



**CITY OF CAMPBELL**  
Community Development Department

September 12, 2014

**NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT and  
PARKING MODIFICATION PERMIT**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

**File No.:** PLN2014-219  
**Applicant:** Ryan Leong  
**Project Address:** 2125 S. Winchester Blvd., Suite 130 (Merrill Gardens)  
**Property Owner:** Merrill Gardens at Campbell, LLC  
**Zoning District:** P-D (Planned Development)  
**General Plan:** Central Commercial  
**Project Description:** Establishment of a new martial arts studio (Brazilian Jiu Jitsu) within an existing mixed-use development.

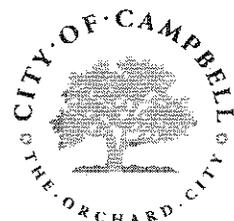
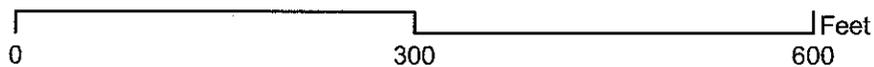
This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on September 12, 2014, and ends on September 22, 2014. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **September 22, 2014**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell City Clerk's Office, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Mariya Hodge, Project Planner, in the Community Development Department, at (408) 866-2144 or by email [MariyaH@cityofcampbell.com](mailto:MariyaH@cityofcampbell.com).

# Project Location Map



**Project Location:** 2125 S. Winchester Blvd., Ste. 130  
**Application Type:** Admin. Planned Development Permit  
**Planning File No.:** PLN2014-219  
**Description:** Establishment of a new martial arts studio



Community Development Department  
Planning Division

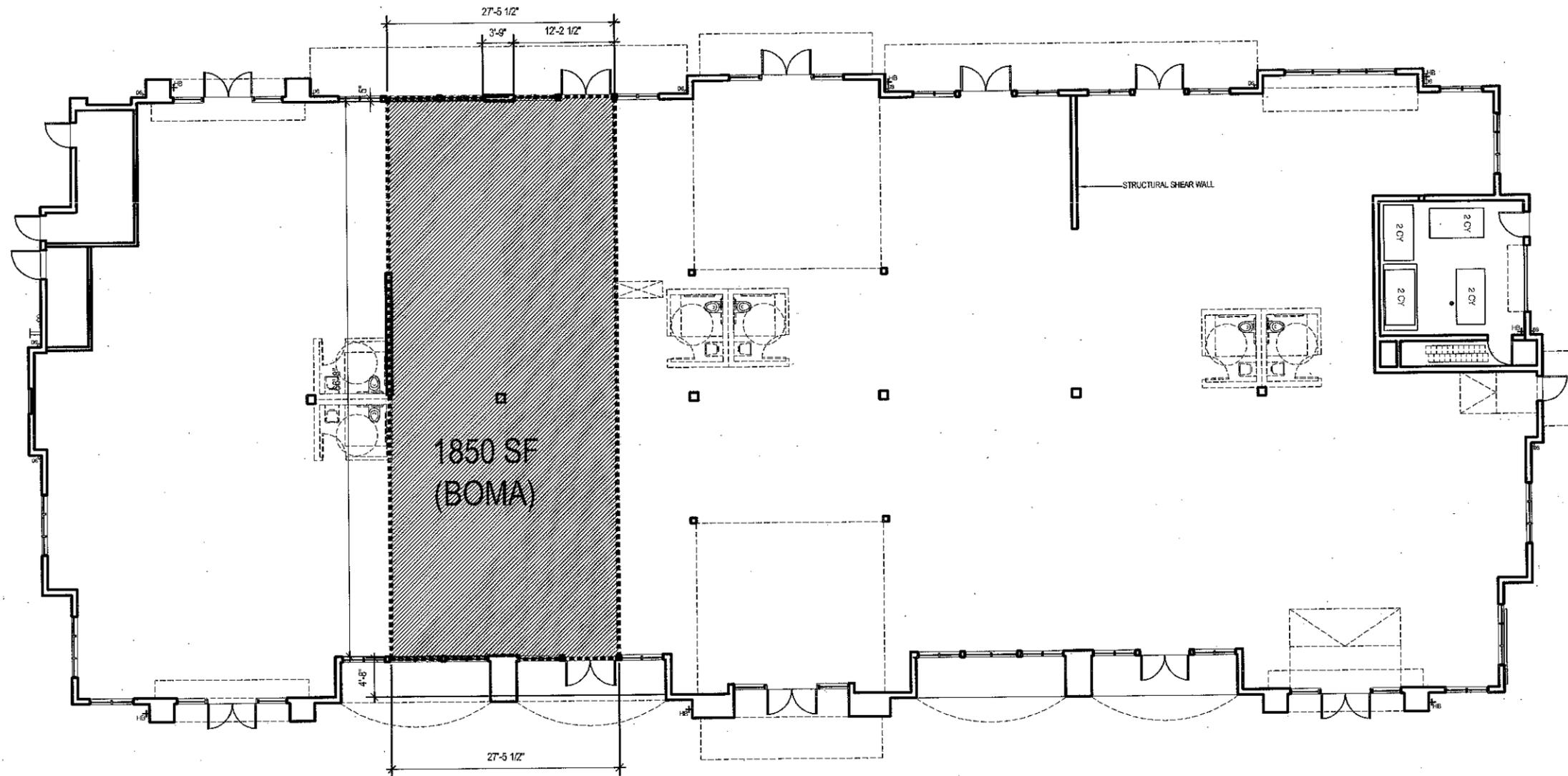
## Project Description

2125 S. Winchester Blvd. #130

Palaestra Corporation, d/b/a Samurai Brazilian, is a martial arts school offering instruction to adults and children in Brazilian Jiu Jitsu and other related martial arts (primarily Judo and Wrestling). We are committed to catering specifically to families and children by providing instruction in a professional, safe, and friendly environment. In terms of traffic generation, we intend eventually to provide morning (7-8:30 am), afterschool (3:30-5 pm) and evening (6-8 pm) classes, six days per week, for between 10-20 students per class. Noise generation will be minimal. We anticipate hiring 2 to 3 instructors to meet student demand during the first year.

- We will be closed on Sundays.
- The typical adult class will be 1.5 hours; the typical kids class will be 1 hour.
- During weekdays, there is usually about an hour (or more) between classes. On Saturdays, there will be 30 minutes between classes. Our weekday schedule will be adult morning classes between 7-8:30am; adult afternoon class between 11:30-1:30; kids classes at 2:30-3:30 and 4-5pm; and adult evening classes at 6:30-9:00. The Saturday schedule will be kids classes at 9-10; 10:30-11:30; 12-1 and 1:30-2:30.
- Only one class will be held at a time.
- During weekdays, we will offer private and small group lessons between class times.
- Outside of class hours, we anticipate needing approximately 30-45 minutes to clean the mats and bathroom/shower areas each night.
- The tenant space is primarily open area and the two unlabeled areas will be showers. There is no office/backroom area.
- The tenant will be building out everything other than the concrete slab and demising walls.

PARKING LOT

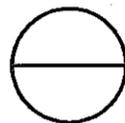


WINCHESTER

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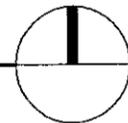
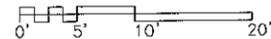
AUG 06 2014

CITY OF CAMPBELL  
PLANNING DEPT.



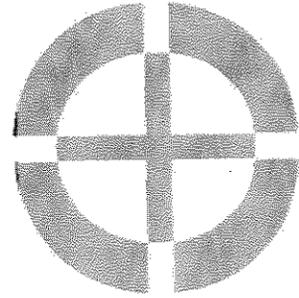
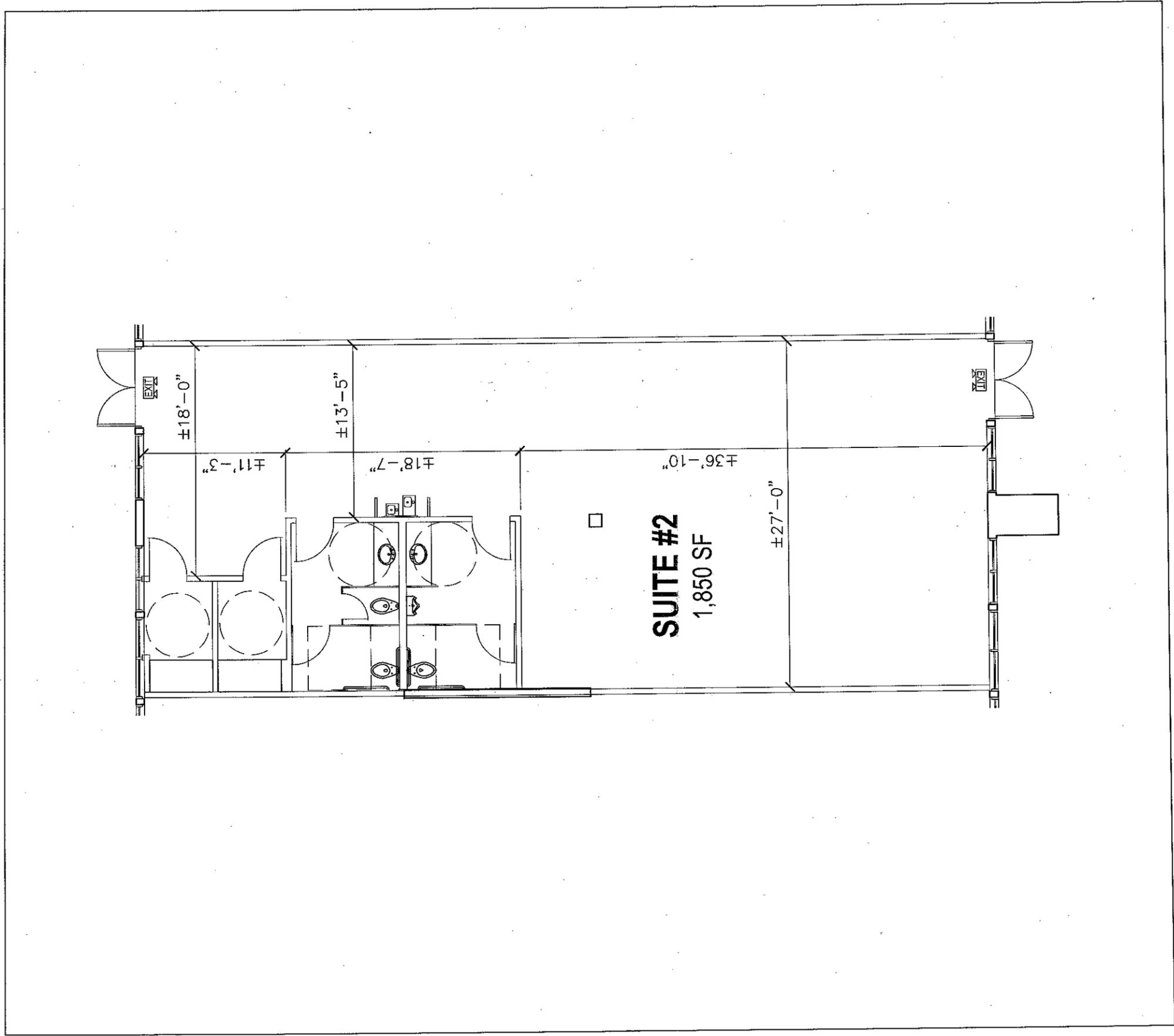
BLDG A - CENTER RETAIL SPACE #2

SCALE : 1" = 20'-0"



MERRILL GARDENS CAMPBELL  
2014-01-29





**JAMES CRAWFORD ARCHITECT**  
 4 North 2nd Street, Suite 580  
 San Jose, CA 95113  
 408.993.2252 james@jbcarchitect.com

JOB : T.B.D.

DRWN: JC

SCALE : 3/32" = 1'-0" PRINTED: 07/15/14

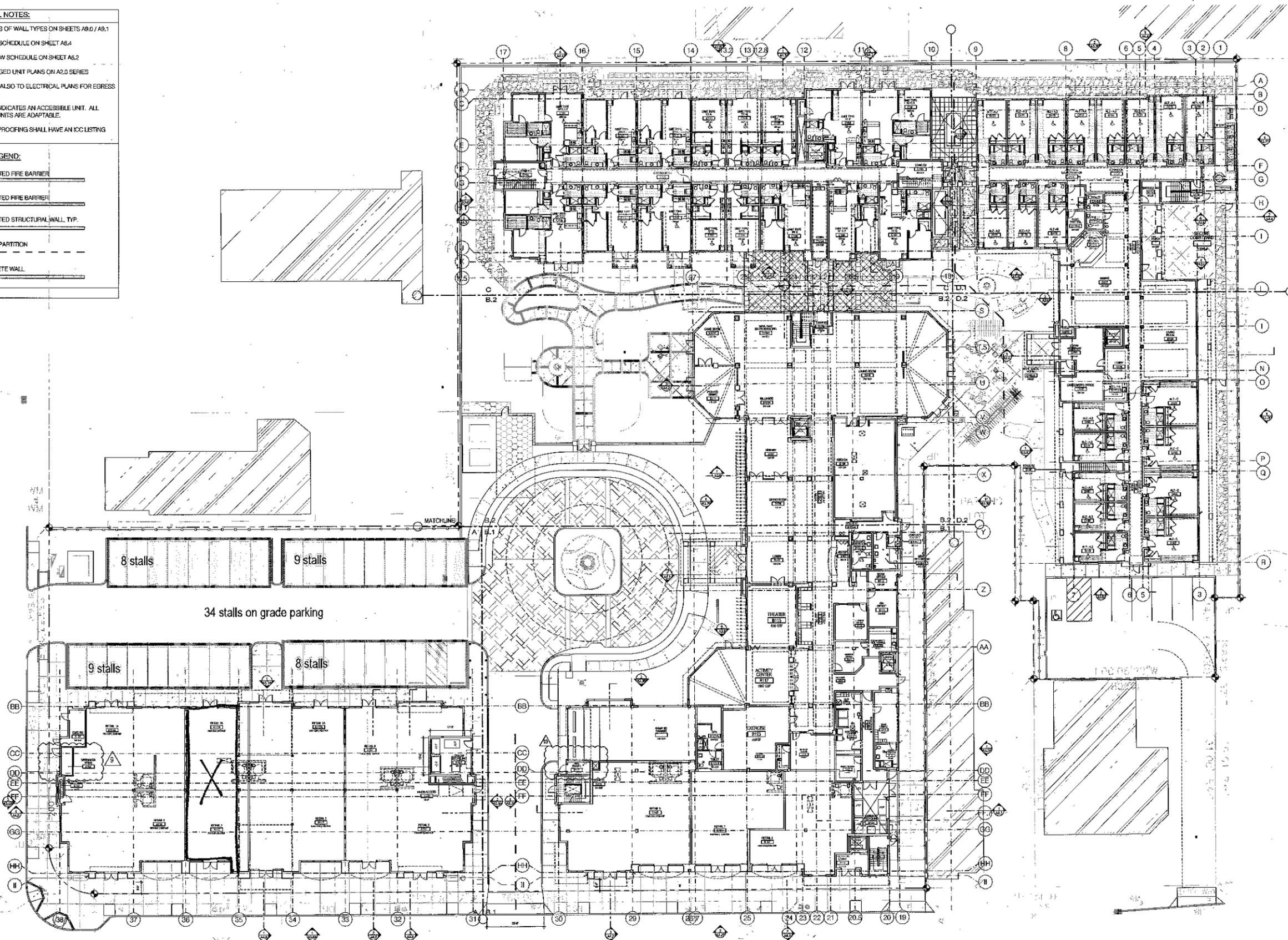
**MERRILL GARDENS**  
**2115 S. WINCHESTER BLVD.**  
**CAMPBELL, CA**  
**SUITE #2**

**GENERAL NOTES:**

1. DETAILS OF WALL TYPES ON SHEETS A9.0 / A9.1
2. DOOR SCHEDULE ON SHEET A8.4
3. WINDOW SCHEDULE ON SHEET A6.2
4. ENLARGED UNIT PLANS ON A2.0 SERIES
5. REFER ALSO TO ELECTRICAL PLANS FOR EGRESS LIGHTING.
6.  INDICATES AN ACCESSIBLE UNIT. ALL UNITS ARE ADAPTABLE.
7. WATERPROOFING SHALL HAVE AN ICC LISTING NUMBER

**WALL LEGEND:**

- 2 HR RATED FIRE BARRIER
- 1 HR RATED FIRE BARRIER
- 1 HR RATED STRUCTURAL WALL TYP.
- SMOKE PARTITION
- CONCRETE WALL



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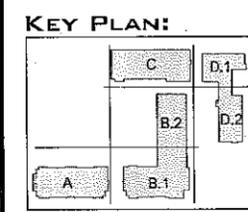


**MERRILL GARDENS  
AT  
CAMPBELL, CA**

2105  
S. WINCHESTER BLVD.  
CAMPBELL, CA  
95008

CITY OF CAMPBELL APPL. NO.  
BLD2009-00718

**KEY PLAN:  
LEVEL C1**



- SUBMITTAL/REVISIONS:**
-  POST PERMIT REV. 6/6/2011
  -  POST PERMIT CORR. 8/5/2011
  -  POST PMT. CORR. 2 8/26/2011
  -  ADDENDUM #3 9/28/2011
  -  ADDENDUM #4 12/14/2011

DATE: 12/14/11  
SCALE: 1"=20'  
DRAWN: \_\_\_\_\_  
JOB #: RGA #11-106

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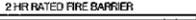
**SHEET  
A1.1**

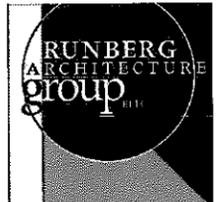
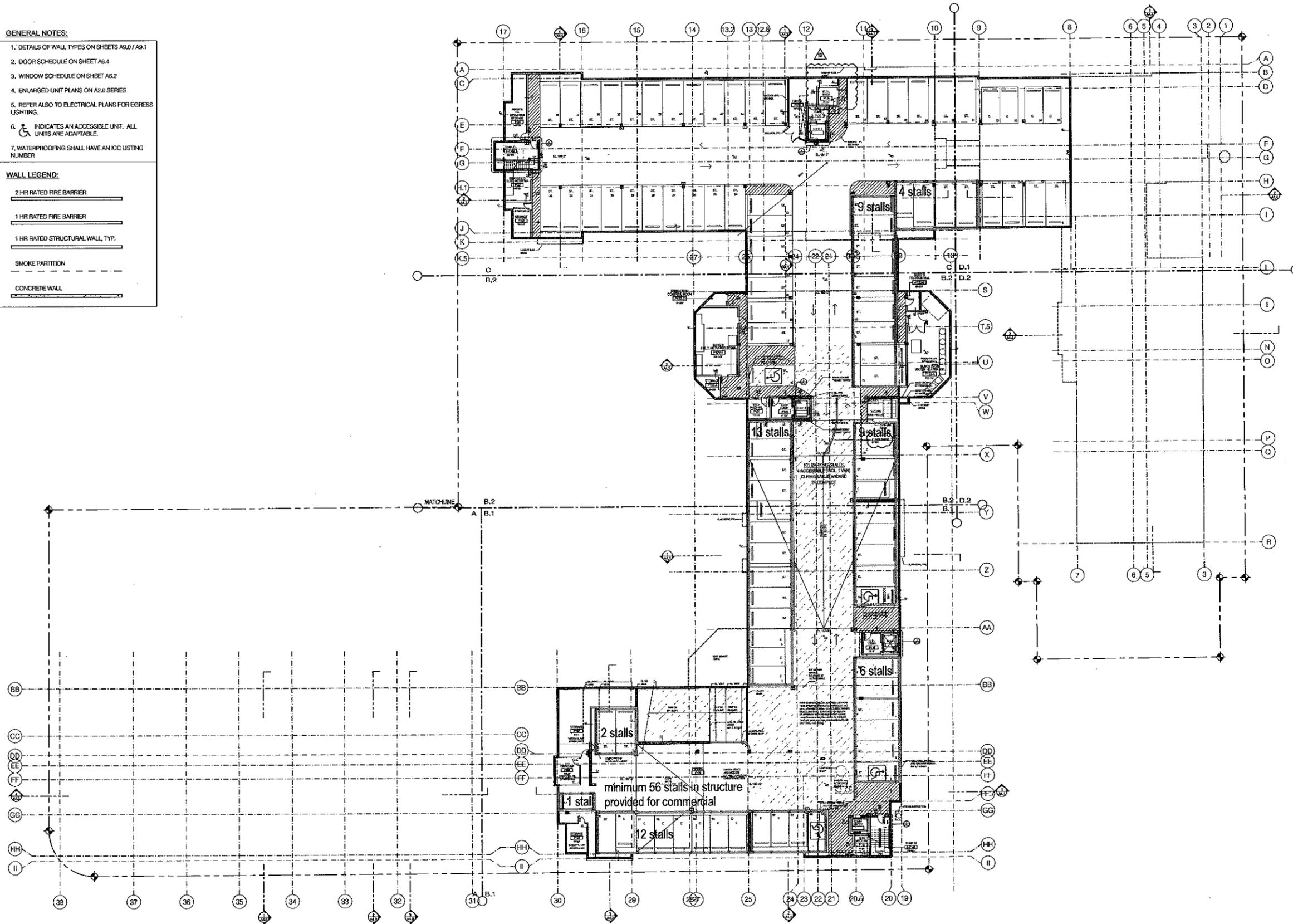
1 KEY PLAN: LEVEL 1  
A1.1 SCALE: 1"=20'

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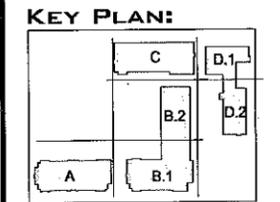
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**2105  
S. WINCHESTER BLVD.  
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DATE: 12/14/11  
SCALE: 1"=20'  
DRAWN: mw  
JOB #: RGA #11-106

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**SHEET  
A1.0**

