



**CITY OF CAMPBELL**  
**Community Development Department**

January 30, 2015

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **February 10, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Eric Keller, on behalf of D.R. Horton Bay, Inc., for a Modification (PLN2014-237) to a previously-approved Planned Development Permit with a Parking Modification to allow design changes to 18 townhomes on property located at **45-81 Kennedy Avenue** in a P-D (Planned Development) Zoning District. A Mitigated Negative Declaration was previously approved for this project.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

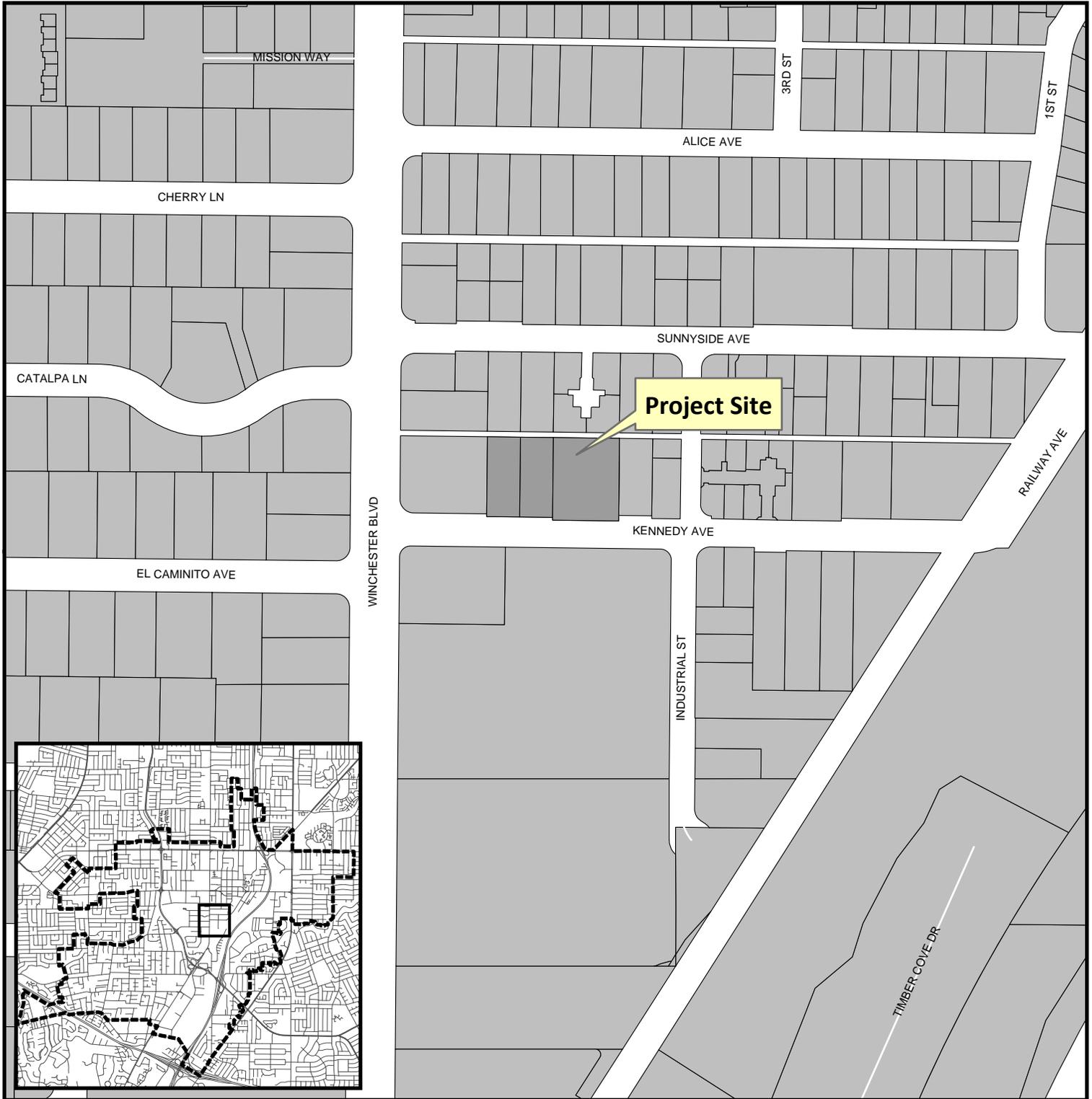
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **45-81 Kennedy Avenue**

# Project Location Map

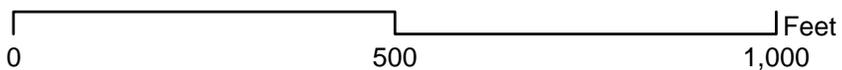


**Project Location:** 45-81 Kennedy

**Application Type:** Modification to a previously approved Planned Development Permit with a Parking Modification

**Planning File No.:** PLN2014-237

**Description:** To allow design changes to 18 townhomes



Community Development Department  
Planning Division



5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

Cottage Place  
Campbell, California



# COTTAGE PLACE

IN

## CAMPBELL, CALIFORNIA

BY

### D.R. HORTON

#### PROJECT DIRECTORY

**OWNER**  
D.R. HORTON  
5050 Hayward Road  
Pleasanton, CA 94588  
(925) 225-7400  
(800) 279-7607 (Fax)  
Attn: Eric Keller

**ARCHITECT**  
DAHLIN GROUP, INC.  
5865 Owens Drive  
Pleasanton, CA 94588  
(925) 251-7200  
(925) 251-7201 (Fax)  
Attn: Don Rutloff

#### PLAN INFORMATION

##### UNIT INFORMATION

PLAN 1A  
3 STORY  
3 BEDROOM  
3 1/2 BATH  
2 CAR GARAGE

PLAN 1B  
3 STORY  
3 BEDROOM  
3 1/2 BATH  
2 CAR GARAGE

**TOTAL UNITS DETACHED**  
PLAN 1A = 4  
PLAN 1B = 4  
TOTAL UNITS = 8

**TOTAL UNITS BUILDING 1 ATTACHED**  
PLAN 1A = 3  
PLAN 1B = 2  
TOTAL UNITS = 5

**TOTAL UNITS BUILDING 2 ATTACHED**  
PLAN 1A = 3  
PLAN 1B = 2  
TOTAL UNITS = 5

#### DRAWING INDEX

CS COVER SHEET  
C1 SITE DEVELOPMENT PLAN  
A1.0 ARCHITECTURAL SITE PLAN

##### DETACHED HOMES

A1.1 ELEVATION A FIRST FLOOR AND ADA  
A1.2 ELEVATION A SECOND AND THIRD FLOOR PLANS  
A1.3 ELEVATION A ROOF PLAN  
A1.4 ELEVATION A SECTIONS  
A2.1 ELEVATION B FIRST AND SECOND FLOOR PLANS  
A2.2 ELEVATION B THIRD FLOOR PLAN  
A2.3 ELEVATION B ROOF PLAN  
A2.4 ELEVATION B SECTIONS

##### DETACHED HOMES COMPARATIVE FLOOR PLANS

A1.1C PLAN COMPARISON LOT 1 ELEVATION A  
A1.2C PLAN COMPARISON LOT 2 ELEVATION B  
A1.3C PLAN COMPARISON LOT 3 ELEVATION A  
A1.4C PLAN COMPARISON LOT 4 ELEVATION B  
A1.5C PLAN COMPARISON LOT 5 ELEVATION A  
A1.6C PLAN COMPARISON LOT 6 ELEVATION B  
A1.7C PLAN COMPARISON LOT 7 ELEVATION A  
A1.8C PLAN COMPARISON LOT 8 ELEVATION B

##### DETACHED HOMES COMPARATIVE ELEVATIONS

A1 ELEVATION A DETACHED ELEVATIONS - LOTS 1, 3, 5 & 7  
A2 ELEVATION B DETACHED ELEVATIONS - LOTS 2 & 6  
A3 ELEVATION B DETACHED ELEVATIONS - LOT 4 & 8  
A4 STREET SCENE COMPARISON FRONT ELEVATION LOTS 1, 2, 3 & 4  
A5 STREET SCENE COMPARISON REAR ELEVATION LOTS 1, 2, 3 & 4

##### MULTI-FAMILY BUILDING FLOOR PLANS

A3.1 BUILDING ATTACHED FIRST FLOOR PLAN  
A3.2 BUILDING ATTACHED SECOND FLOOR PLAN  
A3.3 BUILDING ATTACHED THIRD FLOOR  
A3.4 BUILDING ATTACHED ROOF PLAN  
A3.5 (not used)

##### MULTI-FAMILY BUILDING COMPARATIVE FLOOR PLANS

A3.1C BUILDING PLAN COMPARISON LOTS 9-13 & 14-18 FIRST FLOOR  
A3.2C BUILDING PLAN COMPARISON LOTS 9-13 & 14-18 SECOND FLOOR  
A3.3C BUILDING PLAN COMPARISON LOTS 9-13 & 14-18 THIRD FLOOR

##### BUILDING COMPARATIVE ELEVATIONS

A3.6 ATTACHED COMPARISON FRONT & METER SIDE ELEVATIONS LOTS 14, 15, 16, 17 & 18  
A3.7 ATTACHED COMPARISON REAR & PROPERTY LINE ELEVATIONS LOTS 9, 10, 11, 12 & 13

##### LANDSCAPE DRAWINGS

L1 CONSTRUCTION PLAN  
L2 CONSTRUCTION DETAILS  
L3 IRRIGATION PLAN  
L4 IRRIGATION DETAILS  
L5 IRRIGATION CALCULATIONS  
L6 MAINTENANCE & IRRIGATION NOTES  
L7 PLANTING PLAN  
1 OF 2 SCREENING SHRUB EXHIBIT  
2 OF 2 SCREENING SHRUB EXHIBIT

#### PROJECT DATA

##### PROJECT DESCRIPTION

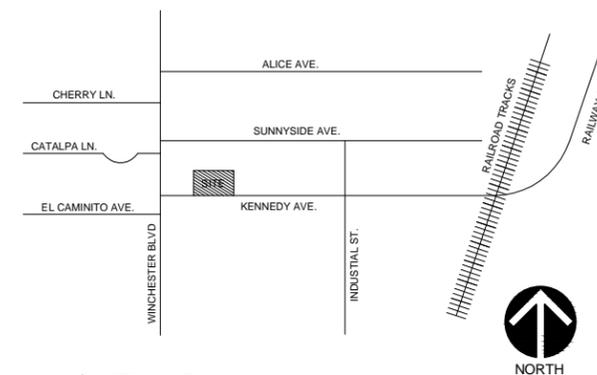
THIS IS AN 18 UNIT 3 STORY ALLEY LOADED MULTI-FAMILY TOWNHOME PROJECT. THERE ARE 8 DETACHED TOWNHOMES AND 10 ATTACHED UNITS MADE UP OF 2 SEPARATE BUILDING. EACH UNIT HAS A 2-CAR PRIVATE GARAGE.

##### CODE SUMMARY

CALIFORNIA RESIDENTIAL CODE (CRC) 2013  
CALIFORNIA MECHANICAL CODE (CMC) 2013  
CALIFORNIA PLUMBING CODE (CPC) 2013  
CALIFORNIA ELECTRICAL CODE (CEC) 2013  
CALIFORNIA FIRE CODE (CFC) 2013  
CALIFORNIA ENERGY CODE (T-24) 2008  
CALIFORNIA GREEN BUILDING STANDARDS 2010

USE AND OCCUPANCY CLASSIFICATION  
RESIDENTIAL OCCUPANCY GROUP R-3

TYPE OF CONSTRUCTION  
TYPE V6 FULLY SPRINKLERED (NFPA13d)



VICINITY MAP  
NO SCALE

#### REVISIONS

**Substantial Conformance  
Review Submittal 3  
December 30, 2014**

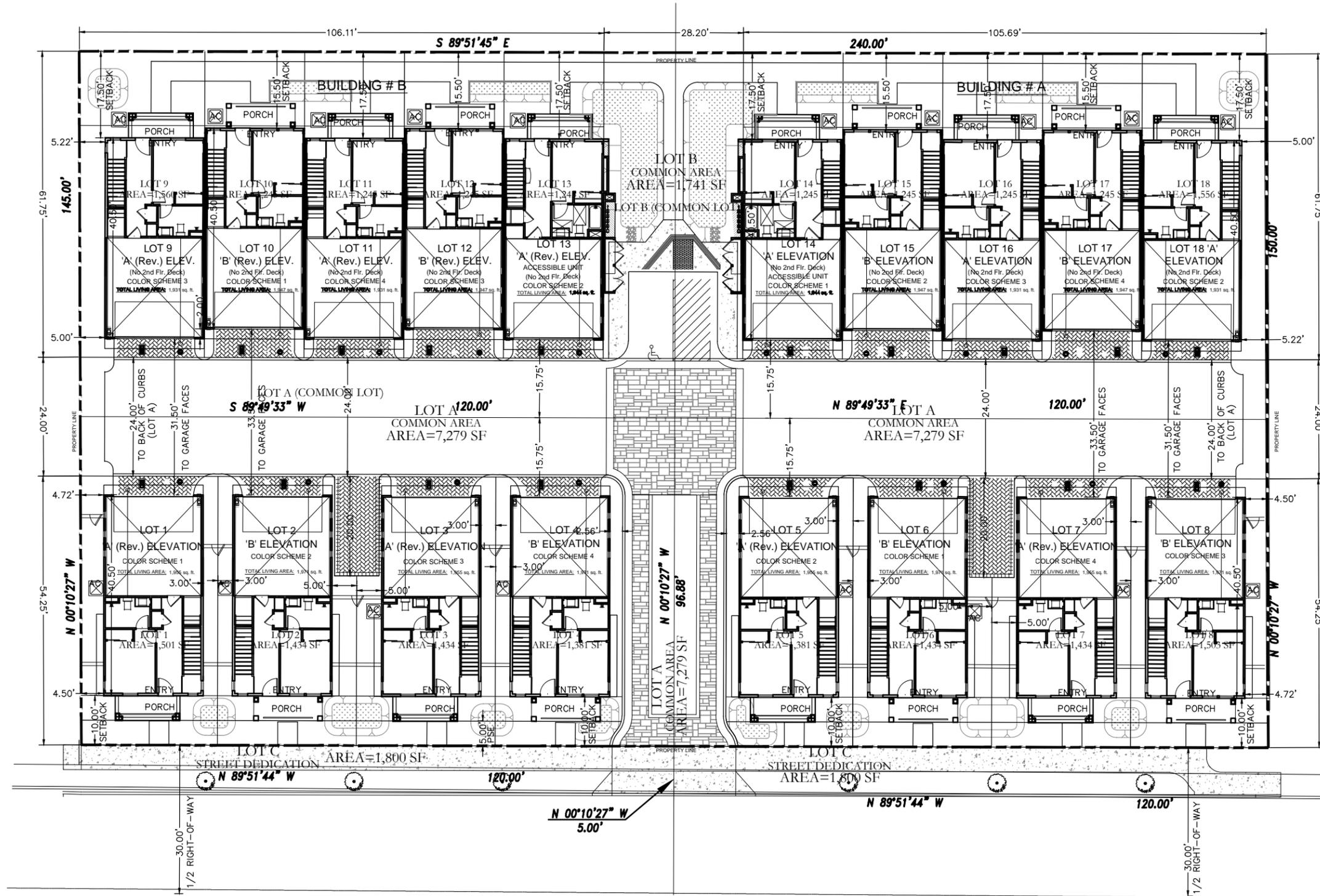
JOB NO. 233.021

DRAWN JPJ/ABC

CHECK

**CS**

**Cottage Place**  
Campbell, California



<b>PLAN 1A (Lot 1, 3, 5, 7)</b>	
<b>TOTAL LIVING AREA:</b>	1,955 sq. ft.
First Floor:	374 sq. ft.
Second Floor:	877 sq. ft.
Third Floor:	704 sq. ft.
2nd Flr. Deck:	71 sq. ft.
<b>PLAN 1A (Lots 9,11,16,18 attached)</b>	
<b>TOTAL LIVING AREA:</b>	1,931 sq. ft.
First Floor:	374 sq. ft.
Second Floor:	853 sq. ft.
Third Floor:	704 sq. ft.
2 Car Garage:	439 sq. ft.
Front Porch:	71 sq. ft.
3 BR., 3.5 BA	
Square Footage taken from outside face of stud at exterior wall	

<b>PLAN 1B (Lot 2, 4, 6 &amp; 8)</b>	
<b>TOTAL LIVING AREA:</b>	1,971 sq. ft.
First Floor:	374 sq. ft.
Second Floor:	877 sq. ft.
Third Floor:	720 sq. ft.
2nd Flr. Deck:	71 sq. ft.

<b>PLAN 1B (Lots 10,12,15,17 attached)</b>	
<b>TOTAL LIVING AREA:</b>	1,947 sq. ft.
First Floor:	374 sq. ft.
Second Floor:	853 sq. ft.
Third Floor:	720 sq. ft.
2 Car Garage:	439 sq. ft.
Front Porch:	71 sq. ft.
3 BR., 3.5 BA	
Square Footage taken from outside face of stud at exterior wall	

<b>ACCESSIBLE PLAN 1A</b>	
<b>LOTS 13 &amp; 14</b>	
<b>TOTAL LIVING AREA:</b>	1,944 sq. ft.
First Floor:	387 sq. ft.
Second Floor:	853 sq. ft.
Third Floor:	704 sq. ft.
2 Car Garage:	426 sq. ft.
Front Porch:	71 sq. ft.
3 BR., 3.5 BA	
Square Footage taken from outside face of stud at exterior wall	

REVISIONS



**Architectural Site Plan**

**Scale: 1"=10'-0"**

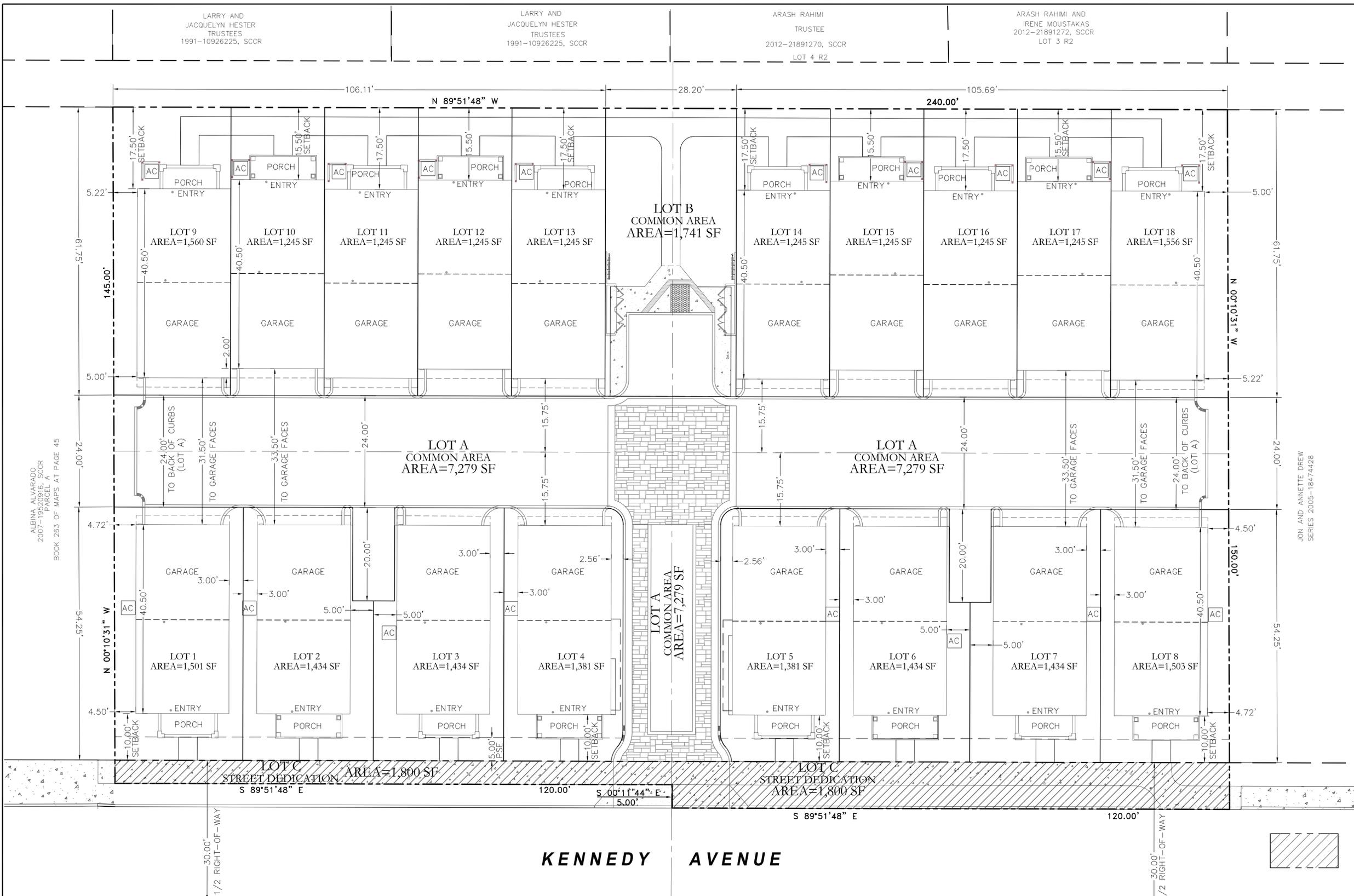
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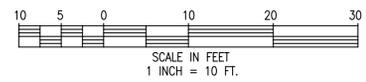
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**A1.0**

KENNEDY AVE.

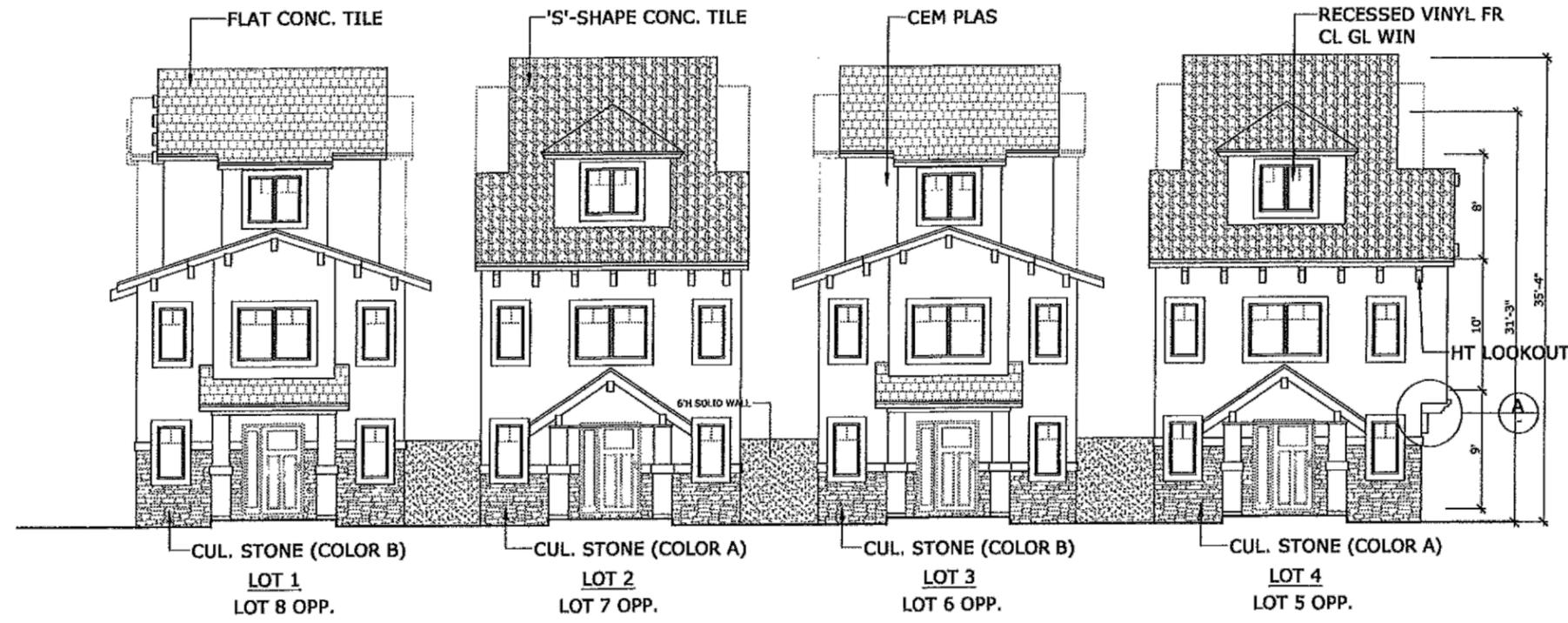


**SITE DEVELOPMENT PLAN**  
SCALE: 1" = 10'



<p>ALBINA ALVARADO 2007-1920916, SCCR BOOK 263 OF MAPS AT PAGE 45</p>	<p>STERLING CONSULTANTS ENGINEERING SURVEYING CONSTRUCTION SUPPORT PHONE: 925.705.5633 FAX: 866.966.6343 lsterlingconsultants@gmail.com</p>	<p>DATE: 12/17/2014 DRAWN BY: DK DESIGNED BY: DK</p>	<p>DATE: 12/17/2014 DRAWN BY: DK DESIGNED BY: DK</p>	<p>DATE: 12/17/2014 DRAWN BY: DK DESIGNED BY: DK</p>
<p>SITE DEVELOPMENT PLAN PD AMENDMENT - COTTAGE PLACE 45 - 81 KENNEDY AVENUE TRACT 10238</p>		<p>SCALE: 1" = 10' SHEET: C1</p>		

**Cottage Place**  
Campbell, California



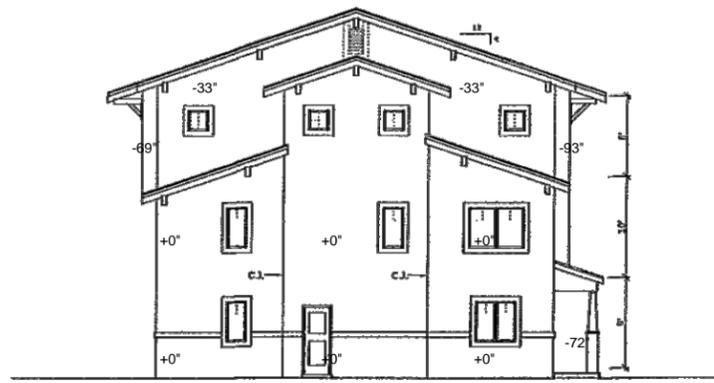
REVISIONS

**Street Scene Comparison**  
**Front Elevation**  
**Lots 1, 2, 3 & 4**  
**Scale: 3/16"=1'-0"**

JOB NO. 233.021  
DRAWN JPJ/ABC  
CHECK

**A4**

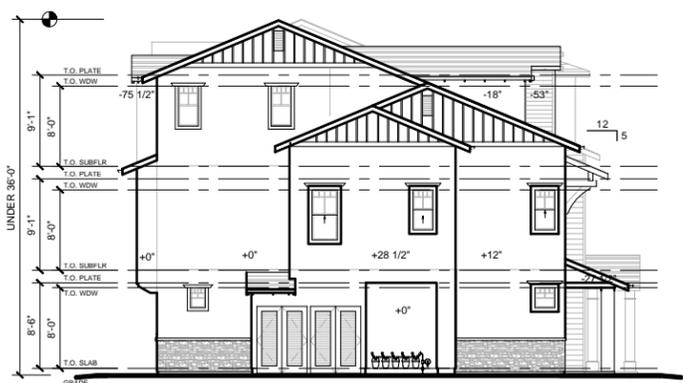
**Cottage Place**  
Campbell, California



**LOT 13**  
**LOT 14 OPP.**



**LOT 13**      **LOT 12**      **LOT 11**      **LOT 10**      **LOT 9**  
**LOT 14 OPP.**    **LOT 15 OPP.**    **LOT 16 OPP.**    **LOT 17 OPP.**    **LOT 18 OPP.**



**LOT 13 - 'A' ELEVATION ACCESSIBLE UNIT**  
**BUILDING B - PROPOSED METER SIDE ELEVATION FACING LOT B**



**LOT 13 - 'A' ELEVATION ACCESSIBLE UNIT**    **LOT 12 - 'B' ELEVATION**    **LOT 11 - 'A' ELEVATION**    **LOT 10 - 'B' ELEVATION**    **LOT 9 - 'A' ELEV. (NO 2ND FLR. DECK)**  
**BUILDING B - PROPOSED FRONT ELEVATION FACING PROPERTY LINE**

REVISIONS

**Attached Comparison**  
**Front & Meter Side Elevations**  
**Lots 9, 10, 11, 12, & 13**  
**Scale: 1/8"=1'-0"**

JOB NO. 233.021  
DRAWN JPJ/ABC  
CHECK

**A3.6**