



CITY OF CAMPBELL
Community Development Department

December 1, 2014

NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

File No.: PLN2014-293
Applicant: Keith Williams
Project Address: 1195 Bracebridge Ct.
Property Owner: Leon Kopeler
Zoning District: P-D (Planned Development)
General Plan: Low-Medium Density Residential
Project Description: Proposal for a rear/side 355 square-foot addition (first-story) to an attached single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on December 1, 2014 and ends on December 11, 2014. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 11, 2014**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Associate Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

Project Location Map

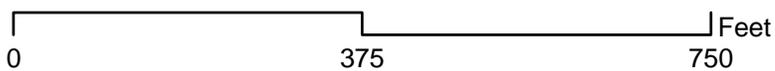


Project Location: 1195 Bracebridge Ct.

Application Type: Admin. Planned Development Permit

Planning File No.: PLN2014-293

Description: 355 square-foot rear/side addition

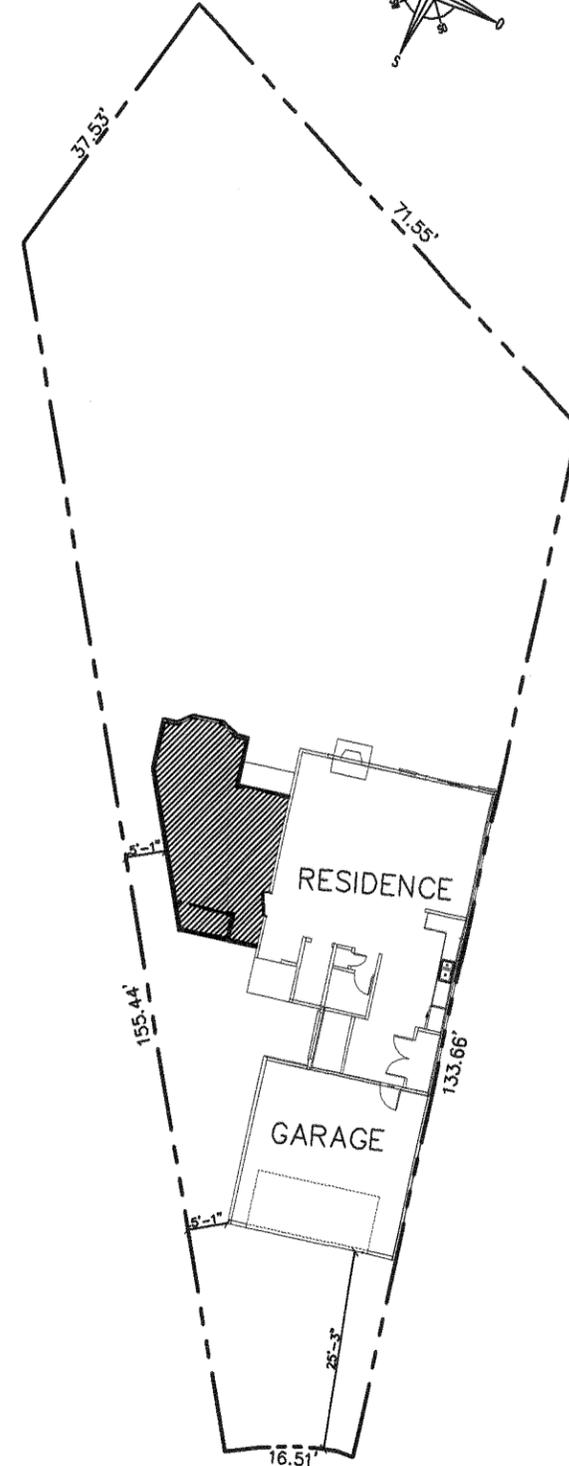
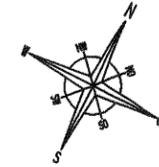


Community Development Department
Planning Division

RECEIVED

OCT 21 2014

CITY OF CAMPBELL
PLANNING DEPT.



GENERAL NOTES

ALL DETAILS AND DIMENSIONS ON THESE DRAWINGS SHALL BE VERIFIED AT THE CONSTRUCTION SITE BY THE CONTRACTOR, AND ANY DISCREPANCIES BETWEEN THE PLAN AND SITE CONDITIONS SHALL BE PROMPTLY REPORTED TO THE DESIGNER OR ENGINEER OF RECORD. SHOULD ANY ERRORS OR INCONSISTENCIES APPEAR OR OCCUR IN THE DRAWING, THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK, SHALL NOTIFY THE OWNER AND DESIGNER OR ENGINEER OF RECORD FOR PROPER ADJUSTMENT, AND IN NO CASE SHALL PROCEED WITH THE WORK IN UNCERTAINTY.

NO CHANGE OR ALTERATION OF DESIGN OR PLAN SHALL BE MADE WITHOUT THE APPROVED CONSENT FROM ENGINEER OF RECORD OR DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR SUCH CHANGES OR ALTERATIONS MADE BY OR AGREED UPON BETWEEN THE OWNER AND CONTRACTOR

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL, COUNTY AND FEDERAL AGENCIES HAVING JURISDICTION. SAFETY METHODS AND TECHNIQUES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IN PROCURING ALL ITEMS USED IN THIS WORK, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE DETAILS REQUIREMENTS OF THE SPECIFICALLY NAMED CODES AND STANDARDS TO VERIFY THAT THE ITEMS PROCURED FOR USE IN THIS WORK MEET OR EXCEED THE SPECIFIED REQUIREMENTS. OWNER APPROVAL IS REQUIRED FOR ALL MATERIAL CHOICES.

DIMENSIONS SHALL TAKE PRECEDENCE OVER THE SCALE ON THE DRAWINGS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON PROJECT.

NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES, AND TYPICAL NOTES

THESE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING AND SHORING FOR LOAD DUE TO CONSTRUCTION EQUIPMENT; ETC.

THE CONTRACTOR IS RESPONSIBLE FOR ALL JOB SITE CONDITION SAFETY OF PROPERTY AND PEOPLE DURING THE COURSE OF THE PROJECT, NOT JUST DURING WORKING HOURS. THE CONTRACTOR SHALL DEFEND AND HOLD HARMLESS THE DESIGNER OR OWNER FROM ANY LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY THROUGH DIRECT NEGLIGENCE OF THE OWNER OR DESIGNER

CALIFORNIA BUILDING CODE 2013
CALIFORNIA MECHANICAL CODE 2013
CALIFORNIA PLUMBING CODE 2013
CALIFORNIA ELECTRIC CODE 2013
CALIFORNIA ENERGY CODE 2013
CALIFORNIA RESIDENTIAL CODE 2013

PROJECT INFORMATION	
APN	406-25-059
ZONING	PD
LOT AREA	7,956
EXISTING 1ST FLOOR LIVING SPACE	1,413
EXISTING 2ND FLOOR LIVING SPACE	1,047
ADDED LIVING SPACE	355
TOTAL LIVING SPACE	3291
GARAGE	476
LOT COVERAGE	1,890
F.A.R.	41.3%

SCOPE OF WORK

ADDING NEW WORKSHOP TO
EXISTING LEFT SIDE OF 2 STORY
HOME AT FIRST FLOOR.

SITE PLAN
3/32" = 1'-0"

REVISIONS	BY

SAN JOSE, CALIF.

DRAFTING AND DESIGNS BY:
WILLIAMS DESIGN
E-MAIL: ADDRESS: KEEFBW@AOL.COM
BUS (408) 971-2116 CELL (408) 667-2446

715 N. FIRST ST. ste. 34

SITE PLAN

ADDITION FOR:
KOPELEV RESIDENCE
1195 BRACEBRIDGE CT.
CAMPBELL, CA

DRAWN JDJC

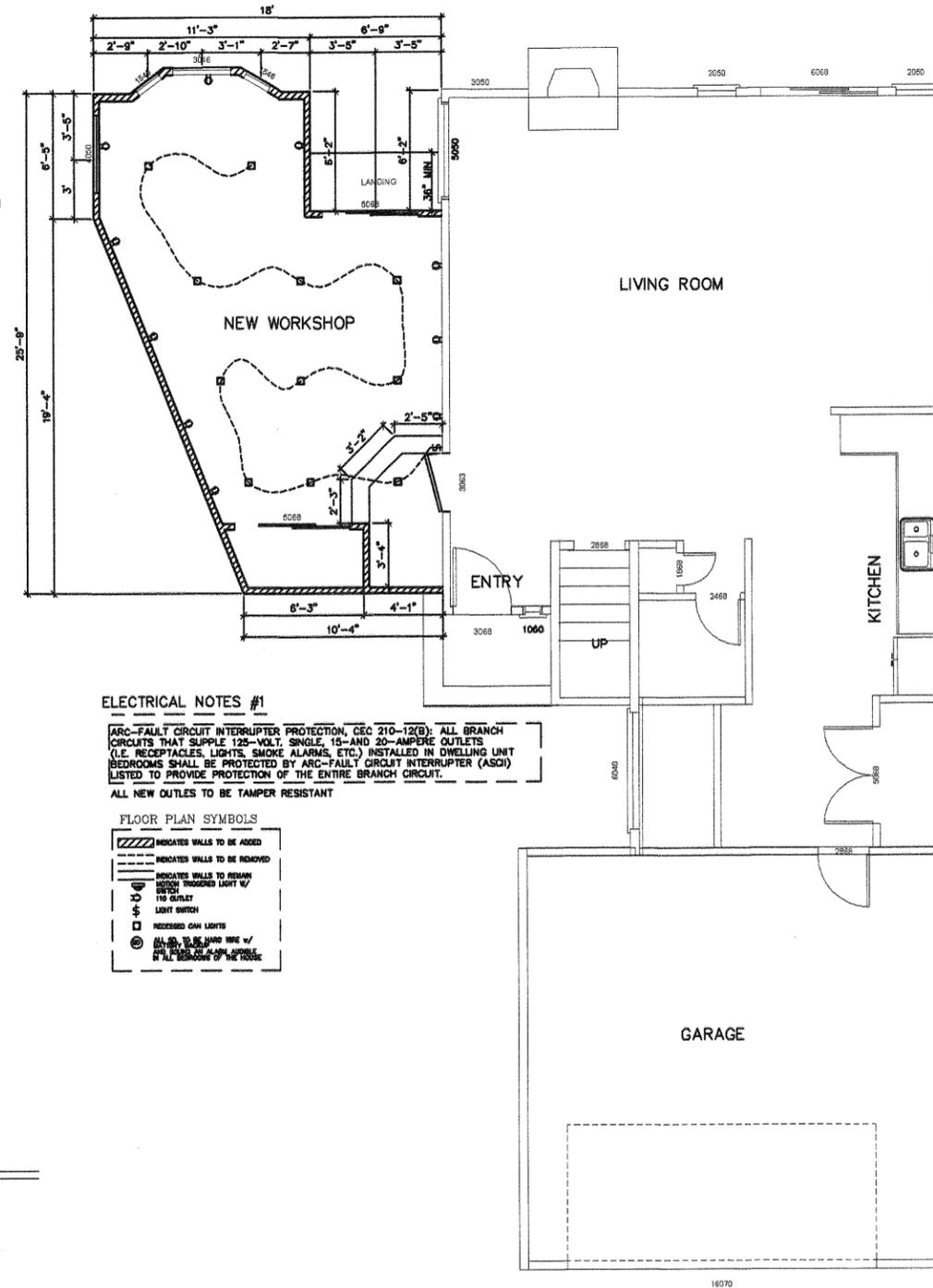
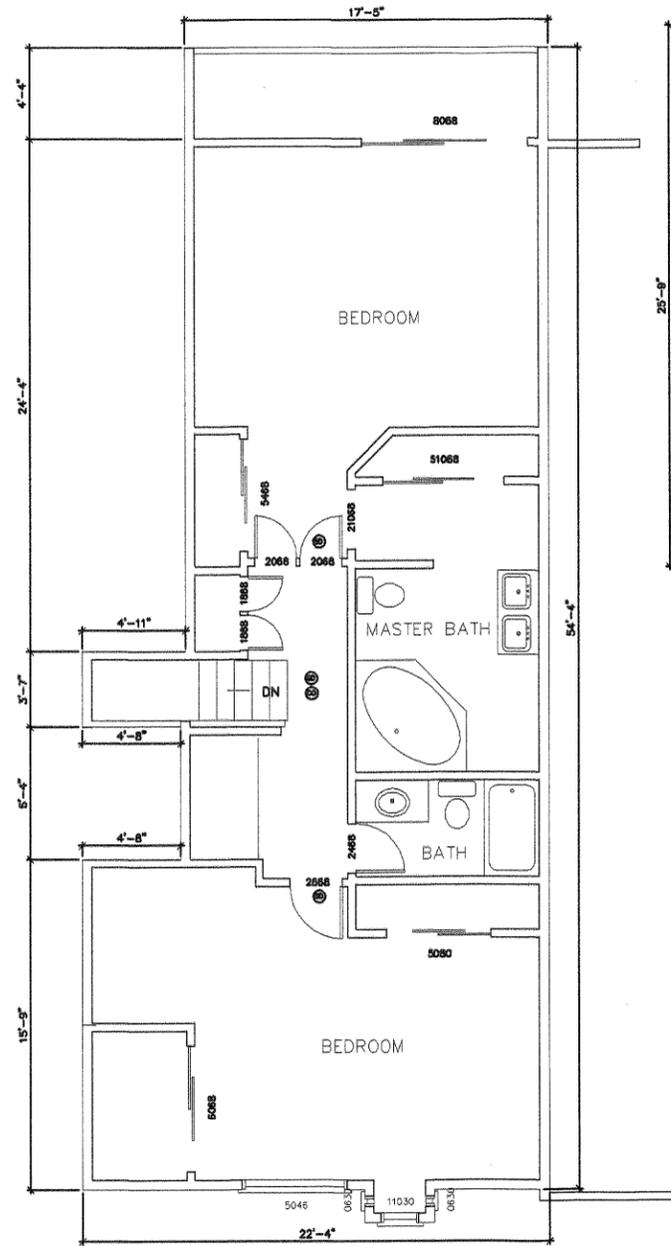
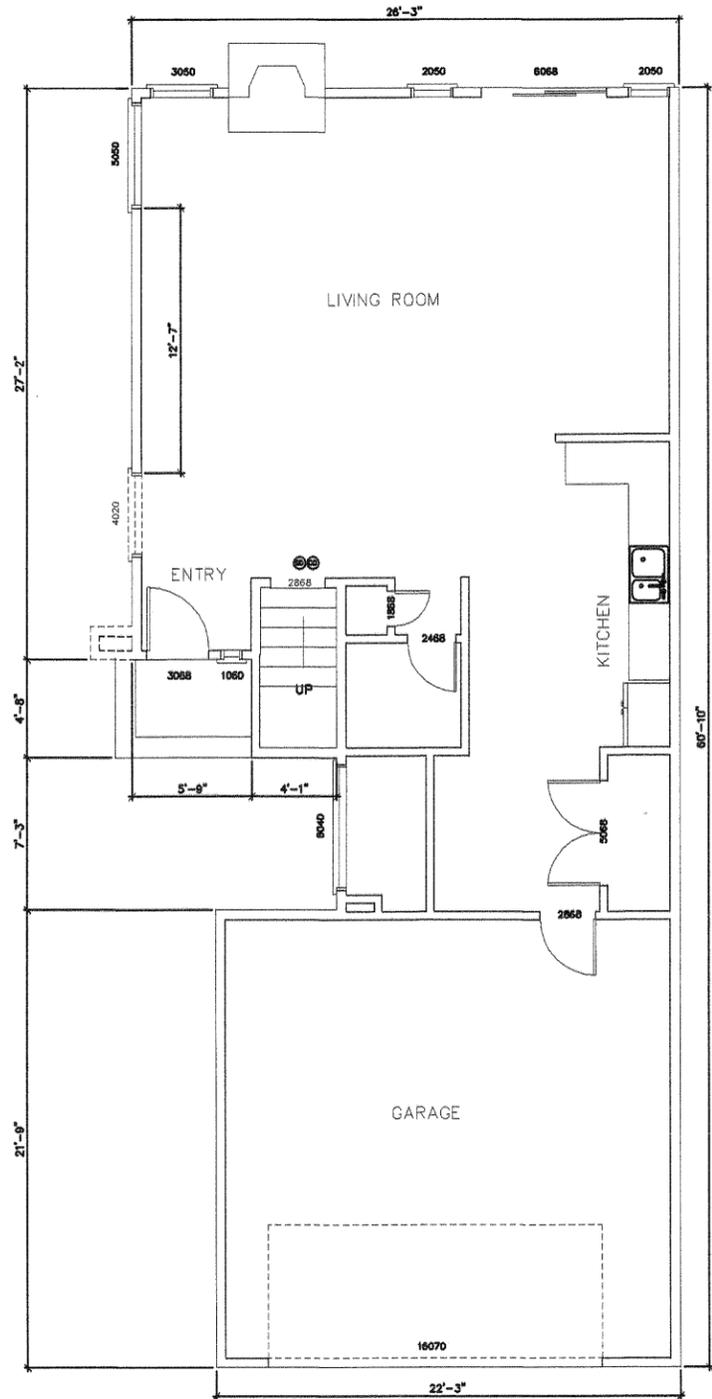
DATE 10/21/14

CHECKED

SCALE AS SHOWN

SHEET #

SP



ELECTRICAL NOTES #1

ARC-FAULT CIRCUIT INTERRUPTER PROTECTION, GEC 210-12(B): ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE, 15- AND 20-AMPERE OUTLETS (I.E. RECEPTACLES, LIGHTS, SMOKE ALARMS, ETC.) INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

ALL NEW OUTLETS TO BE TAMPER RESISTANT

FLOOR PLAN SYMBOLS

- INDICATES WALLS TO BE ADDED
- INDICATES WALLS TO BE REMOVED
- INDICATES WALLS TO REMAIN
- NEW THREADED LIGHT W/ SWITCH
- LIGHT SWITCH
- RECESSED CAN LIGHTS
- ALL TO BE HARD WIRE W/ GFI
- SMOKE ALARM SYMBOLS AT ALL BEDROOMS OF THE HOUSE

REVISIONS	BY

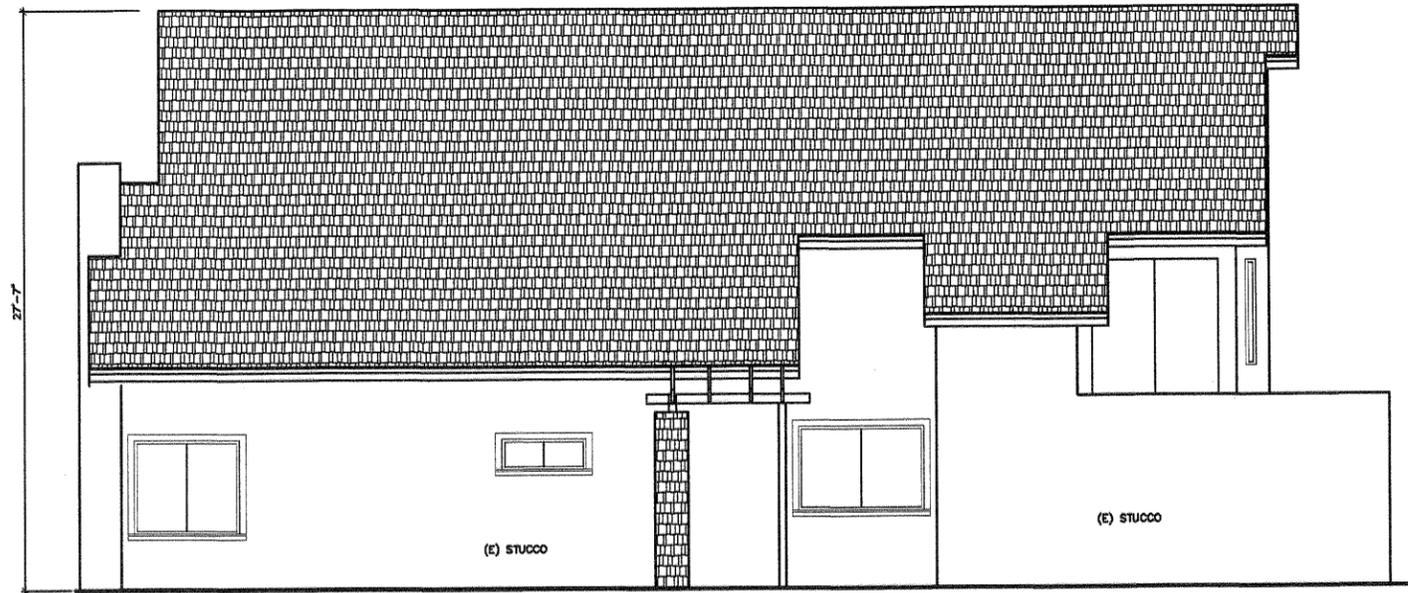
DRAFTING AND DESIGNS BY:
WILLIAMS DESIGN
 SAN JOSE, CALIF.
 E-MAIL ADDRESS: KEEFBW@AOL.COM
 BUS (408) 971-2116 CELL (408) 667-2446

EXISTING 1st FLOOR PLAN
 EXISTING 2nd FLOOR PLAN
 PROPOSED 1st FLOOR PLAN

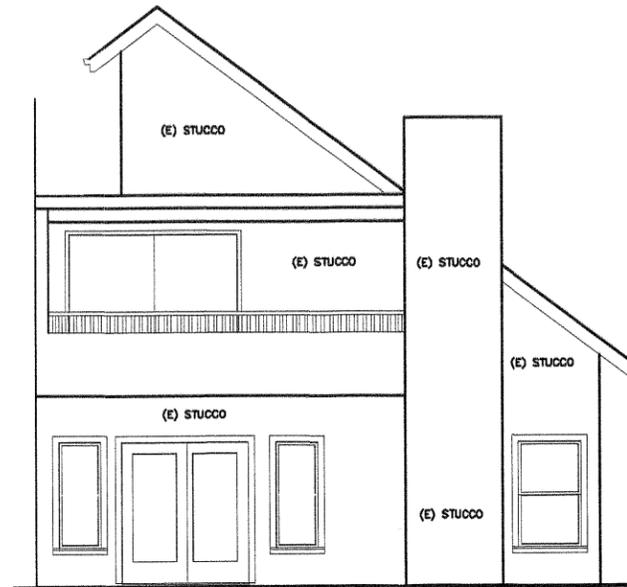
ADDITION FOR:
KOPELEV RESIDENCE
 1195 BRACEBRIDGE CT.
 CAMBELL, CA

DRAWN JDJC
 DATE 10/21/14
 CHECKED
 SCALE AS SHOWN
 SHEET #
1

REVISIONS	BY



EXISTING LEFT ELEVATION
1/4" = 1'-0"



EXISTING REAR ELEVATION
1/4" = 1'-0"



EXISTING FRONT ELEVATION
1/4" = 1'-0"

SAN JOSE, CALIF.

DRAFTING AND DESIGNS BY:
WILLIAMS DESIGN
E-MAIL ADDRESS: KEEFBW@AOL.COM
BUS (408) 971-2116 CELL (408) 667-2446

715 N. FIRST ST. ste. 34

EXISTING ELEVATIONS

ADDITION FOR
KOPELEV RESIDENCE
1195 BRACEBRIDGE CT.
CAMPBELL, CA

DRAWN JDJC

DATE 10/21/14

CHECKED

SCALE AS SHOWN

SHEET #

2

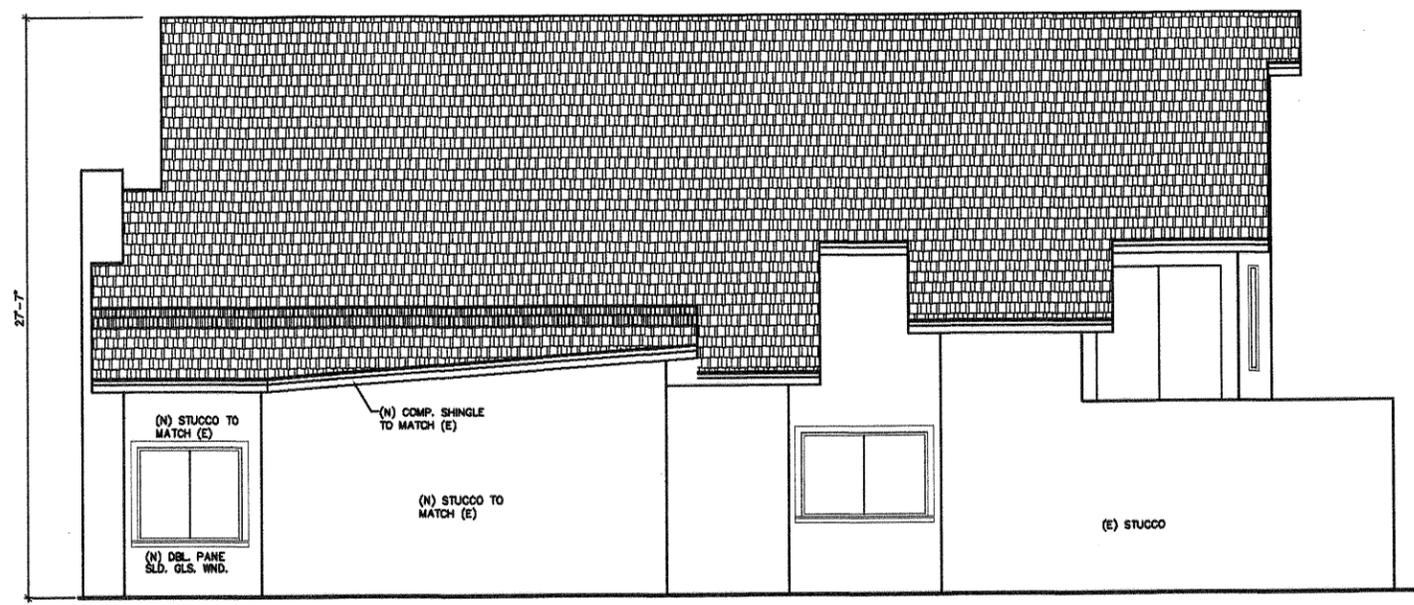
REVISIONS	BY

SAN JOSE, CALIF.
WILLIAMS DESIGN
 DRAFTING AND DESIGNS BY:
 E-MAIL ADDRESS: KEEFEW@AOL.COM
 BUS (408) 971-2116 CELL (408) 667-2446
 715 N. FIRST ST. ste. 34

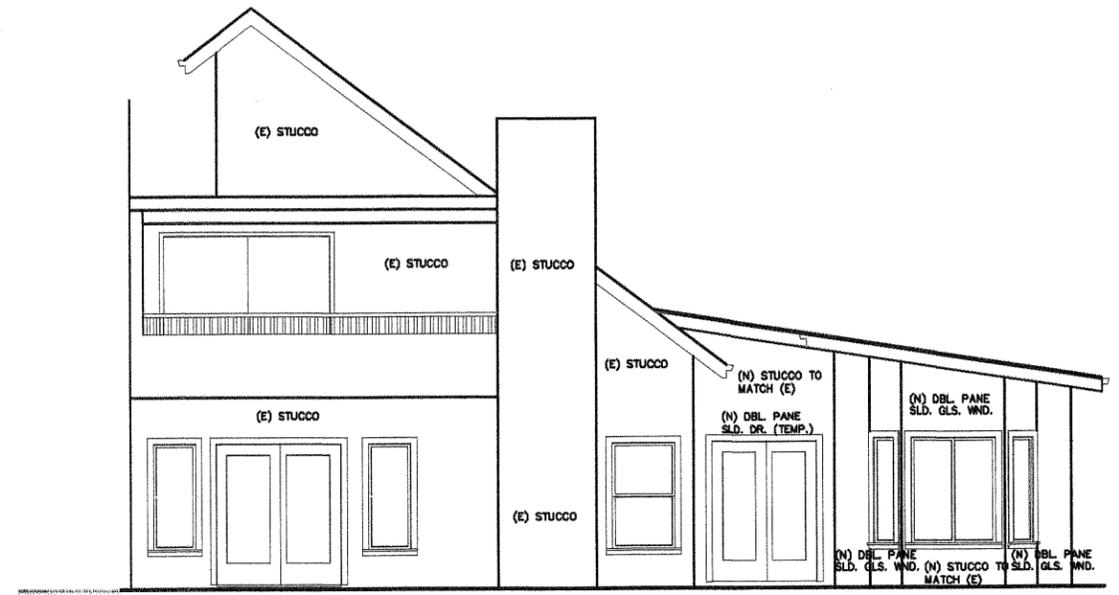
ELEVATIONS

ADDITION FOR:
KOPELEV RESIDENCE
 1195 BRACEBRIDGE CT.
 CAMBELL, CA

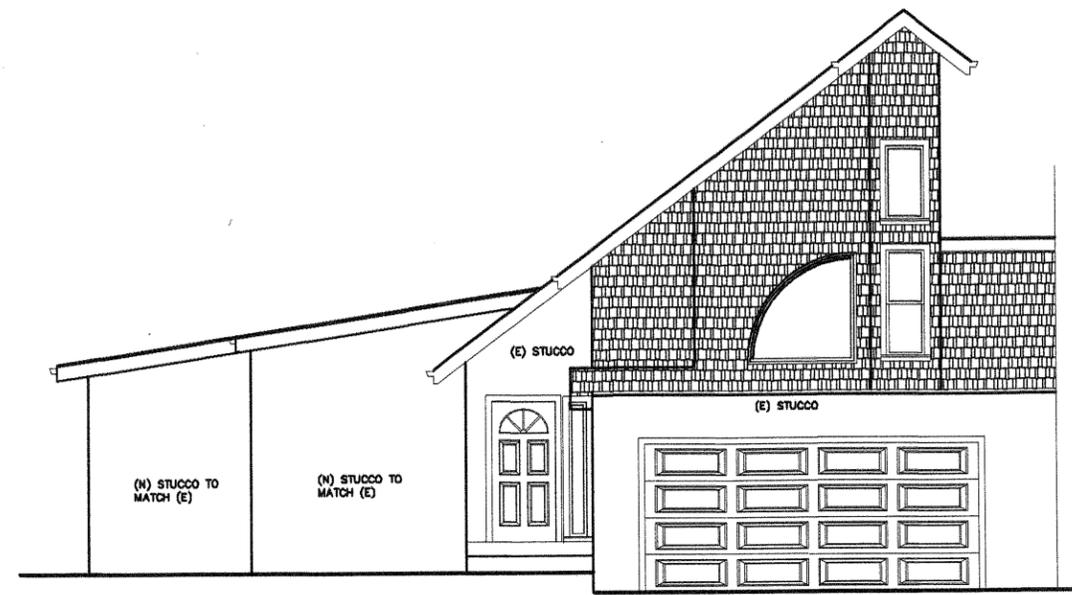
DRAWN JDJC
 DATE 10/21/14
 CHECKED
 SCALE AS SHOWN
 SHEET #
3



PROPOSED LEFT ELEVATION
 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
 1/4" = 1'-0"