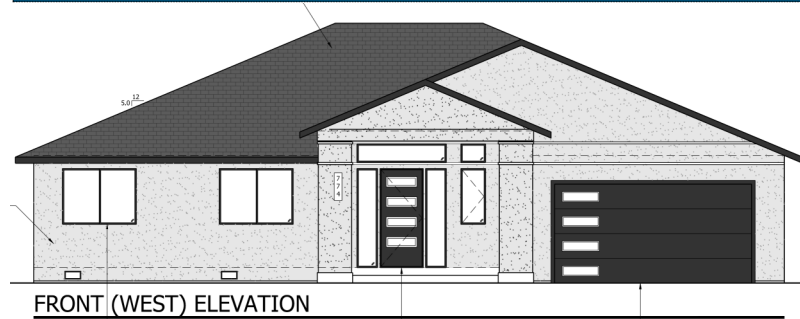




 City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Public Hearing

Dear Campbell Resident,

February 14, 2025

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:00 p.m., or shortly thereafter, on Tuesday, February 25, 2024, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 774 Old Orchard Road

Zoning | Area Plan: R-1-16 | San Tomas Area Neighborhood Plan

Neighborhood Association(s): N/A

Council District: 1

File No.: PLN-2024-127

APN: 404-29-003

Applicant: KUOP Designs

Property Owner: Brandon Nguyen & Sharon Sun

Application Type: Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Project Description:

To allow the demolition of an existing single-family dwelling and construction of an approximately 3,135 square foot, single-story, single-family dwelling.

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español**



NEW 1-STORY RESIDENCE

NGUYEN/SUN RESIDENCE

OWNER

BRANDON NGUYEN & SHARON SUN
774 OLD ORCHARD ROAD
CAMPBELL, CA 95008
408.621.9904
bradngn@gmail.com

CONSULTANTS

SURVEY
FOOTSTEPS SURVEYING
3315 ST IGNATIUS PL.
SANTA CLARA, CA 95051
FTSTPSJAY@GMAIL.COM

PROJECT SCOPE

TEARDOWN OF EXISTING 1,518 SF RESIDENCE AND DETACHED GARAGE ON EXISTING 94.80 SF LOT.
CONSTRUCTION OF NEW SINGLE STORY RESIDENCE

PROJECT DATA

- APN 404-29-003
- ZONING SFR R-1-16
- OCCUPANCY: R-3 / U
- CONSTRUCTION TYPE: V-B
- SPRINKLER: YES
- LOT SIZE: 9,480 SF

PROJECT SUMMARY TABLE

GROSS LOT AREA	9,480		
NET LOT AREA	9,480 SF		
FLOOR AREA	1ST LEVEL	GARAGE	LOT COVERAGE
PROPOSED	2,595	540	3,135

MAX LOT COVERAGE 35% 3,318 SF
LOT COVERAGE 3,135 SF

MAX FAR 45% 4,266 SF
FAR 3,135 SF

STANDARDS	REQUIRED (MAX)	PROPOSED
HEIGHT	28'-0"	21'-0 1/4"
SETBACKS 1ST FLOOR		
FRONT	25'-0"	25'-0"
REAR	25'-0"	35'-1"
LEFT SIDE	8'-0"	8'-0"
RIGHT SIDE	10'-0"	10'-0"

LANDSCAPE	IMPERVIOUS(SF)	PERVIOUS(SF)
PROPOSED ROOF	3,135	
PROPOSED WALK	X	

FRONT YARD 1,975 SF
MAX 50% PAVING 987.5 SF
MIN 50% LANDSCAPE 987.5 SF

FRONT YARD PAVING 941 SF
FRONT LANDSCAPE 1,034 SF

LANDSCAPING - 1 TREE PER 2X000 SF LOT AREA (5 TREES) EXISTING TREES TO BE INCLUDED IN TOTAL

INDEX TO DRAWINGS

- | | |
|------|---------------------------|
| CVR1 | COVER SHEET |
| PLN1 | FAR |
| PLN2 | NEIGHBORHOOD CONTEXT MAP |
| PLN3 | STREETSCAPE ELEVATIONS |
| PLN4 | NEIGHBORHOOD PRIVACY PLAN |
| PLN5 | COLOR BOARD |

CIVIL

- | | |
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| C1.1 | STORM EROSION & SEDIMENT CONTROL PLAN |
| C1.2 | GRADING PLAN |
| C1.3 | SITE DETAILS |

ARCHITECTURAL

- | | |
|-------|-------------------------|
| A0.0 | DEMOLITION PLAN |
| A0.1 | ARCHITECTURAL SITE PLAN |
| A1.1 | ARCHITECTURAL NOTES |
| A2.1 | 1ST FLOOR PLAN NEW |
| A2.2 | 2ND FLOOR PLAN NEW |
| A3.1 | ELEVATIONS NEW |
| A3.2 | ELEVATIONS NEW |
| A4.1 | ROOF PLAN |
| A5.1 | SECTIONS |
| A5.2 | SECTIONS |
| A10.0 | ARCHITECTURAL DETAILS |

LANDSCAPE

- | | |
|-----|----------------------------|
| L-1 | PLANTING PLAN |
| L-2 | LIGHTING AND MATERIAL PLAN |
| L-3 | IRRIGATION PLAN |
| L-4 | IRRIGATION DETAILS |

TOPO

ONE OF ONE SETBACK SURVEY MAP

ABBREVIATIONS

A.B. AGGREGATE BASE A.C. ASPHALT CONCRETE A/C AIR CONDITIONING ACC ACCESSIBLE A.D. AREA DRAIN ADJ ADJUSTABLE A.F.F. ABOVE FINISH FLOOR ALT ALTERNATE ALUM ALUMINUM APPROX APPROXIMATE A.T. ACOUSTIC TILE BLDG BUILDING BLKG BLOCKING B.O. BOTTOM OF BOT BOTTOM B.U.R. BUILT UP ROOFING CAB CABINET CBC CALIFORNIA BUILDING CODE C.J. CONSTRUCTION JOINT CLG CEILING CLR CLEAR CMU CONCRETE MASONRY UNIT C.O. CLEAN OUT COL COLUMN COMP COMPOSITION CONT CONTINUOUS CONC CONCRETE CTSCK COUNTERSUNK D DEPTH DTL DETAIL D.F. DRINKING FOUNTAIN DIA DIAMETER DIM DIMENSION DN DOWN DS DOWNSPOUT DW DISHWASHER DWG DRAWING (E) EXISTING EA EACH E.J. EXPANSION JOINT ELEC ELECTRICAL ELEV ELEVATION EQ EQUAL EQUIP EQUIPMENT EXT EXTERIOR (F) FUTURE F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.E.C. FIRE EXTINGUISHER CABINET F.F.E. FINISH FLOOR ELEVATION F.G. FINISH GRADE	F.H. FIRE HYDRANT F.H.W.S. FLAT HEAD WOOD SCREW FIN. FINISH FLR FLOOR FLUOR FLUORESCENT F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD FTG FOOTING GA GAUGE GALV GALVANIZED GLB GLUE LAMINATED BEAM G.S.M. GALVANIZED SHEET METAL GWB GYPSUM WALLBOARD H.B. HOSE BIBB H.C. HOLLOW CORE HDWR HARDWARE HDWD HARDWOOD H.M. HOLLOW METAL HORIZ HORIZONTAL HT HEIGHT I.D. INSIDE DIAMETER INSUL INSULATION INT INTERIOR JAN JANITOR JT JOINT L LENGTH LAM LAMINATED LAV LAVATORY LB POUND L.S. LAG SCREW LT LIGHT MER MANUFACTURER MAX MAXIMUM MECH MECHANICAL MIN MINIMUM MISC MISCELLANEOUS MPE MULTI-PURPOSE EASEMENT M.Q. MASONRY OPENING M.R. MOISTURE RESISTANT (N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER NOM NOMINAL OBSC OBSCURE O.C. ON CENTER O.D. OUTSIDE DIAMETER OPP OPPOSITE OZ. OUNCE	O.F.C.I. OWNER FURNISHED, CONTRACTOR INSTALLED O.F.O.I. OWNER FURNISHED, OWNER INSTALLED PERF PERFORATED PL PLATE PLAS PLASTIC PLUMB PLUMBING PLYWD PLYWOOD PMF PRESSED METAL FRAME PR PAIR PSI POUNDS PER SQUARE INCH P.T. PRESSURE TREATED Q.T. QUARRY TILE RAD RADIUS R.D. ROOF DRAIN REINF REINFORCE REQD REQUIRED RM ROOM R.O. ROUGH OPENING RWD REDWOOD RWL RAIN WATER LEADER R.H.W.S. ROUND HEAD WOOD SCREW SAF SELF-ADHERED FLASHING S.C. SOLID CORE S.D. SIDE DRAINAGE EASEMENT SHT SHEET SIM SIMILAR S.M.S. SHEET METAL SCREW SPEC SPECIFICATION SQ SQUARE S.S. STAINLESS STEEL STD STANDARD S.T.S. SELF-TAPPING SCREW STL STEEL STOR STORAGE STRUCT STRUCTURAL SUSP SUSPENDED SYM SYMMETRICAL TRG TONGUE & GROOVE TEL TELEPHONE THK THICK T.O. TOP OF T.O.C. TOP OF CONCRETE TYP TYPICAL U.O.N. UNLESS OTHERWISE NOTED UNREINF UNREINFORCED UR URINAL VCT VINYL COMPOSITION TILE VERT VERTICAL	VEST. VESTIBULE VWC VINYL WALL COVERING W WIDTH WC WATER CLOSET WD WOOD W.H. WATER HEATER WSCT WAINSCOT WT WEIGHT CHARACTER SYMBOLS & AND ∠ ANGLE @ AT ⊥ CENTER LINE Φ DIAMETER # NUMBER O/ OVER W/ WITH
---	---	--	--

SYMBOLS

ROOM NAME	ROOM NAME
100	ROOM NUMBER
1 2	INTERIOR ELEVATIONS
2	DETAIL NUMBER
A15-1	SHEET NUMBER
2	SECTION NUMBER
A4-1	SHEET NUMBER
(OR)	
1	SECTION NUMBER
A14-1	SHEET NUMBER
4	ELEVATION NUMBER
A2-1	SHEET NUMBER
BC24A	KEYNOTE
10	DOOR NUMBER
100	WINDOW NUMBER
+9'-0"	INDICATES NOMINAL CEILING HEIGHT ABOVE F.F.E. ON REFLECTED CEILING PLAN
+6'-10"	ELEVATION SYMBOL
A.F.F.	
4:12	ROOF PITCH
2435.12	NEW GRADE ELEVATION
T.O.P.	
2435.18	(E) GRADE ELEVATION
A	GRID BUBBLE
A001	SIGN NUMBER
RI	SIGN TYPE

APPLICABLE CODES

2022 CALIFORNIA CODE OF REGULATIONS (CCR) APPLICABLE CODES EFFECTIVE JAN 1, 2022:

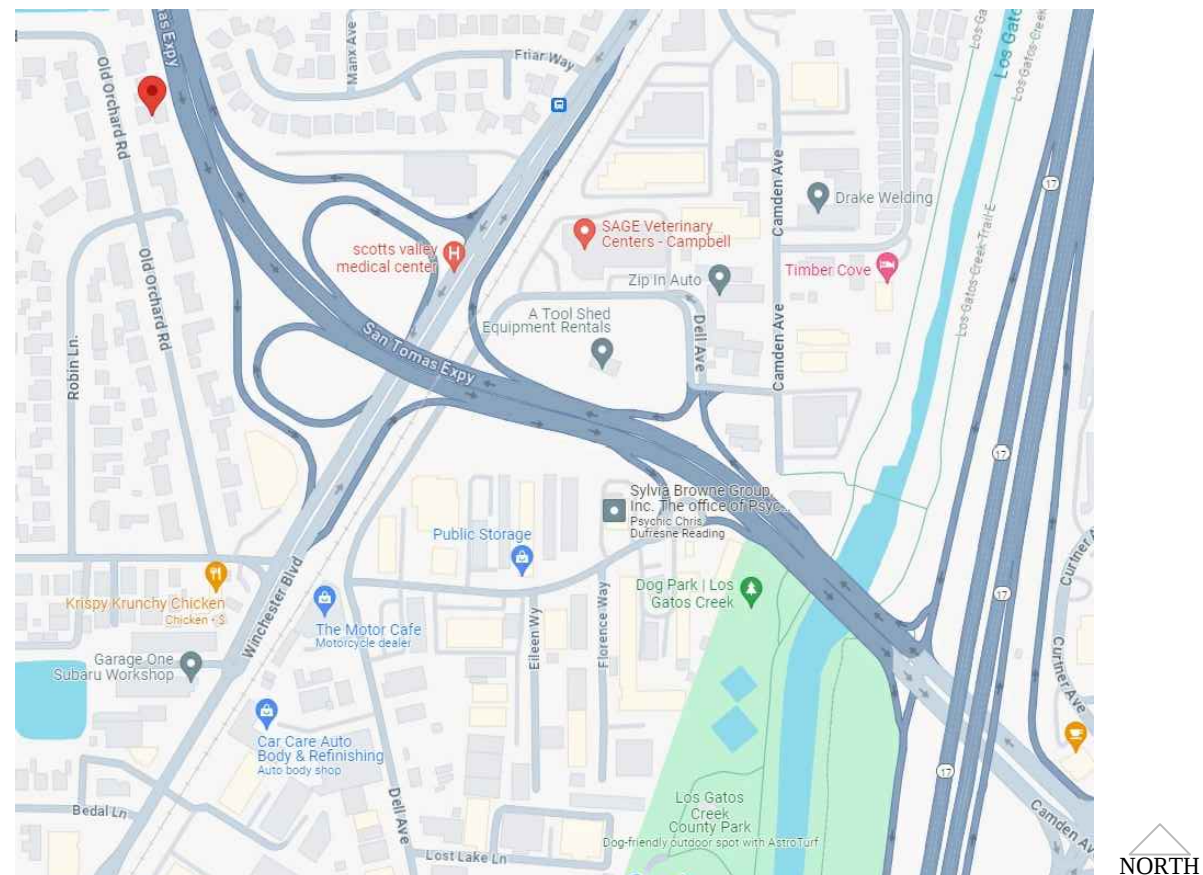
TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
TITLE 24 CCR, PART 1 - 2022 BUILDING STANDARDS ADMINISTRATIVE CODE
TITLE 24 CCR, PART 2 - 2022 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC)
TITLE 24 CCR, PART 2.5 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
TITLE 24 CCR, PART 3 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
TITLE 24 CCR, PART 4 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
TITLE 24 CCR, PART 5 - 2022 CALIFORNIA PLUMBING CODE (CPC)
TITLE 24 CCR, PART 6 - 2022 CALIFORNIA ENERGY CODE
TITLE 24 CCR, PART 7 - 2022 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
TITLE 24 CCR, PART 8 - 2022 CALIFORNIA HISTORICAL BUILDING CODE
TITLE 24 CCR, PART 9 - 2022 CALIFORNIA FIRE CODE (CFC)
TITLE 24 CCR, PART 10 - 2022 EXISTING BUILDING CODE
TITLE 24 CCR, PART 11 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
TITLE 24 CCR, PART 12 - 2022 CALIFORNIA REFERENCED STANDARDS

LOCAL MUNICIPAL CODE

DEFERRED SUBMITTALS

- FIRE SPRINKLER DESIGN PER NFPA 13D
- UPGRADE DOMESTIC WATER SERVICE LINE
- SOLAR PANEL INSTALLATION AND PLANS

PROJECT LOCATION



REVISIONS	DATE

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PAGE TITLE

COVER SHEET

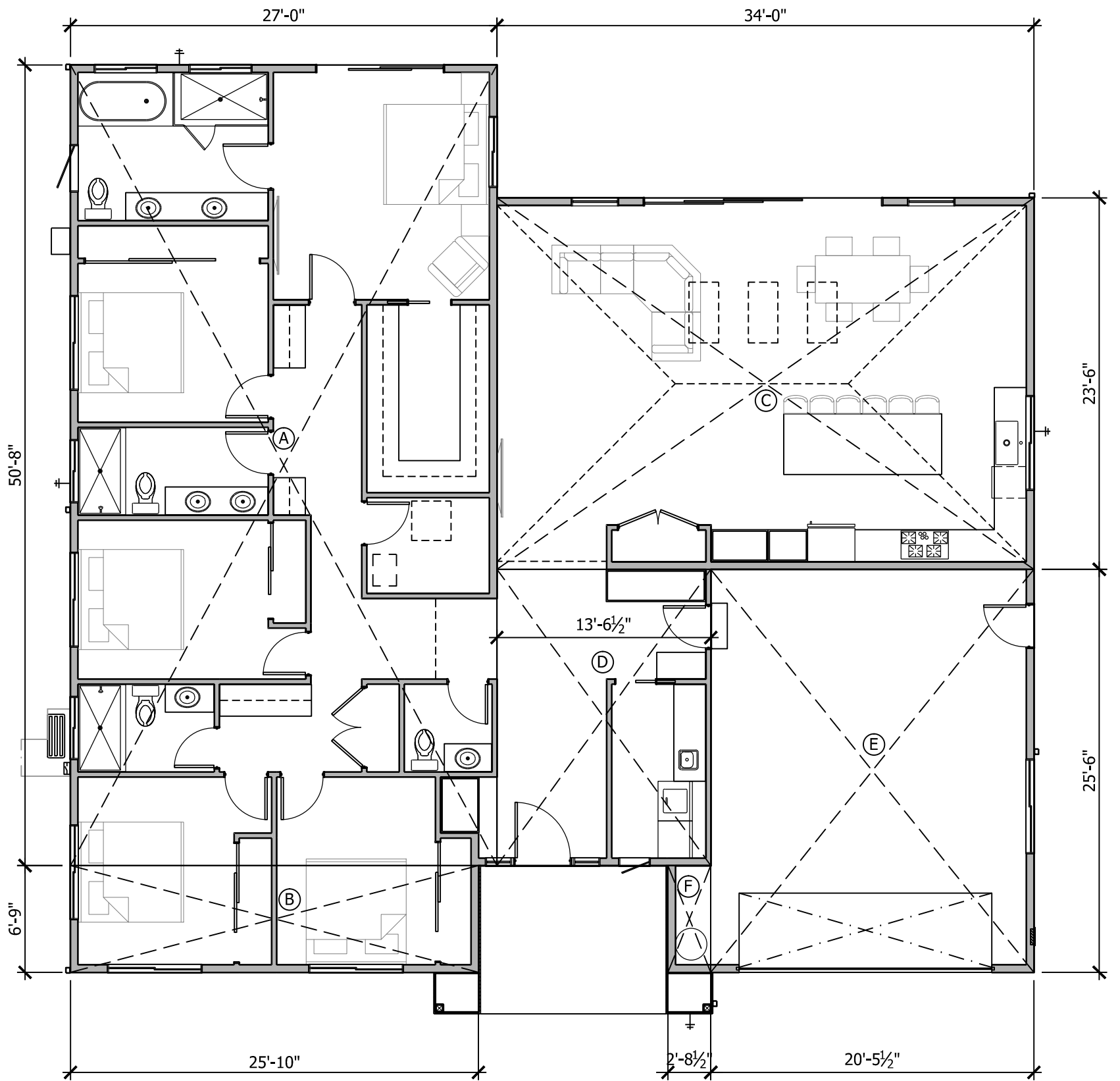
NEW RESIDENCE FOR:

BRANDON NGUYEN
774 OLD ORCHARD ROAD
CAMPBELL, CA 95008
APN# 404-29-003

DATE: 2024.08.22
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 24-017

SHEET:
CVR1

A	LIVING	1,368 SF
B	LIVING	174 SF
C	LIVING	799 SF
D	LIVING	254 SF
TOTAL		2,595 SF
E	GARAGE	522 SF
F	GARAGE	18 SF
TOTAL		540 SF



774 OLD ORCHARD FAR PLAN

1/8" = 1'-0"

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FAR

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DATE:

2024.08.22

SCALE:

PER SHEET

DRAWN BY:

DAVID

PLAN NO.:

24-017

SHEET:

PLN1



733 OLD ORCHARD



734 OLD ORCHARD



753 OLD ORCHARD



756 OLD ORCHARD



771 OLD ORCHARD



781 OLD ORCHARD



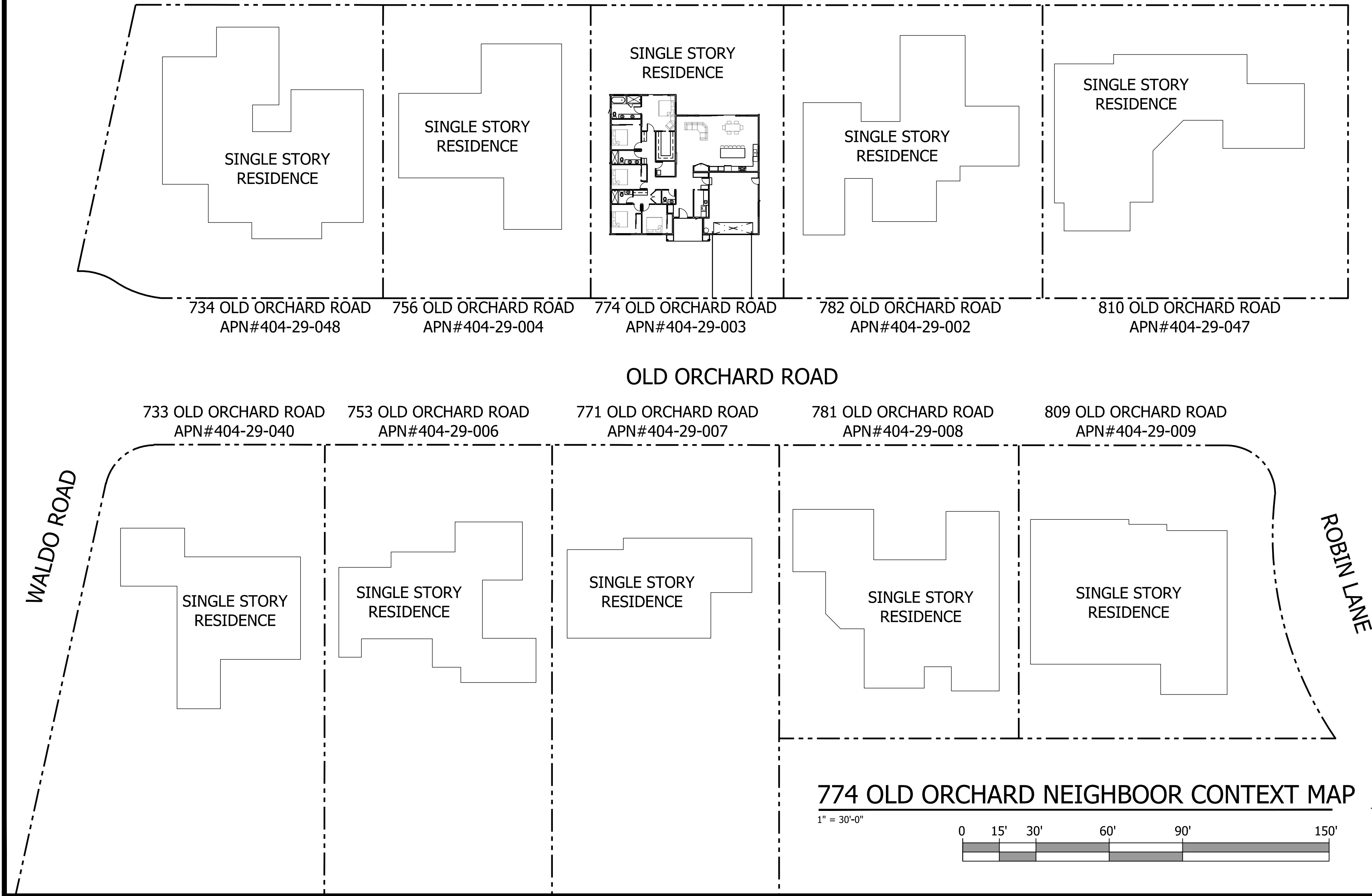
782 OLD ORCHARD



809 OLD ORCHARD



810 OLD ORCHARD



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NEIGHBORHOOD CONTEXT MAP

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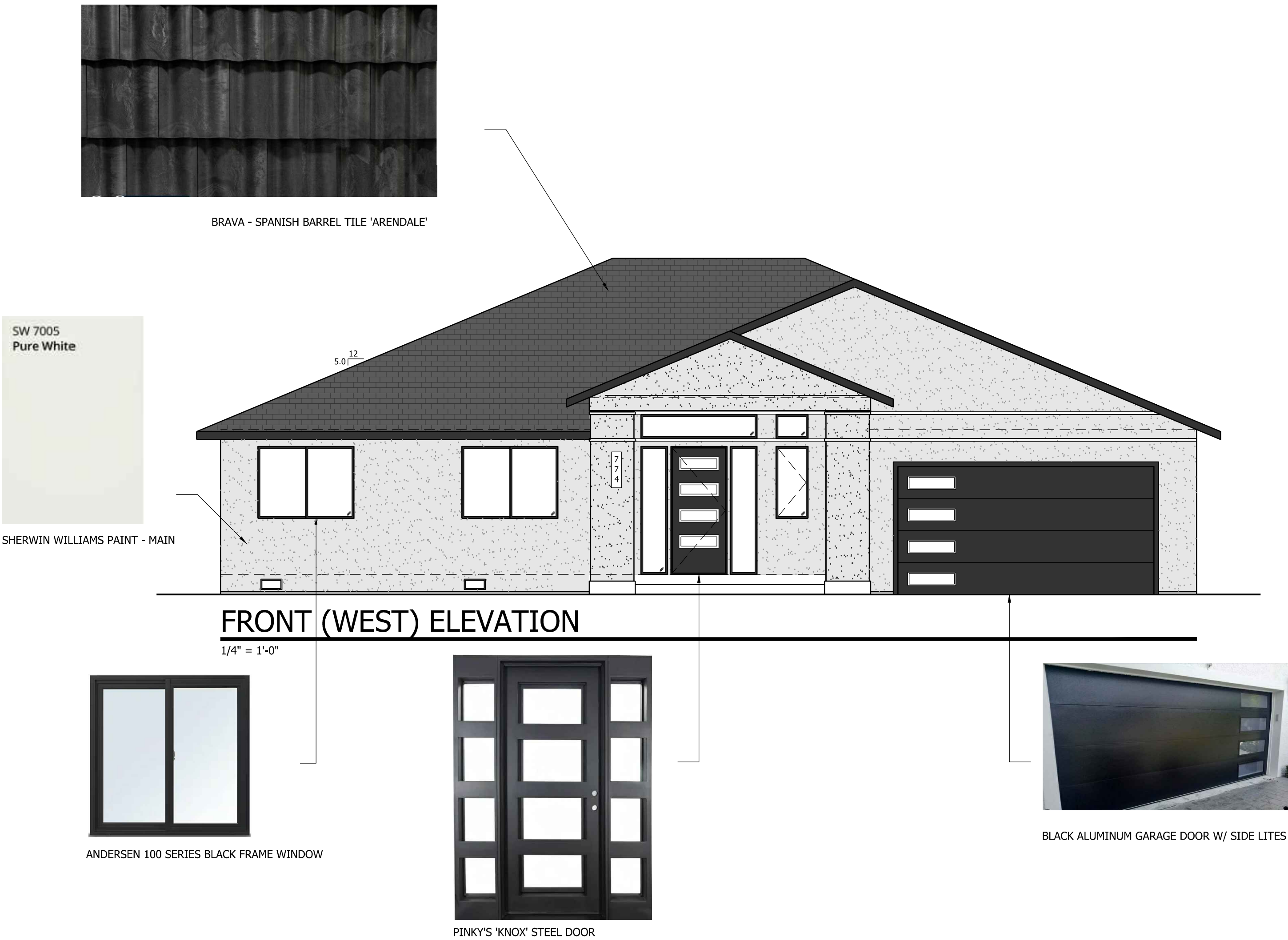
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PLN2



782 OLD ORCHARD

1/4" = 1'-0"

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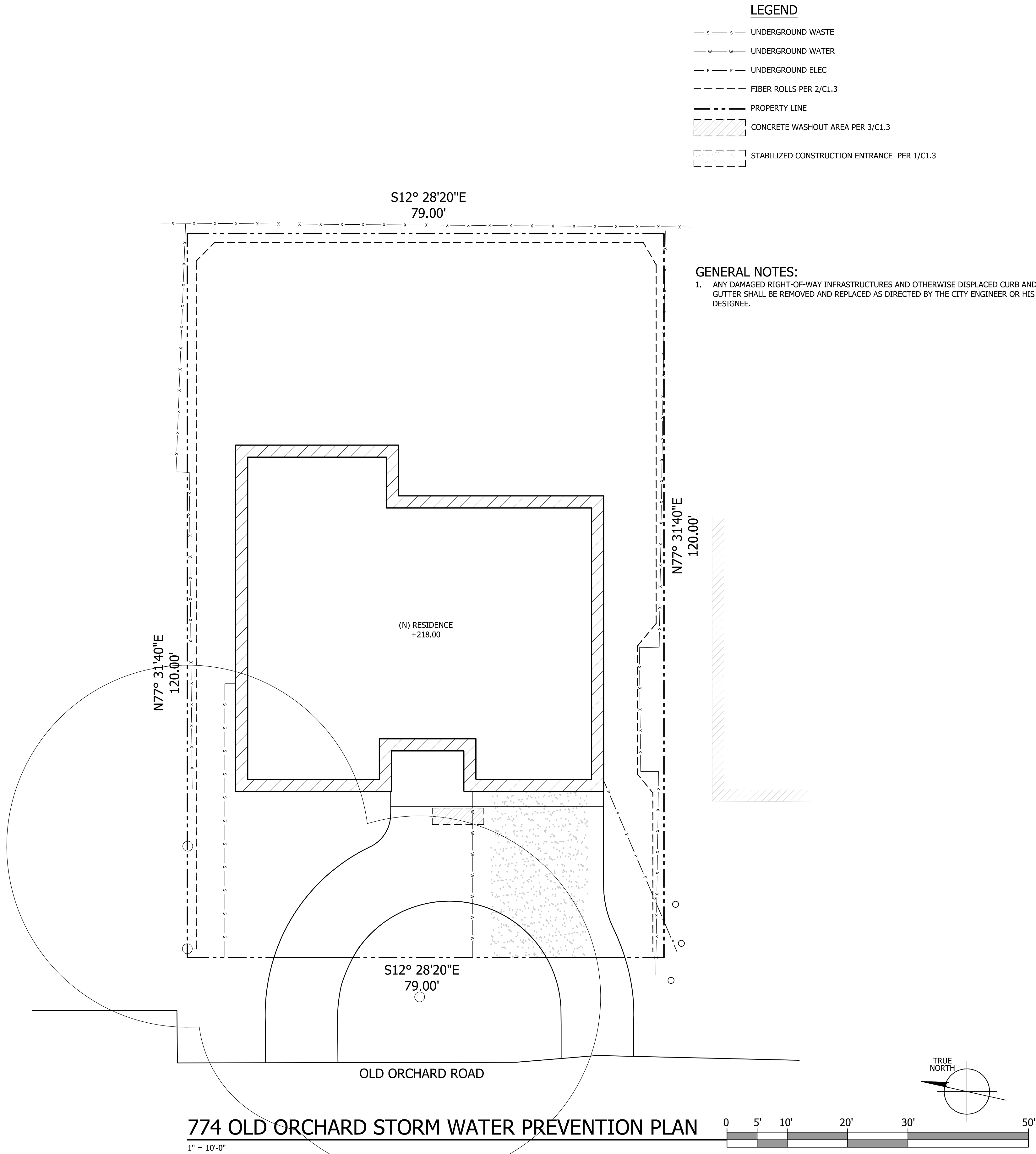
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PAGE TITLE
STREETSCAPE ELEVATIONS & COLOR BOARD

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PLN3



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PAGE TITLE

STORM EROSION AND SEDIMENT CONTROL PLAN

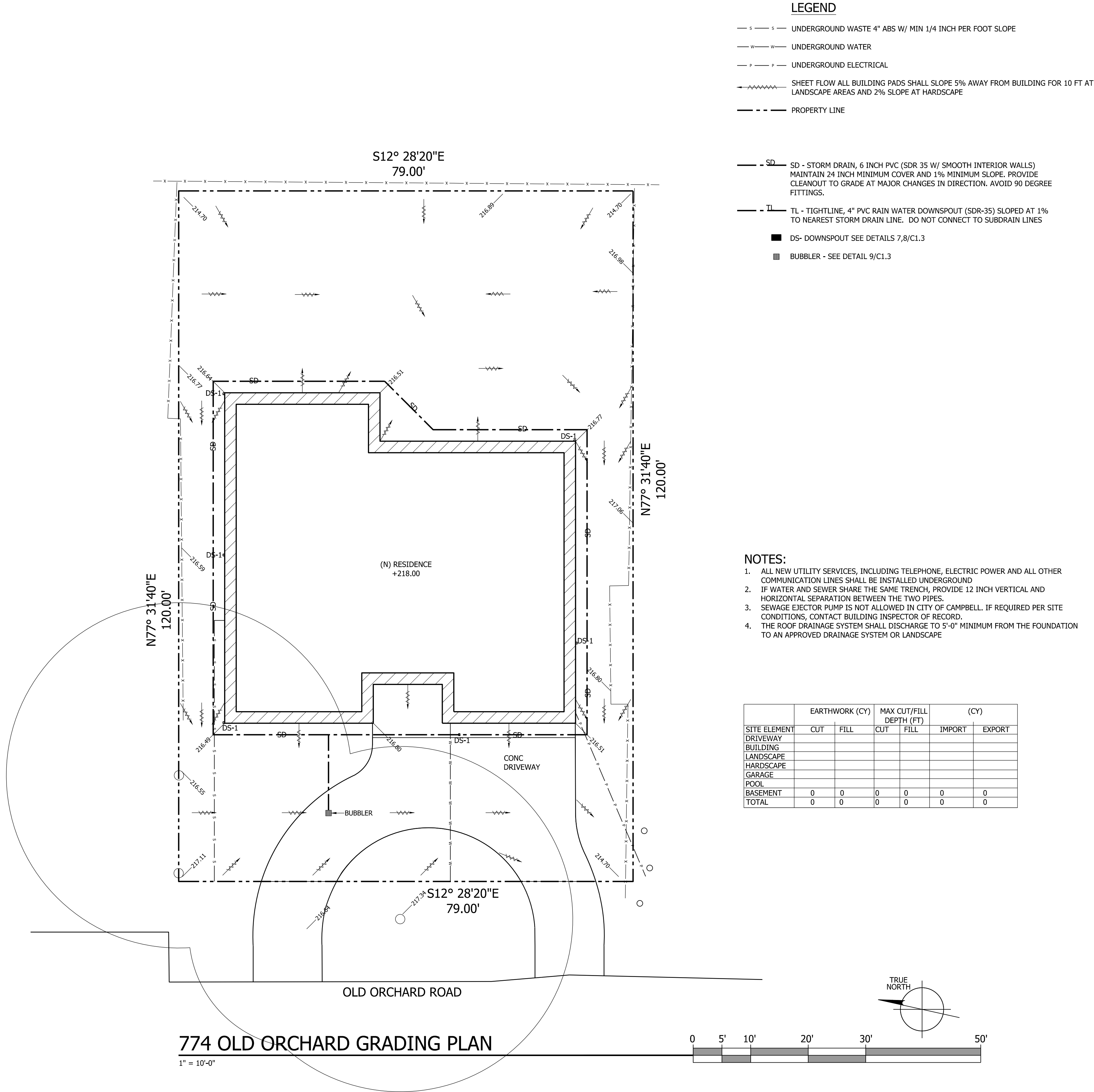
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APN# 404-29-003

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DRAWN BY:	DAVID
PLAN NO.:	24-017

SHEET:

C1.1



FILENAME: E:\EGNYTE\SHARED\KUOP DESIGNS\PROJECTS\24-017 774 OLD ORCHARD\774 OLD ORCHARD\SHEETS\C1.2 GRADING PLAN.DWG

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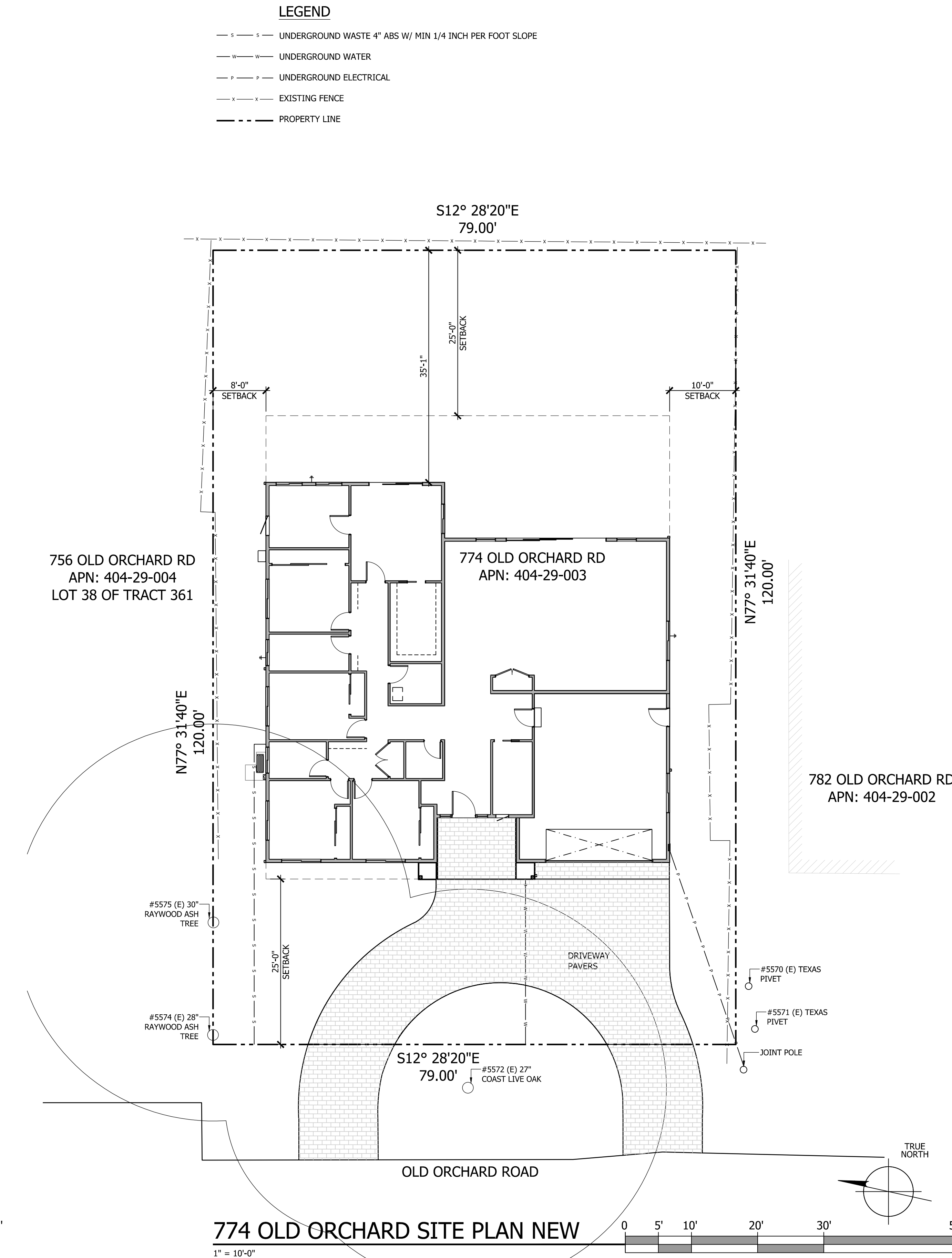
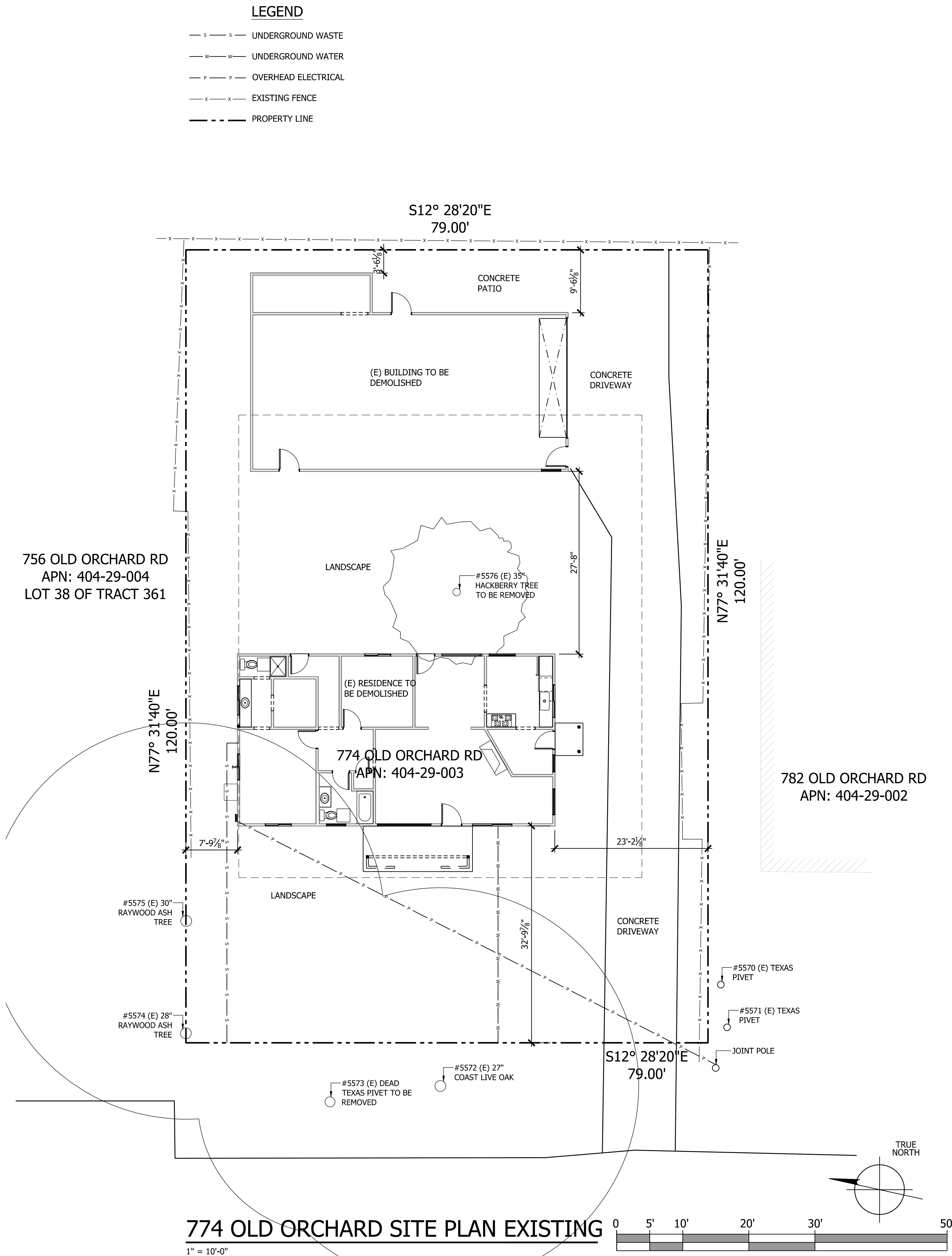
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PAGE TITLE
GRADING PLAN

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CAMPBELL, CA 95008
APN# 404-29-003

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C1.2



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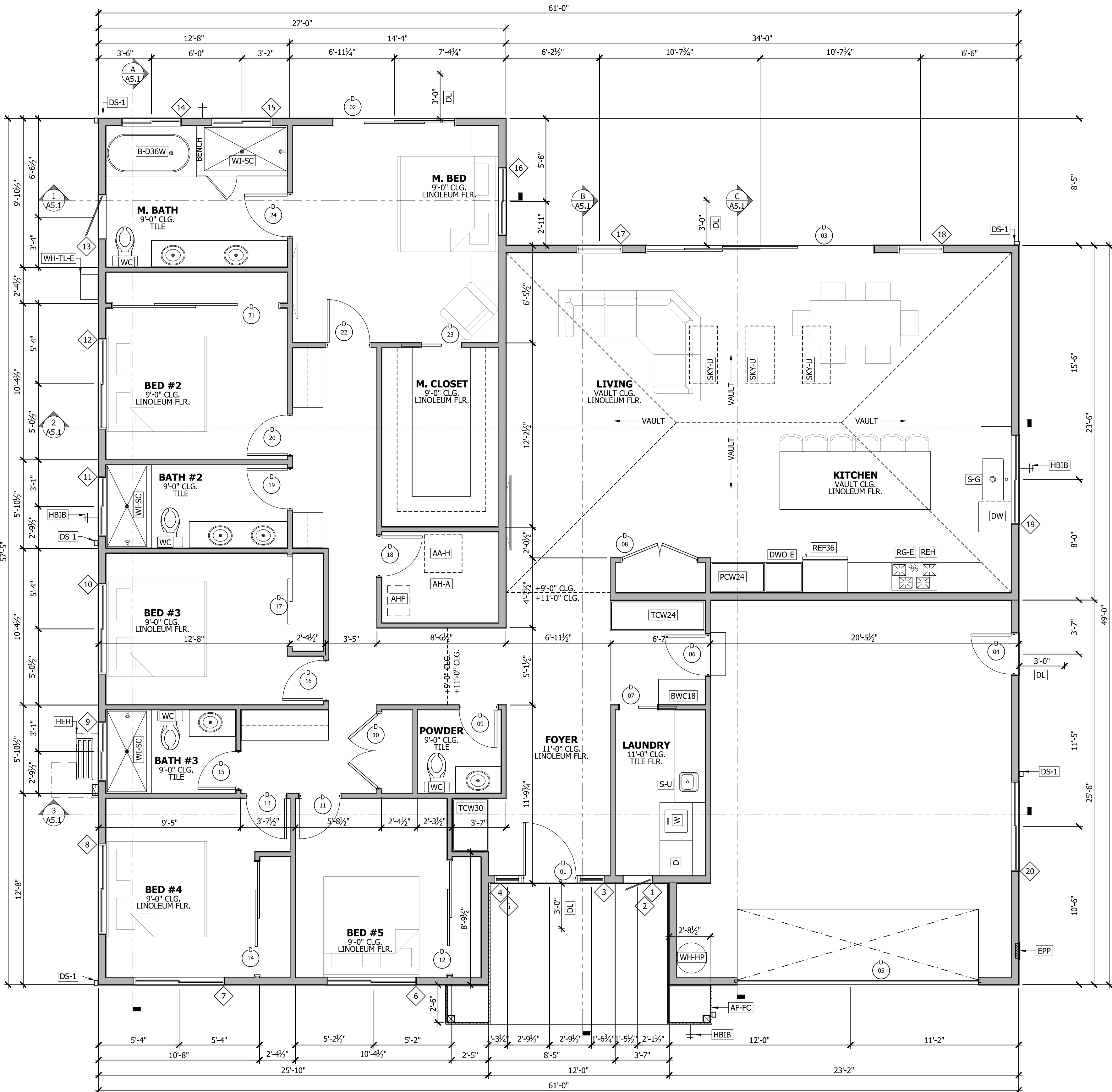
PAGE TITLE

ARCHITECTURAL SITE PLAN

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CAMPBELL, CA 95008
APN# 404-29-003

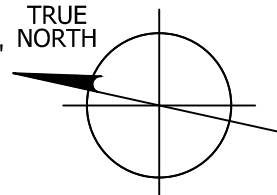
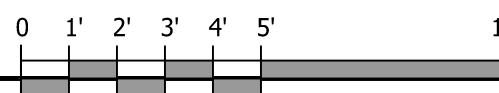
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SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 24-017

SHEET:
A0.1



774 OLD ORCHARD FLOOR PLAN NEW

1/4" = 1'-0"



SEE DETAIL 2/A10.0 FOR WINDOW EGRESS

WINDOW SCHEDULE

NUMBER	SIZE		STYLE	NOTES
	WIDTH	HEIGHT		
1	2'-0"	4'-6"	CASEMENT	--
2	2'-0"	1'-6"	Standard	TEMP
3	1'-8"	6'-0"	Standard	TEMP
4	1'-8"	6'-0"	Standard	TEMP
5	7'-3"	1'-6"	Standard	TEMP
6	6'-0"	4'-6"	SLIDER	EGRESS
7	6'-0"	4'-6"	SLIDER	EGRESS
8	6'-0"	3'-0"	SLIDER	--
9	4'-0"	2'-0"	SLIDER	TEMP
10	6'-0"	4'-6"	SLIDER	EGRESS
11	4'-0"	2'-0"	SLIDER	TEMP
12	6'-0"	4'-6"	SLIDER	EGRESS
13	3'-0"	3'-0"	CASEMENT	TEMP
14	4'-0"	2'-6"	SLIDER	TEMP
15	4'-0"	2'-6"	SLIDER	TEMP
16	4'-6"	2'-6"	SLIDER	--
17	3'-0"	8'-0"	Standard	TEMP
18	3'-0"	8'-0"	Standard	TEMP
19	6'-0"	4'-2"	SLIDER	--
20	6'-0"	2'-0"	SLIDER	--

DOOR AND FRAME SCHEDULE

Number	SIZE		STYLE	NOTES
	WIDTH	HEIGHT		
1	3'-6"	8'-0"	SINGLE - EXTERIOR	--
2	PR 4'-0"	8'-0"	SLIDING - EXTERIOR	SAFETY GLAZING
3	15'-0"	8'-0"	TRIPLE SLIDING - EXTERIOR	SAFETY GLAZING
4	2'-8"	7'-0"	SINGLE - EXTERIOR	--
5	16'-0"	8'-0"	OVERHEAD SECTIONAL	--
6	2'-8"	7'-0"	SINGLE - INTERIOR	--
7	2'-6"	7'-0"	POCKET	--
8	PR 2'-6"	7'-0"	DOUBLE - INTERIOR	--
9	2'-6"	7'-0"	SINGLE - INTERIOR	--
10	PR 2'-6"	7'-0"	DOUBLE - INTERIOR	--
11	2'-8"	7'-0"	SINGLE - INTERIOR	--
12	PR 3'-9"	7'-0"	HORIZONTAL BYPASS	--
13	2'-8"	7'-0"	SINGLE - INTERIOR	--
14	PR 3'-9"	7'-0"	HORIZONTAL BYPASS	--
15	2'-6"	7'-0"	SINGLE - INTERIOR	--
16	2'-8"	7'-0"	SINGLE - INTERIOR	--
17	PR 3'-0"	7'-0"	HORIZONTAL BYPASS	--
18	2'-8"	7'-0"	SINGLE - INTERIOR	--
19	2'-8"	7'-0"	SINGLE - INTERIOR	--
20	2'-8"	7'-0"	SINGLE - INTERIOR	--
21	PR 5'-6"	7'-0"	HORIZONTAL BYPASS	--
22	2'-10"	7'-0"	SINGLE - INTERIOR	--
23	2'-8"	7'-0"	POCKET	--
24	2'-10"	7'-0"	SINGLE - INTERIOR	--

REFERENCE KEYNOTES

DIVISION 06 - WOOD AND PLASTICS	
CABINETS -	
PCW24	- TALL PANTRY CABINET, WOOD, 24" DEEP W/ ADJUSTABLE SHELVES
TCW24	- TALL CABINET, WOOD, 24" DEEP, W/ ADJUSTABLE SHELVES
TCW30	- TALL CABINET, WOOD, 30" DEEP, W/ ADJUSTABLE SHELVES
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
FLASHING AND SHEET METAL -	
DS-1	- DOWNSPOUT, CONNECT TO UNDERGROUND STORM WATER SYSTEM
DIVISION 08 - DOORS AND WINDOWS	
AHF	- ACCESS HATCH, FLOOR 18" x 24"
DL	- LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
SKY-U	- UNIT SKYLIGHT; SEE DETAIL 8/A10.1
DIVISION 09 - FINISHES	
CEMENT PLASTER -	
AF-FC	- CEMENT PLASTER FULL COLUMN W/ FOAM CAPITAL AND BASE
DIVISION 10 - SPECIALTIES	
BWC18	- 18" DEEP BENCH W/ CUBBIES ABOVE
DIVISION 11 - EQUIPMENT	
AA-H	- ATTIC ACCESS HATCH 30" X 30"
D	- CLOTHES DRYER W/ RECESSED DRYER BOX. SEE DETAIL 5/A10.0
DW	- DISHWASHER
DWO-E	- DOUBLE WALL OVEN, ELECTRIC
REF36	- 36" WIDE REFRIGERATOR PROVIDE PLUMBING FOR ICE MAKER
REH	- RANGE EXHAUST HOOD, VENTED, MANDATORY MIN. VENTILATION RATE FOR KITCHEN HOODS = 110 CFM (ELEC RANGE) 180 CFM (GAS RANGE) CEN TABLE 150.0-G. WITH INTERMITTENT AIRFLOW DEMAND CONTROL OR CONTINUOUS MECHANICAL EXHAUST SYSTEM FOR THE KITCHEN RANGE WITH A SOUND RATING OF THREE (3) SONES OR LESS, OR SHOW AN EXHAUST FAN IN THE KITCHEN CAPABLE OF PROVIDING AT LEAST 5 AIR CHANGES PER HOUR. CEN SECTIONS 150.0(c)2 B AND 150.0(c)1G
RG-E	- RANGE; ELECTRIC, INDUCTION
W	- CLOTHES WASHER W/ RECESSED WASHING MACHINE BOX
DIVISION 22 - PLUMBING	
B-D36W	- BATHTUB, DROP IN, 36" WIDE X 66" LONG
HBIB	- HOSE BIB
S-G	- SINK W/ GARBAGE DISPOSAL
S-U	- UTILITY SINK
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0
WH-HP	- HEAT PUMP ELECTRIC WATER HEATER, SEE DETAIL X/A10.0
WH-TL-E	- TANKLESS ELECTRIC WATER HEATER/BOILER
WI-SC	- WALK-IN SHOWER WITH CURB ENTRANCE, SEE SHOWER NOTES SHEET A1.1. SEE DETAIL 7/A10.0 FOR CURB SHOWER
DIVISION 23 - HVAC	
AH-A	- HIGH EFFICIENCY AIR HANDLER IN ATTIC, SEE DETAIL 5/A10.0
HEH	- HIGH EFFICIENCY HEAT PUMP
DIVISION 26 - ELECTRICAL	
EPP	- ELECTRICAL POWER PANEL NEW 400A SERVICE

REVISIONS	DATE

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1ST FLOOR PLAN

NEW RESIDENCE FOR:

BRANDON NGUYEN
774 OLD ORCHARD ROAD
CAMPBELL, CA 95008
APN# 404-29-003

DATE:	2024.08.22
SCALE:	PER SHEET
DRAWN BY:	DAVID
PLAN NO.:	24-017

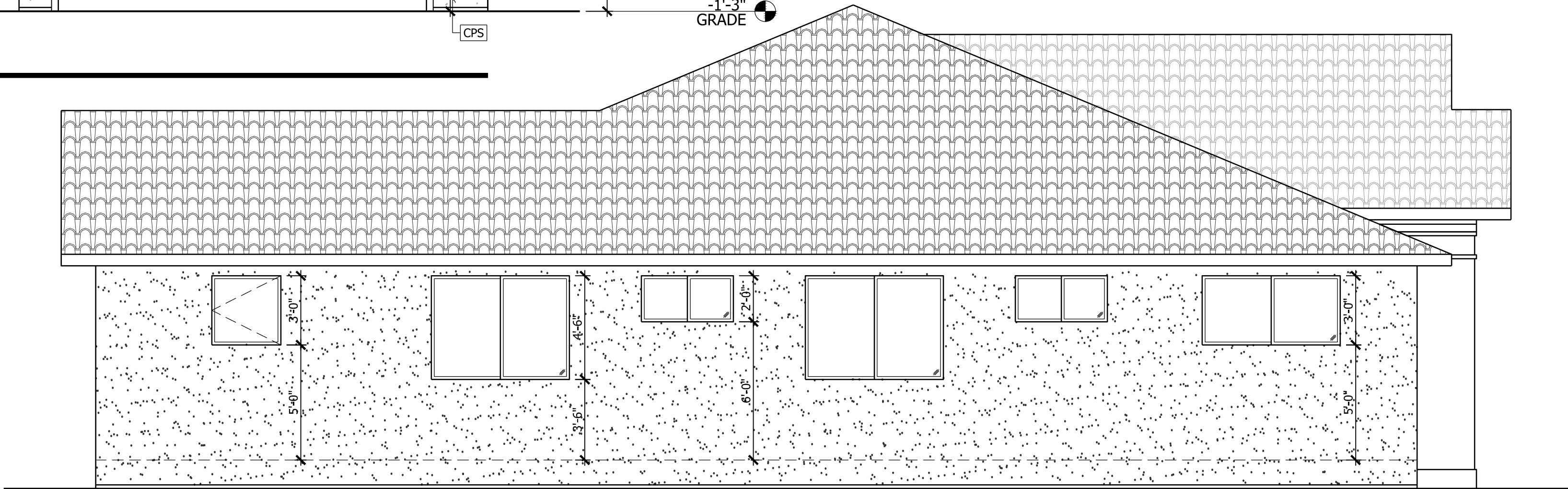
SHEET:
A2.1

FILENAME: E:\EGNYTE\SHARED\KUOP DESIGNS\PROJECTS\24-017 774 OLD ORCHARD\774 OLD ORCHARD\SHEET\A2.1 1ST FLOOR PLAN.dwg



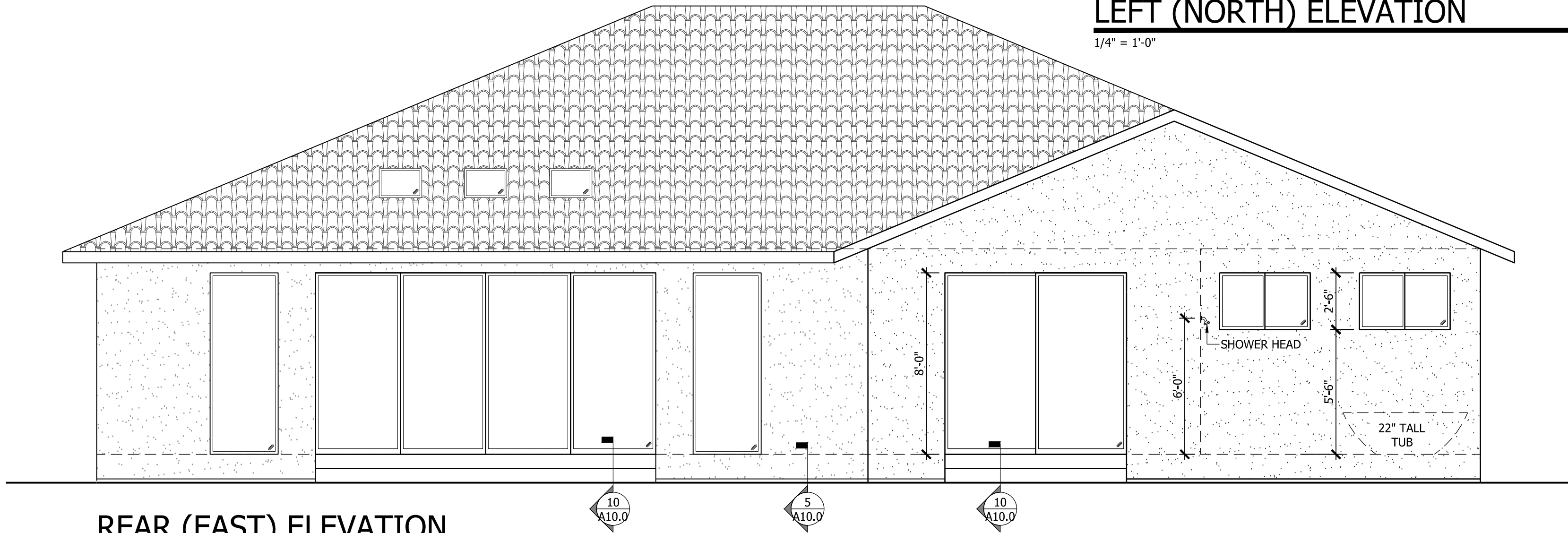
FRONT (WEST) ELEVATION

1/4" = 1'-0"



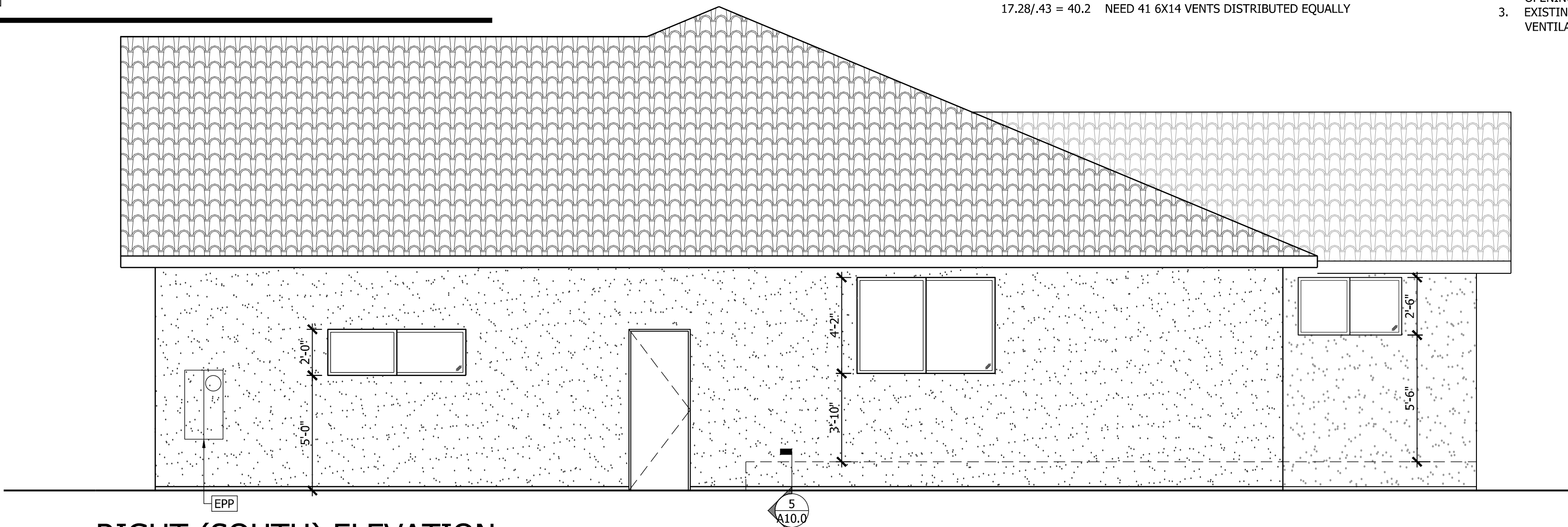
LEFT (NORTH) ELEVATION

1/4" = 1'-0"



REAR (EAST) ELEVATION

1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION

1/4" = 1'-0"

REFERENCE KEYNOTES	
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
ROOFING AND SIDING -	
CRT	- CLASS 'A' SYNTHETIC SPANISH BARREL ROOF TILE - BRAVA 'ARENDALE' OVER 30# FELT AND STRUCTURAL SHEATHING
DIVISION 08 - DOORS AND WINDOWS	
WDW	- TRIMLESS WINDOW
DIVISION 09 - FINISHES	
CEMENT PLASTER -	
CPS	- 3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, SAND FINISH
DIVISION 10 - SPECIALTIES	
AN	- APPROVED 4" HIGH W/ 1/2" MIN STRIKE WIDTH ADDRESS NUMBERS WITH CONTRASTING BACKGROUND VISIBLE FROM STREET.
DIVISION 26 - ELECTRICAL	
EPP	- ELECTRICAL POWER PANEL NEW 400A SERVICE

FOUNDATION VENT CALCULATIONS

NEW AREA OF UNDER FLOOR SPACE TO BE VENTED: 2,592 SF
SF OF VENT REQUIRED 2,592/150 = 17.28 SF

USE 6"x14" WITH .43 SF VENT EACH

17.28/.43 = 40.2 NEED 41 6X14 VENTS DISTRIBUTED EQUALLY

FOUNDATION VENT NOTES

1. PROVIDE ALL UNDER-FLOOR AREAS WITH CROSS VENTILATION AT 1/150 FOR THE ENTIRE AREA WITH ONE VENT WITHIN 3 FT OF EACH CORNER
2. SCREENS OVER THE OPENINGS SHALL HAVE 1/8" TO 1/4" OPENINGS. (CRC R408)
3. EXISTING VENTS AT ADDITION AREAS TO REMAIN FOR VENTILATION BETWEEN EXISTING AND NEW

REVISIONS	DATE

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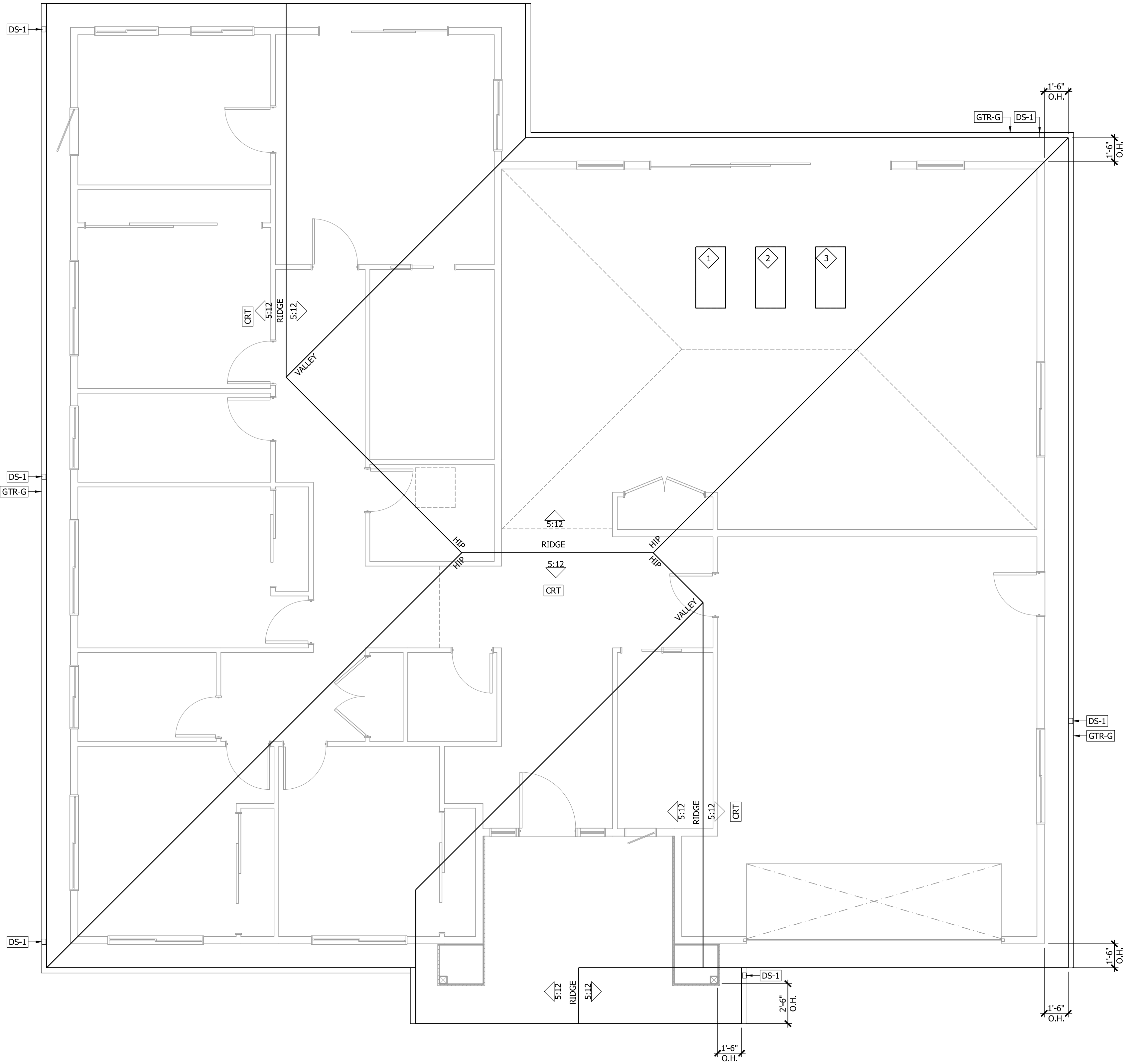
ELEVATIONS

NEW RESIDENCE FOR:

BRANDON NGUYEN
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CAMPBELL, CA 95008
APN# 404-29-003

DATE:	2024.08.22
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SHEET:
A3.1



774 OLD ORCHARD ROOF PLAN

1/4" = 1'-0"

SKYLIGHT SCHEDULE							
NUMBER	SIZE		STYLE	MANUFACTURER	REPORT #	MODEL	NOTES
	WIDTH	HEIGHT					
1	1'-10.5"	3'-10"	DECK MOUNT	VELUX	199	VSS	TEMP
2	1'-10.5"	3'-10"	DECK MOUNT	VELUX	199	VSS	TEMP
3	1'-10.5"	3'-10"	DECK MOUNT	VELUX	199	VSS	TEMP

REFERENCE KEYNOTES	
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
FLASHING AND SHEET METAL -	
DS-1	- DOWNSPOUT, CONNECT TO UNDERGROUND STORM WATER SYSTEM
GTR-G	- GUTTER, GALVANIZED; PAINT TO MATCH WINDOW TRIM. SEE DETAIL ____
ROOFING AND SIDING -	
CRT	- CLASS 'A' SYNTHETIC SPANISH BARREL ROOF TILE - BRAVA 'ARENDALE' OVER 30# FELT AND STRUCTURAL SHEATHING

ATTIC VENTILATION CALCULATIONS:		OR	ATTIC VENTILATION CALCULATIONS:	
2,592 SF ATTIC/300 EQUAL	TOTAL 8.64 SF		2,592 SF ATTIC/300 EQUAL	TOTAL 8.6 SF
NEED 40%-50% TOTAL REQUIRED SF HIGH VENT			NEED 40%-50% TOTAL REQUIRED SF HIGH VENT	
(14) LOW PRO VENTS @ .3 SF EACH	4.2 SF		33' RIDGE VENT @ .125 SQFT/LIN FT	4.1 SF
NEED 3.75 SF LOW VENT			NEED 1.1 SF EAVE VENTS	
(15) LOW PRO VENTS @ .3 SF EACH	4.5 SF		(15) EAVE VENTS @ .3 SF EACH	4.5 SF
TOTAL	8.7 SF		TOTAL	8.6 SF
TO BE INSTALLED			TO BE INSTALLED	

- ROOF NOTES:
- PLYWOOD FOR ANY SURFACE OR EDGE EXPOSED TO WEATHER MUST BE BONDED WITH EXTERIOR GLUE.
 - EXPOSED GLU-LAMS SHALL BE PRESERVATIVE TREATED, APPLIED BY THE MANUFACTURER, OR MADE FROM NATURALLY DURABLE WOOD.
 - ALL FASTENERS USED FOR ATTACHMENT OF SIDING SHALL BE CORROSION-RESISTANT (R703.4)
 - NEW ROOF SHEATHING TO BE MINIMUM 15/32"CDX/OSB APA RATED FOR 24" O.C. FRAMING, RADIANT BARRIER NAIL WITH 8d AT 6" O.C. EDGE, 12 O.C. FIELD. INSTALL WITH FACE GRAIN PERPENDICULAR TO FRAMING, STAGGER END JOINTS.
 - CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT OPENINGS AND INTERSECTIONS/ATTACHMENTS. (R703.8)
 - FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; VERTICALLY AT FLOOR AND CEILING LEVELS, HORIZONTALLY AT INTERVALS NOT TO EXCEED 10' (R302.11)
 - FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
 - MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR SHALL BE CHECKED BEFORE ENCLOSURE, CBC 4.505.3

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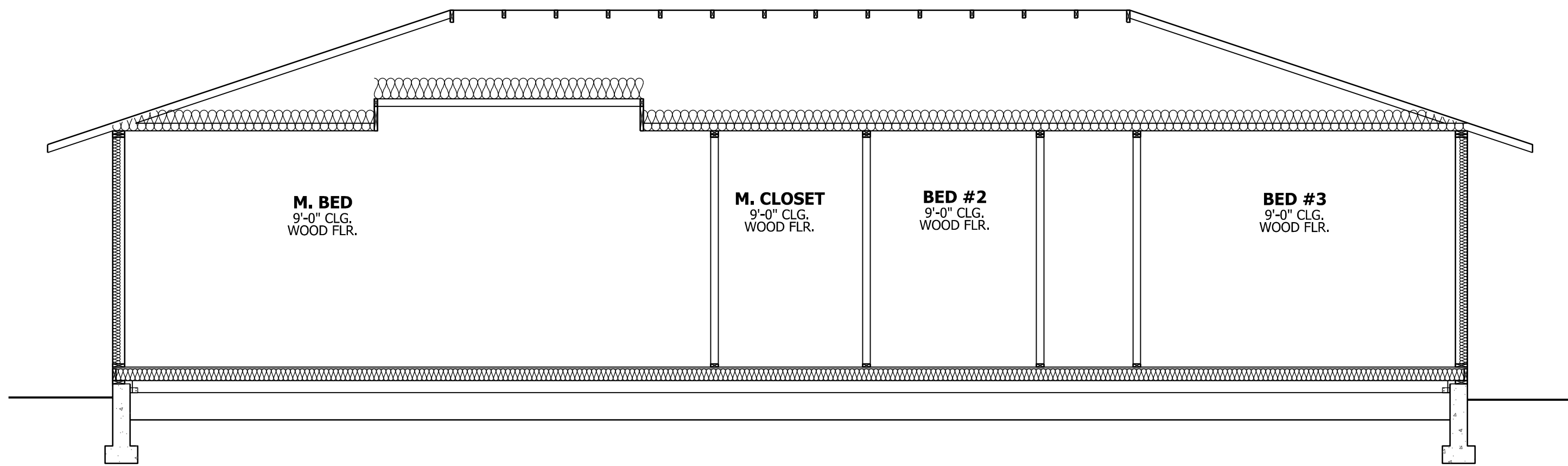
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PAGE TITLE
ROOF PLAN

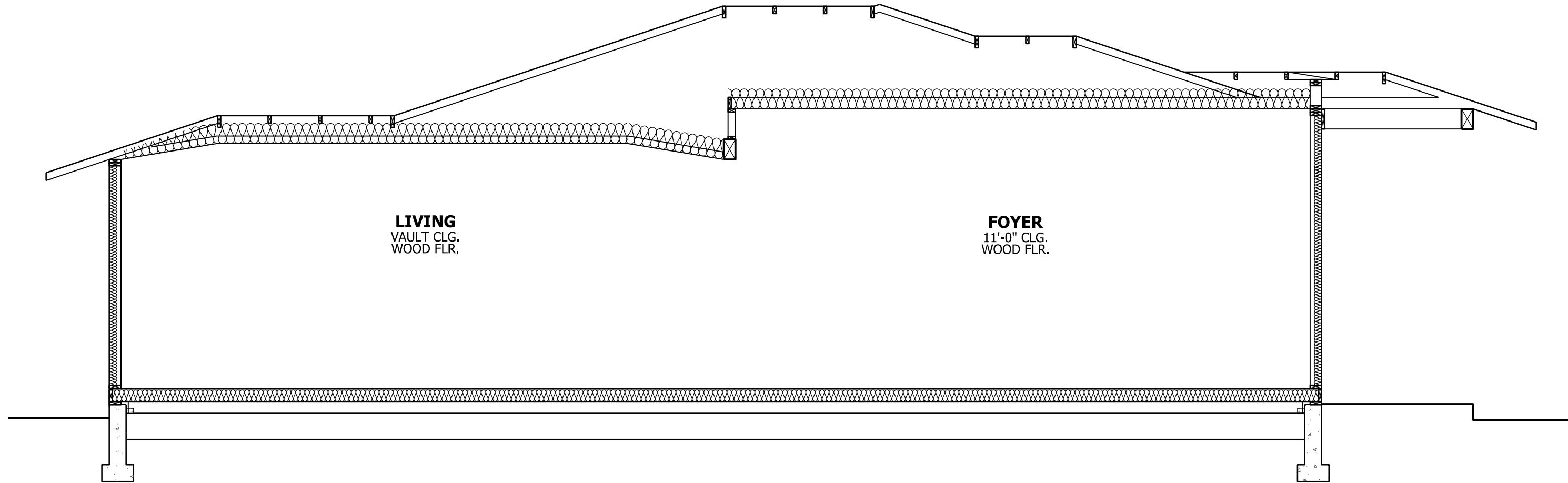
NEW RESIDENCE FOR:
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774 OLD ORCHARD ROAD
CAMPBELL, CA 95008
APN# 404-29-003

DATE: 2024.08.22
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 24-017
SHEET: **A4.1**



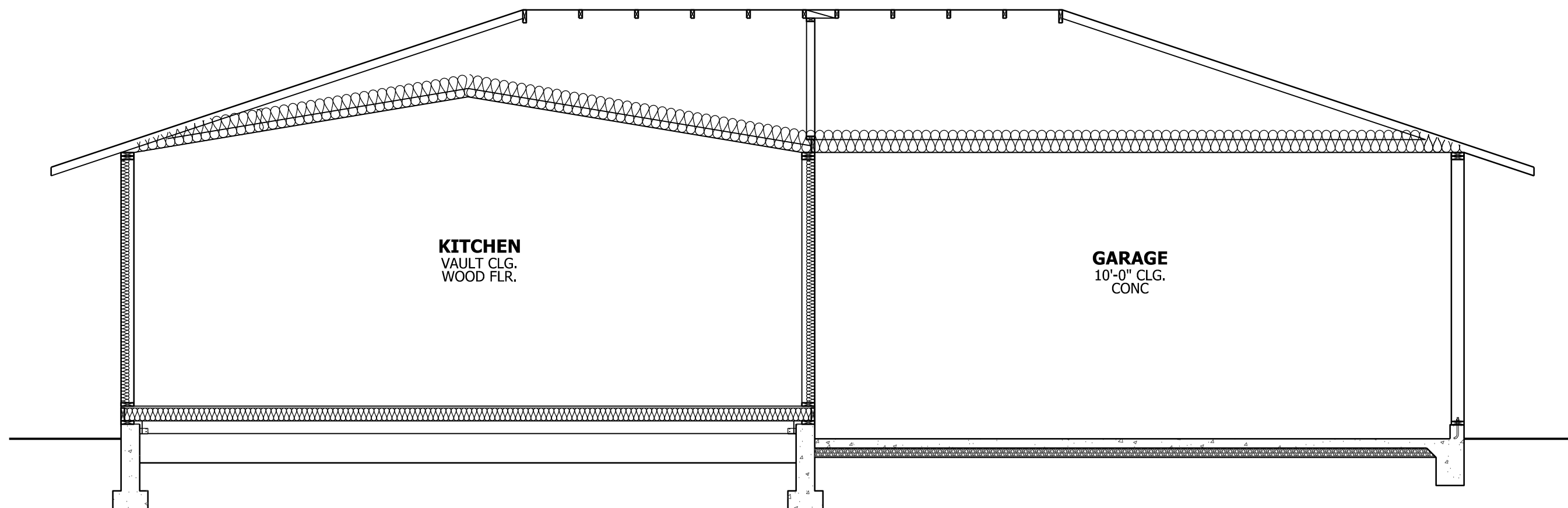
SECTION A

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"



SECTION C

1/4" = 1'-0"

REVISIONS	DATE

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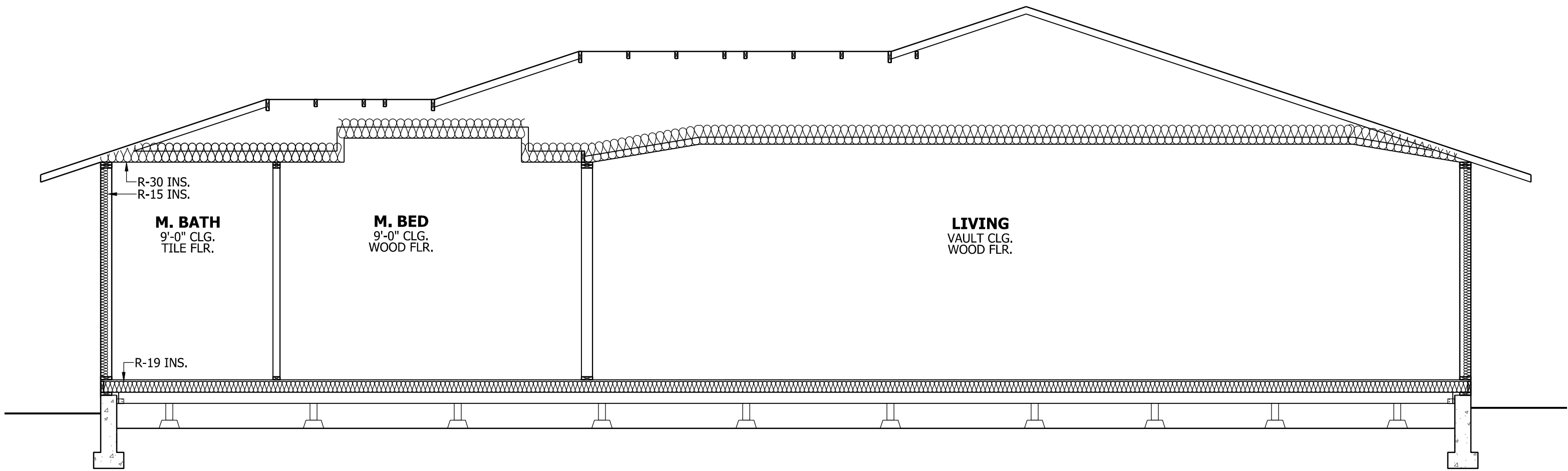
SECTIONS

NEW RESIDENCE FOR:

BRANDON NGUYEN
774 OLD ORCHARD ROAD
CAMPBELL, CA 95008
APN# 404-29-003

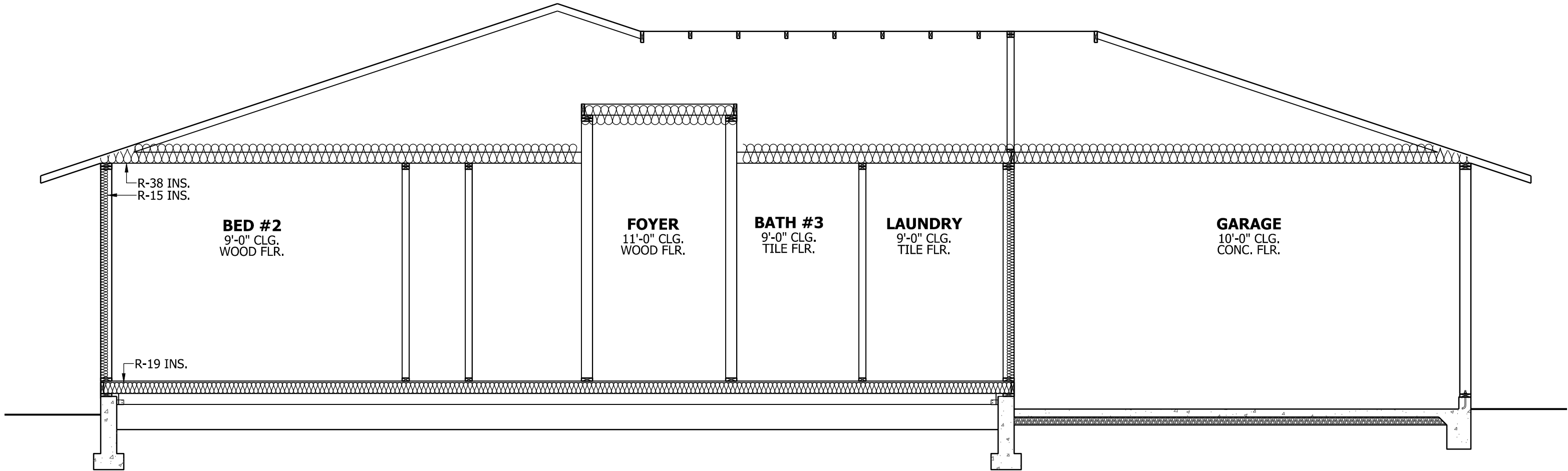
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SCALE:	PER SHEET
DRAWN BY:	DAVID
PLAN NO.:	24-017

SHEET:
A5.1



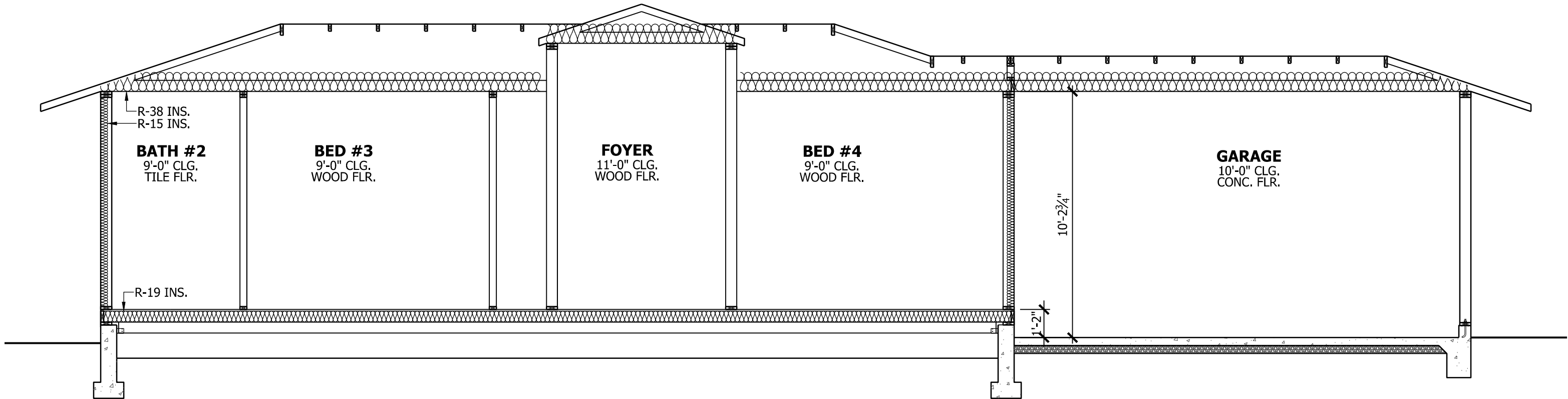
SECTION 1

1/4" = 1'-0"



SECTION 2

1/4" = 1'-0"



SECTION 3

1/4" = 1'-0"

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SECTIONS

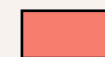
NEW RESIDENCE FOR:

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APN# 404-29-003

DATE: 2024.08.22
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 24-017

SHEET:
A5.2

Low Voltage Lights- by Alliance

Symbol	Manufacturer / Model / Description	Qty.
	Alliance iT150 Transformer	01
	Path Light - AL250-LED Hat 7.75" Diameter. Order code: AL250, Brass, (AB) Aged Brass, ALSTEM18 LBIPIN-200lm, 2.5W13.75VA, 2700K.	24
	Up Light - BL200 Brass Ledge Light Fixture. 2.5" W x 7.25" L Order code: BL200, Brass, (AB) Aged Brass Lamp: LMR16 - LED - 6W -F	01
	Wall Light - SL 100 - Wall Light Brass Ledge Light Fixture. 3.75" W x 1.75" D. Order code: SL 100, Brass, (AB) Aged Brass Lamp: LBIPIN-200lm, 2.5W13.75VA, 2700K.	04



Up-Lights
BL200-LED



Wall Light
SL100-LED



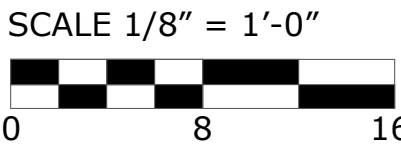
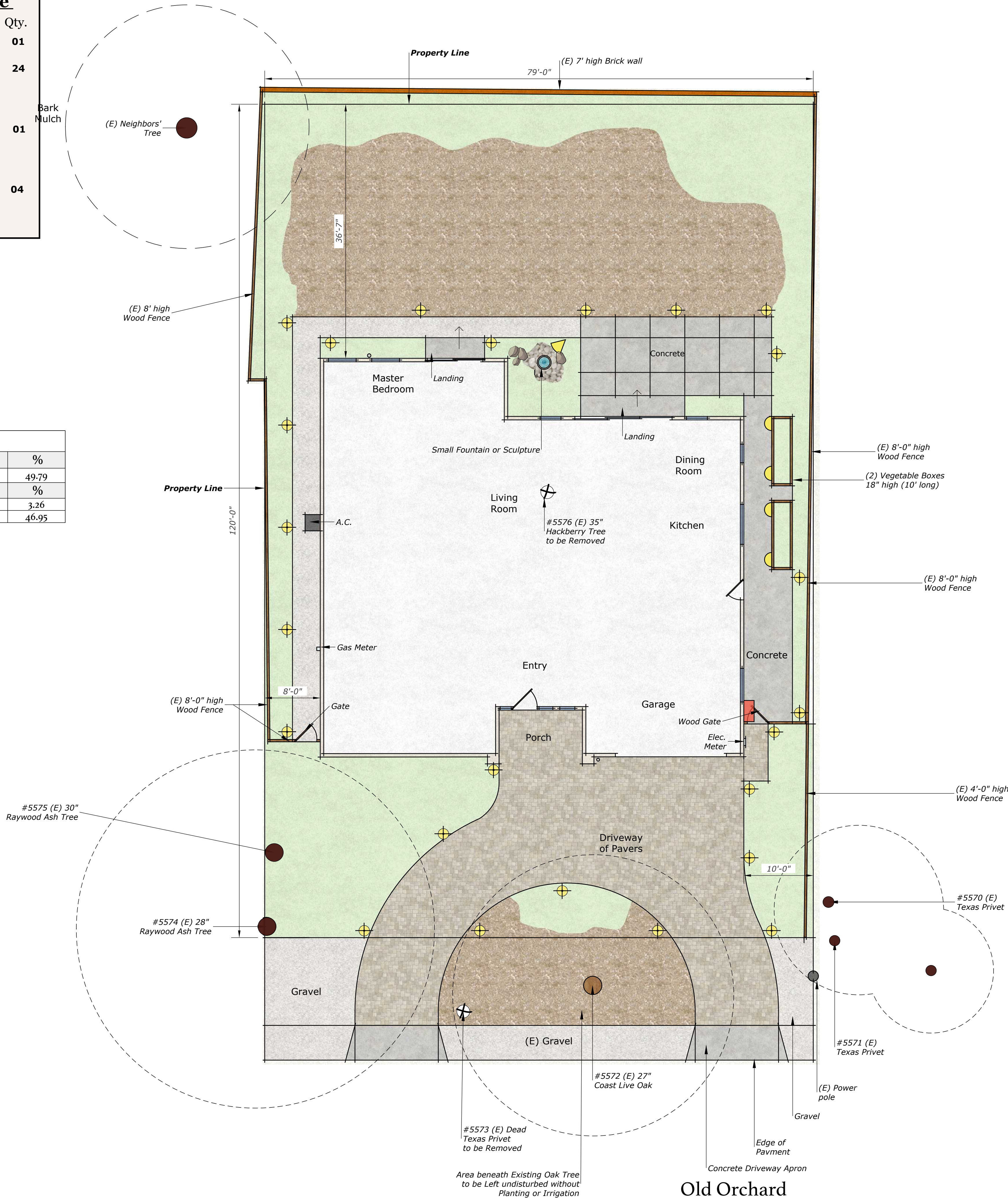
Path Light
AL250-LED

MATERIAL SURFACE TABLE

Impervious Surfaces	Total Sq. Ft.	%
Pavers (Driveway, Porch, Path)	1,098 Sq. Ft.	49.79
Pervious Surfaces	Total Sq. Ft.	%
Bark Mulch	72 Sq. Ft.	3.26
Landscape Area	1,035 Sq. Ft.	46.95



Driveway Material
Calstone Mission Paver
Brown-Beige-Charcoal



* NOTES (E) = Existing

REVISIONS	BY



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karen@kaa.design

NGUYEN RESIDENCE
774 Old Orchard, Campbell CA

LIGHTING & MATERIAL PLAN



DATE	08-01-24
SCALE	1/8"=1'-0"
DRAWN	SL
JOB	NGUYEN

REVISIONS	BY



KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS

826262 Rancho Real Gilroy Ca. 95020
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IRRIGATION PLAN

NGUYEN RESIDENCE
774 Old Orchard, Campbell CA



DATE 08-01-24

SCALE 1/8"=1'-0"

DRAWN SL

JOB NGUYEN

L-3

IRRIGATION KEY/ DOMESTIC	
	Hunter AFB 10 Adjustable Flow Bubbler, 1/2" FIPT, stainless steel screw adjustment.
	Area to Receive Dripline HDL-06-12-CV: Hunter Dripline w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.
	Hunter ICZ-101-25-LF Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
	Superior Brass Valve 3100 1-1/2" Master valve
	Hunter ACC-1200 12 Station Outdoor Modular Controller. No Module Required.
	Hunter SOIL-CLIK Sensor The Soil-Clík probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.
	Hunter Solar-Sync WSS-SEN Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wireless.
	CST Flow Sensor - FSI-T10-001 Flow Sensor for use with ACC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp.
	Hunter H2O-LOC New Irrigation Water Meter
	Wilkins 975 XL2 1-1/2" Lead-free Reduced Pressure Backflow Preventer
	Gate Valve - Isolation Shut Off Valve
	Irrigation Lateral Line: 3/4" PVC Schedule 40
	Irrigation Mainline: 1" PVC Schedule 40
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.

Color Indicates the Irrigated Area

Hydrozone Number (Valve)

Water Use (Low, Moderate or High)

1

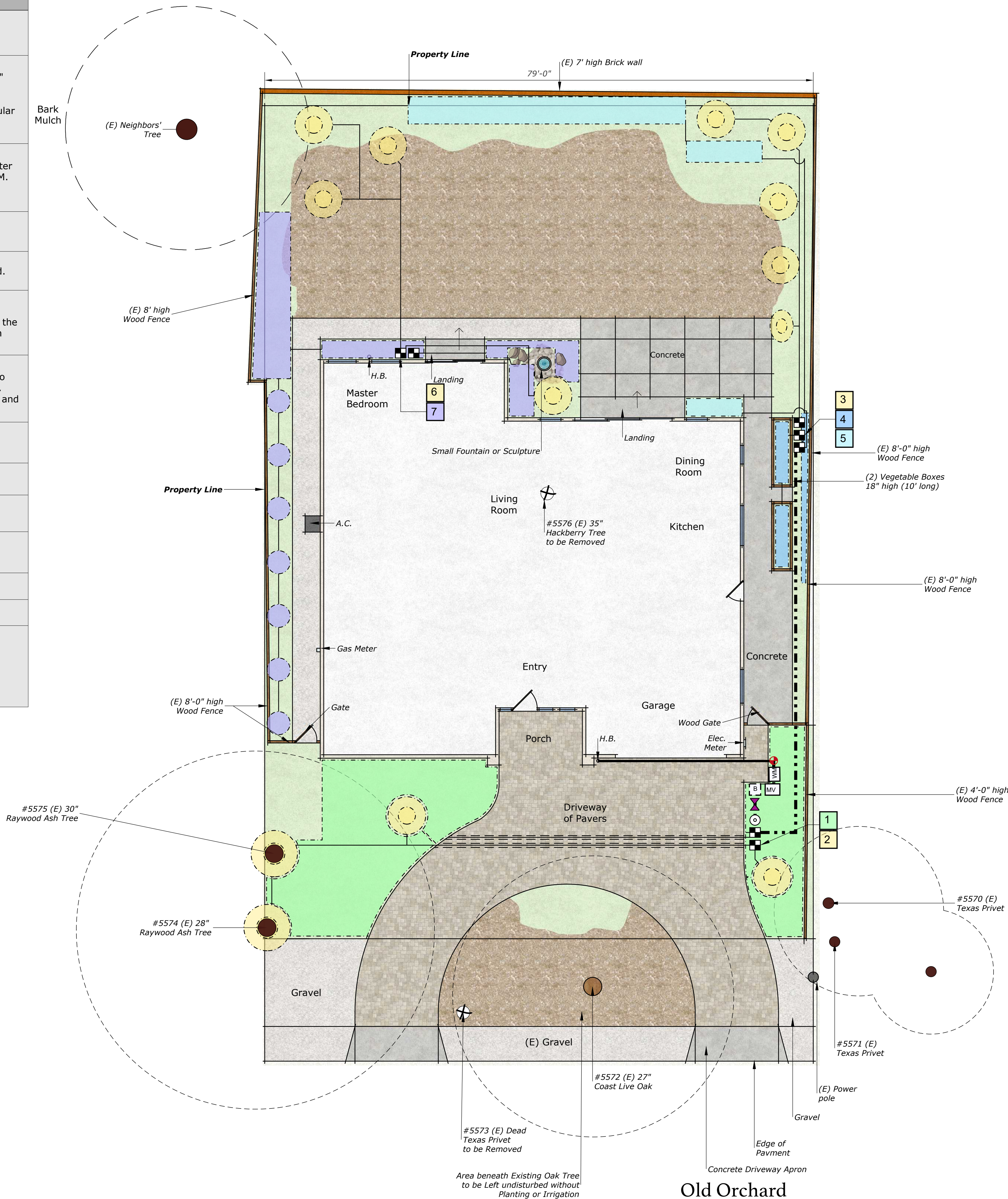
100 SF Low Water Drip

Hydrozones

1	684 SF Low Water Drip	6	112 SF Med. Water Drip
2	112 SF Med. Water Drip	7	320 SF Med. Water Drip
3	140 SF Med. Water Drip		
4	77 SF Med. Water Drip		
5	256 SF Low Water Drip		

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them accordingly for the efficient use of water in the landscape & irrigation design plan."

Karl Fritzer



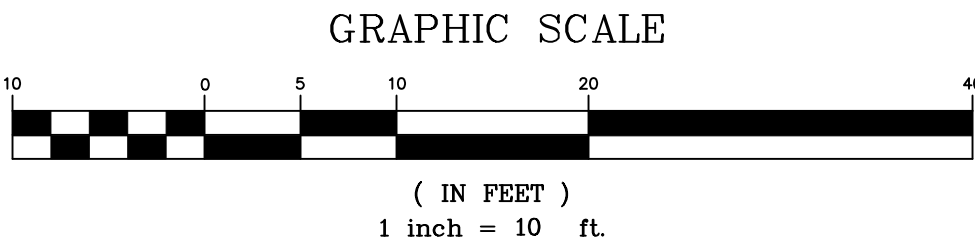
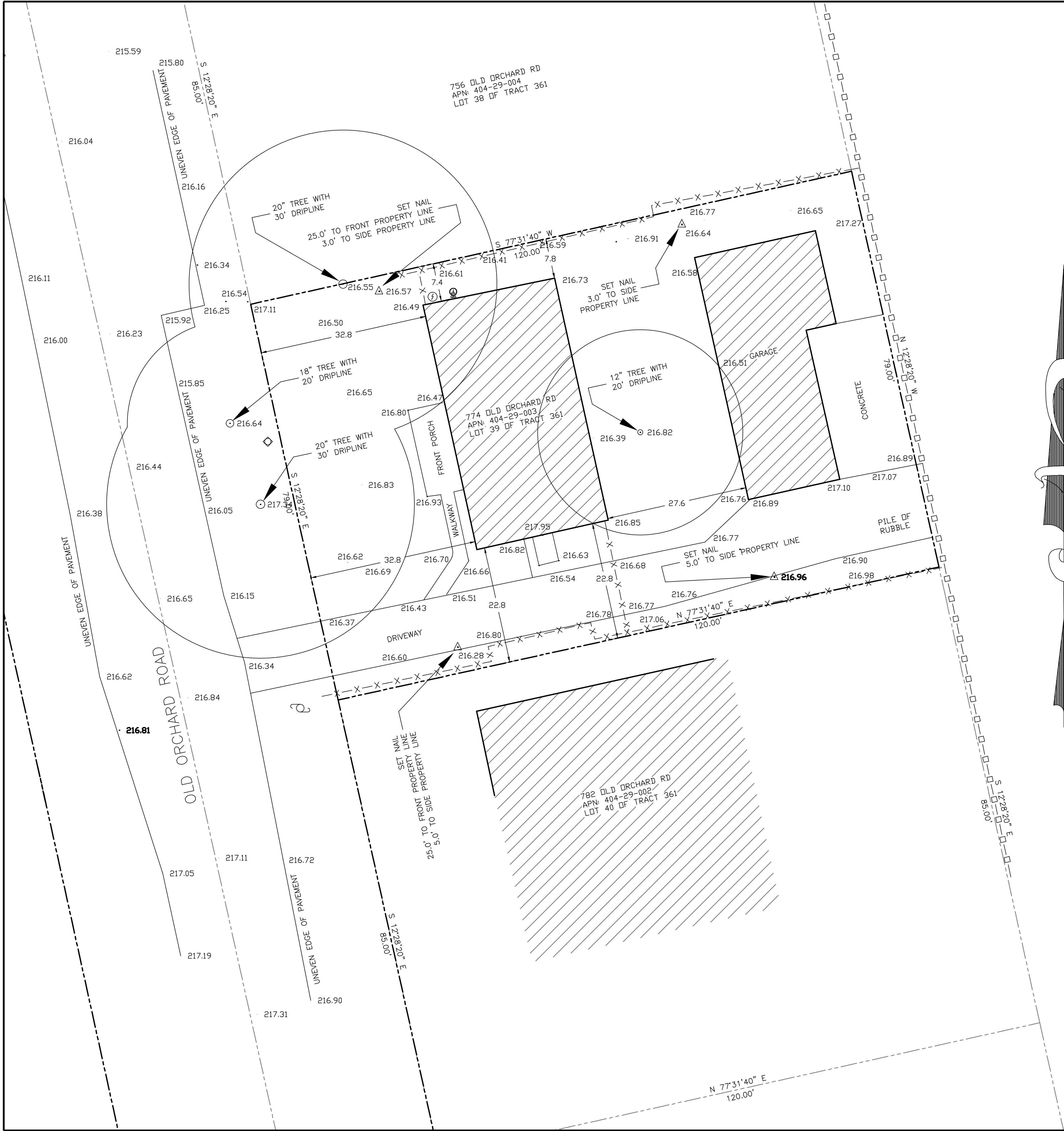
SCALE 1/8" = 1'-0"



A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 8, and 16 at the bottom.

* **NOTES (E) = Existing**

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BASIS OF BEARINGS

ALL BEARINGS SHOWN HEREON ARE TAKEN FROM THE MAP OF TRACT 361 FILED FOR RECORD IN BOOK 12 OF MAPS ON PAGE 12.

BENCHMARK STATEMENT:

CITY OF CAMPBELL BENCHMARK 58 WAS TAKEN AS THE BASIS OF ALL ELEVATION SHOWN HEREON.

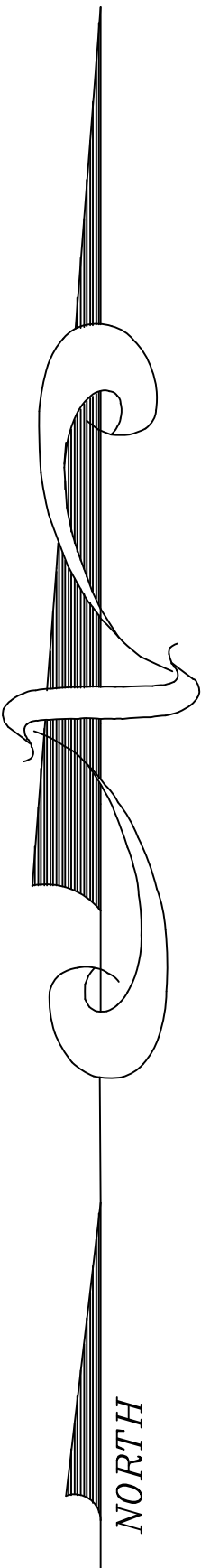
SURVEY NOTES:

ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

UTILITIES, IF SHOWN, ARE PLACED RELATIVE TO VISUAL EVIDENCE AVAILABLE ON THE DATE OF THE FIELD SURVEY AND SHOULD BE VERIFIED BY POTHOLING PRIOR TO ANY UTILITY WORK ON SITE.

NO TITLE REPORT WAS REVIEWED FOR THIS SURVEY; EASEMENTS SHOWN ARE PER RECORD MAP.

LEGEND	
	PROPERTY LINE
	WOODEN FENCE
	CONCRETE WALL
	UTILITY POLE
	ELECTRIC METER
	WATER METER
	GAS METER
	FINISH FLOOR



REVISIONS	BY

--

TOPOGRAPHIC AND BOUNDARY SURVEY
774 OLD ORCHARD ROAD, CAMPBELL, CA

FOOTSTEPS SURVEYING
3315 ST IGNATIUS PL. SANTA CLARA, CA. 95051
FTSTPSJAY@GMAIL.COM PHONE: (408) 737-2265

Date: 07/30/24
Scale 1"=10'
Dwn by: JW
Job J240717

Sheet
1 OF 1

