREAS.
  - DEDICATED IRRIGATION ZONES FOR TREES SHALL BE DESIGNED WITH BUBBLER IRRIGATION.
  - VALVE BOX LOCATIONS SHALL BE IN GROUNDCOVER AREAS WHEREVER POSSIBLE.

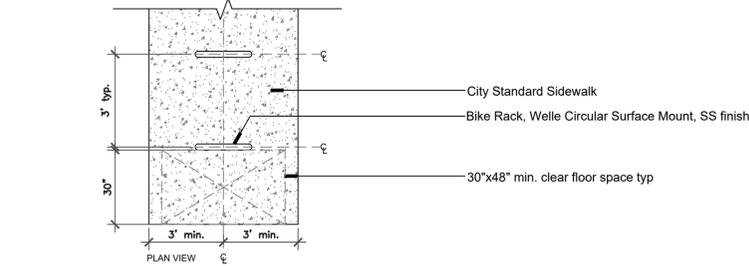




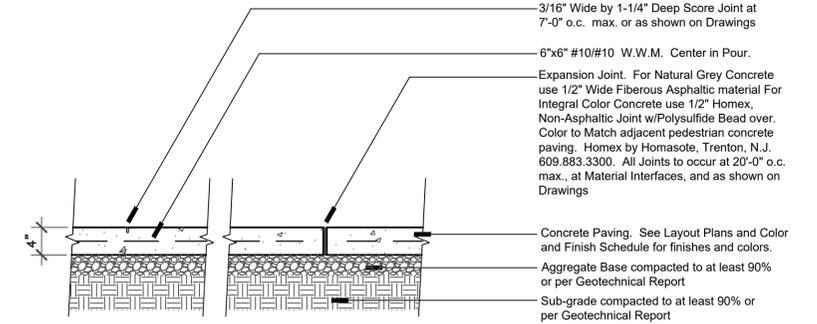




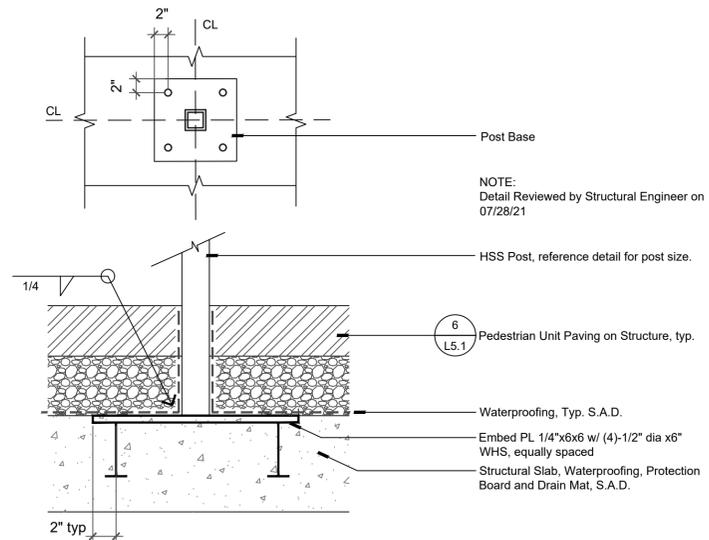
**6 Site Fence**  
Scale: 1/2" = 1'-0"



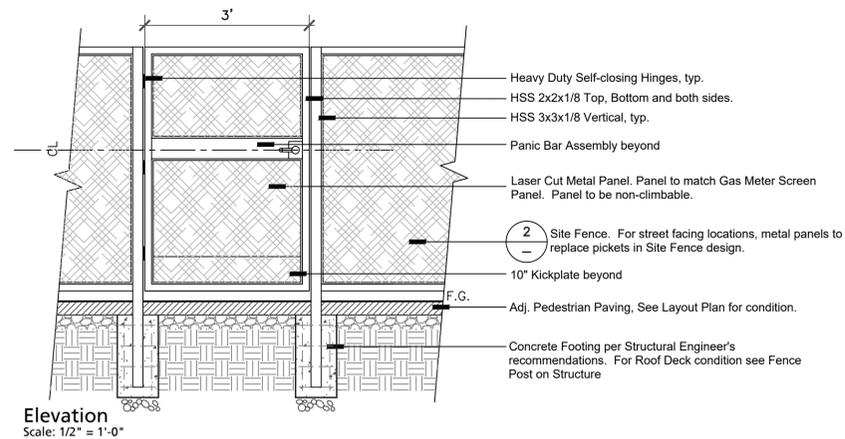
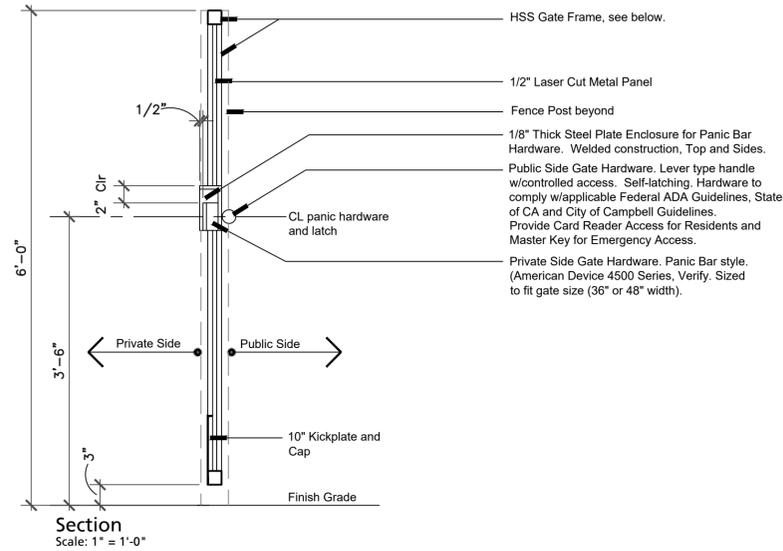
**4 Bike Rack**  
Scale: 3/8" = 1'-0"



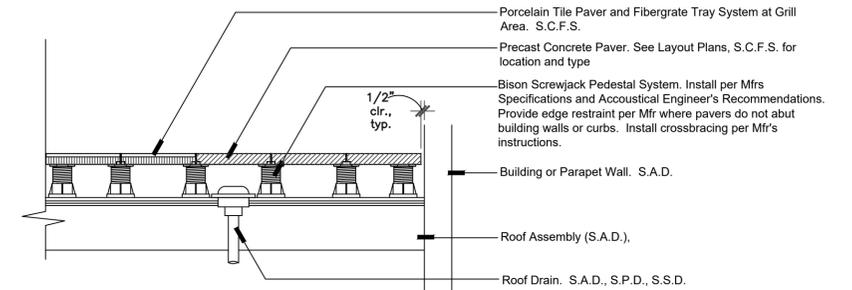
**1 Pedestrian Concrete Paving**  
Scale: 1" = 1'-0"



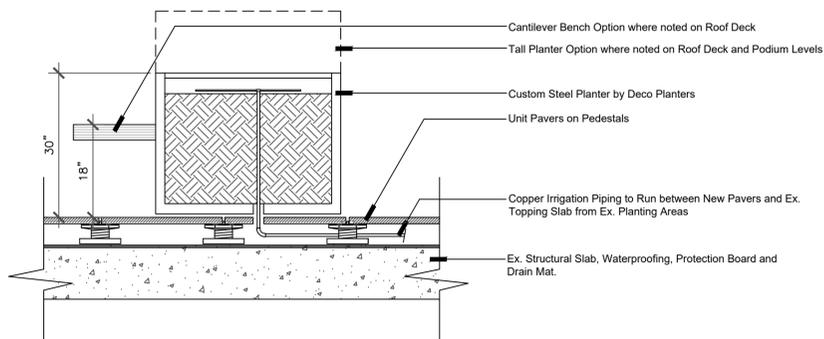
**7 Post Mount on Structure**  
Scale: 1/2" = 1'-0"



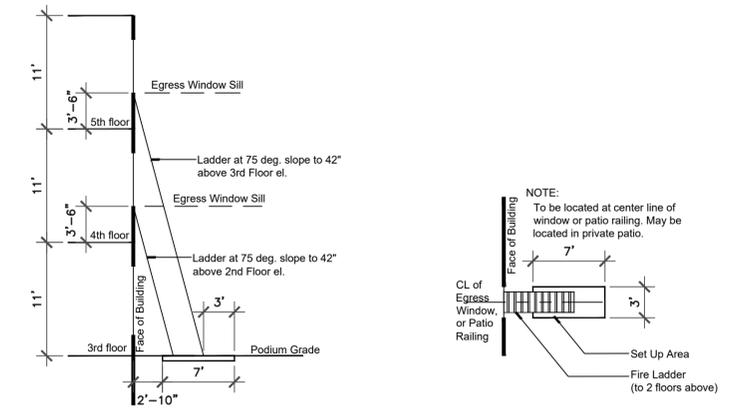
**5 Site Gate**  
Scale as Noted



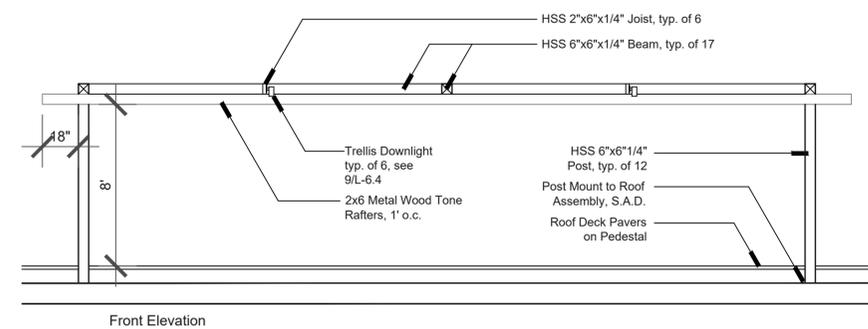
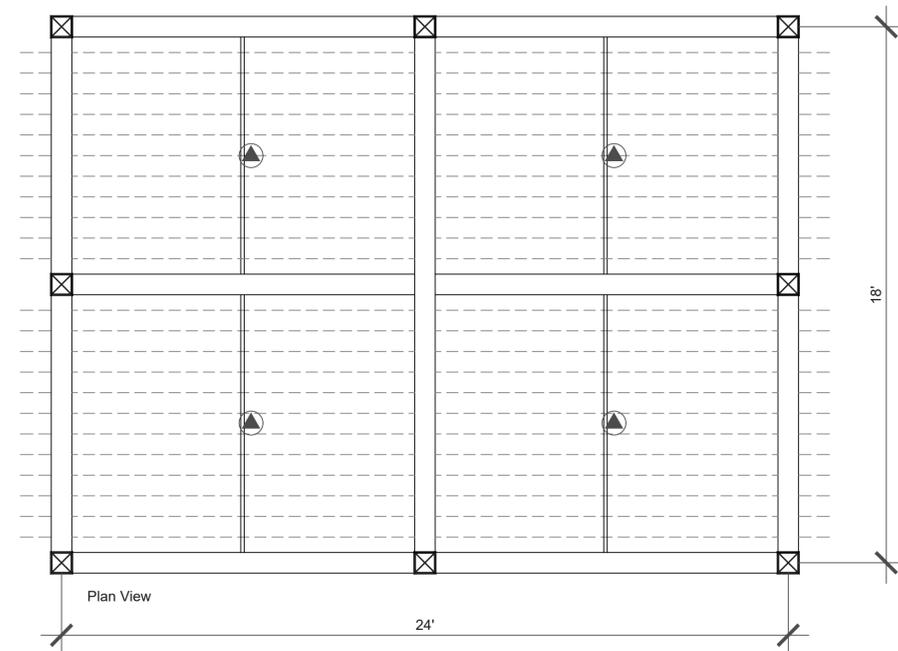
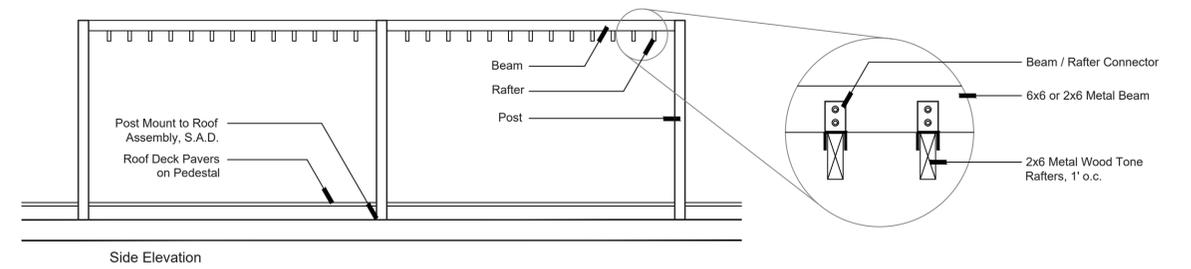
**2 Unit Pavers on Pedestal**  
Scale: 1/2" = 1'-0"



**8 Custom Metal Planter**  
Scale: 3/4" = 1'-0"



**3 Egress Ladder Set Up Area**  
Scale: 1/8" = 1'-0"

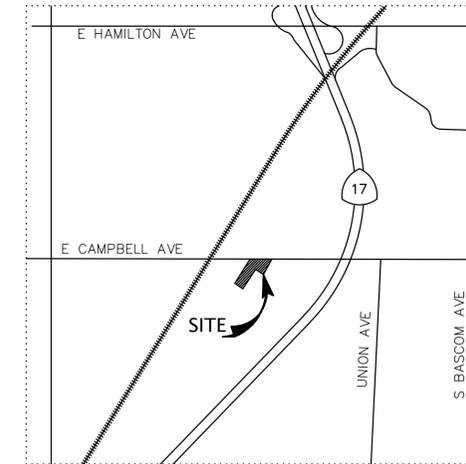


1 **Metal Trellis - Roof**  
Scale: 1/4" = 1'-0"

# VESTING TENTATIVE MAP

FOR A 1 LOT SUBDIVISION  
FOR 108 RESIDENTIAL UNITS

## PARKVUE FOR CRESLEIGH HOMES CAMPBELL CALIFORNIA

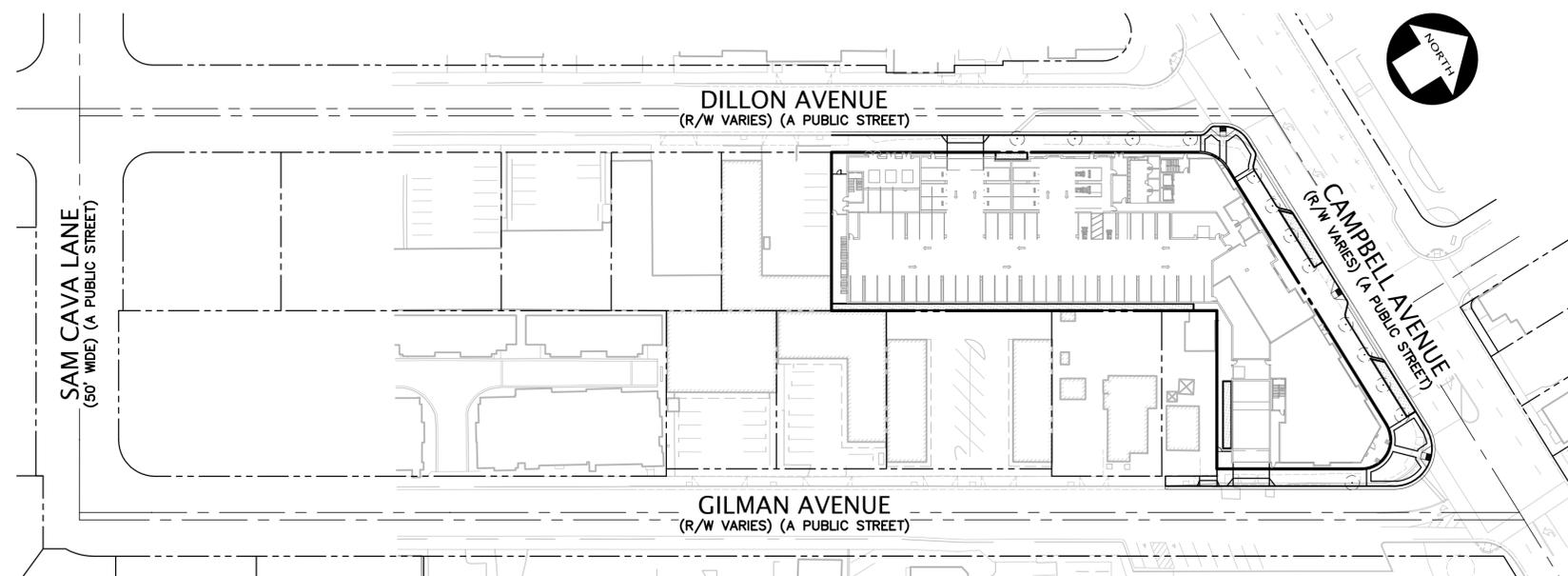


VICINITY MAP  
NOT TO SCALE

### PROJECT DATA

1. RECORD OWNER: CAMPBELL PARK DEVELOPMENT LLC  
ATTN: JEREMY LUI  
403 CALIFORNIA STREET, SUITE 700  
SAN FRANCISCO, CA 94104  
EMAIL: JLUI@CRESLEIGH.COM
2. SUBDIVIDER: CAMPBELL PARK DEVELOPMENT LLC  
403 CALIFORNIA STREET, SUITE 700  
SAN FRANCISCO, CA 94104  
PHONE: (415) 266-9929
3. MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.  
3350 SCOTT BOULEVARD, BUILDING 22  
SANTA CLARA, CA 95054  
PHONE: (408) 727-6665  
MARK A. KNUDSEN, P.E. 75828
4. A.P.N.: 412-09-066
5. GENERAL PLAN: CB-MU - CENTRAL BUSINESS MIXED USE
6. EXISTING USE: MIXED USE
7. PROPOSED USE: MIXED USE
8. EXISTING ZONING: C-PD - CONDOMINIUM PLANNED DEVELOPMENT
9. PROPOSED ZONING: C-PD - CONDOMINIUM PLANNED DEVELOPMENT
10. EXISTING NUMBER OF LOTS: 1
11. PROPOSED NUMBER OF RESIDENTIAL UNITS: 108 CONDOMINIUM UNITS
12. DENSITY: MINIMUM: 23 DU/ACRE  
ACTUAL: 108 DU/ACRE
13. TOTAL ACREAGE: 0.985
14. ALL DISTANCES ARE APPROXIMATE.
15. THERE ARE NO NEW PUBLIC STREET NAMES PROPOSED.
16. BENCHMARK: CITY OF CAMPBELL BENCHMARK NO. 73: 2 1/4" BRASS DISK IN TOP OF CURB AT NORTHWEST CORNER OF EAST CAMPBELL AVENUE AND PAGE STREET. ELEVATION = 192.275 FEET
17. BASIS OF BEARINGS: THE BEARING OF NORTH 31°51'45" EAST TAKEN ON GILMAN AVENUE AS SHOWN ON THAT CERTAIN TRACT MAP NUMBER 10570 FILED FOR RECORD ON AUGUST 9, 2023, IN BOOK 956 OF MAPS AT PAGES 22-23. OFFICIAL RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
18. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 06085C0237H FOR COMMUNITY NUMBER 060338 (CITY OF CAMPBELL), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "X" (UNSHADED)
19. THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED AUGUST 8, 2024, NUMBER 3409-6734098. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
20. UTILITIES:
 

STORM DRAINAGE SANITARY SEWER WATER ELECTRIC TELEPHONE CABLE	CITY OF CAMPBELL CITY OF CAMPBELL CITY OF CAMPBELL PG&E AT&T COMCAST
-----------------------------------------------------------------------------	-------------------------------------------------------------------------------------



KEY MAP  
SCALE: 1" = 60'

### SHEET INDEX

#### CIVIL SHEETS

NO.	SHEET	DESCRIPTION
1	TM1.0	COVER SHEET
2	TM2.1	EXISTING CONDITIONS PLAN
3	TM3.1	VESTING TENTATIVE MAP
4	TM4.1	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
5	TM5.1	PRELIMINARY STORMWATER QUALITY CONTROL PLAN
6	TM5.2	PRELIMINARY STORMWATER QUALITY CALCULATIONS & DETAILS
7	TM6.1	PRELIMINARY SITE FIRE ACCESS PLAN

#### DEVELOPER

CRESLEIGH HOMES  
ATTN: JEREMY LUI  
433 CALIFORNIA STREET, SUITE 700  
SAN FRANCISCO, CA 94104  
(415) 266-9929

#### CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.  
ATTN: NEKTARIOS MATHEOU  
3350 SCOTT BOULEVARD, BUILDING 22  
SANTA CLARA, CA 95054  
(408) 727-6665

#### ARCHITECT

LPAS ARCHITECTURE + DESIGN  
ATTN: RON METZKER  
2484 NATOMAS PARK DRIVE, BUILDING 100  
SACRAMENTO, CA 95833  
(415) 213-0335

#### LANDSCAPE ARCHITECT

THE GUZZARDO PARTNERSHIP INC.  
ATTN: KURT CULVER  
PIER 9, THE EMBARCADERO, SUITE 115  
SAN FRANCISCO, CA 94111  
(415) 433-4672

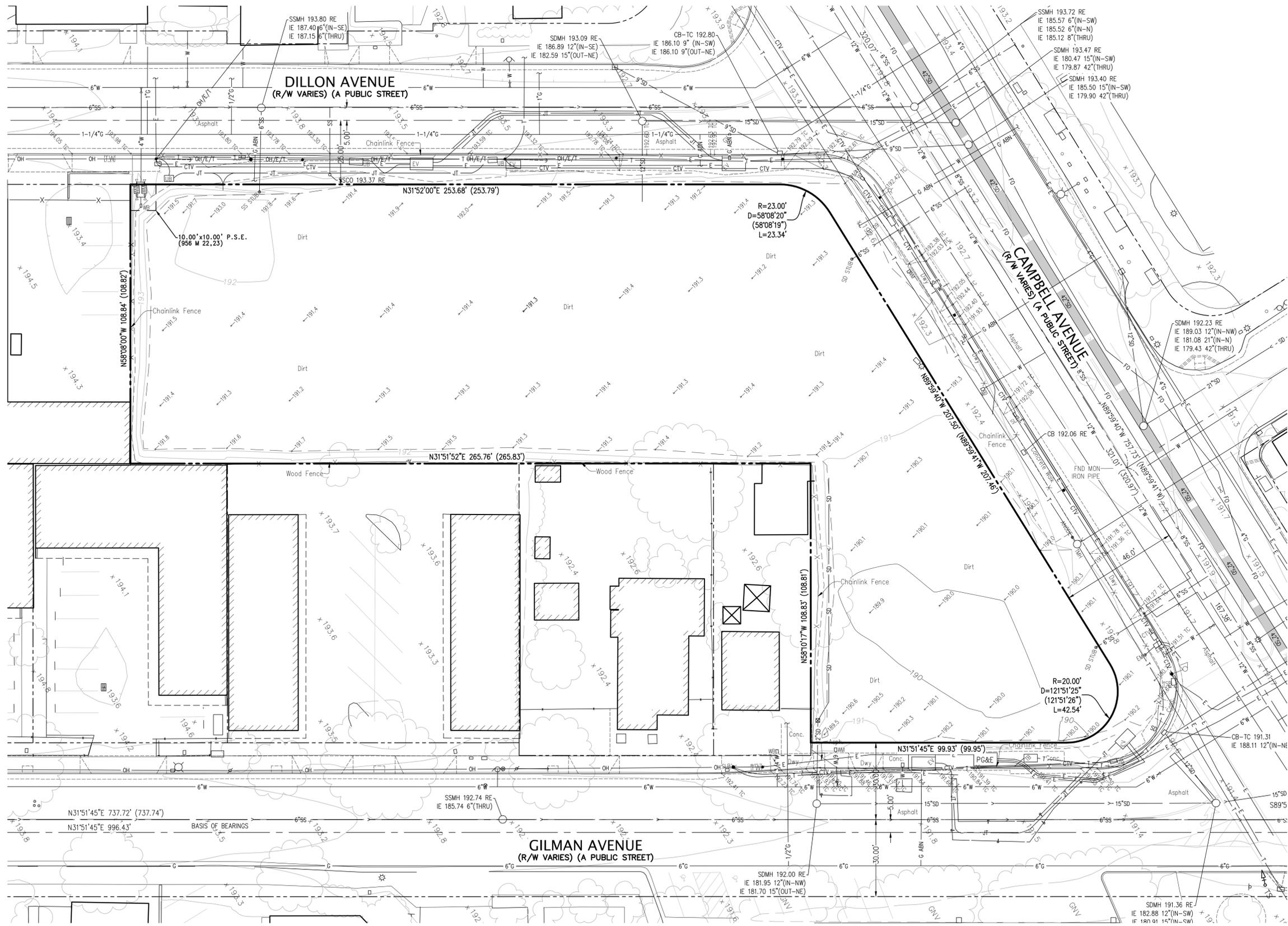


### LEGEND

- BUILDING LINE
- CENTER LINE
- CONCRETE/BLOCK WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- CONTOUR LINE-MAJOR
- CONTOUR LINE-MINOR
- DRIVEWAY
- ELECTRIC LINE
- FENCE LINE
- GAS LINE-VALVE & METER
- JOINT TRENCH LINE
- MONUMENT/MONUMENT LINE
- OVERHEAD POWER LINE
- PROPERTY LINE
- SANITARY SEWER LINE-MANHOLE & CLEANOUT
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- 
- STREET LIGHT CONDUIT LINE
- WATER LINE & VALVE
- ANODE
- ELECTRODER
- FIRE HYDRANT
- GUY ANCHOR
- POWER POLE/JOINT POLE
- TRANSFORMER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- UTILITY BOX
- WALK-BOLLARD LIGHT
- WATER VALVE

### ABBREVIATIONS

- B-C BEGINNING OF CURVE
- BL BUILDING LINE
- BR BOTTOM OF RAMP
- BW BACK OF WALK
- CB CATCH BASIN
- CL CENTER LINE
- CTV CABLE TV
- DI DRAIN INLET
- DWY DRIVEWAY
- E EAST
- E-C END OF CURVE
- EB ELECTRIC BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- EV ELECTRICAL VAULT
- EW EDGE OF WALK
- FH FIRE HYDRANT
- FL FLOW LINE
- FND FOUND
- GRN GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- IE INVERT ELEVATION
- IP IRON PIPE
- JP JOINT POWER POLE
- LIP UP OF GUTTER
- LL LANE LINE
- LT LIGHT
- LTW LIGHT WALK
- MH MANHOLE
- MON MONUMENT
- N NORTH
- NE NORTH EAST
- NW NORTH WEST
- PGE PACIFIC GAS & ELECTRIC
- PP POWER POLE
- RE RIM ELEVATION
- S SOUTH
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- ST START
- STL STEEL
- SW SOUTH WEST
- TB TELEPHONE BOX
- TC TOP OF CURB
- TMH TELEPHONE MANHOLE
- TOE GRADE BREAK LINE TOE
- TR TOP OF RAMP
- TSP TRAFFIC SIGNAL BOX
- TSP TRAFFIC SIGNAL POLE
- TW TREE WELL
- UB UNKNOWN UTILITY BOX
- W WEST
- WB WATER BOX
- WM WATER METER
- WV WATER VALVE



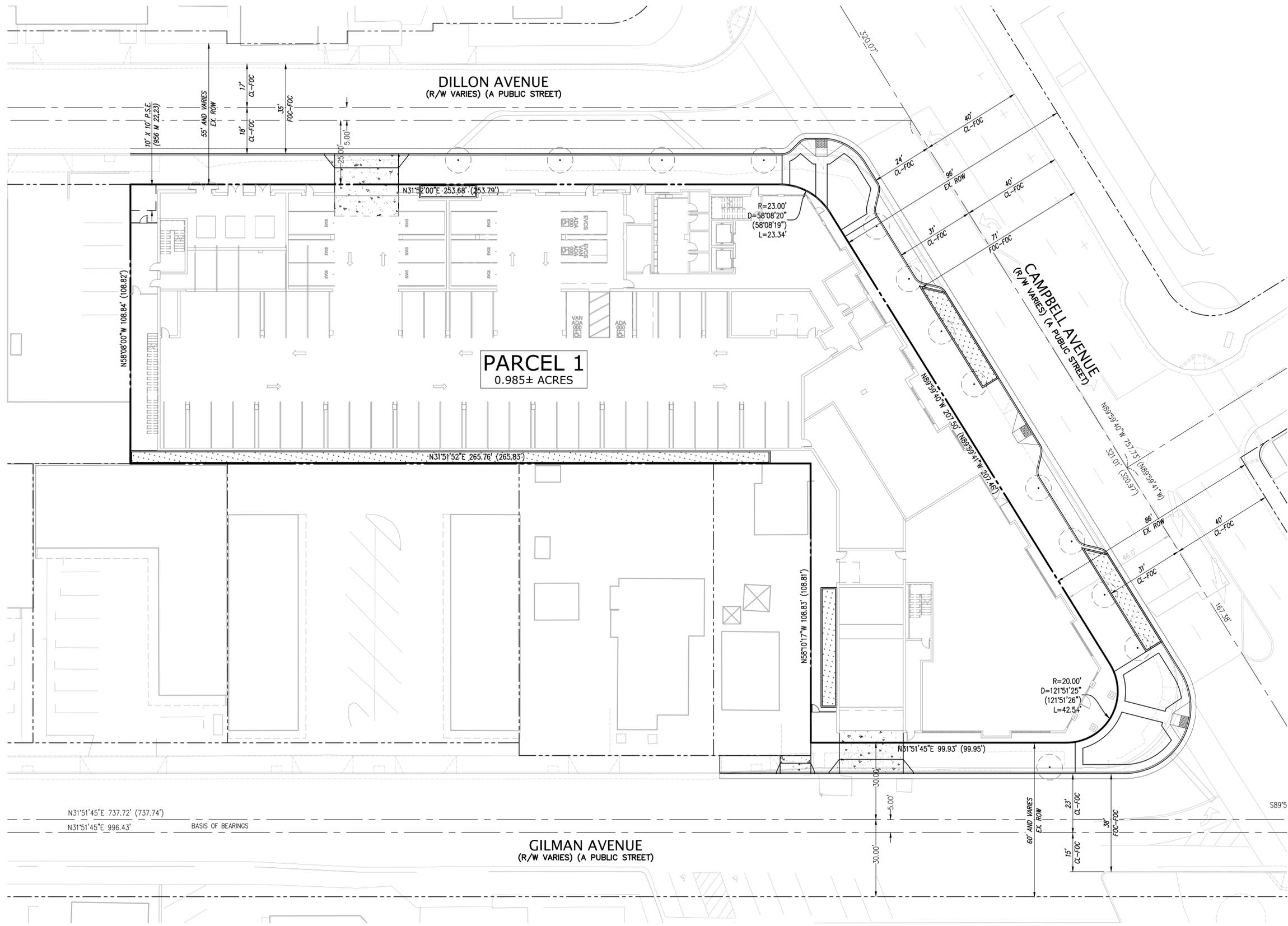


### VESTING TENTATIVE MAP LEGEND

- ADJACENT PROPERTY LINE
- STREET CENTERLINE OR MONUMENT LINE
- DISTINCTIVE BORDER
- EXISTING EASEMENT LINE

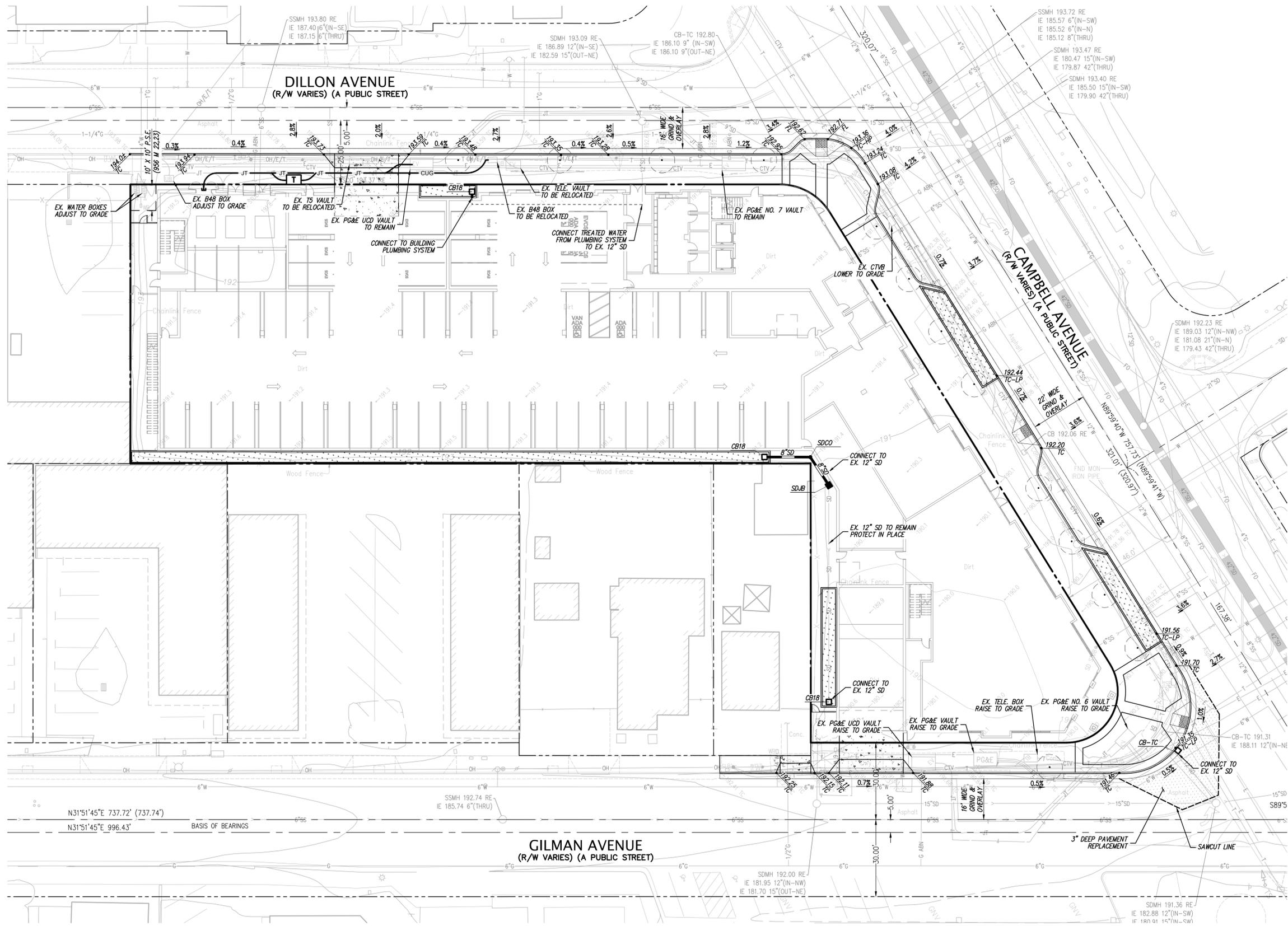
### ABBREVIATIONS

- |        |               |
|--------|---------------|
| CL     | CENTER LINE   |
| EX.    | EXISTING      |
| FOC    | FACE OF CURB  |
| PL     | PROPERTY LINE |
| P.S.E. | PROPERTY LINE |
| ROW    | RIGHT-OF-WAY  |





0 10 20 40 60  
Scale 1" = 20'



### GRADING AND DRAINAGE LEGEND

PROPOSED	EXISTING	DESCRIPTION
		CONTOUR LINE
		LOT LINE
		SPOT ELEVATION
		STORM DRAIN - MANHOLE AND CATCH BASIN
		THRU CURB DRAIN
		AREA DRAIN
		BUILDING
		BACK OF WALK
		CONCRETE
		CATCH BASIN
		DUCTILE IRON PIPE
		FACE OF CURB
		FINISHED FLOOR
		GRADE BREAK
		HIGH POINT
		INVERT ELEVATION
		LOW POINT
		NON EXPANSIVE FILL
		OVERFLOW
		PAVEMENT
		RIDGE
		RIM ELEVATION
		SDMB
		SDMH
		TC

### UTILITY LEGEND

PROPOSED	EXISTING	DESCRIPTION
		ELECTRIC LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE - VALVE & METER
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PERFORATED STORM DRAIN PIPE
		PROPERTY LINE
		SANITARY SEWER - MANHOLE AND CATCH BASIN
		SPOT ELEVATION
		STORM DRAIN - MANHOLE AND CATCH BASIN
		THRU CURB DRAIN
		TELEPHONE LINE
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		WALK-BOLLARD LIGHT
		FIRE HYDRANT
		POST INDICATOR VALVE
		POWER POLE/JOINT POLE
		TRANSFORMER
		TRAFFIC SIGN
		UTILITY BOX
		AREA DRAIN
		AUTOMATIC SPRINKLER RISER
		BACKFLOW PREVENTION DEVICE
		CATCH BASIN
		CLEANOUT TO GRADE
		DOUBLE DETECTOR CHECK VALVE
		DOWN SPOUT
		FINISHED FLOOR
		FIRE HYDRANT
		FLOW LINE
		INVERT ELEVATION
		LIGHT
		POINT OF CONNECTION
		POST INDICATOR VALVE
		RAIN WATER LEADER
		RIM ELEVATION
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		STORM DRAIN JUNCTION BOX
		STREET LIGHT
		STREET LIGHT BOX
		WATER METER
		WATER VALVE

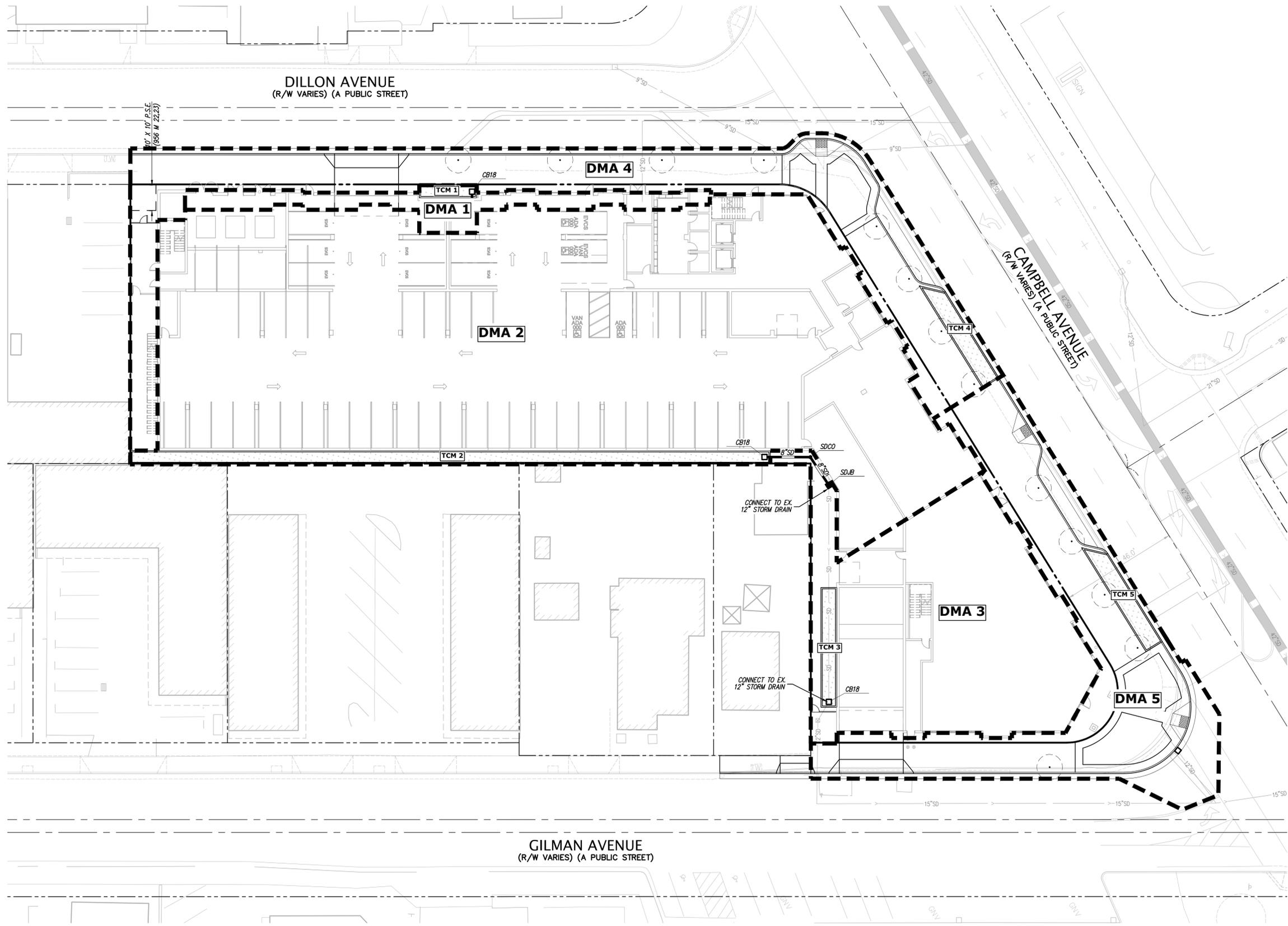


### STORMWATER LEGEND

	TRIBUTARY AREA LIMITS
	BIO-TREATMENT POND
	FLOW-THROUGH PLANTER
	DRAINAGE MANAGEMENT AREA
	TREATMENT CONTROL MEASURE
	SELF-TREATING AREA
	SELF-RETAINING AREA
	RUNOFF FLOW DIRECTION

### STORMWATER NOTES

1. NON-LOW IMPACT DEVELOPMENT (LID) TREATMENT MEASURES SHALL BE SIZED TO TREAT LID DMAs IF THERE IS NOT DUAL PIPING WITHIN THE BUILDING FOOTPRINT.
2. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE SANTA CLARA COUNTY C.3 TECHNICAL GUIDANCE DOCUMENT AS IT IS NOT LOCATED WITHIN A SUBWATERSHED AREA LESS THAN 65% IMPERVIOUSNESS ON THE HYDROMODIFICATION MANAGEMENT (HM) APPLICABILITY MAP.
3. TRASH AND RECYCLING ENCLOSURES ARE LOCATED WITHIN THE BUILDING FOOTPRINT AND ARE NOT ON THE EXTERIOR.
4. THE PROJECT IS REPLACING MORE THAN 50% OF THE SITE IMPERVIOUSNESS. THEREFORE, STORMWATER TREATMENT IS REQUIRED FOR THE ENTIRE SITE.
5. ALL PLANT MATERIALS WITHIN LID STORMWATER TREATMENT SHALL ADHERE TO APPENDIX D OF THE SANTA CLARA COUNTY C.3 TECHNICAL GUIDANCE DOCUMENT.



KIER+WRIGHT

# PRELIMINARY STORMWATER QUALITY CONTROL PLAN

EAST CAMPBELL APTS. | CAMPBELL, CA

PROJECT NO. A24339

# TM5.1

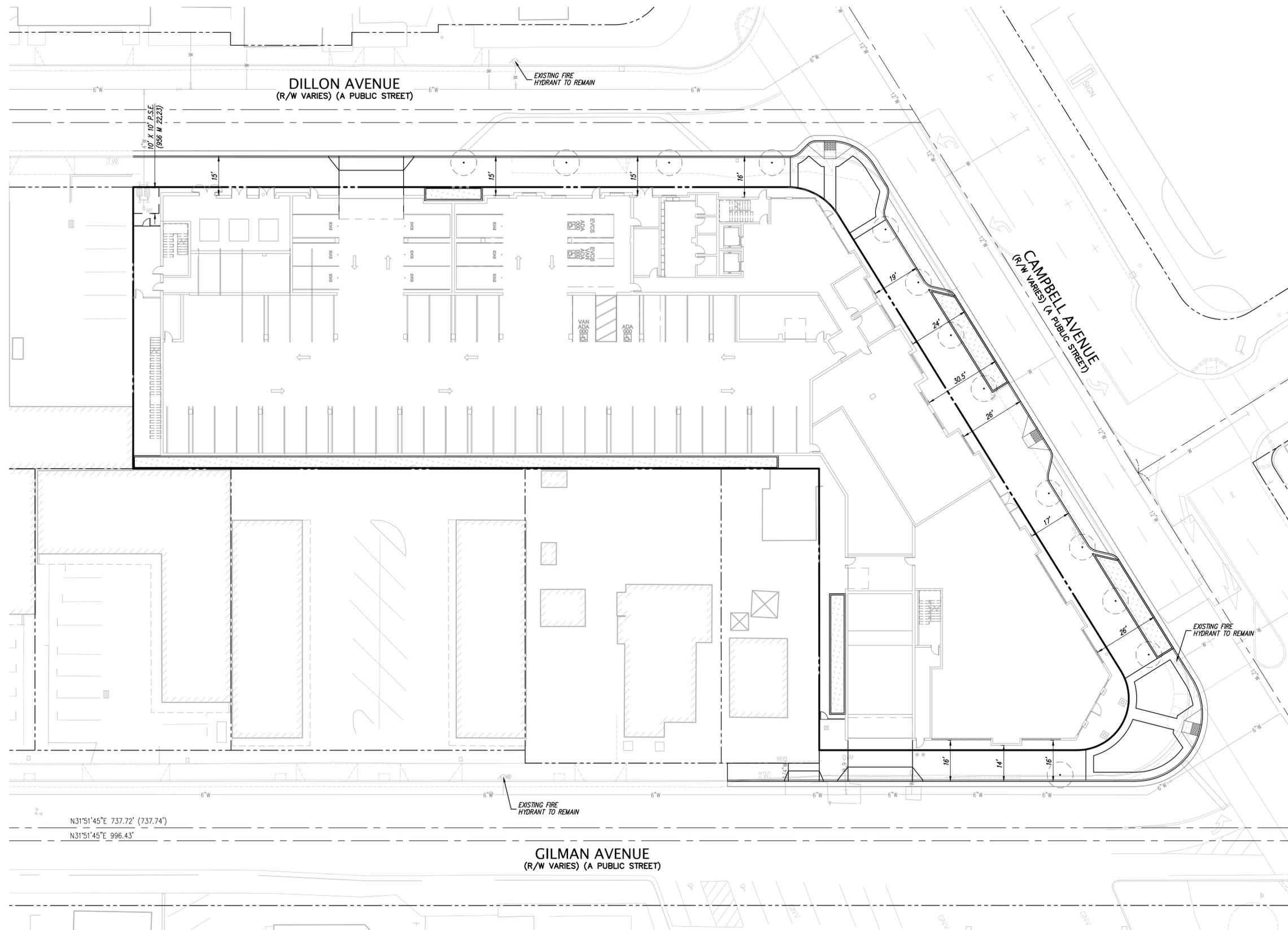
January 6, 2025





### SITE FIRE NOTES

1. EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE PAVED WITH ASPHALT OR REINFORCED CONCRETE, BOTH OF WHICH WILL SUPPORT THE MINIMUM REQUIRED LOAD OF 75,000 LBS.
2. CURB SPANS DESIGNATED WITH RED MARKINGS INDICATE FIRE LANE IDENTIFICATION AND PARKING RESTRICTIONS FOR FIRE APPARATUS ACCESS ROADS. THESE ROADWAYS SHALL BE MARKED WITH PERMANENT SIGNAGE INDICATING "NO PARKING - FIRE LANE" IN ACCORDANCE WITH FIGURE 7 OF THE S.C.F.D. EMERGENCY APPARATUS ACCESS REQUIREMENTS DOCUMENT.
3. TREES DO NOT INTERFERE WITH AERIAL LADDER TRUCKS.
4. ALL BUILDINGS ARE 150' OR LESS FROM AN EMERGENCY VEHICLE ACCESS LANE.
5. FIRE ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. AERIAL APPARATUS ACCESS ROADS MAY REQUIRE ADDITIONAL VERTICAL CLEARANCE.
6. DEAD-END FIRE ACCESS ROADS MORE THAN 150 FEET IN LENGTH (MEASURED FROM THE CURB PERPENDICULAR TO THE ROADWAY) SHALL BE PROVIDED WITH AN APPROVED TURNAROUND THAT ADHERES TO APPENDIX D FIGURE D103.1 OF THE CALIFORNIA FIRE CODE.

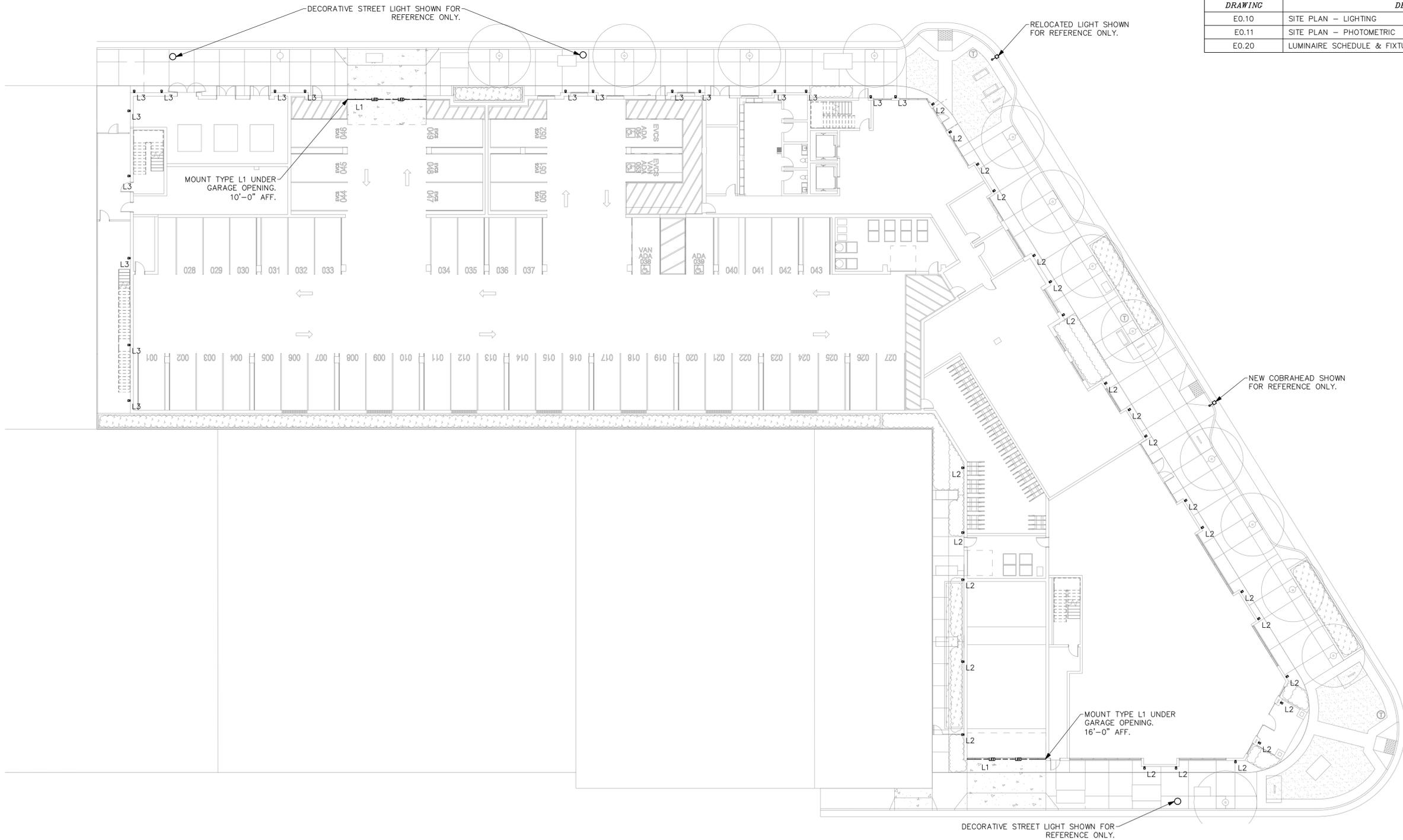


GENERAL NOTES

1. LIGHTING CONTROLS SHALL BE INSTALLED WHICH MEET ALL REQUIREMENTS OF LOCAL ENERGY CODES.
2. ALL EXTERIOR MOUNTED LIGHTING SHALL BE CONTROLLED BY PHOTOCONTROL OR ASTRONOMIC TIME-CLOCK SCHEDULING PER CALIFORNIA ENERGY CODE (CEC) REQUIREMENTS 160.5(c)2. PROVIDE MOTION SENSING CONTROLS FOR LUMINAIRES OVER 40 WATTS MOUNTED LESS THAN 24' ABOVE GRADE AND WALL MOUNTED LUMINAIRES MORE THAN 24' ABOVE GRADE.
3. ALL EXTERIOR MOUNTED LUMINAIRES SHALL FOLLOW MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS FOUND IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 5.106.8.
4. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.

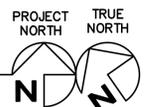
SHEET INDEX

DRAWING	DESCRIPTION
E0.10	SITE PLAN - LIGHTING
E0.11	SITE PLAN - PHOTOMETRIC
E0.20	LUMINAIRE SCHEDULE & FIXTURE DETAILS



SITE PLAN - LIGHTING

SCALE: 1/16" = 1'-0"



FOR REFERENCE ONLY

NO.	DATE	DESCRIPTION	REVISIONS



DRAWN:	MNR	DESIGNED:	MNR	CHECKED:	AJS	APPROVED:	AJS
--------	-----	-----------	-----	----------	-----	-----------	-----

PROJECT: EAST CAMPBELL APTS.  
 600 EAST CAMPBELL AVE, CAMPBELL, CA

19401 40TH AVE W, SUITE 302  
 LYNNWOOD, WA 98036  
 PHONE: 206/364-3343

**ROBISON ENGINEERING, INC.**

DATE: 12/19/2024

SHEET TITLE:  
 SITE PLAN - LIGHTING

SHEET NO.  
**E0.10**

PHOTOMETRIC NOTES

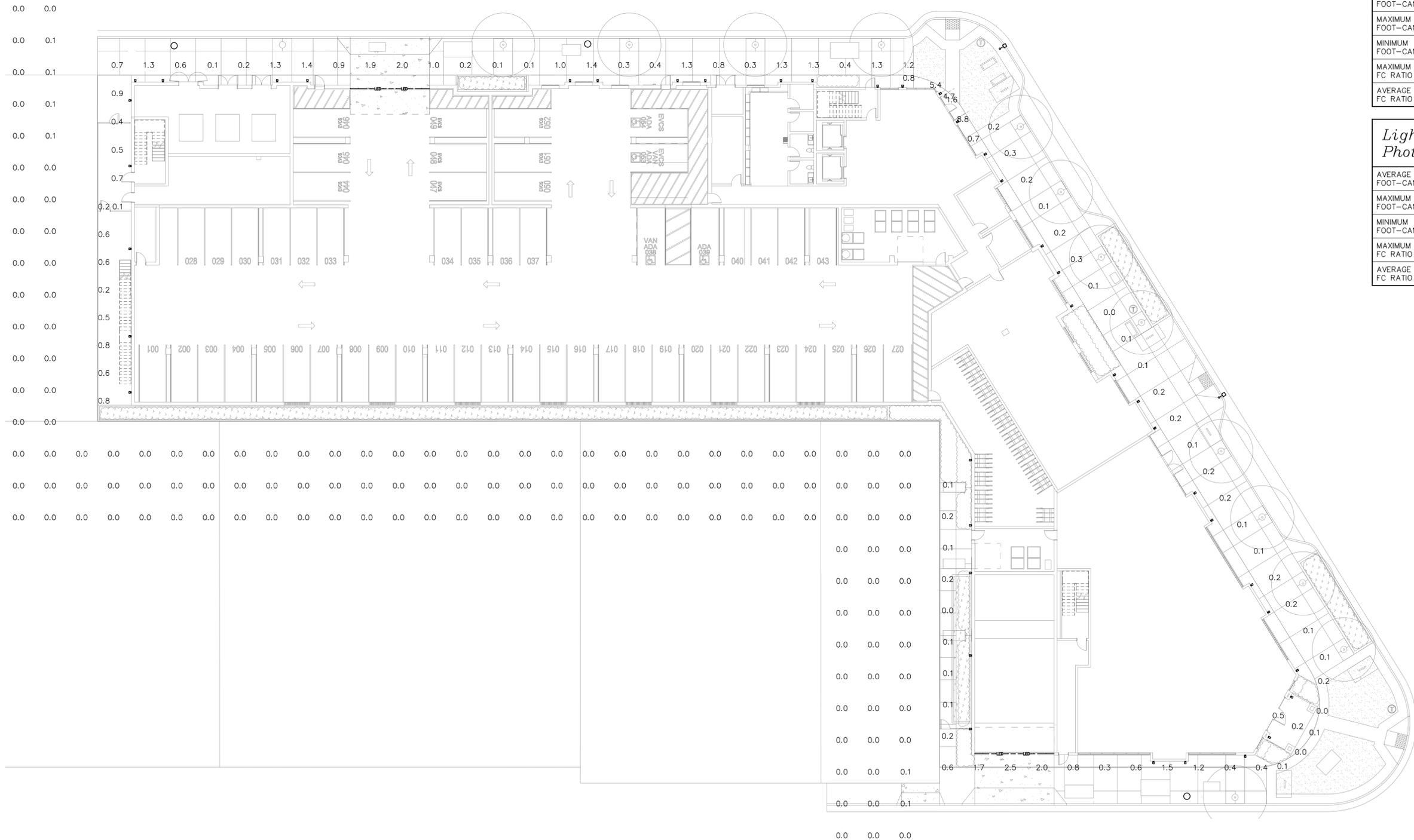
1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. SITE PHOTOMETRIC CALCULATIONS: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
4. LIGHT TRESPASS: LIGHT SPILL PAST PROJECT SITE PROPERTY LINE.
5. NEW, EXISTING, AND DECORATIVE STREET LIGHTS NOT INCLUDED IN PHOTOMETRIC CALCULATIONS. SHOWN FOR REFERENCE ONLY.

Walkway Photometric Schedule

AVERAGE FOOT-CANDLES	0.74
MAXIMUM FOOT-CANDLES	8.8
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	397.85
AVERAGE TO MINIMUM FC RATIO	33.57

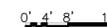
Light Trespass Photometric Schedule

AVERAGE FOOT-CANDLES	0.01
MAXIMUM FOOT-CANDLES	0.1
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	0.12 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.01 / 0.00



SITE PLAN - PHOTOMETRIC

SCALE: 1/16" = 1'-0"



NO.	DATE	DESCRIPTION	REVISIONS

**ROBISON ENGINEERING, INC.**  
 19401 40TH AVE W, SUITE 302  
 LYNNWOOD, WA 98036  
 206-864-3475  
 REI PROJECT NO. 1376001  
 CONTACT: JACOB GREEN

DRAWN: MNR	DESIGNED: MNR	CHECKED: AUS	APPROVED: AUS
------------	---------------	--------------	---------------

PROJECT: EAST CAMPBELL APTS.  
 600 EAST CAMPBELL AVE, CAMPBELL, CA

19401 40TH AVE W, SUITE 302  
 LYNNWOOD, WA 98036  
 PHONE: 206/364-3343

**ROBISON ENGINEERING, INC.**

DATE: 12/19/2024

SHEET TITLE:  
 SITE PLAN - PHOTOMETRIC

SHEET NO.  
 E0.11

FOR REFERENCE ONLY

## EXTERIOR LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	VOLTAGE	PROTOCOL	CRI / CCT	LAMPING	WATTAGE
L1	— — — —	RECESSED	GARAGE — RECESSED LINEAR — B1 U1 GO	FOCAL POINT: FSM2LWL 125 30K [CIRCUITS] UNV L11 [CEILING] [FINISH]	MULTIPLE	0-10V DIMMING	80 / 3000K	(1) 5.6 /FT LED	
L2	■	SURFACE	WALL SCONCE — B1 U4 G0 — MH 8'	SONNEMAN: 7522 [FINISH]	MULTIPLE	0-10V DIMMING	90 / 3000K	(2) 3.5W LED	7
L3	■	SURFACE	VERTICAL SCONCE — B1 U3 G1 — MH 6'-8"	SONNEMAN: 7115 [FINISH]	120	ELV DIMMING	90 / 3000K	(1) LED	15

### NOTES:

- CONTRACTOR TO FURNISH AND INSTALL ALL FIXTURES.
- LUMINAIRE SCHEDULE IS BOD ONLY. CONTRACTOR TO SUBMIT FIXTURE MODEL OR EQUIVALENT. CONTRACTOR TO COORDINATE FIXTURE FINISHES WITH ARCHITECT/OWNER.
- FIXTURE CATALOG NUMBERS DO NOT NECESSARILY DENOTE SPECIFIC MOUNTING ACCESSORIES. CONTRACTOR TO PROVIDE ALL NECESSARY ACCESSORIES TO SUCCESSFULLY COMPLETE THE INSTALLATION.
- 'BUG' RATING ON EXTERIOR FIXTURES INDICATES 'BACKLIGHT', 'UPLIGHT', AND 'GLARE' AS STANDARDS IN CLASSIFYING OUTDOOR LIGHT FIXTURES.


**L3**

### Stripe LED Sconce Spec Sheet

Project: **Stripe LED Sconce Spec Sheet**

SKU: 7115.72-WL

This square vertical column is a strong and commanding element, with presence and dramatic impact. Light is indirectly reflected off the surface it is mounted upon, highlighting the white LED front stripe, which can be made red, blue, or yellow by an interchangeable color strip.

Learn more: <https://sonnemanlight.com/strip-LED-sconce>

Type #:



#### Dimensions

Height: 30"  
Width: 1.5"  
Extends: 3"  
Minimum Extension: 3"  
Maximum Extension: 3"  
Size: 3"  
Canopy/Backplate/Base Width: 4.5"  
Canopy/Backplate/Base Depth: 0.5"  
Canopy/Backplate/Base Height: 6"

#### Electrical Specs

Bulb(s) Included?: Yes  
Bulb Type: Integral LED  
Bulb Quantity: 1  
Input Voltage: 120VAC  
Wattage: 15  
Initial Lumens: 1300  
Delivered Lumens: 740  
Kelvin: 3000K  
CRI: 90  
Power Supply Type: Driver  
Power Supply Quantity: 1  
Power Supply Location: Outlet Box  
Dimming Type: TRIAC/ELV-10V  
Bulb Max Wattage: 15

#### Installation

Installation: Licensed electrician required  
Installation Orientation: Vertical

#### Shipping

Carton 1 L x W x H: 33" X 8" X 5"  
Carton 1 Gross Weight: 6 LBS

#### Shade

Shade Material: Aluminum w/Colored Strip

#### General Listings

Features: Wet Rated  
Certification: C-ETL-US  
Color/Finish: Textured Bronze (.72)  
Dark Sky Friendly: N

#### Available Finishes

Available Finishes: Textured Bronze (.72), Textured Gray (.74), Textured White (.98)

#### Available Color Temperatures

Available Color Temperatures: 3000K

#### Options In This Family

SKU	Size	Wattage	CRI	Delivered Lumens
7113.XX-WL	24"	11	90	830
7115.XX-WL	30"	15	90	740

#### Dimensions

Height: 5.25"  
Width: 5.35"  
Size: Large

#### Electrical Specs

Bulb(s) Included?: Yes  
Bulb Type: Integral LED  
Bulb Quantity: 2  
Input Voltage: 120-277VAC  
Wattage: 7  
Initial Lumens: 1900  
Delivered Lumens: 750  
Kelvin: 3000K  
CRI: 90  
Power Supply Type: Driver  
Power Supply Quantity: 1  
Power Supply Location: Outlet Box  
Dimming Type: TRIAC/ELV-10V

#### Installation

Installation: Licensed electrician required  
Sloped Ceiling Compatible?: N/A  
Installation Orientation: Vertical

#### Shade

Shade Material: Aluminum

#### General Listings

Features: IP65 Rated, Wet Rated  
Certification: C-ETL-US  
Color/Finish: Natural Anodized (.77)  
Dark Sky Friendly: N

#### Available Finishes

Available Finishes: Natural Anodized (.77), Textured Black (.97), Textured White (.98)

#### Available Color Temperatures

Available Color Temperatures: 3000K


**L2**

### Qube Large Sconce Spec Sheet

Project: **Qube Large Sconce Spec Sheet**

SKU: 7522.77

Defined by its cube form, Qube reframes space while projecting light up and down through a clear lens. This timeless geometric sconce is ideal for any architectural space, including living spaces, luxury bedrooms, and outdoor spaces. The collection can be scaled for larger residential, hospitality and commercial settings. Qube is IP65 rated, making it an ideal solution for outdoor locations.

Learn more: <https://sonnemanlight.com/qube-sconce>

Type #:



#### Dimensions

Height: 5.25"  
Width: 5.35"  
Size: Large

#### Electrical Specs

Bulb(s) Included?: Yes  
Bulb Type: Integral LED  
Bulb Quantity: 2  
Input Voltage: 120-277VAC  
Wattage: 7  
Initial Lumens: 1900  
Delivered Lumens: 750  
Kelvin: 3000K  
CRI: 90  
Power Supply Type: Driver  
Power Supply Quantity: 1  
Power Supply Location: Outlet Box  
Dimming Type: TRIAC/ELV-10V

#### Installation

Installation: Licensed electrician required  
Sloped Ceiling Compatible?: N/A  
Installation Orientation: Vertical

#### Shade

Shade Material: Aluminum

#### General Listings

Features: IP65 Rated, Wet Rated  
Certification: C-ETL-US  
Color/Finish: Natural Anodized (.77)  
Dark Sky Friendly: N

#### Available Finishes

Available Finishes: Natural Anodized (.77), Textured Black (.97), Textured White (.98)

#### Available Color Temperatures

Available Color Temperatures: 3000K

#### Dimensions

Height: 5.25"  
Width: 5.35"  
Size: Large

#### Electrical Specs

Bulb(s) Included?: Yes  
Bulb Type: Integral LED  
Bulb Quantity: 2  
Input Voltage: 120-277VAC  
Wattage: 7  
Initial Lumens: 1900  
Delivered Lumens: 750  
Kelvin: 3000K  
CRI: 90  
Power Supply Type: Driver  
Power Supply Quantity: 1  
Power Supply Location: Outlet Box  
Dimming Type: TRIAC/ELV-10V

#### Installation

Installation: Licensed electrician required  
Sloped Ceiling Compatible?: N/A  
Installation Orientation: Vertical

#### Shade

Shade Material: Aluminum

#### General Listings

Features: IP65 Rated, Wet Rated  
Certification: C-ETL-US  
Color/Finish: Natural Anodized (.77)  
Dark Sky Friendly: N

#### Available Finishes

Available Finishes: Natural Anodized (.77), Textured Black (.97), Textured White (.98)

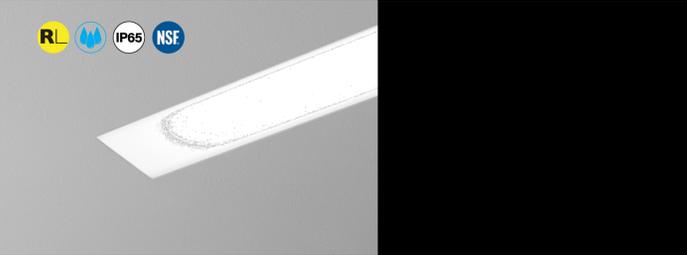
#### Available Color Temperatures

Available Color Temperatures: 3000K


**L1**

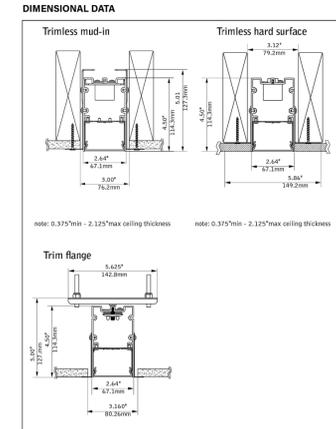

### Seem® 2 LED - WET LOCATION

RL IP65 NSF



#### DIMENSIONAL DATA

Trimless mud-in: 3.12" x 75.26mm  
Trimless hard surface: 3.12" x 75.26mm  
Trim flange: 3.12" x 75.26mm



note: 0.375" min - 2.125" max ceiling thickness

note: 0.375" min - 2.125" max ceiling thickness

#### FEATURES

Narrow extruded aluminum 2.5" aperture recessed slot LED suitable for wet location.

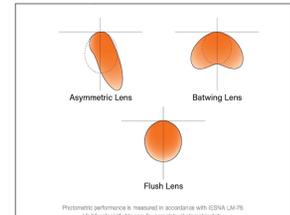
Integrates with ceiling for a clean, unobtrusive aesthetic.

Individual units and continuous runs in 1' increments.

Frosted acrylic lens provides uninterrupted illumination, without pixels or shadows.

LED position and lens material optimized to provide the perfect blend of high performance and visual comfort.

#### PERFORMANCE



Photometric performance is measured in accordance with IESNA LM-79. Visit [seemlights.com](http://seemlights.com) for complete photometric data.

A brand of **legrand** Focal Point LLC 441 S. Pulaski Rd. Chicago, IL 60632 773.293.9494 | [seemlights.com](http://seemlights.com) October 2024 W

**FOR REFERENCE ONLY**

NO.	DATE	DESCRIPTION	REVISIONS



19401 40TH AVE W, SUITE 302  
LYNNWOOD, WA 98036  
206.864.3343  
RE PROJECT NO.: 13767001  
CONTACT: JACOB@ROBISONENGINEERING.COM

DRAWN:	MNR
DESIGNED:	MNR
CHECKED:	AJS
APPROVED:	AJS

PROJECT: **EAST CAMPBELL APTS.**  
600 EAST CAMPBELL AVE, CAMPBELL, CA

19401 40TH AVE W, SUITE 302  
LYNNWOOD, WA 98036  
PHONE: (206) 364-3343

**ROBISON ENGINEERING, INC**

DATE: 12/19/2024

SHEET TITLE:  
**LUMINAIRE SCHEDULE & LIGHTING NOTES**

SHEET NO.  
**E0.20**