



CITY OF CAMPBELL
Community Development Department

February 13, 2015

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **February 24, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Ryan Hensel & Megan Boyajian for a Site and Architectural Review Permit (PLN2014-262) to allow the construction of a new single-family residence on property located at **1505 Capri Drive** in the R-1-8 (Single Family Residential) Zoning District. Staff is recommending that this project be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

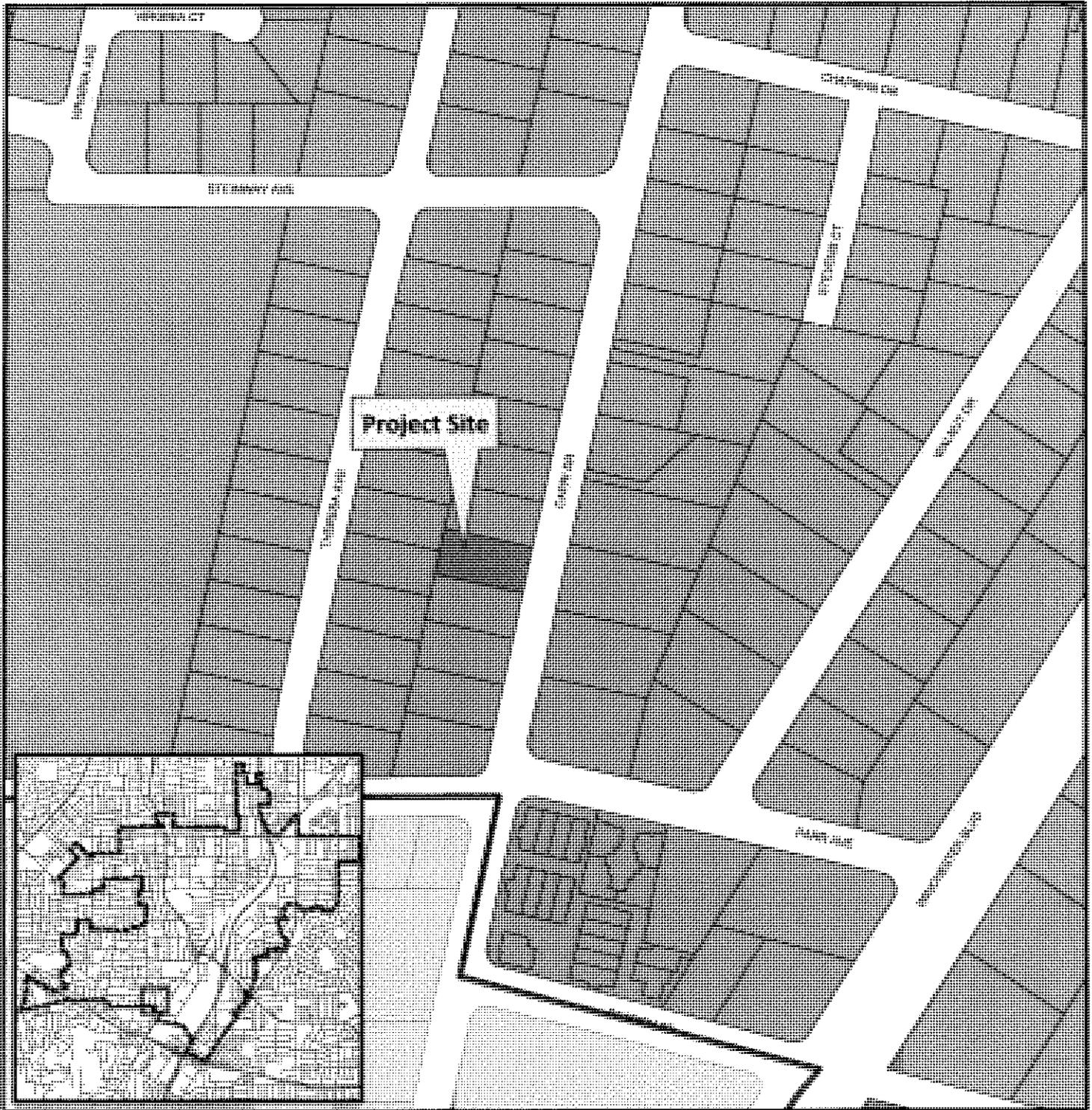
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

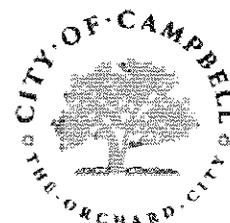
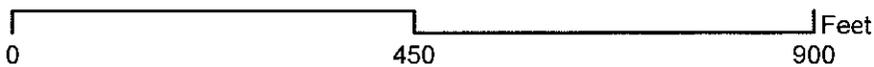
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1505 Capri Drive**

Project Location Map



Project Location: 1505 Capri Dr.
Application Type: Site and Arch. Review Permit
Planning File No.: PLN2014-262
Description: 2,753 sq. ft. single-family residence



Community Development Department
Planning Division

STREETSCAPE



1521



1505



1489



1473



1536



1510



1484



1460

**A REMODEL/ADDITIONS/REBUILD FOR THE:
HENSEL RESIDENCE**
1505 CAPRI DR., CAMPBELL CA, 95008
PLAN: LOU COSTANZO 1501 SAN GABRIEL WAY, S.J. 95125 408-264-0220
A.I.A. SOHNN COMANESCU 2144 RAVEN RD., PLEASANTON CA, 94566

PLAN COMMENTS TO:
LOUCOSTANZO.COM
5AST-NHT
888-772-9929 CELL

Date:	7-11-14
Scale:	AS NOTED
Drawn:	T.T
Reviewed:	L.C
JOB:	B-2014-05
Sheet:	H

Revisions	By

Revised	By

TRUONG DESIGNS

10101 730663, SAN JOSE, CA 95179
 Tel: 408 715 2296 Fax: 408 989 0820
 Email: truongdesign@gmail.com



ENGINEERING SIGNATURE

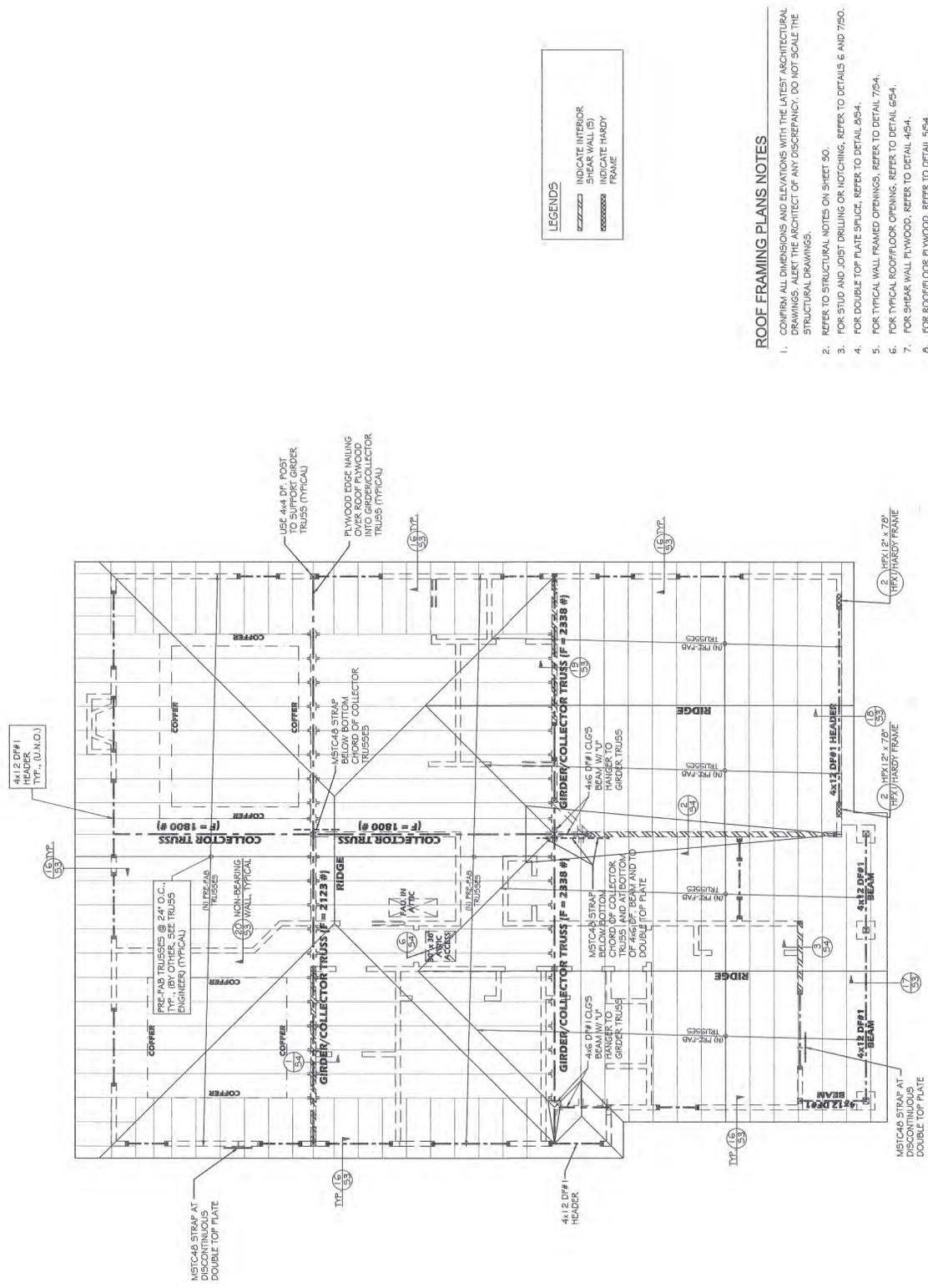
THE HENSEL RESIDENCE

1505 CAPRI DRIVE
 CAMPBELL, CA 95008

(N) HOUSE USING PORTIONS OF ORIG. STRUCTURE

ROOF FRAMING PLAN

Date:	8-29-14
Scale:	AS NOTED
Engineer:	T.T
Revised:	P.S
Job:	H-2014-44
Sheet:	S2



LEGENDS

-----	INDICATE INTERIOR SHEAR WALL (S)
-----	INDICATE HARDY FRAME
-----	FRAME

ROOF FRAMING PLANS NOTES

- CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH THE LATEST ARCHITECTURAL DRAWINGS. ALERT THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE THE STRUCTURAL DRAWINGS.
- REFER TO STRUCTURAL NOTES ON SHEET 50.
- FOR STUD AND JOIST DRILLING OR NOTCHING, REFER TO DETAILS 6 AND 750.
- FOR DOUBLE TOP PLATE SPLICE, REFER TO DETAIL 654.
- FOR TYPICAL WALL-FRAMED OPENINGS, REFER TO DETAIL 754.
- FOR TYPICAL ROOF/FLOOR OPENING, REFER TO DETAIL 654.
- FOR SHEAR WALL FLYWOOD, REFER TO DETAIL 454.
- FOR ROOF/FLOOR FLYWOOD, REFER TO DETAIL 554.
- SHEATH NEW ROOF WITH 1/2" CDX EXPOSURE 1, A.F.A. RATED FLYWOOD WITH FACE GRAIN PERPENDICULAR TO BATTERS WITH 8x4 @ 6" O.C. EDGES, P.E.N. 1/2" O.C. (FIELD). STAGGER SHEET END SPLICES (ROOF FLYWOOD MAY BE APPLIED DIRECTLY OVER (C) ROOF SHING.)
- ALL POSTS SHOWN (S) AND KING POSTS SHOWN (K) SHALL BE 4x4 STUD WALL THICKNESS U.O.N. (S.A.D. FOR STUD WALL THICKNESS). TYPICAL POST TO BEAM CONNECTIONS SHALL BE EPCS @ ENDS & PCS @ INTERIOR SUPPORTS, U.O.N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING THE CORRECT POST CAP SIZE. FLYWOOD SHALL BE USED WHERE SHIMMING IS REQUIRED.

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"