



CITY OF CAMPBELL
Community Development Department

March 13, 2015

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.:	PLN2015-51
Applicant:	Ciarra Construction
Project Address:	350 Bedal Ln.
Property Owner:	Eric and Stephanie Buran
Zoning District:	R-1-8 (Single-Family Residential)
General Plan:	Low Density Residential <4.5 Units/Gr. Acre
Project Description:	Construction of a 465 square-foot addition to the rear of an existing single-family residence

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 16, 2015 and ends on March 26, 2015. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 26, 2015**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Associate Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

Project Location Map

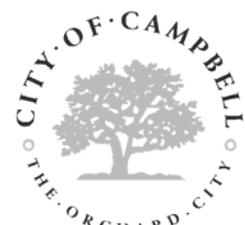
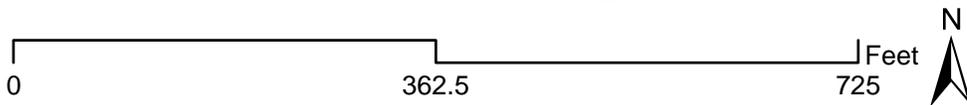


Project Location: 350 Bedal Ln.

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2015-51

Description: Rear addition to a single-family residence



Community Development Department
Planning Division

Steve Benzing
Architect
C-1925

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95070
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Website: Benzing.com

OWNERSHIP AND USE OF DRAWINGS
The drawings are prepared and issued under license by Steve Benzing Architect. They are to be used only for the project and site for which they are prepared. No other use, reproduction, or distribution is allowed without the written consent of Steve Benzing Architect. The Project is to be the complete and final authority in all matters. No other drawings, specifications, or conditions shall be used without the written consent of Steve Benzing Architect.



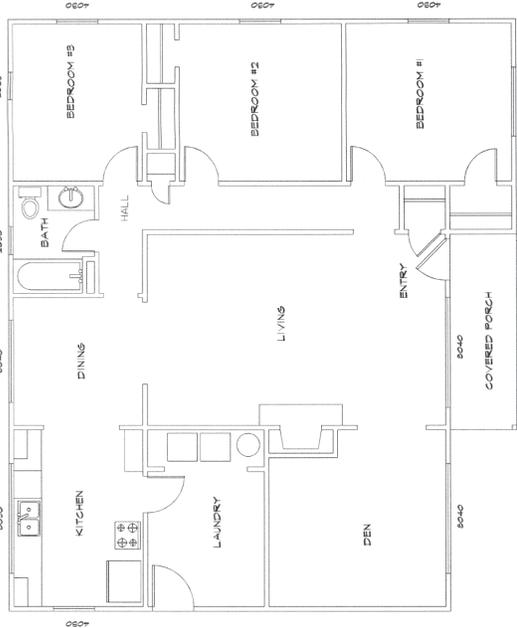
EXISTING FLOOR PLAN &
ROOF PLAN

Addition &
Alterations to
EXISTING
3500 Eagle Lane
Campbell, CA

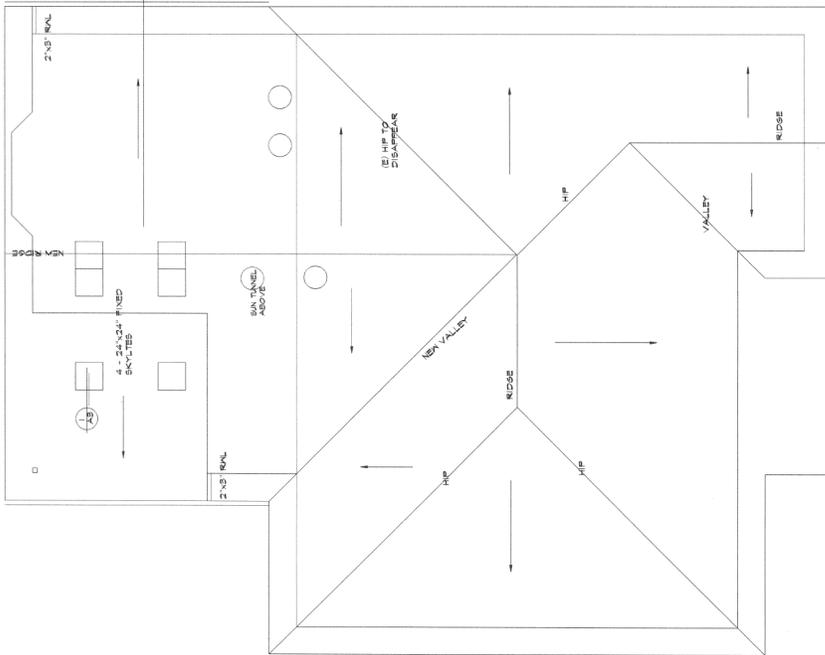
For:
Clarra Const.
633 Main St. AVE.
San Jose, CA

REVISIONS:

date: 1/27/15
scale: NOTED
drawn by: SMB
job no: 1502
sheet: A2

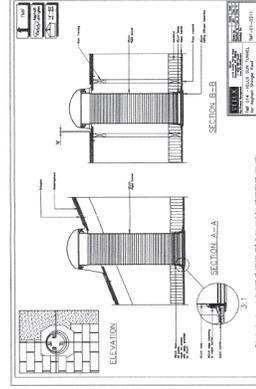


EXISTING FLOOR PLAN
SCALE 1/4" = 1'-0"

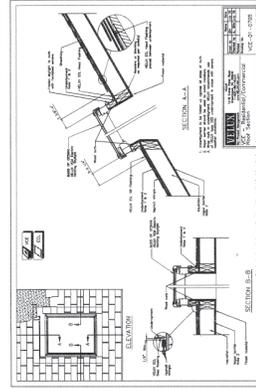


PROPOSED ROOF PLAN
SCALE 1/4" = 1'-0"

PROVIDE NEW 40YR COMPOSITION SHINGLES TO MATCH (B)
ROOF PITCH 8 1/2" 12" VERIFY & MATCH
PROVIDE 4" PLYWOOD SHEATHING TO MATCH (B)
PROVIDE 4" PLYWOOD SHEATHING & 2" X 8" RAFTERS TO MATCH (B)



1) SKYLITE DTL
NO SCALE



2) SUNTUNNEL DTL
NO SCALE

MIN 4" HIGH CURB FOR SKYLIGHTS

NO SCALE

OF 5 SHEETS



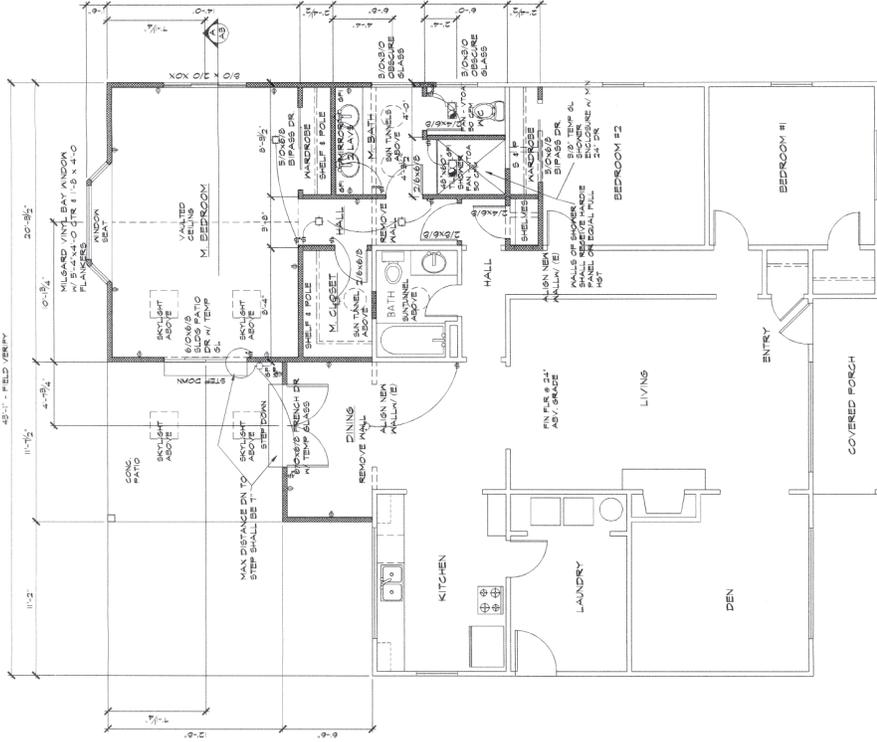
PROPOSED FLOOR PLAN

Addition &
Alterations to
Residence at:
250 Beaulieu Lane
Campbell, CA
For:
Clara Const.
633 Walnut Ave.
San Jose, CA

REVISIONS:

date: 1/27/15
scale: NOTED
drawn by: SMB
job no.: 1502
sheet:

A3



PROPOSED FLOOR PLAN
SCALE 1/4" = 1'-0"
EXISTING SQ. FT. 1,484 SQ. FT.
ADDITION SQ. FT. 445 SQ. FT.
TOTAL SQ. FT. 1,929 SQ. FT.
P.V. = FIELD CENTER

ELECTRICAL PLANS

THIS PROJECT MUST COMPLY WITH THE 2013 CALIF. ENERGY CODE

- NOTES
- A. ALL 120 VOLT SINGLE-PHASE OUTLETS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AT THE FOLLOWING LOCATIONS:
 - 1. GARAGES
 - 2. BATHROOMS
 - 3. ALL KITCHEN COUNTERTOPS
 - 4. ALL KITCHEN SINKS
 - 5. ALL OTHER SINKS
 - B. ALL LIGHT FIXTURES WITHIN A 7'5" AND/OR SHOWER ENCLOSURE SHALL BE CONTROLLED BY A PHOTO-EYE CONTROLLED SWITCH. PROVIDER SHALL PROVIDE A PHOTO-EYE CONTROLLED SWITCH FOR THE KITCHEN. THIS SWITCH SHALL BE LIMITED TO SUPPLYING HALL AND COUNTERSPACE OUTLETS.
 - C. PROVIDE A DEDICATED 20 AMP 2 LINE TO SERVE THE FOLLOWING: ANY LIGHTS, FANS OR ANY OTHER TYPE OF ELECTRICAL DEVICE OR FIXTURE IN THE FOLLOWING LOCATIONS: BATHROOMS, KITCHEN, LAUNDRY ROOMS AND IN ROOMS WHERE THERE ARE SHOWER OR SHOWER ENCLOSURES PER CEC 514.1.3.B
 - D. PROVIDE LISTED COMBINATION AFCI BREAKERS FOR ALL ELECTRICAL CIRCUITS PER SECTION 200.2(A) & (B) OF 2013 CALIF. E.C.C.
 - E. ALL OUTLETS SHALL BE TAMPER-RESISTANT PER ARTICLE 408.11 OF 2013 E.C.C.
 - F. ALL EXTERIOR OUTLETS SHALL BE WEATHER-RESISTANT AND SHALL BE TAMPER-RESISTANT PER ARTICLE 408.11 OF 2013 E.C.C.
 - G. CARBON MONOXIDE ALARMS SHALL BE PLACED JUST OUTSIDE THE IMMEDIATE VICINITY OF EACH SLEEPING AREA PER SECTION 919 OF 2013 E.C.C.

SYMBOL LEGEND

1	MANUAL / OCCUPANT SENSOR SWITCH
2	DINER SWITCH
3	SINGLE POLE LIGHT SWITCH
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