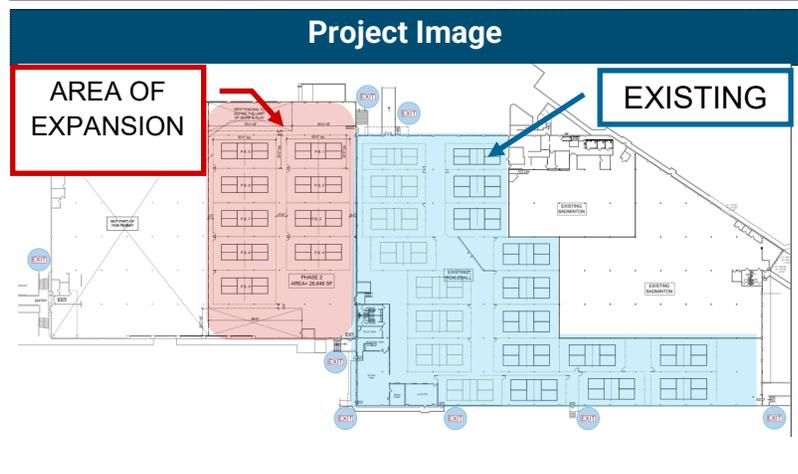





 City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423



Notice of Public Hearing

Dear Campbell Resident,

July 9, 2025

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:00 p.m., or shortly thereafter, on Tuesday July 22, 2025, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 600 E. Hamilton Avenue
Zoning | Area Plan: TO-MU | Hamilton Avenue Precise Plan Overlay
Neighborhood Association(s): Downtown Campbell Neighborhood Association
Council District: 2
File No: PLN-2024-157
APN: 279-32-010 & 279-32-012
Applicant: Patrick Rolfes
Property Owner: F & F Campbell LLC.
Application Type: Conditional Use Permit
Project Planner: Larissa Lomen, Assistant Planner
Email Contact: larissal@campbellca.gov
Phone Contact: (408) 866-2144

Project Description:

Public Hearing to consider the application of Patrick Rolfes to allow a 26,646 square-foot expansion of an existing fitness center/studio (pickleball facility, dba "The Hub") within an existing commercial building, inclusive of 9 new pickleball courts, resulting in 81,229 square feet in total area and 29 courts

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible, Simplemente marque (408) 866-2140 y pida traduccion en Español**



THE HUB

PHASE 2-EXPANSION

600 E. HAMILTON AVENUE, CAMPBELL CA. 95008



PROJECT LOCATION

Anderson Architects INC

kanderson@andarchinc.com
Cell 408.202.5462
120 West Campbell Ave, Suite D
Campbell, CA 95008
www.andarchinc.com

Kurt B. Anderson, AIA
Principal
Tel: 408.371.1269
Fax: 408.370.1276

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Client:
PATRICK ROLFES
600 E. HAMILTON AVENUE
CAMPBELL, CA. 95008

Project:
THE HUB

600 E. HAMILTON AVENUE
CAMPBELL CA. 95008

CUP APPLICATION BUILDING DEPARTMENT PLAN CHECK SUBMITTAL APPROVED FOR CONSTRUCTION

VICINITY MAP

CONSULTANTS

APPLICANT: THE HUB
600 E. HAMILTON AVENUE
CAMPBELL, CA 95008
TEL: (408) 714-323-2739
PATRICK J. ROLFES
EMAIL: pat@thehubpickleball.com

ARCHITECT: ANDERSON ARCHITECTS INC.
120 W. CAMPBELL AVENUE, SUITE D
CAMPBELL, CA 95008
TEL: (408) 371-1269, FAX: (408) 370-1276
KURT B. ANDERSON, AIA
EMAIL: KANDERSON@ANDARCHINC.COM

PROPERTY OWNER: F & F CAMPBELL LLC
9968 HIBERT ST. STE., 200
SAN DIEGO, CA 92131
TEL: (858) 271-4682
BRETT FEUERSTEIN
EMAIL: brett@mesacenters.com

PROJECT SCOPE

THE PROPOSED PHASE 2- EXPANSION AREA ONLY WILL CONSIST OF THE FOLLOWING WORK:

1. REFRESH THE CURRENT INTERIOR FINISHES.
2. NEW LIGHTING.
3. INSTALLATION OF FIRE & SMOKE DETECTION SYSTEM.
4. EXPANSION AREA TO ADD NEW 9 PICKLEBALL COURTS TO GO ALONG WITH THE EXISTING 20 COURTS FOR A TOTAL OF 29 COURTS.
5. OPERATING HOURS FROM 6a.m. - 11p.m.

PROJECT DATA

A.P.N. : 279-32-010 AND 279-32-012
LOT SIZE : 322,780 S.F.+ OR 7.41 AC.
GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL
ZONING DESIGNATION: PD - PLANNED DEVELOPMENT ZONING TYPE
CONSTRUCTION TYPE: 3A
PROPOSED OCCUPANCY GROUP: INDOOR PICKETBALL COURT: A4
FIRE SPRINKLERS: YES
PROJECT AREA 26,646 S.F. (PHASE 2)
FIRE ALARM / SMOKE ALARM: PROPOSED
BUILDING GROSS AREA: 156,573 S.F.+
NUMBER OF STORIES: 2 STORY
BUILDING HEIGHT: 32'-0"+
PARKING SPACE:
STANDARD PARKING: 389 SPACES+
ACCESSIBLE PARKING: 19 SPACES+
TOTAL: 408 SPACES

SHEET INDEX

ARCHITECTURAL (PHASE 2 PROPOSED)

0.0 COVER SHEET

A0.1 (E) SITE PLAN
A0.2 (E) GROUND FLOOR PLAN
A0.3 EXITING PLAN
A1.0 PARTIAL GROUND FLOOR PLAN (PARKING)
A2.0 (E) OVERALL 2ND FLOOR PLAN
A3.0 (E) PARTIAL ENLARGED 2ND FLOOR PLAN
A4.0 PROPOSED ENLARGED 2ND FLOOR PLAN
A4.0a OVERALL 2ND FLOOR PLAN
A5.0 (E) SITE PHOTO'S

ARCHITECTURAL (PHASE 1 REFERENCE DRAWINGS)
NOT PART OF THE PROJECT

G001 COVER SHEET
A001 (E) SITE PLAN & DETAILS
A101 (E) ENLARGED FLOOR PLANS

Stamp:



Client Revisions

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City Revisions

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Issue Date: 9-26-2024

Scale: NTS

Drawn By: CDR

Checked By: KBA

Sheet Title:

COVER SHEET

Sheet No.:

0.0

File: Job: THE HUB

OPERATION LETTER



February 26, 2025
City of Campbell Planning Department
Re: 600 E Hamilton Avenue – Expansion into Old Frys Retail Space

To City of Campbell Planning Department,

As you know, we operate The HUB Pickleball, an indoor pickleball facility in the City of Campbell. Based on the youth program we put together with the City of Campbell Parks & Recreation, our extensive charity fund raising involvement, our member satisfaction and the demand from the community, we are proud to see that The HUB Pickleball has proven to be a tremendous community asset for the City of Campbell. We are also happy that the HUB Pickleball is bringing new and substantial business to local Campbell restaurants, shops and services companies. Additionally, since the City of Campbell doesn't have any public pickleball courts, the HUB provides an added benefit by bringing relief to the city by reducing their need to address the demand from residents to build, maintain and manage pickleball courts.

The HUB Pickleball, with the support of the owner of the building, is requesting expanding its successful operations into the vacant retail portion of the building, formerly known as the Frys Electronic space. The proposed expansion will allow The HUB Pickleball to add additional pickleball courts. The expansion will allow The HUB Pickleball to address the increasing demand of pickleball in the community.

Sincerely,
PJ Rolfes
Patrick J. Rolfes
Managing Member
SOPH HUB LLC
pat@thehubpickleball.com
714-323-2739

PROJECT INFORMATION

NOTE:

THESE ARE REVISED DRAWINGS ASSOCIATED WITH CUP APPLICATION PLN-2024-157. AFTER REVIEWING THE CITY'S COMMENTS DATED DEC. 5, 2024; AND AFTER DISCUSSIONS WITH PLANNING STAFF WHICH OCCURRED ON DECEMBER 19, 2024 AND FEBRUARY 3, 2025. WE ARE SUBSTANTIALLY REVISING OUR APPLICATION TO REDUCE THE SCOPE AND SIZE OF THE EXPANSION, WHICH ELIMINATES THE NEED FOR IMPROVEMENTS TO THE PARKING LOT AND TRASH ENCLOSURE DUE TO IT'S REDUCED SIZE AND SCOPE.

REVISIONS:

1. ELIMINATE THE FOOD VENDING AREA AND CAFE AREA.
2. REDUCE EXPANSION FROM 20 NEW COURTS TO A MAXIMUM OF 9 NEW COURTS.
3. REDUCE THE SQUARE FOOTAGE OF THE EXPANSION AREA FROM 64,517 S.F. TO A MAXIMUM OF 26,646 S.F..
4. NO CHANGES TO TRASH COLLECTION AREA.
5. NO CHANGES TO DOORWAYS, EGRESS, INGRESS.
6. NO CHANGES TO PARKING LOT.

APPLICABLE CODES

APPLICABLE CODES :

CAMPBELL MUNICIPAL CODE
CALIFORNIA BUILDING CODE (CBC) 2022,
CALIFORNIA ELECTRICAL CODE (CEC) 2022,
CALIFORNIA MECHANICAL CODE (CMC) 2022,
CALIFORNIA PLUMBING CODE (CPC) 2022,
CALIFORNIA ENERGY CODE 2022, CALIFORNIA FIRE CODE (CFC) 2022, CALIFORNIA GREEN BUILDING CODE (CALGREEN) 2022,
2022 CALIFORNIA FIRE CODE
SANTA CLARA COUNTY FIRE DEPARTMENT
SCCFD SPECIFICATIONS.

DEFERRED SUBMITTAL

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Client:
MARVIN CASTRO
72 S. 6TH STREET
SAN JOSE, CA. 95112

Project:
CODE COMPLIANCE
72 S. 6TH STREET
SAN JOSE, CA. 95112



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Initial Submittal Date: 2-17-2025

Scale:

Drawn By: CDR

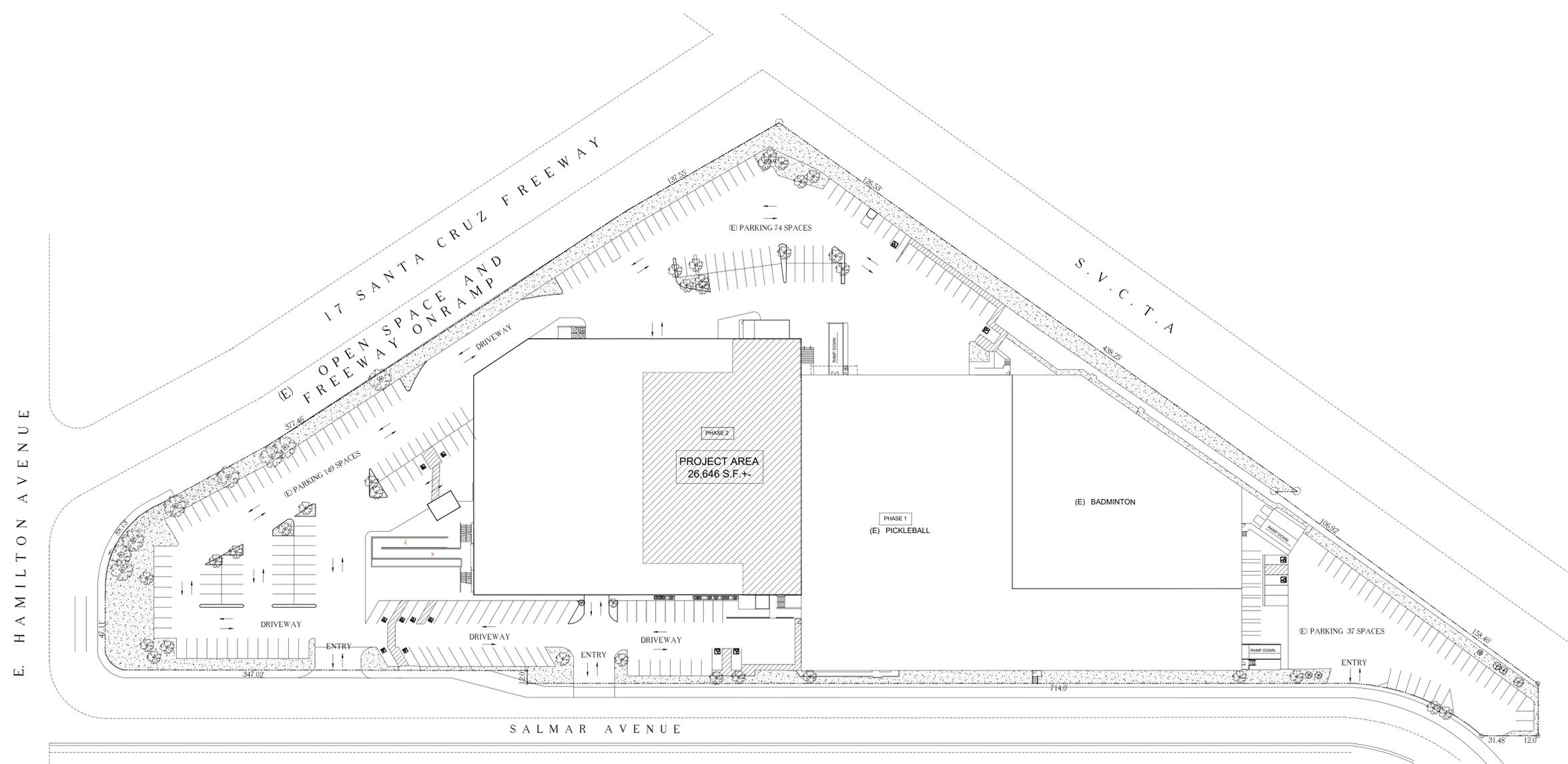
Checked By: KBA

Sheet Title:

(E) SITE PLAN

Sheet No.:

A0.1



1 (E) SITE PLAN
SCALE 1"=50'-0"

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72 S. 6TH STREET
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CODE COMPLIANCE
72 S. 6TH STREET
SAN JOSE, CA. 95112



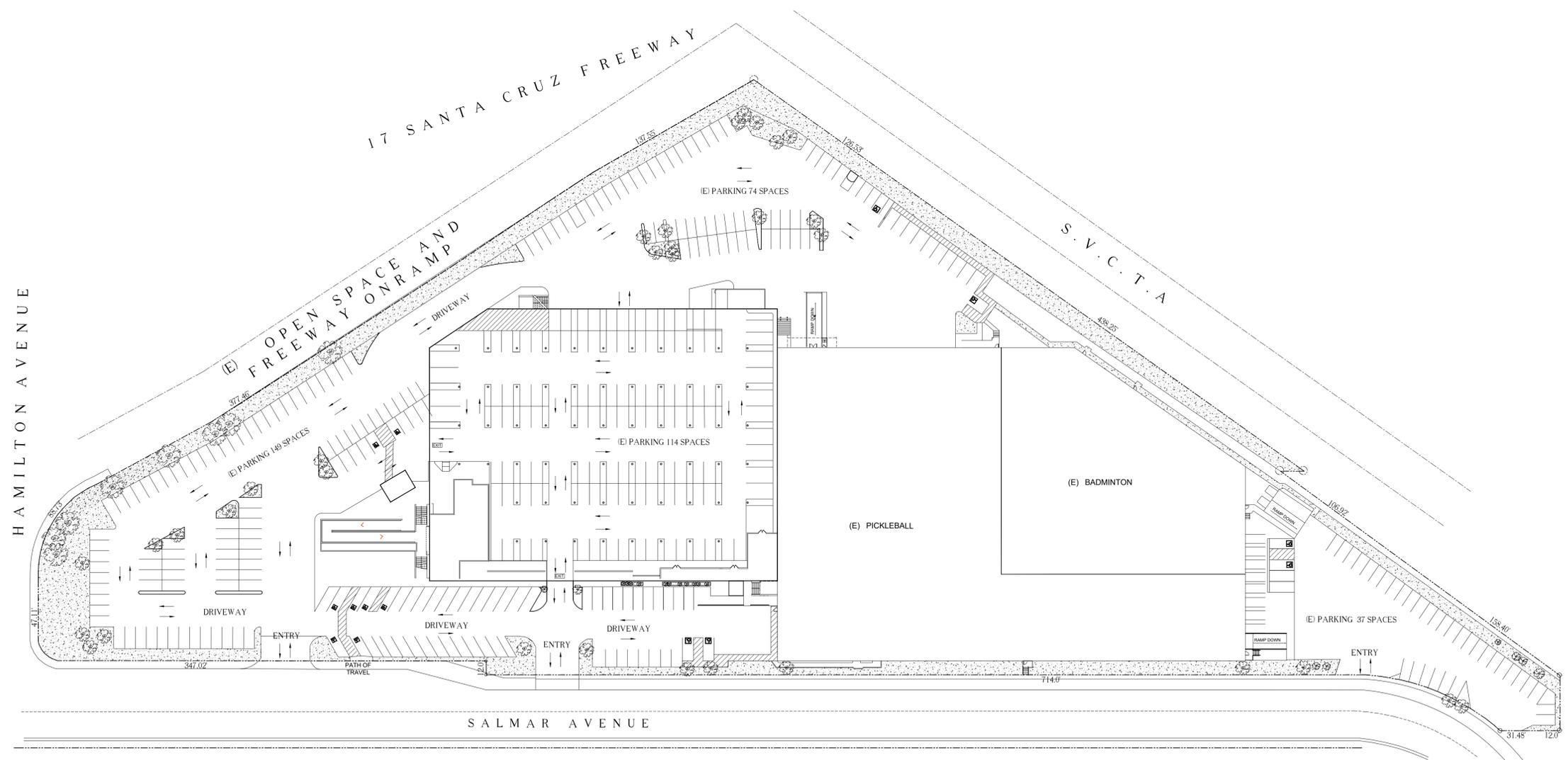
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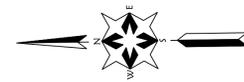
Initial Submittal Date: 2-17-2025
 Scale: AS SHOWN
 Drawn By: CDR
 Checked By: KBA

Sheet Title:
**OVERALL
GROUND
FLOOR PLAN**

Sheet No.:
A0.2



1 OVERALL GROUND FLOOR PLAN
SCALE 1"=50'-0"



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Client:
MARVIN CASTRO
72 S. 6TH STREET
SAN JOSE, CA. 95112

Project:
CODE COMPLIANCE
72 S. 6TH STREET
SAN JOSE, CA. 95112



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Initial Submittal Date: 2-17-2025

Scale:

Drawn By: CDR

Checked By: KBA

Sheet Title:

EXITING PLAN

Sheet No.: **A0.3**

EXISTING CALCULATIONS (PHASE 1) FOR REFERENCE ONLY

THE HUB PICKLEBALL
OCCUPANT LOAD CALCULATION (CBC 2022, TABLE 1004.5)

USE	AREA	COURTS	S.F./OCC. OCC.
PICKLEBALL COURTS	37,240	18 FULL SIZE COURTS @ 4 OCC. EA. = 72 OCC. 2 HALF SIZE COURTS @ 2 OCC. EA. = 4 OCC.	76
BUSINESS AREA (AREAS SURROUNDING COURTS)		18 ADIRONDACK CHAIRS @ 1 OCC. EA. = 18 OCC. 5 COUCHES @ 6 OCC. EA. = 30 OCC.	48
OFFICE & BREAKROOM	1,132	-	1/EACH
RECEPTION	584	-	SF/150
STORAGE/ UTILITY AREA	5,099	-	SF/300
ACCESSORY - RESTROOMS	516	-	SF/0
SEATING ROOM		1 COUCHES @ 6 OCC. EA. = 6 OCC. 2 TABLES @ 4 OCC. EA. = 8 OCC.	14
TOTAL	57,316		162

PHASE 2
OCCUPANT LOAD CALCULATIONS (CBC 2022, TABLE 1004.5)

USE	AREA	COURTS	S.F./OCC.
PICKLEBALL COURTS	PHASE 2 26,646 SF	9 FULL SIZE COURTS @ 4 OCC. EA. = 36 OCC.	TOTAL = 36 OCC.
			TOTAL 36 OCCUPANTS

EXIT DOOR CALCULATIONS
(CBC 2022 1005.3.2 EGRESS COMPONENTS FOR EXT. DOORS)

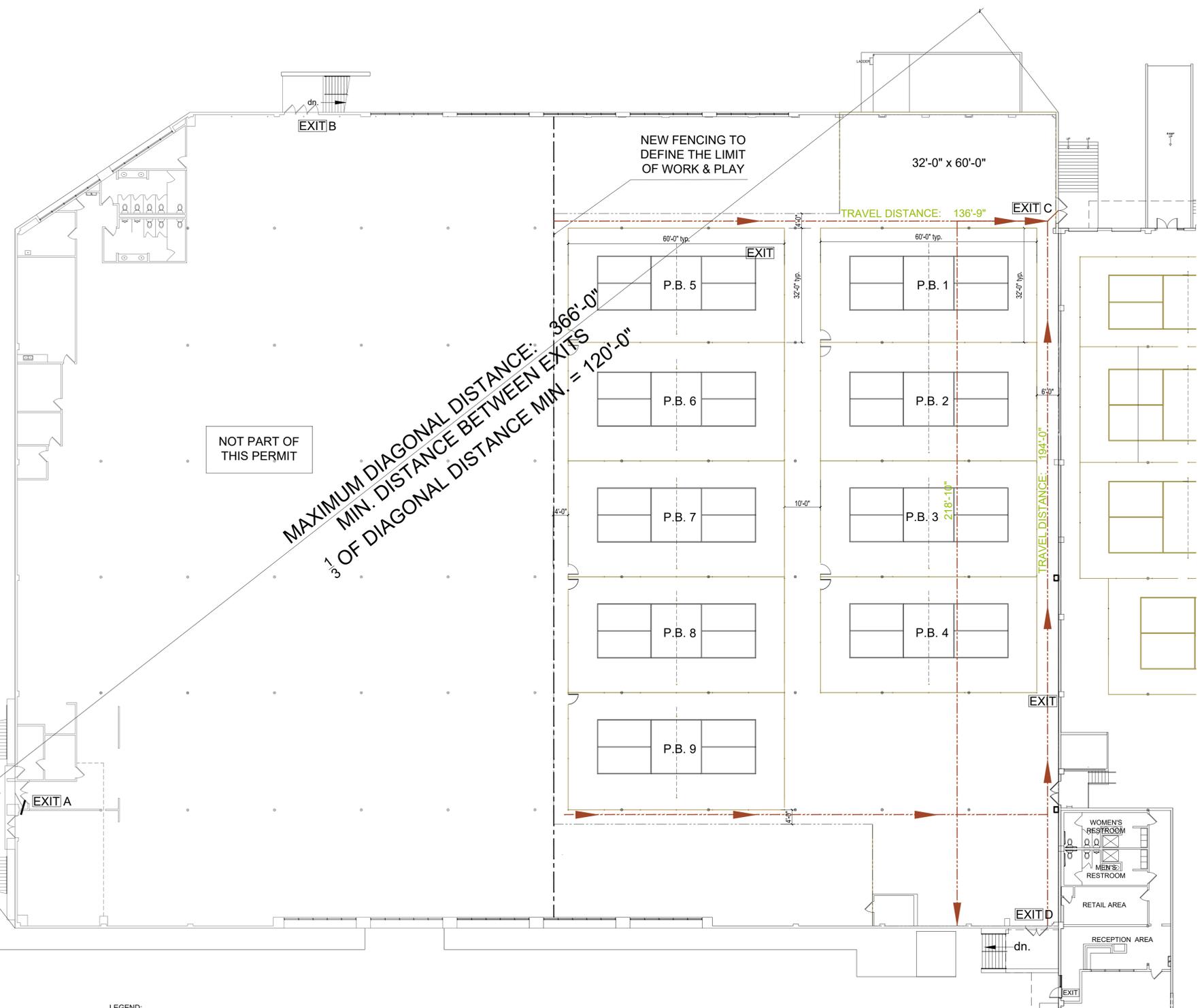
EXIT DOOR WIDTH REQUIREMENTS:
EGRESS FACTOR=0.1" X MAX OCCUPANT LOAD
0.2" X 109 OCCUPANTS = 32" MIN. EGRESS WIDTH
EXIT C & D= (2) 36"=72" EXIT WIDTH
108" WIDTH PROVIDED

NO. OF EXIT/EXITS ACCESS DOORWAYS
(CBC 2022, 1006.2.1)

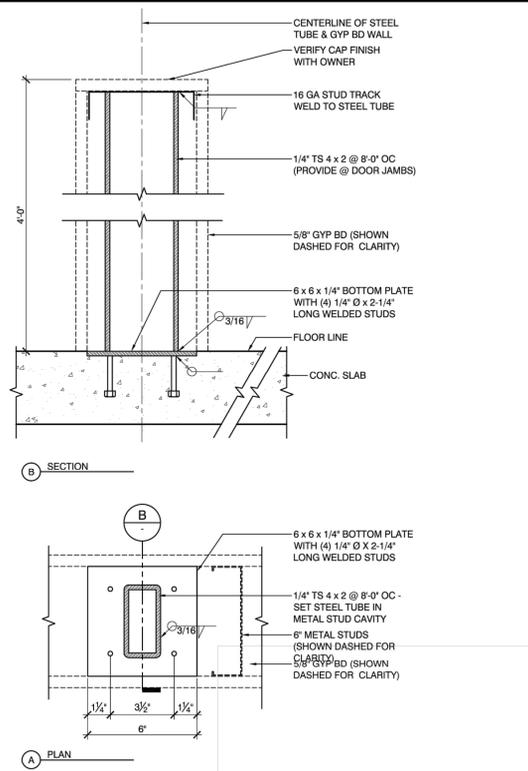
OCCUPANT LOAD PER STORY OF 1-500: 2 EXITS REQUIRED
NO. OF EXITS PROVIDED 2 EXITS

EXIT ACCESS
(CBC 2022, 1017.2)

REQUIRED EXIT ACCESS TRAVEL DISTANCE 250'-0" MAX. TRAVEL DISTANCE PROVIDED EXIT ACCESS TRAVEL DISTANCE 194'-0" LESS THAN 250'-0".



1 EXITING PLAN (PHASE 2 PROPOSED)
SCALE 1/16"=1'-0"



LOW WALL SCALE 3" = 1'-0" 15

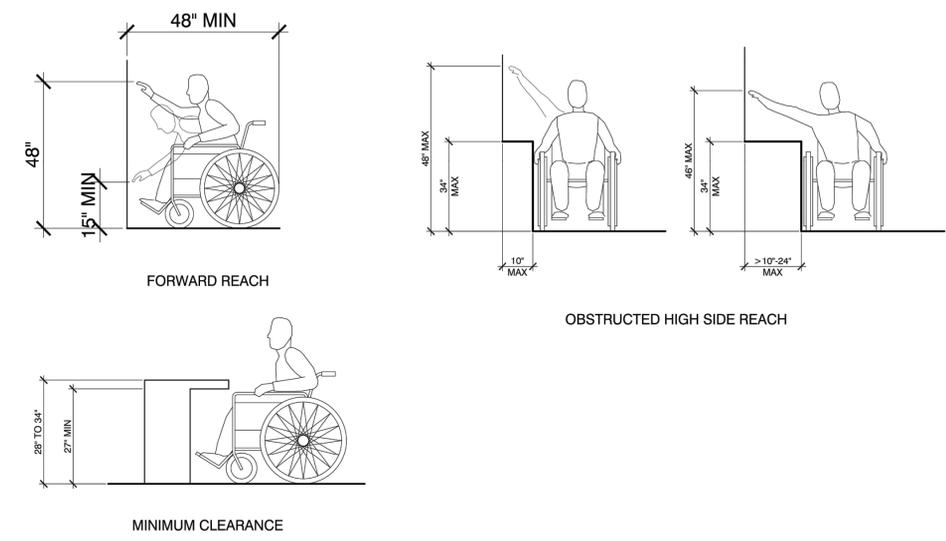
2022 CBC - POINT OF SALE DEVICES

308.3.2 Obstructed High Reach. Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34 inches (865 mm) maximum and the depth of the obstruction shall be 24 inches maximum. The high side reach shall be 48 inches maximum for a reach depth of 10 inches maximum. Where the reach depth exceeds 10 inches, the high side reach shall be 46 inches maximum for a reach depth of 24 inches maximum.

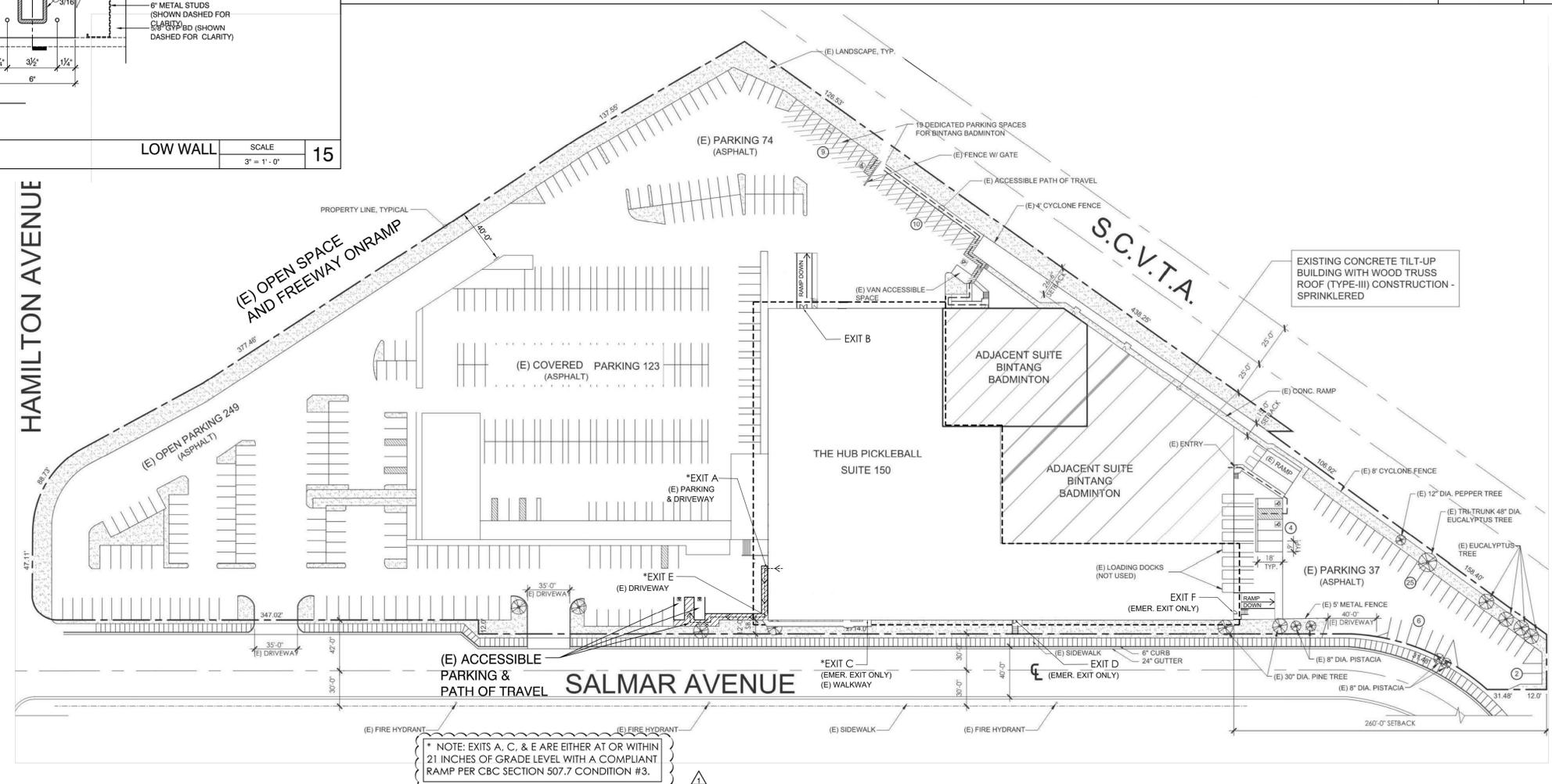
309.4 Operation. Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds maximum.

707.3 Operable parts. Unless a clear or correct key is provided, each operable part shall be able to be differentiated by sound or touch, without activation.

707.7.2 Characters displayed on the screen shall be in a sans serif font. Characters shall be 3/16 inch high minimum based on the uppercase letter "I". Characters shall contrast with their background with either light characters on a dark background or dark characters on a light background.



ACCESSIBILITY REQUIREMENTS SCALE NONE 4



* NOTE: EXITS A, C, & E ARE EITHER AT OR WITHIN 21 INCHES OF GRADE LEVEL WITH A COMPLIANT RAMP PER CBC SECTION 507.7 CONDITION #3.

EXISTING SITE PLAN SCALE 1" = 50' 1



A Project for: **FOR REFERENCE ONLY**

THE HUB PICKLEBALL
 600 E. HAMILTON AVE.
 SUITE 100 AND 150
 CAMPBELL, CA 95008

Client: **THE HUB**
 600 E. HAMILTON AVE.
 CAMPBELL, CA 95008
 (714) 323-2739

Revisions:
 1st PERMIT SUBMITTAL 04/04/2023
 BLDG & FIRE DPT COMMENTS 06/27/2023

No.	Description	Date
Project No.:		23.217.10
Drawn By:		
Reviewed By:		
Scale:		AS NOTED
Date:		03-24-2023
Filename:		18241-G001
Sheet Title:		

SITE PLAN AND DETAILS

Sheet #: **A001**
 © MCG ARCHITECTURE 2023 ALL RIGHTS RESERVED

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Client:
PATRICK ROLFES
600 E. HAMILTON AVENUE
CAMPBELL, CA. 95008

Project:
THE HUB
600 E. HAMILTON AVENUE
CAMPBELL CA. 95008



Client Revisions

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City Revisions

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Issue Date: 9-26-2024

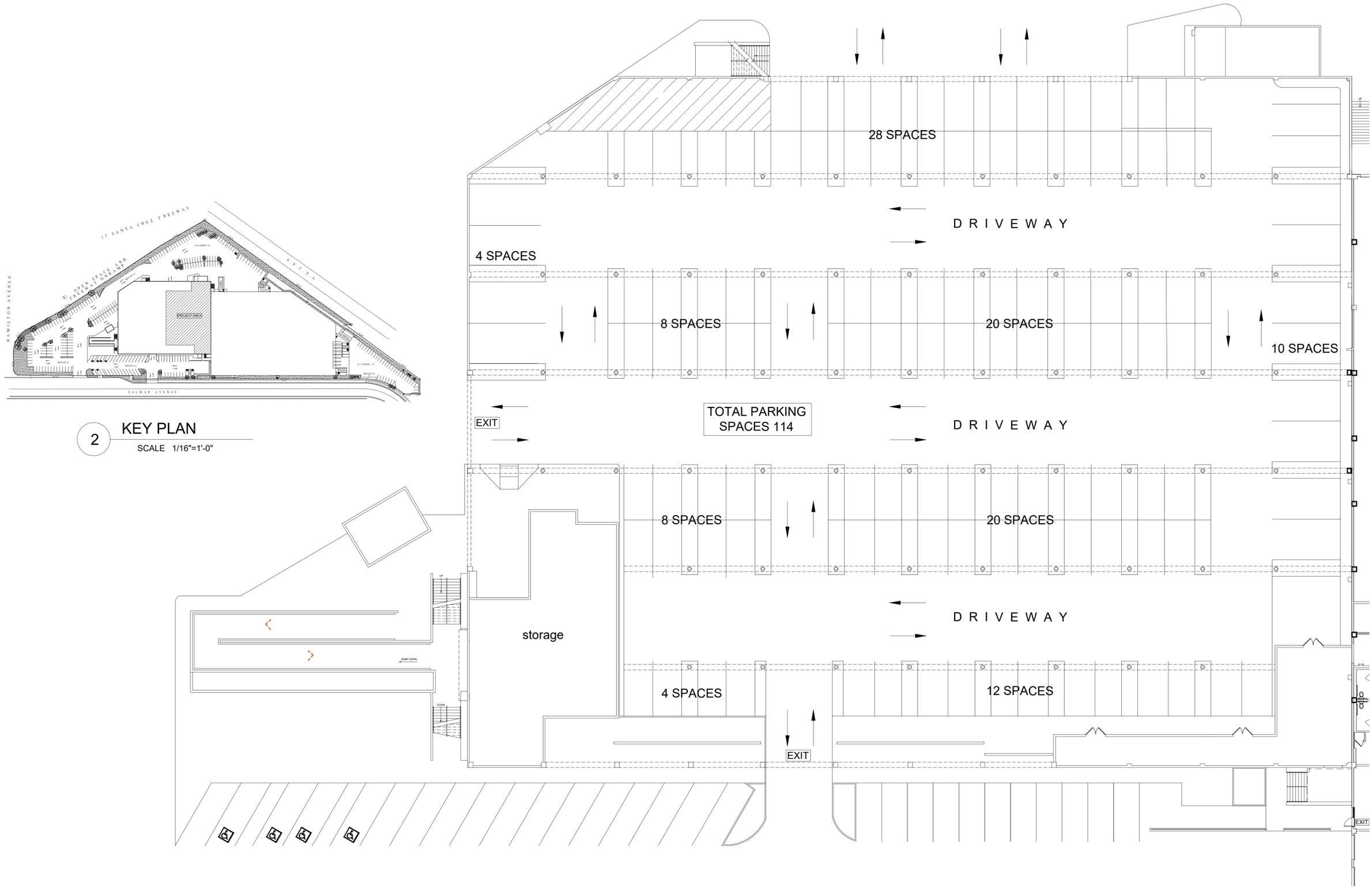
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Sheet Title:

(E) GROUND FLOOR PLAN

Sheet No.:

A1.0

File: Job: THE HUB



1 (E) ENLARGED PARTIAL GROUND FLOOR PLAN
SCALE 1/16"=1'-0"

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Client:
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600 E. HAMILTON AVENUE
CAMPBELL, CA. 95008

Project:
THE HUB
600 E. HAMILTON AVENUE
CAMPBELL CA. 95008



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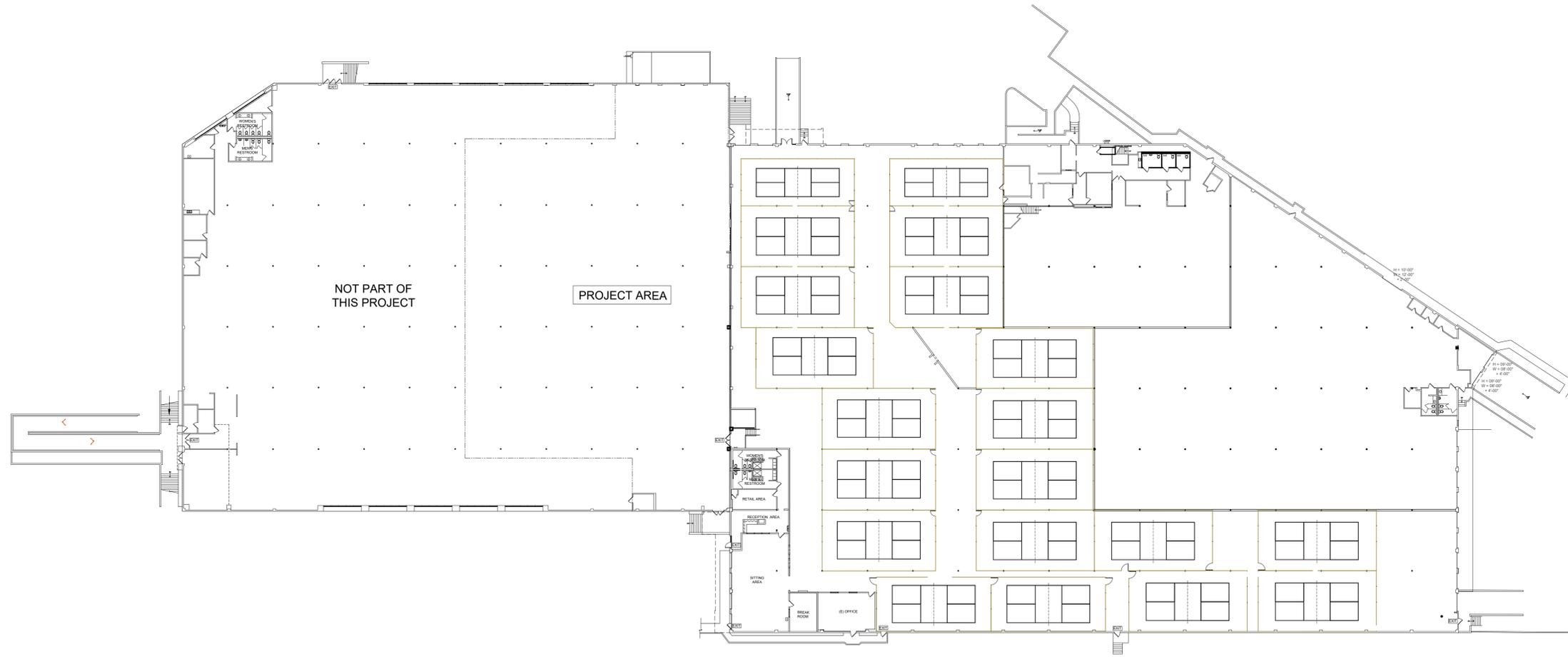
Checked By: KBA

Sheet Title:

**OVERALL (E) 2ND
FLOOR PLAN**

Sheet No.:

A2.0



1 OVERALL (E) 2nd FLOOR PLAN
SCALE 1/32"=1'-0"

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600 E. HAMILTON AVENUE
CAMPBELL, CA. 95008

Project:
THE HUB
600 E. HAMILTON AVENUE
CAMPBELL CA. 95008



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Issue Date: 9-26-2024

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Drawn By: CDR

Checked By: KBA

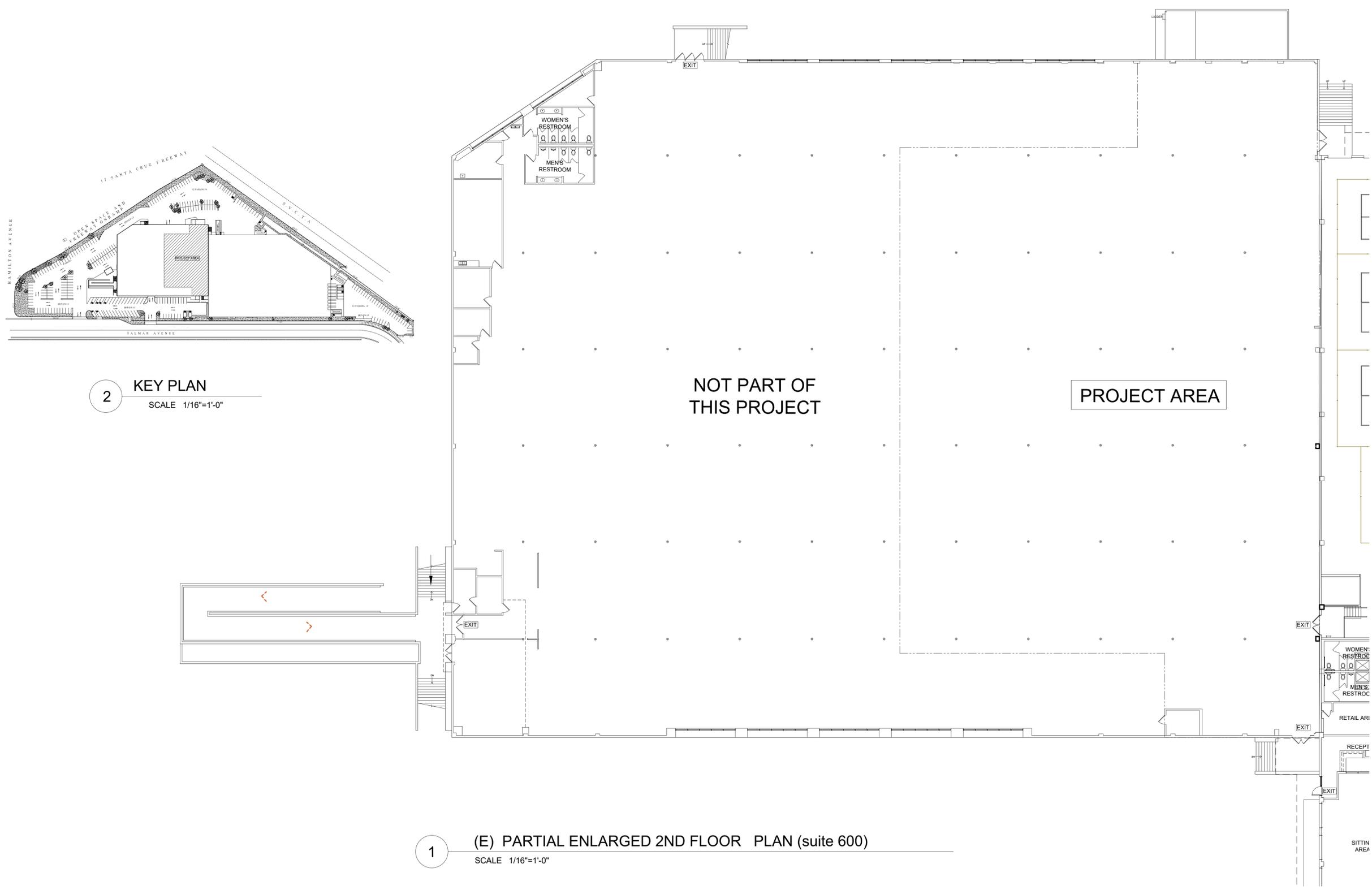
Sheet Title:

(E) PARTIAL ENLARGED 2ND FLOOR PLAN

Sheet No.:

A3.0

File: THE HUB



2 KEY PLAN
SCALE 1/16"=1'-0"

1 (E) PARTIAL ENLARGED 2ND FLOOR PLAN (suite 600)
SCALE 1/16"=1'-0"

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Client:
PATRICK ROLFES
600 E. HAMILTON AVENUE
CAMPBELL, CA. 95008

Project:
THE HUB
600 E. HAMILTON AVENUE
CAMPBELL CA. 95008



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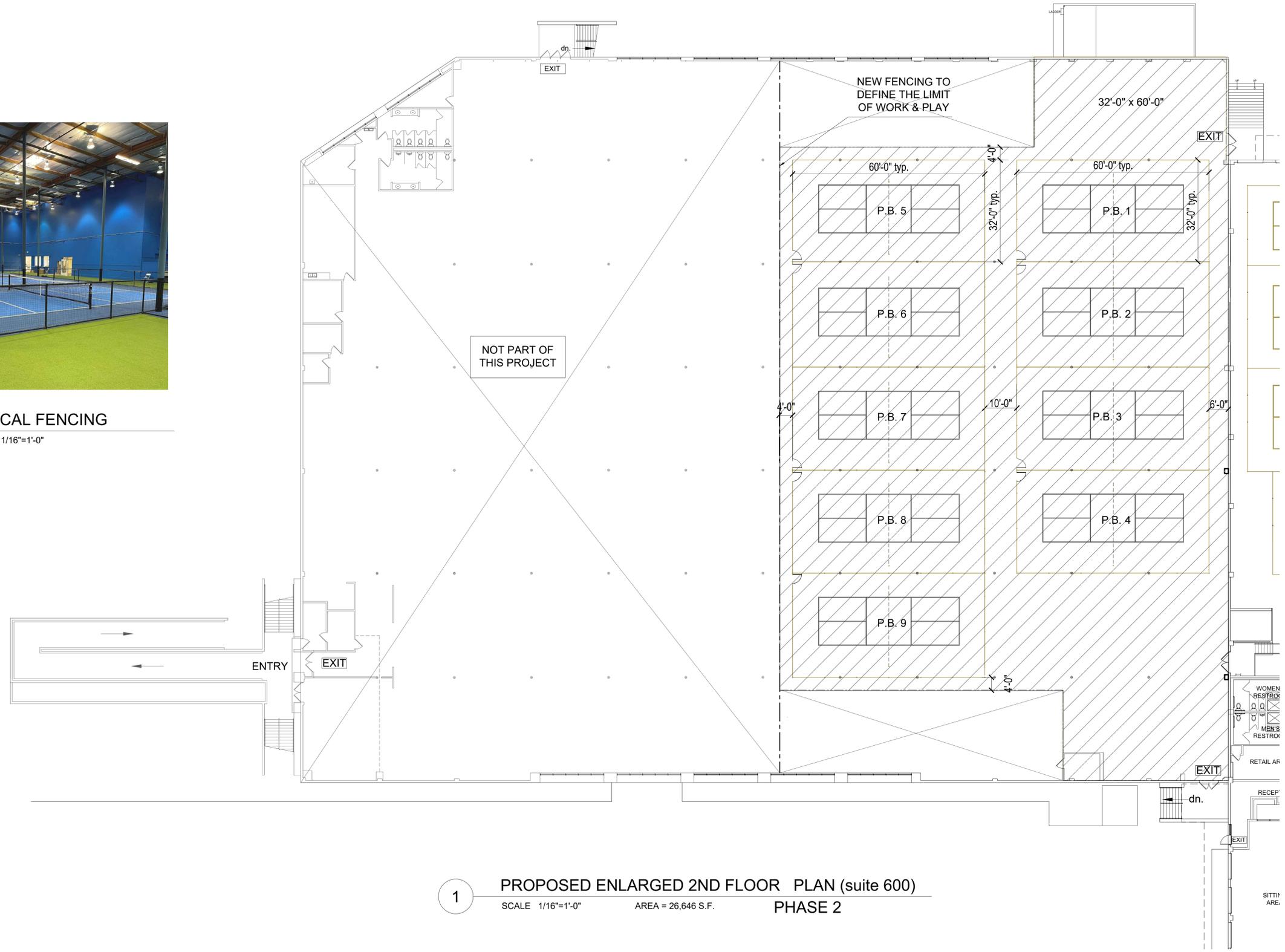
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Drawn By: CDR
Checked By: KBA
Sheet Title:

PROPOSED 2ND FLOOR PLAN

Sheet No.:
A4.0
File: THE HUB



2 TYPICAL FENCING
SCALE 1/16"=1'-0"

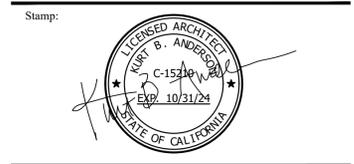


1 PROPOSED ENLARGED 2ND FLOOR PLAN (suite 600)
SCALE 1/16"=1'-0" AREA = 26,646 S.F. PHASE 2

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600 E. HAMILTON AVENUE
CAMPBELL, CA. 95008

Project:
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600 E. HAMILTON AVENUE
CAMPBELL CA. 95008



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Issue Date: 9-26-2024
Scale: NTS
Drawn By: CDR
Checked By: KBA

Sheet Title:
(E) SITE PHOTO'S

Sheet No.:

A5.0



VIEW 1



VIEW 2



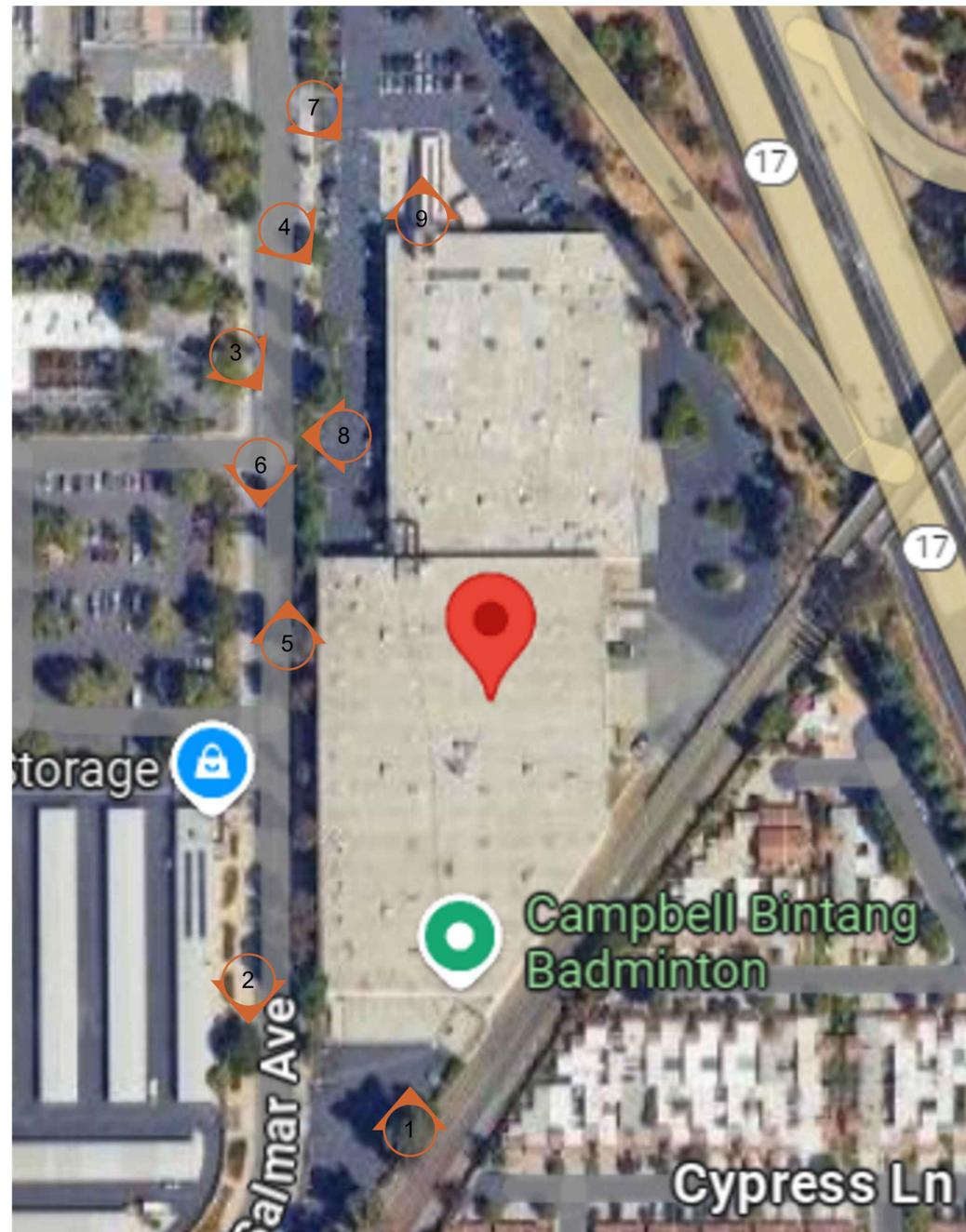
VIEW 3



VIEW 4



VIEW 5



1 (E) SITE PLAN
SCALE: NTS



VIEW 6



VIEW 7



VIEW 8



VIEW 9

BUILDING CODE INFORMATION

COUNTY: SANTA CLARA COUNTY
 APN: 279-32-010 AND 279-32-012
 YEAR BUILT: 1972
 GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL
 ZONING DESIGNATION: PD - PLANNED DEVELOPMENT ZONING TYPE
 CONSTRUCTION TYPE: III-B
 EXISTING OCCUPANCY GROUP: WAREHOUSE: S-1
 PROPOSED OCCUPANCY GROUP: INDOOR PICKLEBALL COURT: A-3
 EXISTING BINTANG BADMINTON: INDOOR BADMINTON COURTS
 THE HUB PICKLEBALL AREA: 57,316 S.F.
 BINTANG BADMINTON AREA: 35,530 S.F.
 FIRE SPRINKLERS: YES (EXISTING)

EXISTING BUILDING DATA
 LOT AREA: ± 322,780 S.F. OR 7.41 AC.
 BUILDING GROSS AREA: ± 156,573 S.F.
 FLOOR AREA RATIO: 48.5%
 NUMBER OF STORIES: 1 STORY (WITH MEZZANINE)
 BUILDING HEIGHT: +/- 32'-0"
 PARKING SPACES:
 STANDARD PARKING: +/- 389 SPACES
 ACCESSIBLE PARKING: +/- 19 SPACES
 TOTAL: +/- 408 SPACES

REQUIRED PARKING FOR
 THE HUB PICKLEBALL: 74 SPACES
 BINTANG BADMINTON: 52 SPACES
 TOTAL REQUIRED PARKING: 126 SPACES

APPLICABLE CODES

BUILDING	2022 CALIFORNIA BUILDING (WITH LOCAL AMENDMENTS)
MECHANICAL	2022 CALIFORNIA MECHANICAL CODE (WITH LOCAL AMENDMENTS)
PLUMBING	2022 CALIFORNIA PLUMBING CODE (WITH LOCAL AMENDMENTS)
ELECTRICAL	2022 CALIFORNIA ELECTRICAL CODE (WITH LOCAL AMENDMENTS)
FIRE	2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
ENERGY	2022 CALIFORNIA ENERGY CODE (WITH LOCAL AMENDMENTS)
ACCESSIBILITY	2022 CALIFORNIA BUILDING CODE CHAPTER 11B

SCOPE OF WORK

SCOPE OF WORK INCLUDES CONVERT THE EXISTING VACANT RETAIL/WAREHOUSE SPACE INTO RECREATIONAL USE FOR 20 PICKLEBALL COURTS, OFFICE ROOM, RECEPTION AND STORAGE ROOMS.

THERE ARE SUFFICIENT PLUMBING FIXTURES IN EXISTING ACCESSIBLE RESTROOMS PROVIDED BY PROPERTY OWNER FOR THE NEW OCCUPANCY TO BE USED BY CUSTOMERS AND STAFF.

THERE ARE A SUFFICIENT NUMBER OF STANDARD AND ACCESSIBLE PARKING SPACES PROVIDED BY PROPERTY OWNER FOR THE NEW OCCUPANCY TO BE USED BY CUSTOMERS AND STAFF.

ELECTRICAL SCOPE OF WORK:

1. RELOCATION OF ONE EXISTING LIGHT FIXTURE TO ACCOMMODATE NEW OFFICE.
2. ADDITION OF ONE WATER BOTTLE FILLER IN PICKLEBALL AREA.



VICINITY MAP



PROJECT DIRECTORY

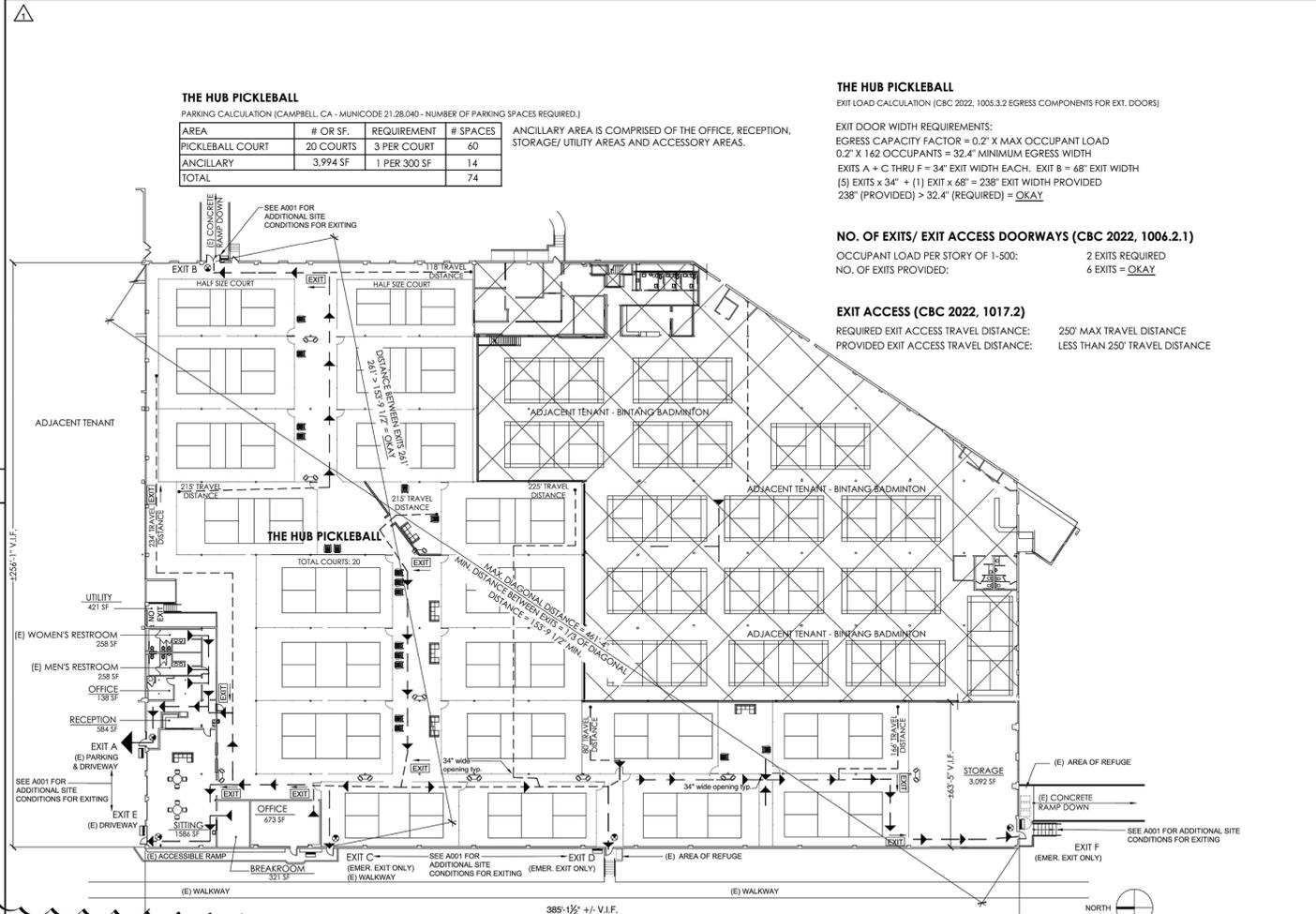
NAME OF CLIENT THE HUB
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 E-Mail: jcalderon@mcgarchitecture.com

SHEET INDEX

SHT.#	SHEET TITLE
G001	TITLE SHEET
G002	CITY OF CAMPBELL CUP CONDITIONS OF APPROVAL
G003	CITY OF CAMPBELL CUP CONDITIONS OF APPROVAL & EXISTING FLOOR PLAN
G004	BUILDING ACCESSIBILITY DETAILS
G005	ALTERNATE MATERIALS, DESIGN, & METHODS LETTER
A001	ARCHITECTURAL SITE PLAN & DETAILS
A101	OVERALL & ENLARGED FLOOR PLANS

EGRESS PLAN & CALCULATIONS



THE HUB PICKLEBALL

PARKING CALCULATION (CAMPBELL, CA - MUNICODE 21.28.040 - NUMBER OF PARKING SPACES REQUIRED.)

AREA	# OR SF.	REQUIREMENT	# SPACES
PICKLEBALL COURT	20 COURTS	3 PER COURT	60
ANCILLARY	3,994 SF	1 PER 300 SF	14
TOTAL			74

ANCILLARY AREA IS COMPRISED OF THE OFFICE, RECEPTION, STORAGE/ UTILITY AREAS AND ACCESSORY AREAS.

THE HUB PICKLEBALL

EXIT LOAD CALCULATION (CBC 2022, 1005.3.2 EGRESS COMPONENTS FOR EXIT DOORS)

EXIT DOOR WIDTH REQUIREMENTS:
 EGRESS CAPACITY FACTOR = 0.2' X MAX OCCUPANT LOAD
 0.2' X 162 OCCUPANTS = 32.4' MINIMUM EGRESS WIDTH
 EXITS A + C THRU F = 34" EXIT WIDTH EACH. EXIT B = 68" EXIT WIDTH
 (5) EXITS X 34" + (1) EXIT X 68" = 238" EXIT WIDTH PROVIDED
 238" (PROVIDED) > 32.4" (REQUIRED) = OKAY

NO. OF EXITS/ EXIT ACCESS DOORWAYS (CBC 2022, 1006.2.1)

OCCUPANT LOAD PER STORY OF 1-500: 2 EXITS REQUIRED
 NO. OF EXITS PROVIDED: 6 EXITS = OKAY

EXIT ACCESS (CBC 2022, 1017.2)

REQUIRED EXIT ACCESS TRAVEL DISTANCE: 250' MAX TRAVEL DISTANCE
 PROVIDED EXIT ACCESS TRAVEL DISTANCE: LESS THAN 250' TRAVEL DISTANCE

FIRE PROTECTION NOTES

- SYMBOL INDICATES EMERGENCY WALLPACK WITH MINIMUM 90 MINUTE BATTERY BACKUP.
- SYMBOL INDICATES EMERGENCY LIGHTS WITH MINIMUM 90 MINUTE BATTERY BACKUP.
- SYMBOL INDICATES EXISTING ILLUMINATED EXIT SIGN WITH BATTERY BACKUP. ALL EGRESS DOORS HAVE EXTERIOR EMERGENCY LIGHTING WITH BATTERY BACKUP.
- SYMBOL INDICATES EXTERNALLY ILLUMINATED SURFACE MOUNTED DIRECTIONAL EXIT SIGN PLACARDS.
- ALL ROOMS ARE PROTECTED BY EXISTING FIRE SPRINKLER SYSTEM AND CONTAIN EMERGENCY LIGHTING WITH BATTERY BACKUP.
- THE ACCUMULATION OF EXISTING RTUS / AIR HANDLER UNITS ARE LESS THAN 2,000 CFM AND THEREFORE DO NOT REQUIRE SMOKE DETECTION SHUT-OFF
- FIRE EXTINGUISHERS ARE EXISTING THROUGHOUT TENANT AREA PER MINIMUM CALIFORNIA FIRE CODE REQUIREMENTS. SEE FLOOR PLAN SHEET A101 FOR EXISTING LOCATIONS.
- ALL EGRESS DOORS CONTAIN EXISTING UL LISTED PANIC EXIT HARDWARE AS FOLLOWS: MANUFACTURER: SECURITECH. MODEL: 4900 SERIES.
- GO TO FIELD VERIFY ALL EXISTING FIRE PROTECTION / LIFE SAFETY ITEMS LISTED ABOVE & MODIFY/ADD NEW AS REQUIRED PER FIRE MARSHALL.

BINTANG BADMINTON - EXISTING "FOR REFERENCE"

OCCUPANT LOAD CALCULATION (CBC 2022, TABLE 1004.5)

USE	AREA	COURTS	S.F./OCC. OCC.	OCC.
INDOOR COURTS	-	15	4/COURT	60
OFFICE / RECEPTION	3,310	-	SF/100	34
STORAGE	1,456	-	SF/300	5
ACCESSORY	1,570	-	SF/0	0
TOTAL	35,530	-	-	99

THE HUB PICKLEBALL

OCCUPANT LOAD CALCULATION (CBC 2022, TABLE 1004.5)

USE	AREA	COURTS	S.F./OCC. OCC.	OCC.
PICKLEBALL COURTS	37,240	20	18 FULL SIZE COURTS @ 4 OCC. EA. = 72 OCC. 2 HALF SIZE COURTS @ 2 OCC. EA. = 4 OCC.	76
BUSINESS AREA (AREAS SURROUNDING COURTS)	-	-	18 AERONAUTICAL CHAIRS @ 1 OCC. EA. = 18 OCC. 5 COUCHES @ 6 OCC. EA. = 30 OCC.	48
OFFICE & BREAKROOM	1,132	-	1/EACH	3
RECEPTION	584	-	SF/150	4
STORAGE/ UTILITY AREA	5,099	-	SF/300	17
ACCESSORY - RESTROOMS	516	-	SF/0	0
SEATING ROOM	-	-	1 COUCHES @ 2 OCC. EA. = 2 OCC. 2 TABLES @ 4 OCC. EA. = 8 OCC.	14
TOTAL	57,316	20	-	162

USE	AREA	COURTS	OCCUPANT LOAD
THE HUB PICKLEBALL	57,316	20	162
BINTANG BADMINTON	35,530	15	99
TOTAL	92,846	35	261

PLUMBING FACILITY CALCULATION (CPC 2022, TABLE 422.1)

	REQUIRED		EXISTING	
	MALE	FEMALE	MALE	FEMALE
WATER CLOSETS	1	3	2	3
URINAL	1	-	1	1
LAVATORY	1	1	2	2
DRINKING FOUNTAIN	1	-	2	-
SERVICE/ MOP SINK	1	-	0	-

ACCESSIBILITY NOTE

SYMBOL INDICATES EXISTING ACCESSIBLE PATH OF TRAVEL THROUGHOUT PROPOSED TENANT AREAS.
 SEE SHEET G004 FOR REQUIRED INTERIOR ACCESSIBLE SIGNAGE REQUIREMENTS.



CLEVELAND
DENVER
GLENDORA
IRVINE
ORLANDO
PHOENIX
SAN FRANCISCO

Seal:



A Project for:

FOR REFERENCE ONLY

THE HUB PICKLEBALL

600 E. HAMILTON AVE.
SUITE 100 AND 150
CAMPBELL, CA 95008

Client:

THE HUB

600 E. HAMILTON AVE.
CAMPBELL, CA 95008
(714) 323-2739

Revisions:

1st PERMIT SUBMITTAL	04/04/2023
BLDG & FIRE DPT COMMENTS	06/27/2023

No.	Description	Date
Project No.:		23.217.10
Drawn By:		
Reviewed By:		
Scale:	AS NOTED	
Date:	03-24-2023	
Filename:	18241-G001	
Sheet Title:	TITLE SHEET AND SHEET INDEX	

Sheet #:

G001

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