



CITY OF CAMPBELL
Community Development Department

August 29, 2014

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

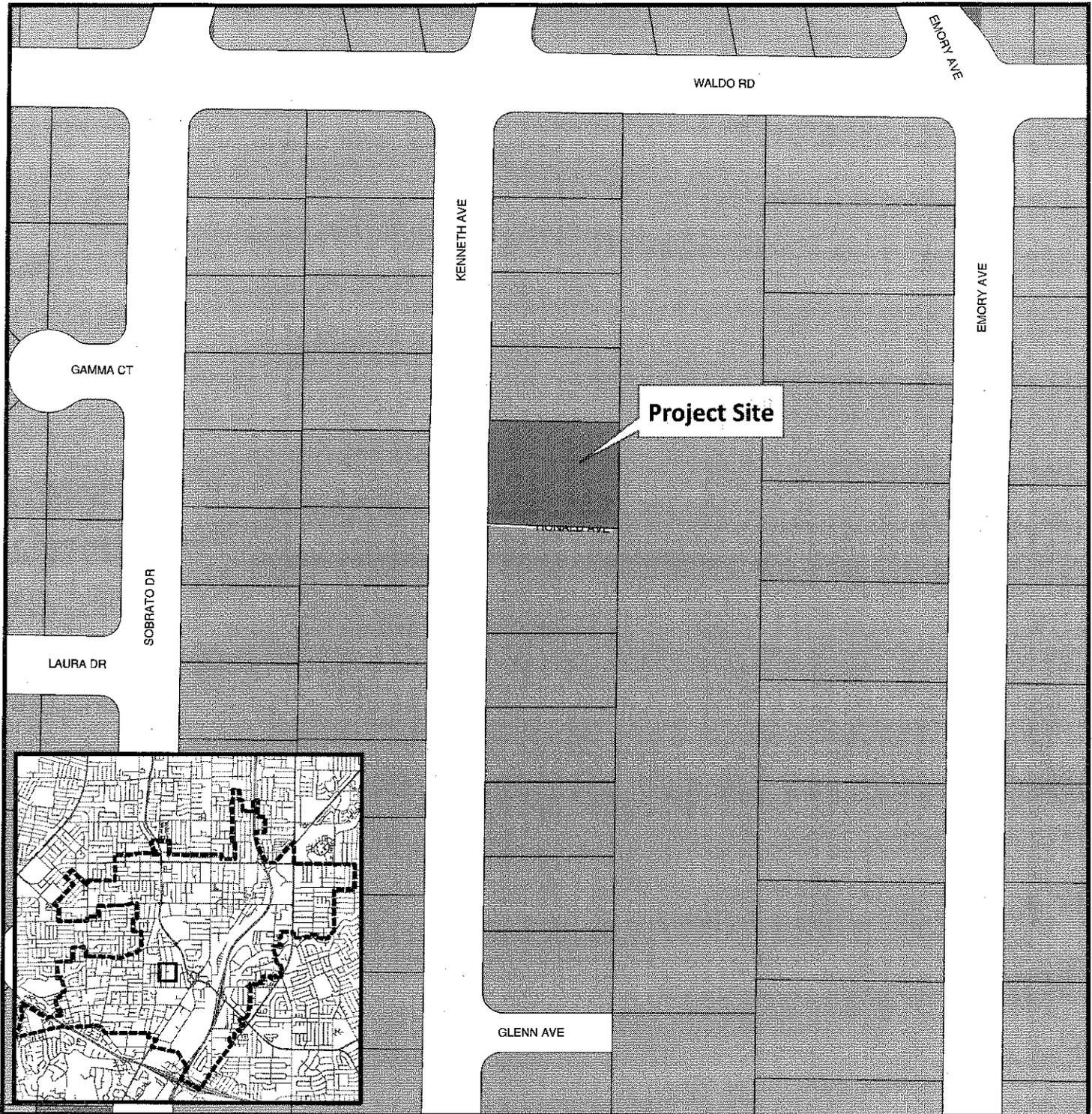
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.: PLN2014-324
Applicant: Alexander and Carol Hanuska
Project Address: 804 Kenneth Ave.
Property Owner: Alexander and Carol Hanuska
Zoning District: R-1-10 – Single Family Residential
General Plan: Low Density Residential
Project Description: 1,092 square-foot first- and second-story addition to an existing two-story single-family residence, including construction of an attached garage to replace an existing carport.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 29, 2014 and ends on September 8, 2014. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on September 8, 2014. The Director will then consider all comments submitted within this time period prior to a decision.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell City Clerk's Office, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Associate Planner in the Community Development Department at (408) 866-2193 or by email at danielf@cityofcampbell.com.

Project Location Map

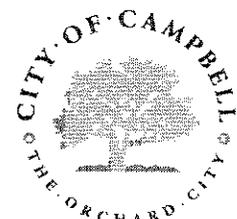
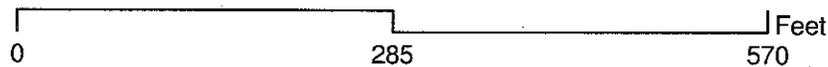


Project Location: 804 Kenneth Ave.

Application Type: Admin. Site/Arch. Permit

Planning File No.: PLN2013-324

Description: 1,092 square-foot first- and second-story addition to an existing two-story single-family residence



Community Development Department
Planning Division

The Hanuska Residence Restoration & Addition

804 Kenneth Avenue
Campbell, California

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2007 CALIFORNIA BUILDING, PLUMBING, MECHANICAL, AND ELECTRICAL CODES AND LOCAL ORDINANCES.
2. VERIFY ALL DIMENSIONS, DO NOT SCALE DRAWINGS
3. ULTIMATE CONCRETE STRENGTH TO BE 2500 P.S.I. AT 28 DAYS.
4. LUMBER: USE DOUGLAS FIR COMMERCIAL GRADE #1 FOR ALL POSTS AND RAYS AND LARGER BEAMS AND COMMERCIAL GRADE #2 FOR ALL 4X AND SMALLER. ALL LUMBER SHALL BE GRADE MARKED.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND TO PROTECT THEM THROUGHOUT THE CONSTRUCTION. CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONNECTION WITH THE PROSECUTION OF THIS WORK.
6. COMPLIANCE SHALL BE MADE WITH THE STATES ENERGY CONSERVATION REQUIREMENTS. FILE REQUIRED DOCUMENTATION ON THE DRAWINGS.
7. DRAWINGS AND WORK MUST SHOW COMPLIANCE WITH GENERAL AND CONVENTIONAL CONSTRUCTION REQUIREMENTS OF DIVISION IV SECTION 2230 OF CBC 2007 AND CHAPTER 18 FOUNDATION REQUIREMENTS

LIST OF DRAWINGS

- T1.0 PROJECT INFORMATION & SITE + LANDSCAPE PLAN
- A2.0 FIRST FLOOR CONSTRUCTION PLAN
- A2.1 SECOND FLOOR CONSTRUCTION PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 EXTERIOR ELEVATIONS
- A4.0 BUILDING SECTIONS

PROJECT DIRECTORY

OWNERS:
ALEXANDER AND CAROL HANUSKA
804 KENNETH AVE
CAMPBELL, CALIFORNIA 95008
TEL: 408.824.8541

JOB ADDRESS:
804 KENNETH AVE
CAMPBELL, CALIFORNIA 95008

PROJECT DESIGNER:
JANE S. LEWIS
2819 OLIVE LANE
SANTA ANA, CA 92706
TEL: 714.658.3881
FAX: 714.503.0753

Site Plan General Notes

1. ALL SITE INFORMATION (IE. SITE WALLS, STEPS, ETC.) IS FOR ILLUSTRATION ONLY.

Landscape Legend

1. EVERGREEN PINE TREE - 31" DIA. TRUNK
2. COASTAL OAK TREE - 11" DIA. TRUNK
3. JACARANDA - 12" DIA. TRUNK
4. MULBERRY TREE - 16.5" DIA. TRUNK
5. MAPLE TREE - 11" DIA. TRUNK - TO BE REMOVED

TABULATIONS

APPROX. LOT AREA: 12,337 SQ. FT.
PROPOSED LOT COVERAGE: 12,168 SF; 17.57%
PROPOSED FAR (3,474 SF): 28.16%
FRONT YARD PAVING COVERAGE (1,011 SF): 43.26%
MAXIMUM HEIGHT (EXISTING RIDGE): APPROX 23'-10" ABO. GFD

BUILDING SIZE:
EXISTING FIRST FLOOR: 1,460 SQ. FT.
NEW 1ST FLOOR ADDITIONS: 277 SQ. FT. -84' SQ. FT.
EXISTING FIRST FLOOR REMOVED: 1,026 SQ. FT.
NEW SECOND FLOOR: 1,026 SQ. FT.
NEW 2ND FLOOR ADDITION: 300 SQ. FT.
TOTAL PROPOSED SQ. FT. 2,974 SQ. FT.

NEW GARAGE: 520 SQ. FT.
NEW CARPORT: 461 SQ. FT.
EXISTING CARPORT TO BE REMOVED: -473 SQ. FT.
FIRST FLOOR REMODEL: 346 SQ. FT.

CODE DATA

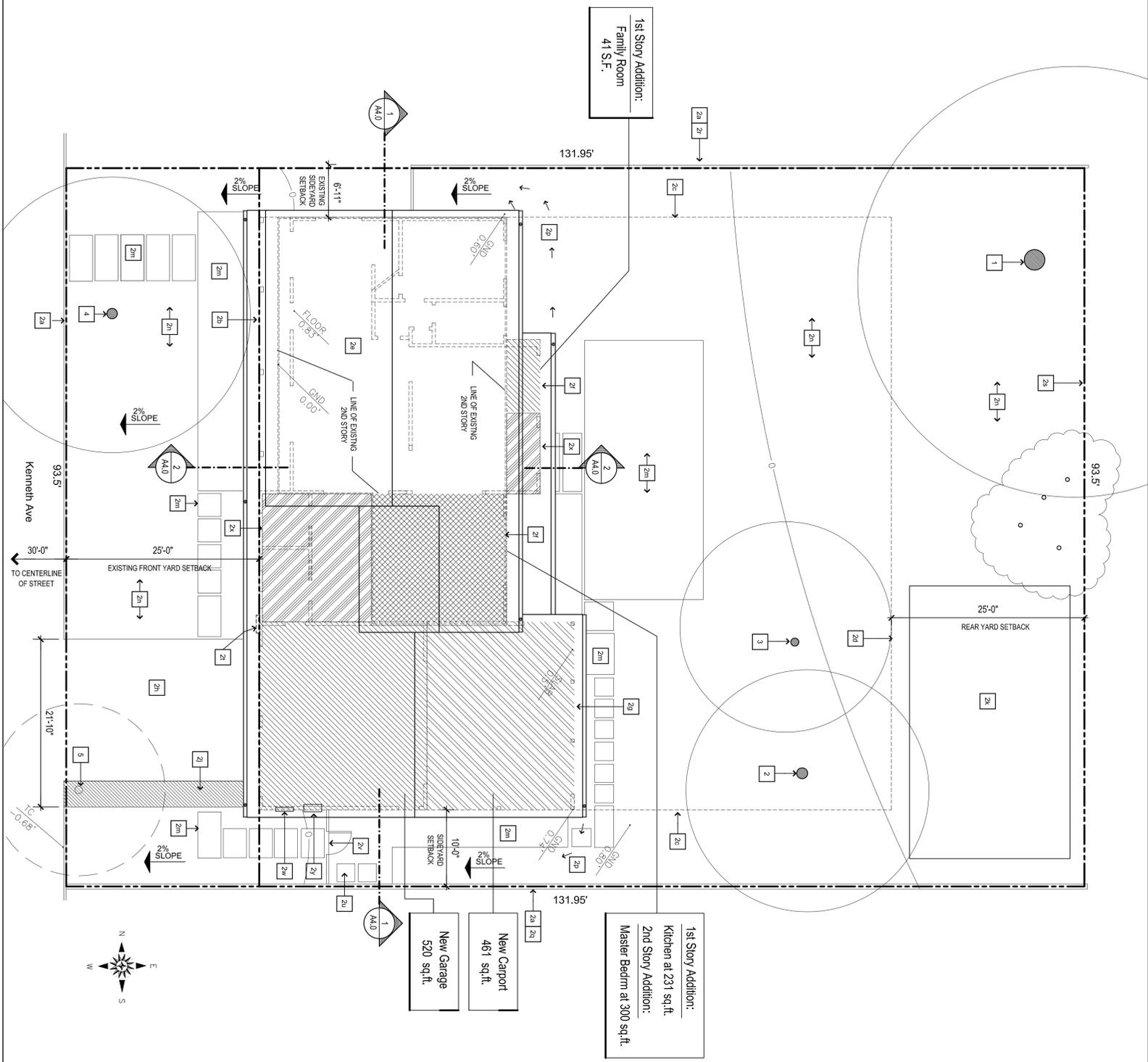
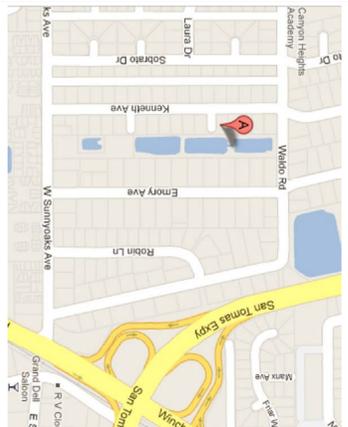
NUMBER OF STORIES: TWO STORIES
TYPE OF CONSTRUCTION: TYPE I - NON RATED
ZONING DESIGNATION: R-1-10
LEGAL DESCRIPTION: LOT 23, TRACT 331
ASSESSORS PARCEL NO.: APN 404-50-080

ALL WORK SHALL CONFORM TO THE 2010 EDITIONS OF THE CBC, CEC, TIA, CMC, CPC CODES WITH LOCAL AMENDMENTS.

Site Plan Keynotes

- 2a EXISTING PROPERTY LINE
- 2b LINE OF 25'-0" FRONT YARD SETBACK
- 2c LINE OF 5'-0" SIDE YARD SETBACK
- 2d LINE OF 20'-0" REAR YARD SETBACK
- 2e EXISTING HOUSE
- 2f AREA OF PROPOSED ADDITION
- 2g AREA OF NEW GARAGE
- 2h EXISTING CONCRETE DRIVEWAY TO BE REPLACED WITH NEW CONCRETE
- 2i AREA OF CONCRETE DRIVEWAY EXPANSION
- 2j EXISTING CONCRETE PATIO
- 2k NEW CONCRETE PATIO
- 2l AREA OF EXISTING LANDSCAPE
- 2m LINE OF ROOF DRAINAGE - MAINTAIN 2% SLOPE TO STREET
- 2n EXISTING 6'-0" H CONCRETE WALL
- 2o EXISTING 6'-0" H WOOD FENCE
- 2p EXISTING 6'-0" H CHAIN LINK FENCE
- 2q EXISTING ELECTRIC METERS TO BE RELOCATED
- 2r TRASH LOCATION
- 2s 6'-0" WOOD FENCE WITH SERVICE GATE
- 2t NEW ELECTRIC METER LOCATION
- 2u AREA OF 1ST FLOOR INTERIOR REMODEL
- 2v RECESSED SPRINKLER SHUT OFF VALVE FOR RAS SPRINKLER SYSTEM

VICINITY MAP



Site + Landscape Plan

SCALE: 1/8" = 1'-0"

STEICHEN
LEWIS DESIGNS

SANTA ANA, CA
T 714.558.3981
F 714.503.0753
WWW.STEICHENLEWISDESIGNS.COM

The
Hanuska
Residence
Addition &
Remodel

804 Kenneth Avenue
Campbell
California
95008

Project
Information
Site +
Landscape
Plan

project: Hanuska
plot date: 7.28.2014
bldg. submitted:
bid issue:
revision:
revision:
revision

T1.0

The
Hanuska
Residence
Addition &
Remodel

804 Kenneth Ave
Campbell
California
95008

1st Floor
Plan

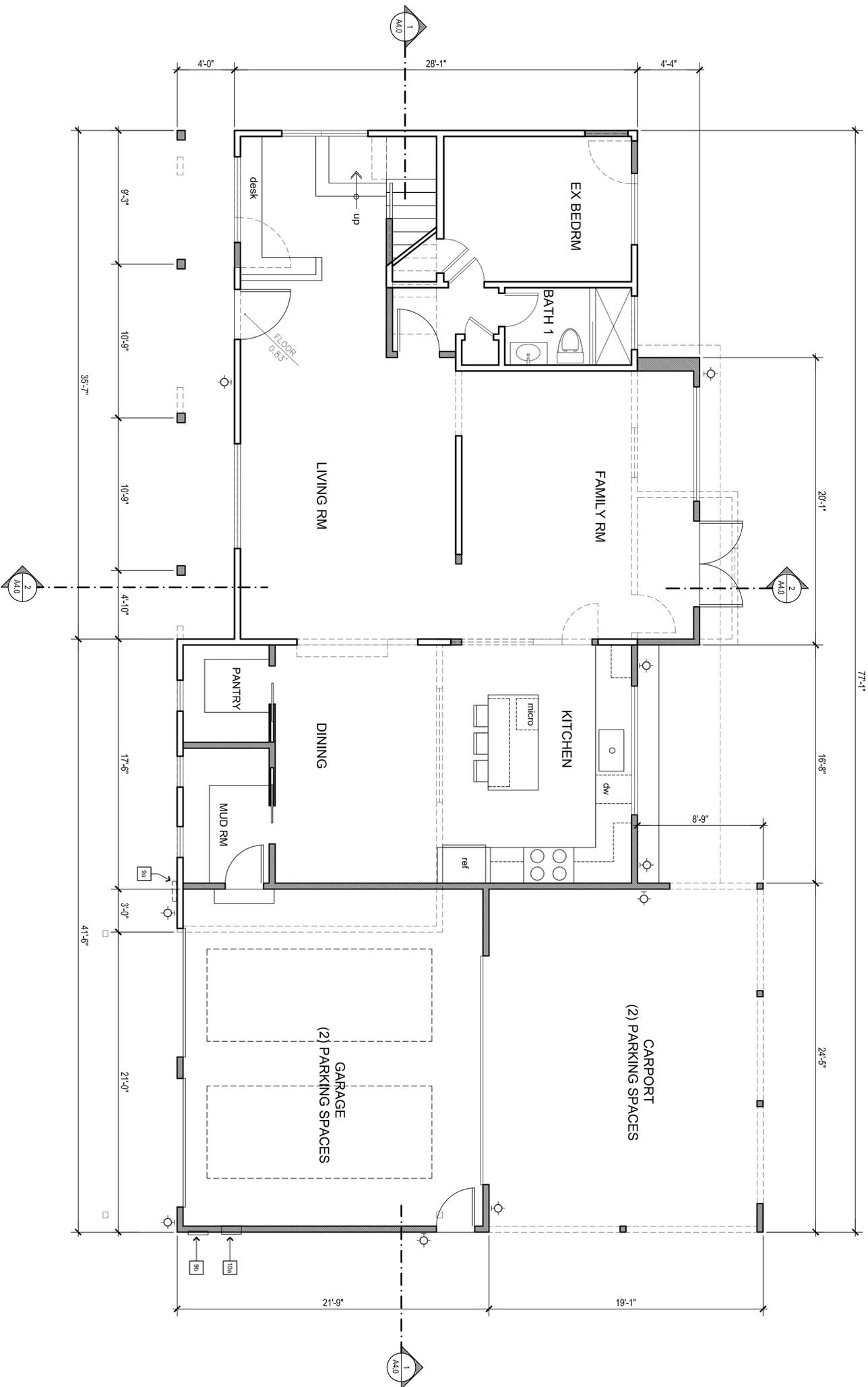
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1/18

project Hanuska
plot date 7.28.2014
b.d. submitted
bid issue
construction
revision
revision
revision

sheet

A2.0



Proposed First Floor Plan

SCALE: 1/4"=1'-0"

1

- EXTERIOR WALL MOUNTED SCONCE
- 9. Electrical
 - 9a EXISTING ELECTRICAL PANEL LOCATION TO BE RELOCATED
 - 9b NEW ELECTRICAL PANEL LOCATION
- 10. Specialties
 - 10a NEW RESIDENTIAL SPRINKLER SYSTEM SHUT OFF VALVE

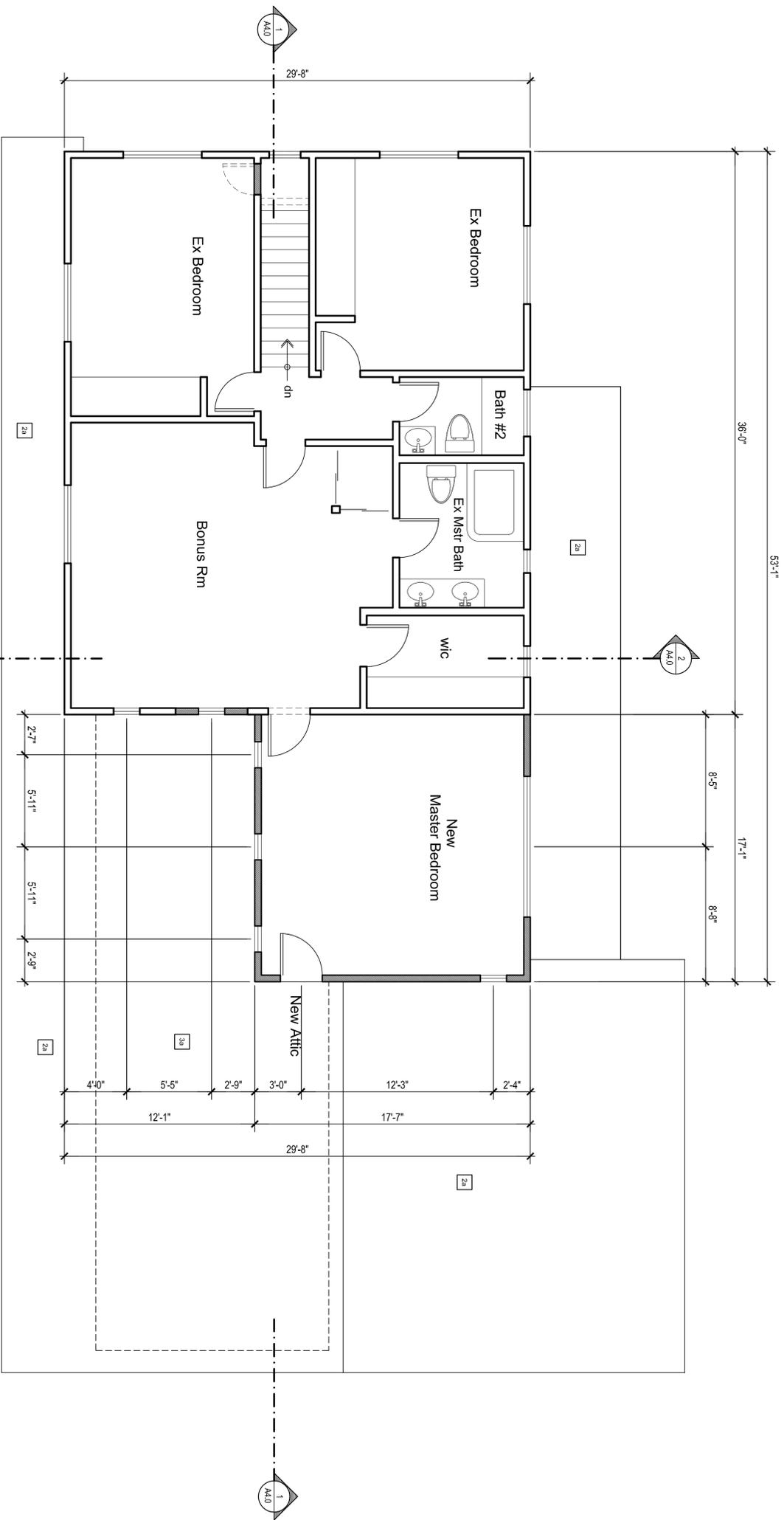
- EXISTING PARTITION TO REMAIN
- NEW PARTITION TO BE CONSTRUCTED
- EXISTING WALL OR ITEM TO BE REMOVED
- 1. ALL PLUMBING WALLS TO BE FRAMED WITH A 2 X 6 MIN STUDS
- 2. REFER TO THE STRUCTURAL DRAWINGS FOR ALL 2 X 6 BEAMS AND SHEAR WALLS.

Floor Plan Keynotes

Wall Legend and Notes



project	Hanuska
plot date	7/26/2014
by: steichlen	
bid issue	
construction	
revision	
revision	
revision	



Proposed Second Floor Plan

SCALE: 1/4"=1'-0"

1

- 2. Exterior
- 2a. ROOF BELOW
- 3. Interior
- 3a. ATTIC AREA

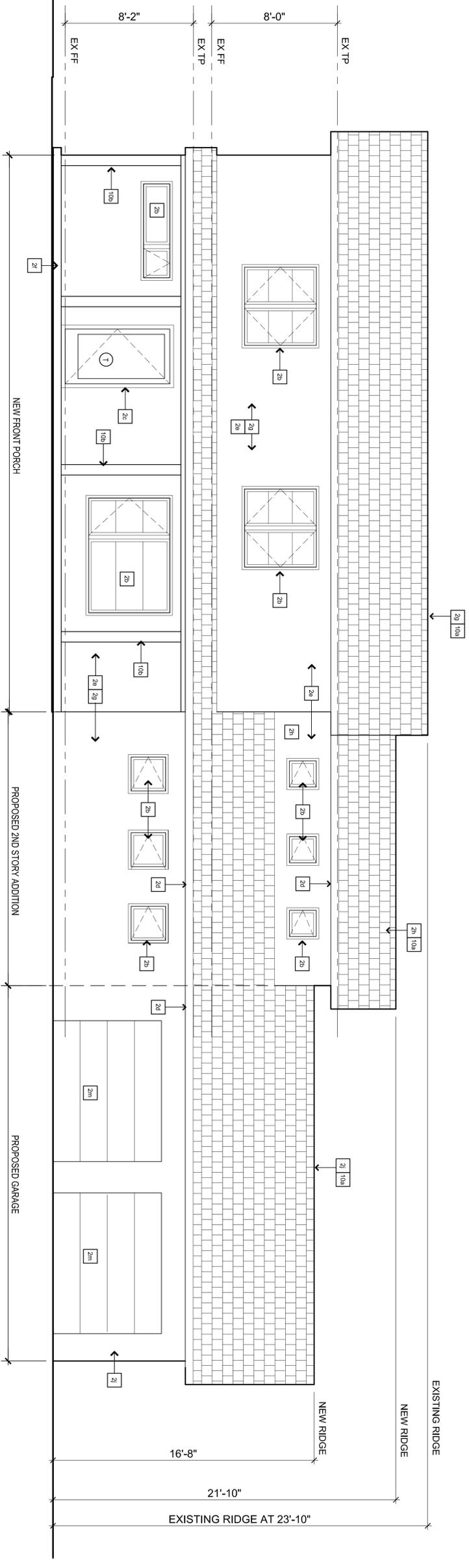
- EXISTING PARTITION TO REMAIN
 - NEW PARTITION TO BE CONSTRUCTED
 - EXISTING WALL OR FLOOR TO BE REMOVED
1. ALL PLUMBING WALLS TO BE FROLED WITH A 2x4 MIN STUDS
ALL OTHER WALLS ARE 2x4 FROLED WALLS UNLESS NOTED OTHERWISE
2. REFER TO THE STRUCTURAL DRAWINGS FOR ALL 2x6 BEARING AND SIEAR WALLS.

Floor Plan Keynotes

Wall Legend and Notes



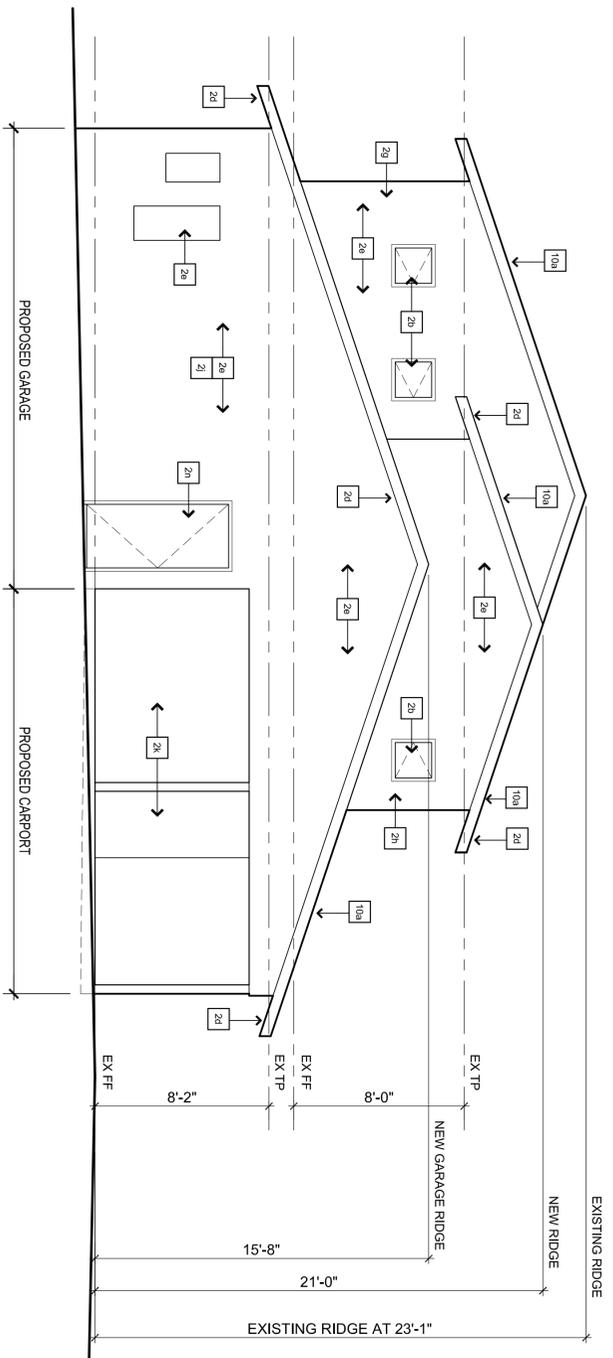
Project	Hanuska
Plot Date	7/28/2014
by: d. schmitt	
revision	
bid issue	
construction	
revision	
revision	
revision	



Proposed Front (West) Elevation

SCALE: 1/4"=1'-0"

2



Proposed South Elevation

SCALE: 1/4"=1'-0"

1

Exterior Elev. Keynotes

- 2 Exterior**
- 2a EXISTING WINDOW
 - 2b NEW CLEAR ANODIZED MIL GARD ALUMINUM WINDOW
 - 2c NEW SINGLE LITE WOOD ENTRY DOOR
 - 2d NEW GARAGE DOOR
 - 2e NEW PAINT FINISH TO MATCH EXISTING
 - 2f NEW SMOOTH STUCCO
 - 2g NEW GARAGE ADDITION
 - 2h EXISTING EXTERIOR PORCH
 - 2i EXISTING HOUSE TO BE MAINT
 - 2j NEW 2ND FLOOR ADDITION
 - 2k NEW GARAGE ADDITION
 - 2l RECESSED FIRE SPRINKLER SHUT OFF VALVE
 - 2m NEW ALUMINUM ROLL UP GARAGE DOOR
 - 2n NEW WOOD DOOR
 - 2o NEW WOOD DOOR
- 10 Specialties**
- 10a LIGHTWEIGHT ASPHALT SHINGLE ROOF
 - 10b NEW WOOD COLUMN
 - 10c NEW WOOD COLUMN
- NOTE: 1 INDICATES TEMPERED GLASS
NOTE: PROVIDE 2 LAYERS OF TYPE "D" FELT PAPER OVER PLYWOOD SHEAR WALLS.

The Hanuska Residence Addition & Remodel

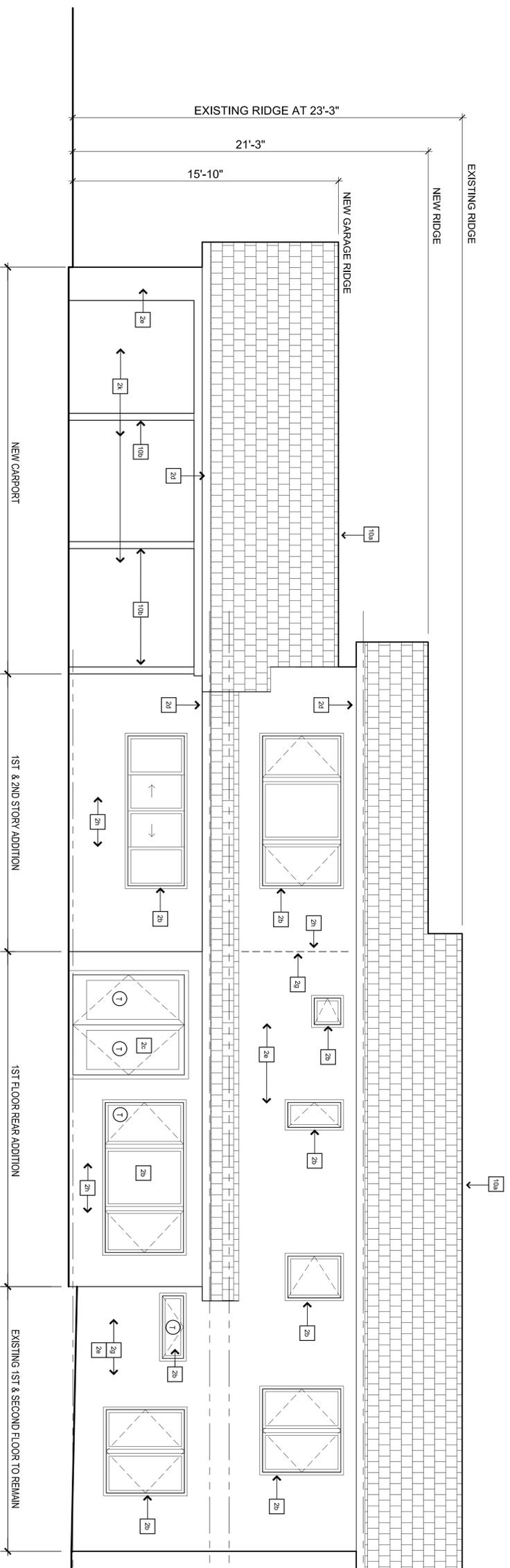
804 Kenneth Ave
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Exterior Elevations



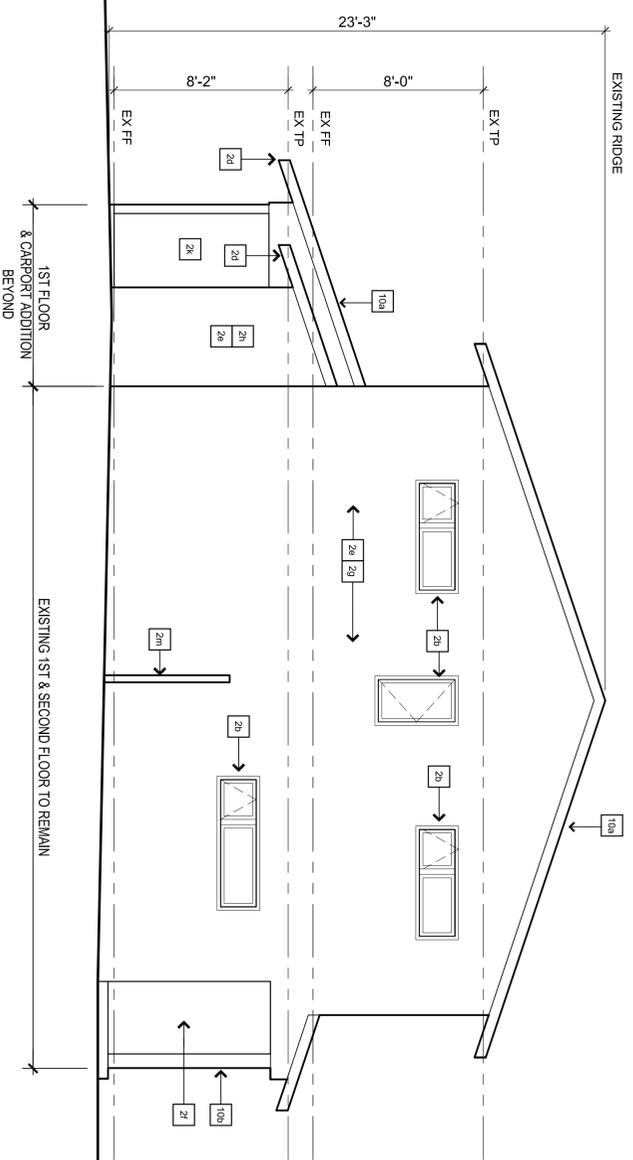
project: Hanuska
plot date: 7/28/2014
b.d. submitted:
bid issue:
construction:
revision:
revision:
revision:

A3.1



Proposed Rear (East) Elevation

SCALE: 1/4"=1'-0"



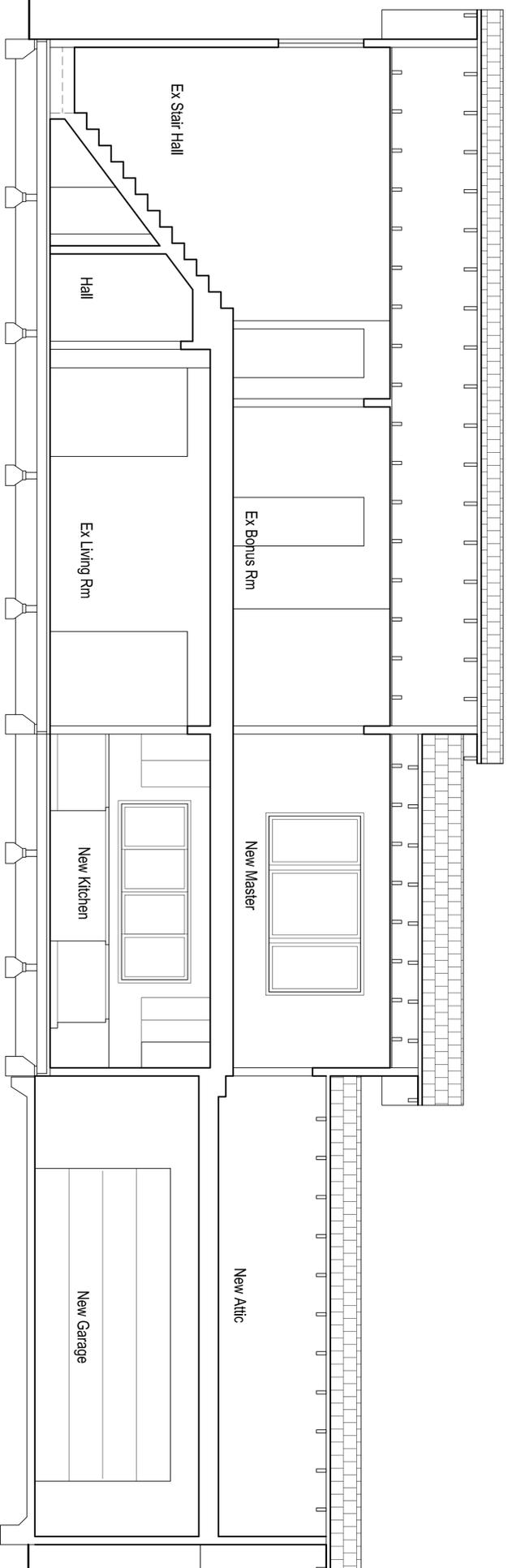
Proposed North Elevation

SCALE: 1/4"=1'-0"

- 2 Exterior**
- 2a) NOT USED
 - 2b) NEW CLEAR ANODIZED MIL GARD ALUMINUM WINDOW
 - 2c) NEW SINGLE LITE WOOD FRENCH DOOR
 - 2d) PAINT COLOR: OFF WHITE - Benjamin Moore ROC-137
 - 2e) NEW FAVORITE DETAILS TO MATCH EXISTING
 - 2f) PAINT COLOR: OFF WHITE - Benjamin Moore ROC-137
 - 2g) NEW SIDING: STUCCO
 - 2h) PAINT COLOR: LT GRAY - Benjamin Moore # AF-680 1/2 HR
 - 2i) EXISTING EXTENSION PORCH
 - 2j) EXISTING HOUSE TO REMAIN
 - 2k) NEW 2ND FLOOR ADDITION
 - 2l) NEW GARAGE ADDITION
 - 2m) EXISTING 6\"/>

- 10 Specialties**
- 10a) LIGHTWEIGHT ASPHALT SHINGLE ROOF
 - 10b) NEW WOOD COLUMN
 - 10c) PAINT COLOR: OFF WHITE - Benjamin Moore ROC-137

NOTE: 1) INDICATES TEMPERED GLASS
2) PROVIDE 2 LAYERS OF TYPE 'D' FELT PAPER OVER PLYWOOD SHEAR WALLS.



Longitudinal Section looking East

SCALE: 1/4"=1'-0"

2

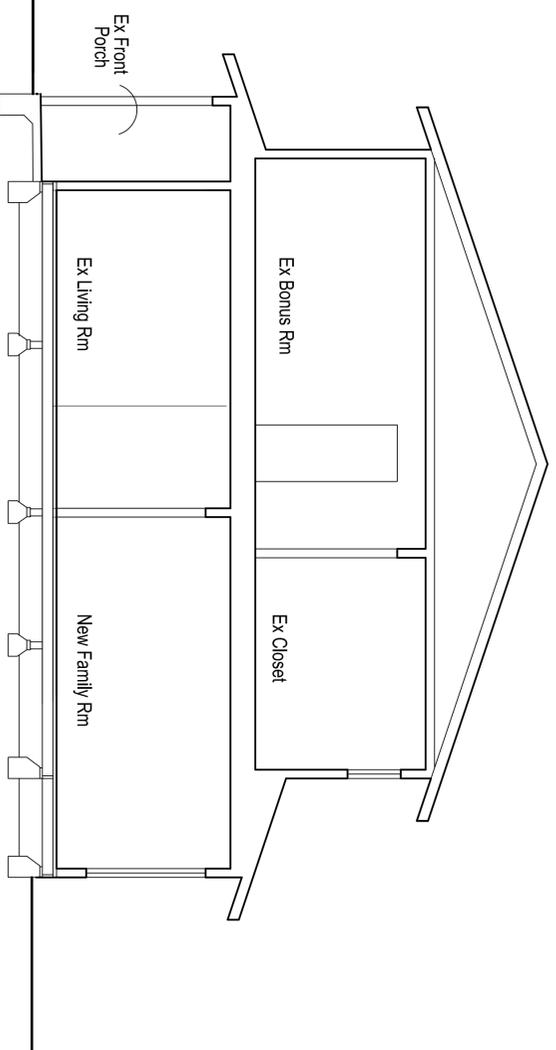


steel
glass

Sections



stamp



Cross Section looking North

SCALE: 1/4"=1'-0"

1

Section Keynotes



sheet

project _____ Hanuska
plot date _____ 7/28/2014
b.d. submitted _____
bid issue _____
construction _____
revision _____
revision _____
revision _____